



AGENDA OF THE ZONING & PLANNING BOARD OF APPEALS

**WEDNESDAY, OCTOBER 17, 2018, 5:30 PM
CITY HALL, ROOM 604**

A. Roll Call.

1. Members: Don Carlson - Chair, Gregory Babcock - Vice Chair, Tommy Everman, Noel Halvorsen and Jim Hutchison
2. Does anyone need to abstain from voting? Who was out to the property? Did you speak to anyone regarding this variance request?

B. Approval of the Agenda.

1. Approval of the agenda for the October 15, 2018, meeting of the Zoning & Planning Board of Appeals.

C. Approval of Minutes.

1. Approval of the minutes from the September 17, 2018, meeting of the Zoning & Planning Board of Appeals.

D. Regular Business.

1. Tim Wanner, on behalf of Victoria Wanner, property owner, proposes to construct a new detached accessory structure in a Low Density Residential (RI) District at 3489 Finger Road. The applicant requests to deviate from the following requirements in Chapter 13, Green Bay Zoning Code, Section 13-613(c), general requirements and Section 13-615, Table 6-4, maximum size 2nd structure (Ald. B. Dorff, District 1).
2. Roy Schneider, on behalf of Green Bay Packaging, property owner, proposes to expand an existing structure in a General Industrial (GI) District at 831 Radisson Street. The applicant requests to deviate from the following requirements in Chapter 13, Green Bay Zoning Code, Section 13-908, Table 9-2, impervious coverage and Section 13-1706(a), driveway width. (Ald. K. Lefebvre, District 6).

3. Daniel Ditscheit, on behalf of the City of Green Bay, property owner, proposes to install a ferris wheel at the Bay Beach Amusement Park in a Public Institutional (PI) District at 1313 Bay Beach Road. The applicant requests to deviate from the following requirement in Chapter 13, Green Bay Zoning Code, Section 13-515(e) waterway setback (Ald. K. Lefebvre, District 6).
4. Roy Schneider, on behalf of Green Bay Packaging, property owner, proposes a building expansion within the AE District of the 100 year floodplain and General Industrial (GI) District at 1910 North Quincy Street. The applicant requests to deviate from the following requirements in Chapter 13, Green Bay Zoning Code, Section 13-1330(2)(d) flood protection elevation and Section 13-1343 flood proofing standards (Ald. K. Lefebvre, District 6).

E. Informational.

1. Discussion on the request from the Board of Appeals to review recent requests regarding the width of commercial/industrial driveways.
2. Discussion on potential future training options for the Board of Appeals.

F. Adjournment.

- 1) THIS MEETING IS RECORDED: THE VIDEO OF THIS MEETING AND MINUTES ARE AVAILABLE ONLINE AT www.greenbaywi.gov
- 2) ACCESSIBILITY: Any person wishing to attend who requires special accommodation because of a disability, should contact the City Safety Manager at 920-448-3125 at least 48 hours before the scheduled meeting time so that arrangements can be made.
- 3) QUORUM: Please take notice that a majority or quorum of the Common Council will attend this Zoning & Planning Board of Appeals meeting and will constitute a meeting of the Common Council for purposes of discussion and information gathering relative to this agenda.
- 4) REPRESENTATION: The party requesting the communication, or their representative, should be present at this meeting.



MINUTES OF THE ZONING & PLANNING BOARD OF APPEALS

**MONDAY, SEPTEMBER 17, 2018, 5:30 PM
CITY HALL, ROOM 604**

A. ROLL CALL.

I. Members: Don Carlson, Gregory Babcock, Tommy Everman, Noel Halvorsen, and Jim Hutchison

Members Present: Don Carlson, Noel Halvorsen, Jim Hutchison, Gregory Babcock,

Excused: Tommy Everman

Others Present: Ald. Randy Scannell and Ald. Mark Steuer

B. APPROVAL OF THE AGENDA.

I. Approval of the September 17, 2018, agenda of the Board of Appeals meeting.

Moved by Gregory Babcock, seconded by Jim Hutchison to approve the agenda. Motion carried.

Voice vote.

Yes- None, No- None, Abstain- None

C. APPROVAL OF MINUTES.

I. Approval of the August 20, 2018, minutes of the Board of Appeals meeting.

Moved by Gregory Babcock, seconded by Don Carlson to approve the minutes. Motion carried.
Voice vote.

Yes- Don Carlson, Gregory Babcock, Noel Halvorsen, Jim Hutchison, No- None, Abstain- None

D. REGULAR BUSINESS.

1. Jamie Hooper, property owner, proposes to expand an existing driveway in a Low Density Residential (RI) District at 1098 Western Avenue. The applicant requests to deviate from the following requirement in Chapter 13, Green Bay Zoning Code, Section 13-1705, driveway widening beyond the garage opening (Ald. C. Wery, District 8).

Moved by Noel Halvorsen, seconded by Gregory Babcock to grant the variance as requested.
Motion carried.

Yes- Don Carlson, Gregory Babcock, Noel Halvorsen, No- None, Abstain- None

2. Bob Detrick, on behalf of Newcap, Inc., property owner, proposes to remove and replace existing exterior stairs and decking for a dwelling in a Low Density Residential (RI) District at 441 Elizabeth Street. The applicant requests to deviate from the following requirements in Chapter 13, Green Bay Zoning Code, Section 13-509 and Section 13-604, Table 6-2 rear yard setback (Ald. C. Stevens, District 5).

Moved by Noel Halvorsen, seconded by Gregory Babcock to grant the variance as requested. Motion carried.

Yes- Don Carlson, Gregory Babcock, Noel Halvorsen, No- None, Abstain- None

3. Luke Hoh, Legacy Sunrooms, LLC, on behalf of John Begalke, property owner, proposes to add a three seasons room to a principal dwelling in a Low Density Residential (RI) District at 1520 Careful Drive. The applicant requests to deviate from the following requirement in Chapter 13, Green Bay Zoning Code, Section 13-604, Table 6-2, rear yard setback (Ald. J. Vander Leest, District 11).

Moved by Noel Halvorsen, seconded by Jim Hutchison to grant the variance as requested. Motion carried.

Yes- Don Carlson, Gregory Babcock, Noel Halvorsen, No- None, Abstain- None

4. Matt and Kayla Harper, property owners, propose to construct a new detached accessory structure in a Low Density Residential (R1) District at 805 Royal Blvd. The applicants request to deviate from the following requirement in Chapter 13, Green Bay Zoning Code, Section 13-613(c), general requirements (Ald. B. Galvin, District 4).

Moved by Noel Halvorsen, seconded by Gregory Babcock to grant the variance as requested. Motion carried.

Yes- Don Carlson, Gregory Babcock, Noel Halvorsen, No- None, Abstain- None

5. Daniel Kuntz, property owner, proposes to construct a new detached garage in a Low Density Residential (R1) District at 1226 Elmore Street. The applicant requests to deviate from the following requirement in Chapter 13, Green Bay Zoning Code, Section 13-615, Table 6-4, size of accessory structures (Ald. M. Steuer, District 10).

Moved by Noel Halvorsen, seconded by Jim Hutchison to grant the variance as requested. Motion carried.

Yes- Don Carlson, Gregory Babcock, Noel Halvorsen, No- None, Abstain- None

6. Bruce J. Bain, on behalf of Mark and Donna Jahnke, property owners, proposes to construct a new detached accessory structure in a Low Density Residential (R1) District at 1770 Bond Street. The applicant requests to deviate from the following requirement in Chapter 13, Green Bay Zoning Code, Section 13-613(c), general requirements (Ald. M. Steuer, District 10).

Moved by Gregory Babcock, seconded by Jim Hutchison to grant the variance as requested. Motion carried.

Yes- Don Carlson, Gregory Babcock, Noel Halvorsen, Jim Hutchison, No- None, Abstain- None

7. Tim Wanner, on behalf of Victoria Wanner, property owner, proposes to construct a new detached accessory structure in a Low Density Residential (R1) District at 3489 Finger Road. The applicant requests to deviate from the following requirements in Chapter 13, Green Bay Zoning Code, Section 13-613(c), general requirements and Section 13-615, Table 6-4, maximum size second structure (Ald. B. Dorff, District 1).

Moved by Noel Halvorsen, seconded by Gregory Babcock to table the request for up to 90 days to allow for the applicant to come up with additional site plans. Motion carried.

Yes- Don Carlson, Gregory Babcock, Noel Halvorsen, Jim Hutchison, No- None, Abstain- None

8. Springview Landscape Service, Inc., on behalf of the Jackie Nitchke Center, property owner, proposes to install a fence in an Office/Residential (OR) District at 630 Cherry Street. The applicant requests to deviate from the following requirement in Chapter 13, Green Bay Zoning Code, Section 13-521(a) (2) maximum height in the setback (Ald. R. Scannell, District 7).

Moved by Noel Halvorsen, seconded by Gregory Babcock to grant as requested with the condition that the fence be no closer than 2 ft. from the sidewalk with additional shrubbery between the fence and sidewalk and narrower at the point of the handicapped ramp and main gate. Motion carried.

Yes- Don Carlson, Gregory Babcock, Noel Halvorsen, Jim Hutchison, No- None, Abstain- None

9. John J. Zimanek, property owner, proposes to construct a new detached accessory structure in a Low Density Residential (RI) District at 1705 Murphy Court. The applicant requests to deviate from the following requirement in Chapter 13, Green Bay Zoning Code, Section 13-613(c), general requirements (Ald. M. Steuer, District 10).

Moved by Gregory Babcock, seconded by Jim Hutchison to grant the variance as requested. Motion carried.

Yes- Don Carlson, Gregory Babcock, Noel Halvorsen, Jim Hutchison, No- None, Abstain- None

10. Grassy Island Range Lights, Inc., on behalf of NEW Water-GBMSD, property owner, proposes to construct a one-story structure in a General Industrial (GI) District at 100 Bay Beach Road. The applicant requests to deviate from the following requirement in Chapter 13, Green Bay Zoning Code, Section 13-515(e), waterway setback (Ald. K. Lefebvre, District 6).

Moved by Noel Halvorsen, seconded by Jim Hutchison to grant the variance as requested with the condition that all appropriate building permits are obtained. Motion carried.

Yes- Don Carlson, Gregory Babcock, Noel Halvorsen, Jim Hutchison, No- None, Abstain- None

11. Ronald L. Smits, property owner, proposes to pave an area for vehicles sales located in a Highway Commercial (C2) District located at 1009 Pine Street (a.k.a. 1003 Pine Street). The applicant requests to deviate from the following requirements in Chapter 13, Green Bay Zoning Code, Section 13-810, Table 8-2, front and corner side yard setback and maximum impervious coverage (Ald. R. Scannell, District 7).

Moved by Gregory Babcock, seconded by Noel Halvorsen to grant the variance as requested. Motion carried.

Yes- Gregory Babcock, Noel Halvorsen, Jim Hutchison, No- Don Carlson, Abstain- None

E. INFORMATIONAL.

I. Date of next meeting: October 15, 2018.

The next Board of Appeals meeting may be rescheduled to a later date.

F. ADJOURNMENT.

Moved by Noel Halvorsen, seconded by Gregory Babcock to adjourn. Motion carried.

Yes- Don Carlson, Gregory Babcock, Noel Halvorsen, Jim Hutchison, No- None, Abstain- None



Report to the
Zoning & Planning Board of Appeals
of the City of Green Bay

MEETING DATE

October 17, 2018

PREPARED BY

Paul Neumeyer, Staff

AGENDA ITEM # D.I.

Tim Wanner, on behalf of Victoria Wanner, property owner, proposes to construct a new detached accessory structure in a Low Density Residential (RI) District at 3489 Finger Road. The applicant requests to deviate from the following requirements in Chapter 13, Green Bay Zoning Code, Section 13-613(c), general requirements and Section 13-615, Table 6-4, maximum size 2nd structure (Ald. B. Dorff, District I).

BACKGROUND**RECOMMENDATION****FISCAL IMPACT****ATTACHMENTS**

1. 3489 Finger Rd
2. Additional Appeal Information

Denied 6-19-17 = Resubmitting for 9/17/18



Zoning & Planning Board of Appeals

VARIANCE APPLICATION

Department of Community
and Economic Development
100 N. Jefferson Street, Rm 608
Green Bay, WI 54301-5026
(920) 448-3300 - phone
(920) 448-3426 - fax
www.greenbaywi.gov

Application Deadline: First Tuesday of the Month at 12 Noon.

Date: 9/4/18 Project Address: 3489 Finger Project #: 70278 Appeal #: 18-061

PROPERTY OWNER		APPLICANT INFORMATION	
Name:	<u>Victoria Wanner</u>	Name:	<u>TIM Wanner</u>
Address:	<u>3489 Finger Rd.</u>	Address:	<u>3489 Finger Rd.</u>
City, State, Zip	<u>Green Bay WI 54311</u>	City, State, Zip	<u>Green Bay WI</u>
Phone:	<u>920 468 6827</u>	Phone:	<u>920-468-6827</u>
Email:		Email:	

Describe proposed plan:

Build a 30x30 foot Garage in backyard.
Ideally plan would be to back new trailer in garage, Truck
Next to it and put in 2 wheel utility trailer next to it. That
way nothing is outside or in front driveway
- will have Accessory over principal
- will have over max size for 2nd Accessory structure
List variances required to implement the proposed plan (include ordinance numbers and short explanation of each):

* Have 1 Detached Accessory Already at 408 SF (24x17)
* Want to build 30x30 (900 SF)
* 13-615 Accessory structure - Accessory shall not exceed Principal
* 13-615 Accessory structures - max size 1st structure is 1000
SF, max size of 2nd structure is 150 SF.
* will be over max 2nd Accessory structure (will be under 30% Accessory)
Describe what hardships are imposed by zoning ordinances listed in section above making conformity unfeasible or unnecessarily burdensome: in Rear

Just Bought a new 24' forest river Trailer and Then
my brother Sold the building where I was keeping it.

Put it in ministorage for \$135 a month and was parked in
Till July

Describe what unique physical characteristics affect this property which prevent you from complying with the zoning ordinance:

Already have one stall garage in backyard

Describe how granting this variance will neither harm public interest nor undermine the purpose of the ordinance:

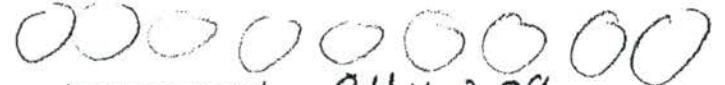
Have very Deep lot 84 x 209 Plenty of room

Prepare and submit a copy of a site plan (NO LARGER THAN 11X17) detailing your request completely and any additional information which will support your variance request.

Tim Wanner
Signature of Applicant

8-30-18
Date

OFFICE USE ONLY:	Parcel# <u>2145-12</u>	Residential \$75 <u>X</u>	Commercial \$150 _____
District: <u>1</u> Zoning: <u>R1</u>	Meeting Date: <u>9/17/18</u>	Receipt #: <u>12290-8</u>	



84 x 209

Proposed
Detached
Garage
= 900 SF

↑
Feder
Trees

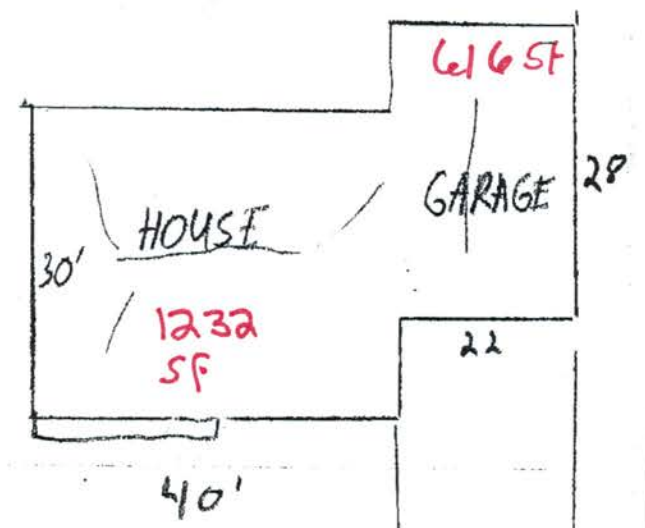
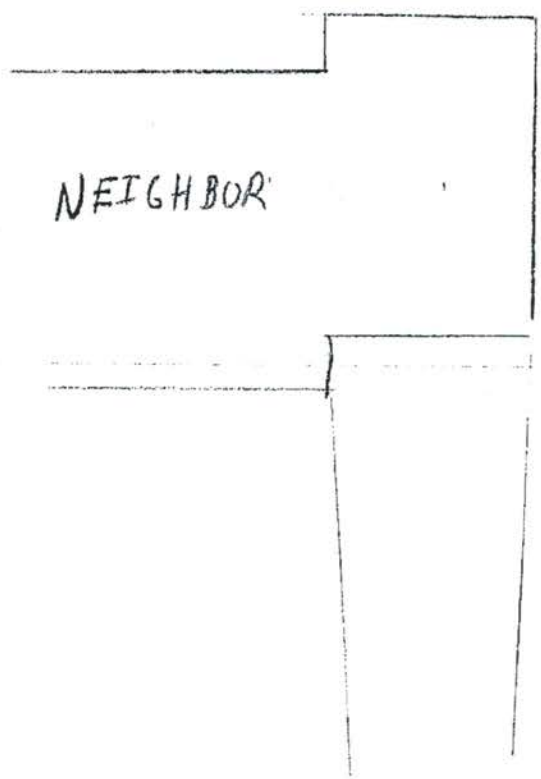
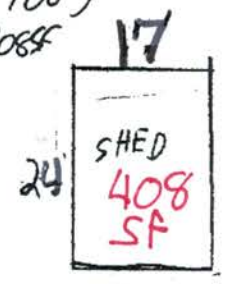
* Remove
old
shed 



Lot = 17,765 Total SF

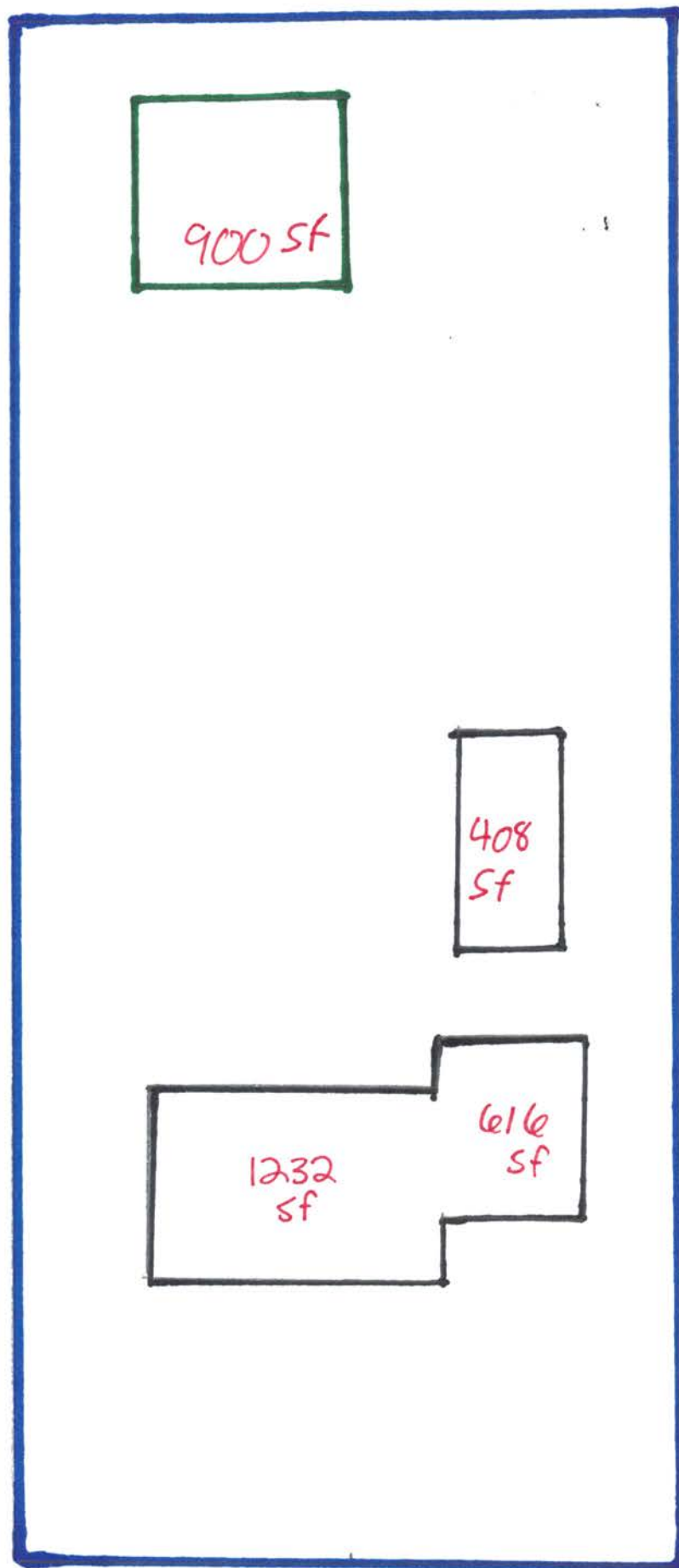
Rear Lot = 11,390 SF
(1st Structure = 408 SF)
(2nd Structure = 900)
= 1308 SF

R-



* Accessory = 1924 SF
* Principal = 1232 SF

Driveway



900 sf

408
sf

1232
sf

616
sf

209'

85'

30 x 30 ft

Vinyl siding

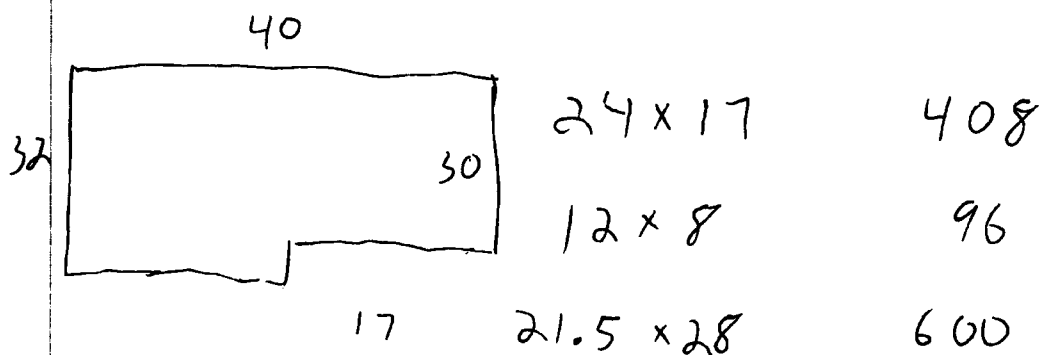
Common Truss

shingle Roof

Low Truss

white steel Roof

14 x 30



34

1280

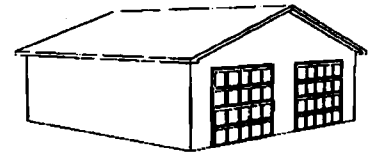
Items Selected:

Gable roof w/ 4/12 pitch, Standard Trusses 2' O.C.
Truss Design Location Zip Code: 54311
2x4 Wall Framing Material
30' Wide X 30' Deep X 9' High
Vinyl Dbl 4" Lap Siding
- P. Wheat
7/16" OSB Wall Sheathing
Block-It Housewrap
12" gable/12" eave overhangs
7/16" OSB Roof Sheathing
Castlebrook, Weathered Wood Shingles
4' Shingleover Ridge Vent
White Aluminum Soffit & Fascia
White Premium Roof Edge

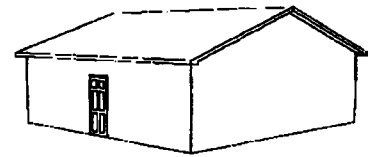
Options Selected:

The options you have selected are:
15 LB Roof Felt
1 - 36x80 Service Door - CM1 6-Panel Steel RS
2 - 10x8 Overhead Door - Poly MDP38U

Front View



Back View



Estimated price: \$7,699.82*

*Today's estimated price, future pricing may go up or down.

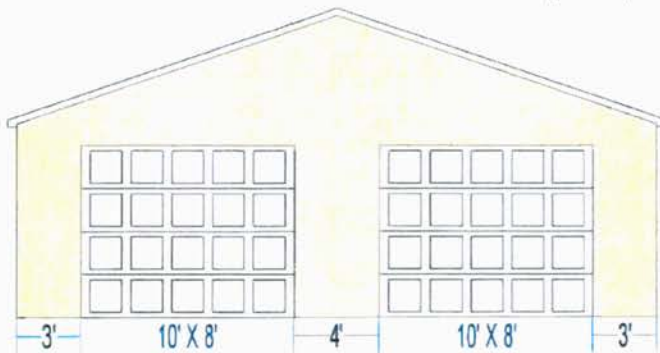
*Tax, labor, and delivery not included.

*** Take this sheet to the Building Materials counter to purchase your materials. ***

Floor type (concrete, dirt, gravel) is NOT included in estimated price. The floor type is used in the calculation of materials needed. Labor, foundation, steel beams, paint, electrical, heating, plumbing, and delivery are also NOT included in estimated price. This is an estimate. It is only for general price information. This is not an offer and there can be no legally binding contract between the parties based on this estimate. The prices stated herein are subject to change depending upon the market conditions. The prices stated on this estimate are not firm for any time period unless specifically written otherwise on this form. The availability of materials is subject to inventory conditions. MENARDS IS NOT RESPONSIBLE FOR ANY LOSS INCURRED BY THE GUEST WHO RELIES ON PRICES SET FORTH HEREIN OR ON THE AVAILABILITY OF ANY MATERIALS STATED HEREIN. All information on this form, other than price, has been provided by the guest and Menards is not responsible for any errors in the information on this estimate, including but not limited to quantity, dimension and quality. Please examine this estimate carefully. MENARDS MAKES NO REPRESENTATIONS, ORAL, WRITTEN OR OTHERWISE THAT THE MATERIALS LISTED ARE SUITABLE FOR ANY PURPOSE BEING CONSIDERED BY THE GUEST. BECAUSE OF THE WIDE VARIATIONS IN CODES, THERE ARE NO REPRESENTATIONS THAT THE MATERIALS LISTED HEREIN MEET YOUR CODE REQUIREMENTS. THE PLANS AND/OR DESIGNS PROVIDED ARE NOT ENGINEERED. LOCAL CODE OR ZONING REGULATIONS MAY REQUIRE SUCH STRUCTURES TO BE PROFESSIONALLY ENGINEERED AND CERTIFIED PRIOR TO CONSTRUCTION.

*** Here are the wall configurations for your design.

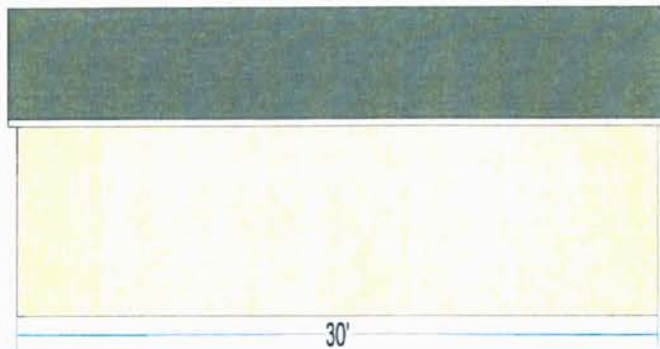
Illustration May Not Depict All Options Selected



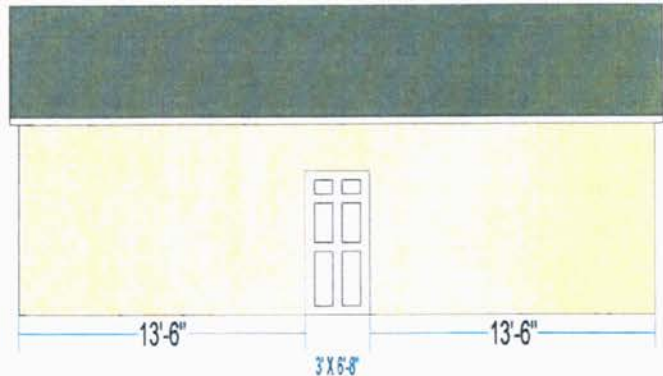
Gable Front View
(2) - GARAGE DOOR MDP38U 10X8 EZ-SET WHITE MDP38U INSUL



Gable Back View



Eave Front View



Eave Back View
(1) - PREHUNGSTE PH36RHSTEE CM-1 6-PANEL STEEL DOOR 36X80 RH PH

Building Size: 30 feet wide X 30 feet long X 9 feet high

Approximate Peak Height: 14 feet 4 inches (172 inches)

NOTE: Overhead doors may need to be "Wind Code Rated" depending on your building location.

Confirm the door requirements with your local zoning official before construction.

Menards-provided material estimates are intended as a general construction aid and have been calculated using typical construction methods. Because of the wide variability in codes and site restrictions, all final plans and material lists must be verified with your local zoning office. Menards is a supplier of construction materials and does not assume liability for design, engineering or the completeness of any material lists provided. Underground electrical, phone and gas lines should be located and marked before your building plans are finalized. Remember to use safety equipment including dust masks and sight and hearing protection during construction to ensure a positive building experience.

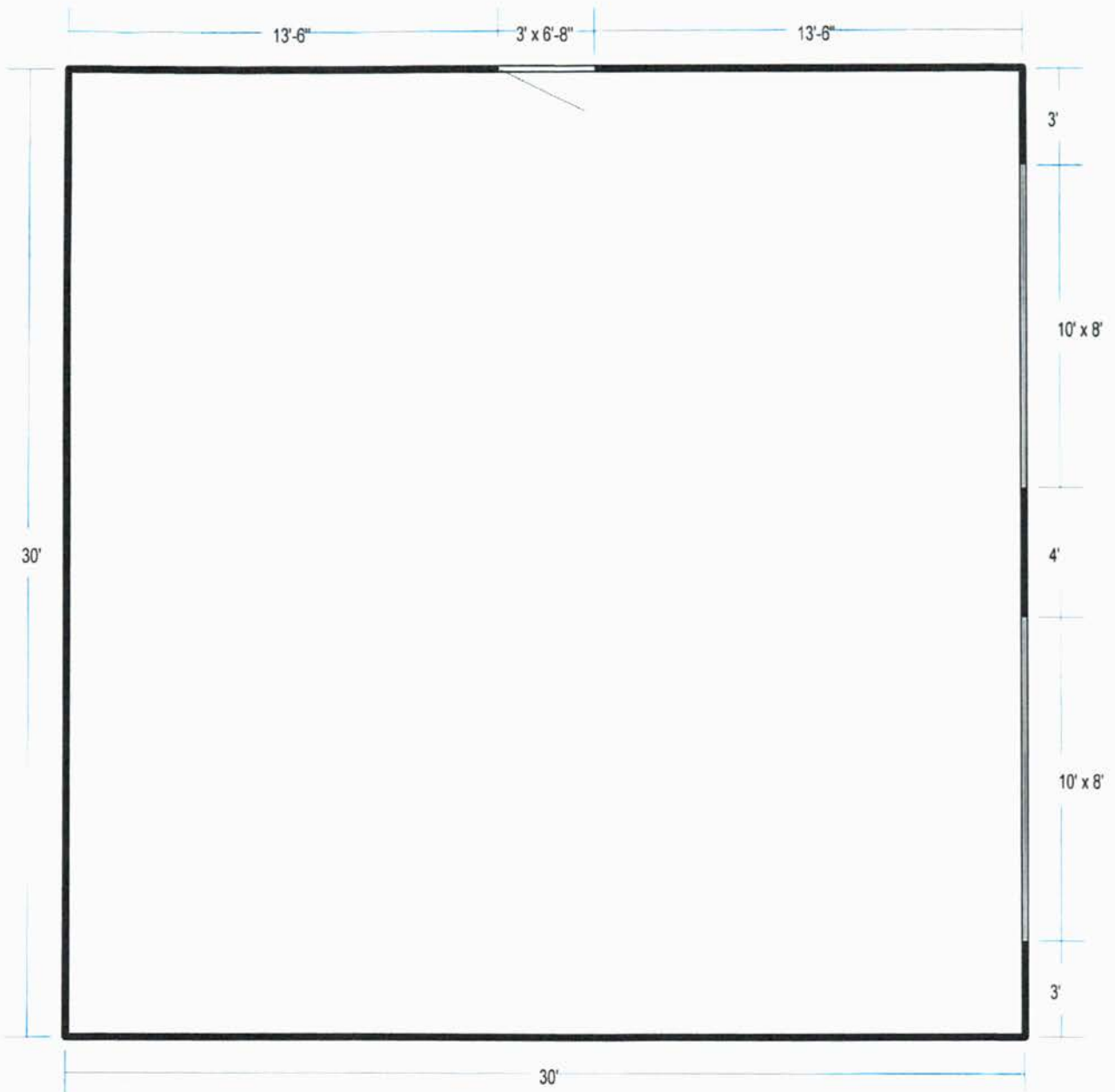
Estimate Id: 37642



Page 3 of 3
5/5/2017

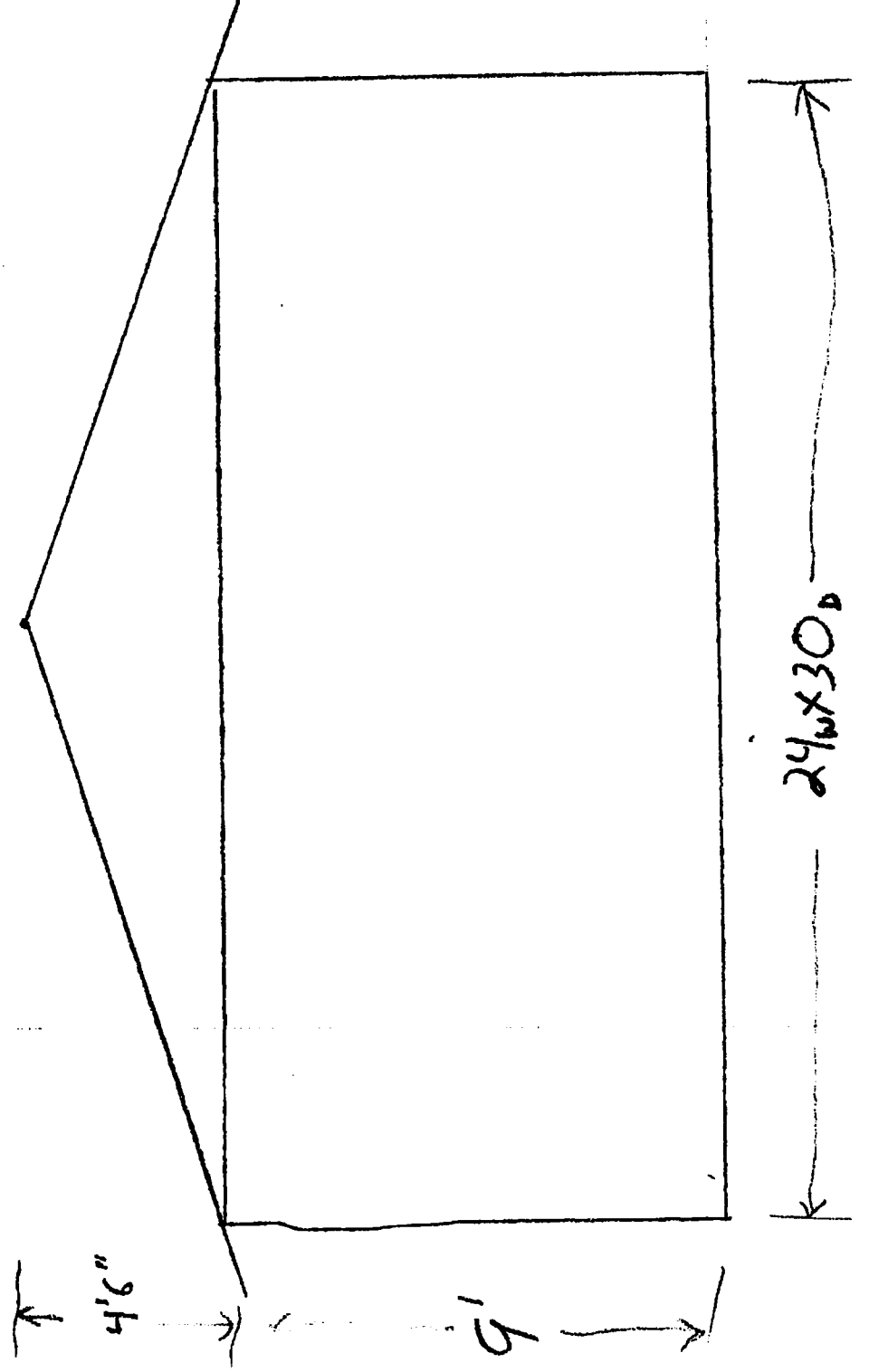
*** Garage Floor Plan.

Illustration May Not Depict All Options Selected



Building Size: 30 feet wide X 30 feet long X 9 feet high

Note: Wall construction is 2x4 @ 16" on center



JOB	OTREC0145198	TRUSS	Tr	Truss Type	COMMON	UTY	P/V	ALFANO
Midwest Mfg., HOLIDAY CITY, OH								
7.000 s Jan 3 2008 Mittek Industries, Inc. Tue Nov 17 11:12:33 2009 Page 1								
Job Reference (optional)								
-1-00-0-0	0-1-0	0-1-0	4-5-8	10-0-8	4-5-8	15-0-0	4-5-8	19-5-8
1-0-0	0-1-0	0-1-0	4-5-8	10-0-8	4-5-8	15-0-0	4-5-8	19-5-8
30-0-0	31-0-0	32-0-0	33-0-0	34-0-0	35-0-0	36-0-0	37-0-0	38-0-0
Scale - 1/8" = 1'-0"								

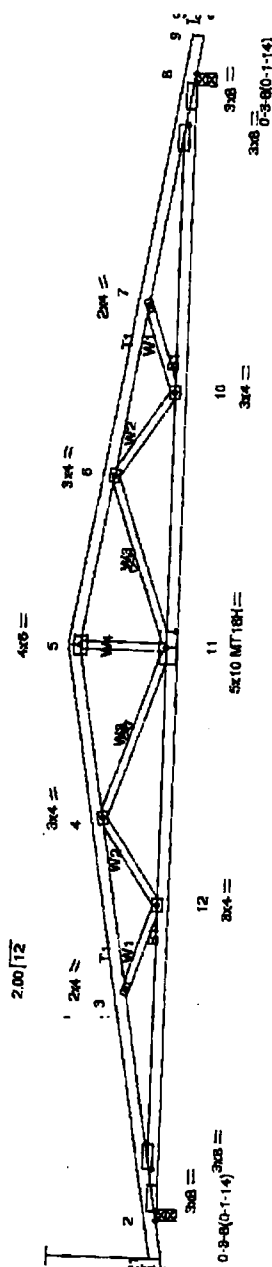
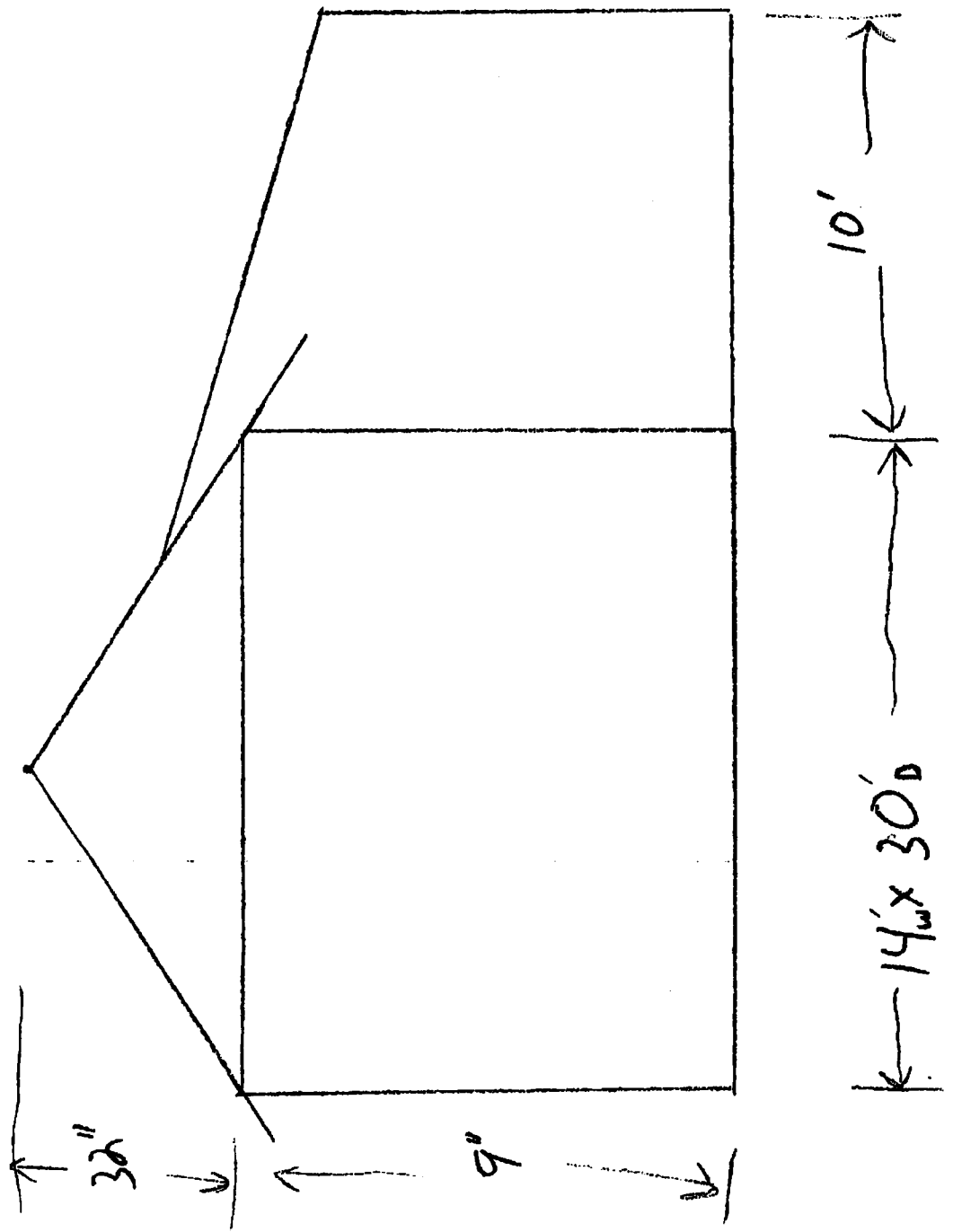


Plate Offsets (X,Y): [2-0-3-0] [2-1-4-0-0-1-12] [8-1-4-0-0-1-12] [8-0-3-0] [8-0-3-0] [11-0-5-0-0-3-0]									
LOADING (psf)	SPACING	CS	DEFL	Ver(L)	Ver(R)	Horz(L)	Horz(R)	PLATES	GRP
TCLL 30.0	Plates Increase 1.15	TC 0.88	in (bc)	-0.89 10-11	>402	240	n/a	MT20	197/144
TCDL 7.0	Lumber Increase 1.15	BC 0.90	Ver(TL)	-1.85 10-11	>218	180	n/a	MT18H	197/144
BCDL 0.0	Rep Stress Incr YES	WB 0.83	Horz(TL)	0.26	8	n/a	n/a		
BCDL 10.0	Code IFR2008/IF12002	(Matrix)							

BRACING									
TOP CHORD									
BOT CHORD									
WEBS									
Structural wood sheathing directly applied or 1-9-11 oc purlins.									
Right ceiling directly applied or 8-2-7 oc bracing.									
1 Row at midpt									
4-11, 8-11									

LUMBER
 TC 2 X 4 SPF 1850F 1.5E
 BC 2 X 4 SPF 2100F 1.6E
 WB 2 X 3 SPF Stud
 REACTIONS (Rsize) 2=1408/0-3-8, 8=1408/0-3-8
 Max Horz 2=35(LC 8)
 Max Lq 112=160(LC 9), 8=160(LC 10)
 Max Grav 2=1481(LC 2), 8=1481(LC 2)
 FORCES (b) - Max. Comp/Max. Ten. - All forces 250 (B) or less except when shown.
 TOP CHORD 2-3=638/964, 3-4=591/784, 4-5=4259/633, 5-6=4259/633,
 6-7=591/784, 7-8=638/964
 BOT CHORD 2-12=919/6254, 11-12=736/5273, 10-11=736/5273, 8-10=919/6254
 WEBS 3-12=631/219, 4-12=0/604, 4-11=1408/211, 5-11=91/1040, 6-11=1408/211,
 6-10=0/604, 7-10=631/219
 NOTES (12)
 1) Unbalanced roof live loads have been considered for this design.
 2) Wind: ASCE 7-05; 90mph; h=25ft; TCDL=1.2psf; BCDL=6.0psf; Category II; Exp B; enclosed; MWFRS (low-rise) gable end zone and C-C Exterior(2) zone; cantilever left and right exposed; end vertical left and right exposed; Lumber DOL=1.80 plate only DOL=1.80. This truss is designed for C-C for members and forces, and for MWFRS for reactions specified.
 3) TCDL: ASCE 7-05; P=30.0 psf (roof live load); Lumber DOL=1.15 Plate DOL=1.15; P=40.0 psf (ground snow); P=27.7 psf (roof snow); Lumber DOL=1.15 Plate DOL=1.15; Category II; Exp B; Fully Exp.; C=1.1
 4) Roof design snow load has been reduced to account for slope.
 5) Unbalanced snow loads have been considered for this design.
 (Continued on page 2)

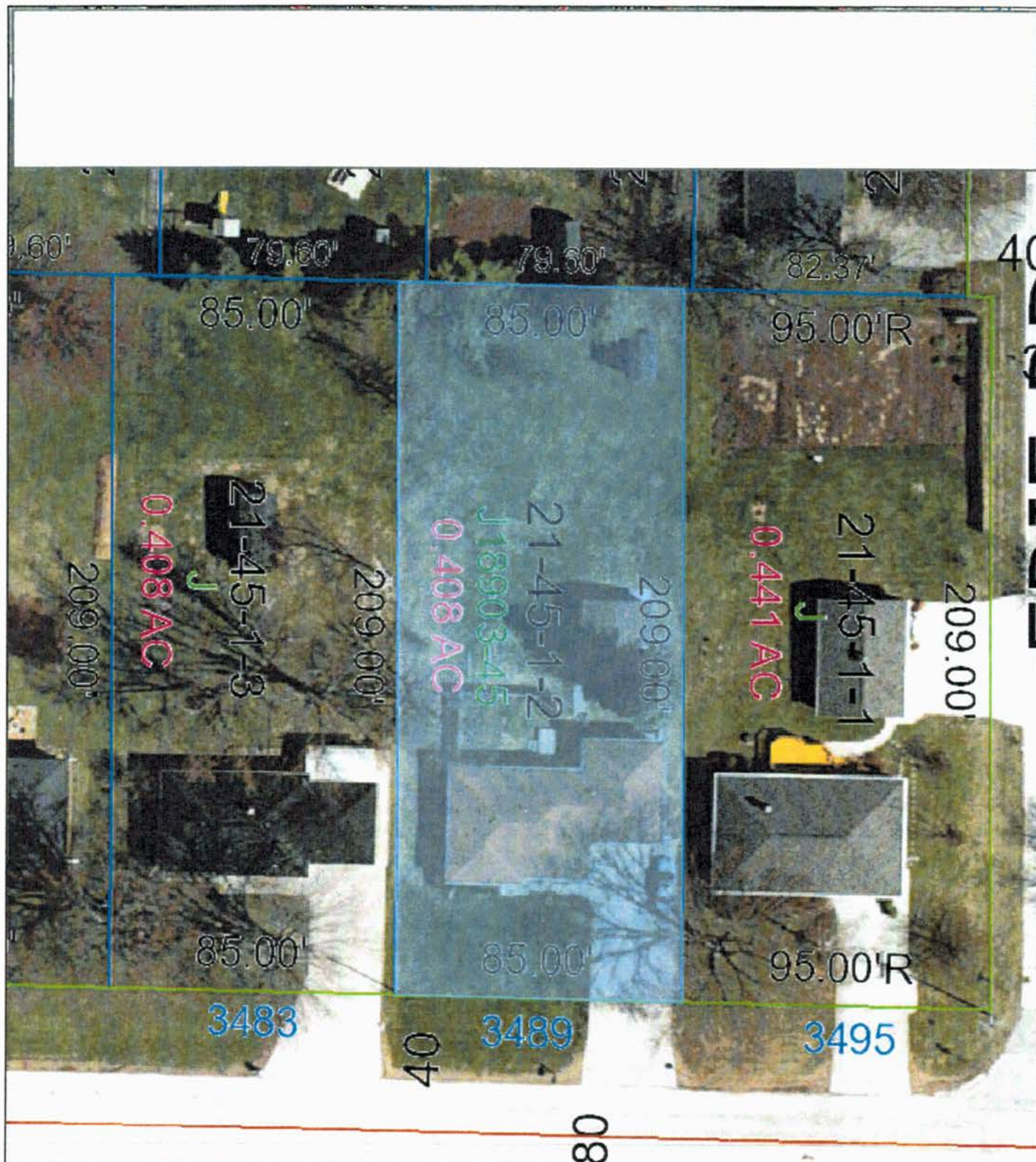


420 sq ft

720 sq ft

30 ft Truss 5'-11" Tall

[illegible]



a compilation of records and data located in
s City of Green Bay offices and is to be used for
nce purposes only. City of Green Bay is not
isible for any inaccuracies or unauthorized use of
ormation contained within. No warranties are
d.



Scale 1:441

3482

3488



a compilation of records and data located in
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 ormation contained within. No warranties are
 d.



Scale 1:441

Building Plan For 3489 Finger Rd.

Fall of 2018

Pour Concrete floor for new garage

Spring of 2019

Tear Down Mini Barn

Remove additions To one stall Garage
and load on hay wagon To Remove

Or - If buyer is NOT found Tear down
Building and Recycle as much as possible.

Tim Wanner
468-6827



Report to the
Zoning & Planning Board of Appeals
of the City of Green Bay

MEETING DATE

October 17, 2018

PREPARED BY

Paul Neumeyer, Staff

AGENDA ITEM # D.2.

Roy Schneider, on behalf of Green Bay Packaging, property owner, proposes to expand an existing structure in a General Industrial (GI) District at 831 Radisson Street. The applicant requests to deviate from the following requirements in Chapter 13, Green Bay Zoning Code, Section 13-908, Table 9-2, impervious coverage and Section 13-1706(a), driveway width. (Ald. K. Lefebvre, District 6).

BACKGROUND**RECOMMENDATION****FISCAL IMPACT****ATTACHMENTS**

- I. 831 Radisson St



Zoning & Planning Board of Appeals

VARIANCE APPLICATION

Department of Community
and Economic Development
100 N. Jefferson Street, Rm 608
Green Bay, WI 54301-5026
(920) 448-3300 - phone
(920) 448-3426 - fax
www.greenbaywi.gov

Application Deadline: First Tuesday of the Month at 12 Noon.

Date: 09/26/2018 Project Address: 1910 N Quincy Street Project #: 74587 Appeal #: 18-066

PROPERTY OWNER	APPLICANT INFORMATION
Name: Green Bay Packaging-Roy Schneider, VP-General Mgr.	Name: Same as Owner
Address: 831 Radisson Street	Address:
City, State, Zip Green Bay WI 54302	City, State, Zip
Phone: 920-433-5230	Phone:
Email: rschneider@gbp.com	Email:

Describe proposed plan: See Attached

List variances required to implement the proposed plan (include ordinance numbers and short explanation of each):
See Attached

Describe what hardships are imposed by zoning ordinances listed in section above making conformity unfeasible or unnecessarily burdensome:
See Attached

Describe what unique physical characteristics affect this property which prevent you from complying with the zoning ordinance:
See Attached

Describe how granting this variance will neither harm public interest nor undermine the purpose of the ordinance:
See Attached

Prepare and submit a copy of a site plan (NO LARGER THAN 11X17) detailing your request completely and any additional information which will support your variance request.

Signature of Applicant: Roy Schneider Date: 9/28/18

OFFICE USE ONLY:	Parcel# 20-682	Residential \$75	Commercial \$150 ☒
District: 6 Zoning: GI	Meeting Date:	Receipt #:	



September 28, 2018

Green Bay Packaging, Inc – Corrugated Shipping Container Addition
831 Radisson Street
Green Bay WI

PROPOSAL

Green Bay Packaging Inc. is seeking approval to construct a 123,732 SF corrugated shipping container addition to the north side of their existing facility located at 831 Radisson Street. The total property area is 15.42 acres; the property is zoned GI (General Industry). The manufacturing use is a permitted use in the GI District.

Proposed site improvements will include demolition of the existing U.S. Oil building on the north side of the property. The current US Oil drive entrance off of Quincy St will remain in the current location and US Oil and Green Bay Packaging will share access. The drive will be modified and repaved with heavy duty asphalt. Eleven (11) concrete loading docks are proposed on the north side of the addition. Two new light poles are proposed along the north side of the proposed pavement. The limits of the US Oil security fence will be modified to secure the US Oil property limits.

Green Bay Packaging, Inc. respectfully asks for relief from zoning regulations for impervious lot coverage and driveway width. A summary of the requested exceptions includes:

1. Impervious Lot Coverage: Chapter 13-908, Table 9-2 of the Green Bay Zoning Code limits impervious lot coverage to a maximum of 80% of the lot area. The project site totals 15.42 acres (671,812 square feet) of lot area; current impervious surface area totals 13.08 acres (569,651 square feet) or 84.8% of the lot area. Proposed total impervious area is 14.87 acres (647,579 square feet) or 96.4% of the lot area.
2. Driveway Width: Chapter 13-1706(a) of the Green Bay Zoning Code limits the width of two-way drives on North Quincy Street to a maximum width of 25 feet at the property line and 35 feet at the curb line. The existing driveway is 41.89 feet wide at the property line and 62.3 feet wide at the curb line. The proposed driveway is 38.16 feet wide at the property line and 89.89 feet wide at the curb line.

HARDSHIP

1. **Impervious Lot Coverage:** One of the processes that currently occur at this facility is the manufacture of corrugated shipping containers; the proposed expansion will not result in a change in the use. The expansion will allow Green Bay Packaging the ability to increase the rate of production of the corrugated shipping containers to meet market demands for the product. The size of the proposed addition and concrete truck maneuver area and loading dock approach area is that which is minimally required to house the equipment, paper rolls for the production of corrugated board, finished corrugated board, and the finished product (corrugated shipping containers); and to provide adequate area to safely maneuver incoming and outgoing transport trucks. Strict compliance with the Code would be unreasonably burdensome and prevent Green Bay Packaging from modernizing this process line and make the most efficient use of the property for a permitted purpose.
2. **Driveway Width:** As noted earlier, the driveway will be shared by Green Bay Packaging and U.S. Oil; semi-trucks with trailers (cargo trailers or tanker trailers) from both companies will utilize the proposed driveway. While the width of the proposed driveway at the curb line represents an increase from that of the existing U.S. Oil driveway, the width of the proposed driveway measured at the property line will decrease from that of the existing. The increased width of the driveway flares is required to provide safe and efficient two-way traffic movement for transport vehicles. Strict compliance with the Code is not feasible as a narrower driveway will result in unsafe and inefficient traffic conditions due to conflicting ingress/egress movements.

UNIQUE PROPERTY CHARACTERISTICS

1. **Impervious Lot Coverage:** The Green Bay Packaging facility at 831 Radisson Street is adjacent to a U.S. Oil "tank farm" (petroleum storage and distribution facility). These uses have existed at the present location prior to 1960. In response to market demand and technological advances, the Green Bay Packaging facility has evolved to what it is today. The process flow layout has also evolved over time and dictates the current and future site development/plant expansion. To facilitate the proposed Green Bay Packaging expansion, Green Bay Packaging purchased property from U.S. Oil. Due to the nature of the U.S. Oil property use, the need for spill containment measures restricted the amount of land available for purchase by Green Bay Packaging.
2. **Driveway Width:** As noted above, Green Bay Packaging and the petroleum storage and distribution facility have existed at the present location prior to 1960. To provide for safe and unimpeded vehicle ingress and egress movements via the shared driveway for both users, the shared driveway as proposed (in excess of the maximum widths permitted by Code) is required.

NO HARM TO PUBLIC INTEREST

The subject property and all adjacent properties in the immediate area of the proposed manufacturing addition and shared driveway reconstruction are zoned General Industry; the current uses are permitted. The proposed development (impervious surface in excess of the maximum permitted by Code and driveway width as permitted by Code) will not harm the public interest or nearby properties; nor will it undermine the purposes of the Code.

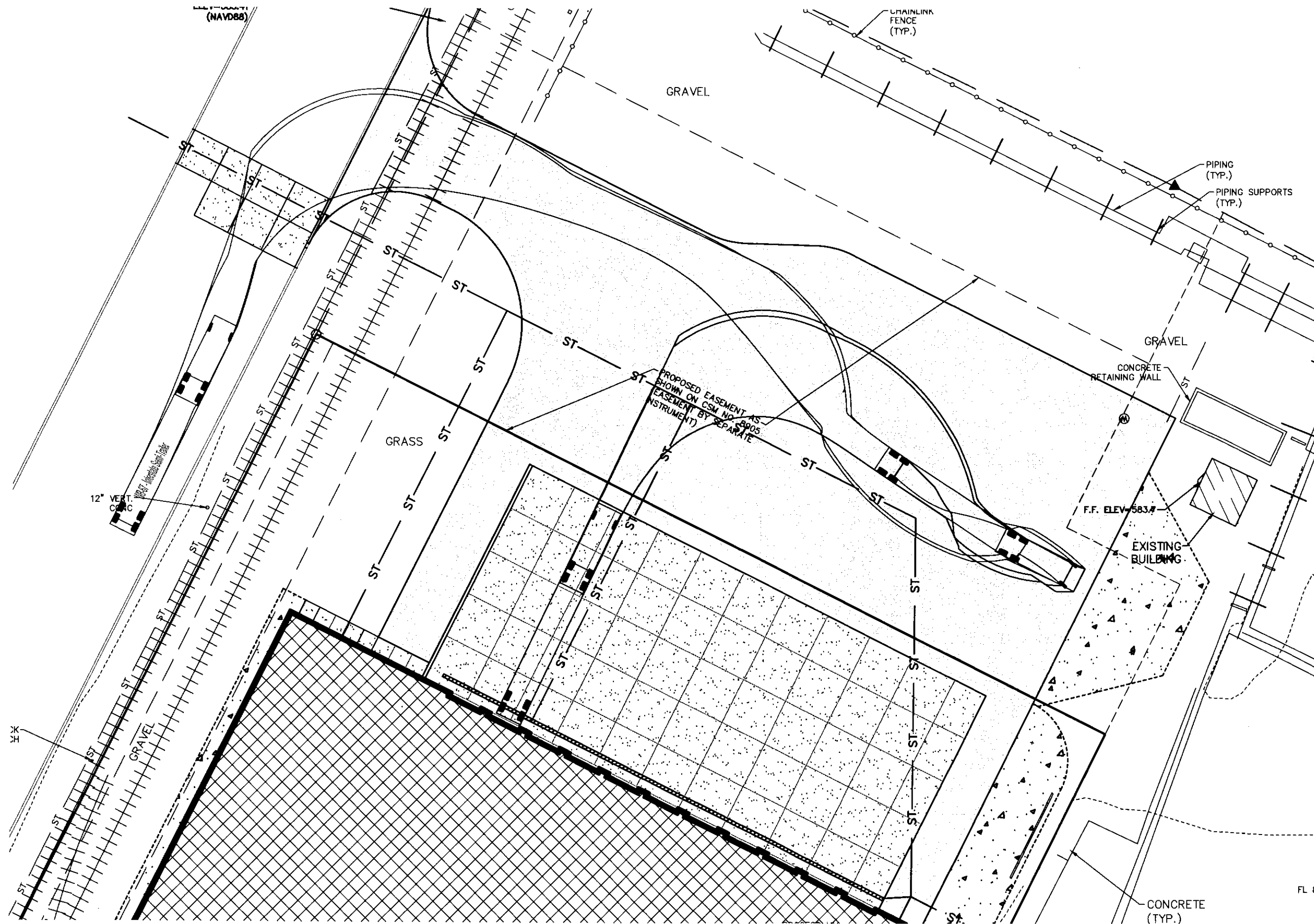
1. Impervious Lot Coverage: The Code regulates lot coverage and the size/location of structures to prevent overcrowding and to provide adequate light, air, sanitation, and drainage. The proposed addition complies with all required setbacks. The impervious surface area in excess of the Code allowed 80% will not restrict natural lighting, nor will it restrict air circulation. The site is served by municipal sanitary sewer and all refuse is stored internally for recycling or landfill. Stormwater will drain to inlets located north of the loading dock. Storm sewer from the site will be conveyed to the proposed storm sewer which will drain the storm water to a proposed regional stormwater pond to the north of the site. The regional pond will be designed by OMNNI Associates and is scheduled to be constructed spring of 2019.
2. Driveway Width: The Code contains standards for parking, loading, and access to promote the safety and efficiency of streets and highways. As noted previously, the increased width of the driveway is required to allow safe and efficient two-way transport vehicle movements from the public street into the site and from the site to the public street.

Green Bay Packaging, 831 Radisson Street, Green Bay WI



A map key (legend) and other information about this map is available at: maps.gis.co.brown.wi.us
Geographic Information System (GIS) data provided by: Brown County Planning & Land Services Department
Brown County is not responsible for user-drawn graphics that may have been added to this GIS base map.
This map is intended for advisory purposes only. It is based on sources believed to be reliable, but Brown County distributes this information on an "As Is" basis. No warranties are implied. Boundaries shown on this map are general representations only and should not be used for legal documentation, boundary survey determinations, or other property boundary issues.

08/08/2018
Scale 1:1800



FL 8



TRUCK TURN EXHIBIT

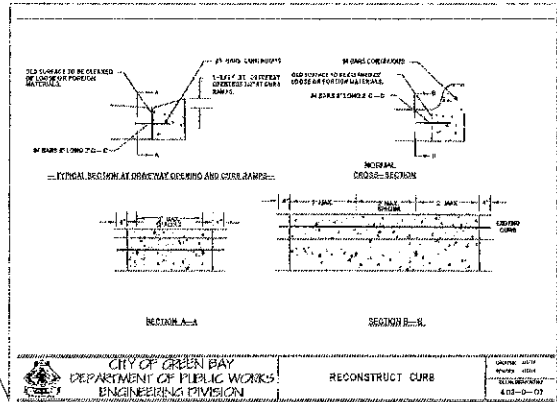
SITE INFORMATION:
PROPERTY AREA: AREA = 671,812 S.F. (15.42 ACRES).
EXISTING ZONING: GENERAL INDUSTRY (G1)
PROPOSED ZONING: GENERAL INDUSTRY (G1)
PROPOSED USE: SHIPPING CONTAINER PLANT ADDITION
AREA OF SITE DISTURBANCE: 200,506 SF (4.60 AC)
SETBACKS: BUILDING: FRONT = 0'
SIDE = 0'
REAR = 0'
PAVEMENT: FRONT = 0'
SIDE = 0'
REAR = 0'
PROPOSED BUILDING HEIGHT: 35' (MAX. HEIGHT ALLOWED: 35')
PARKING REQUIRED: 1 SPACE PER 1,000 S.F. UP TO 20,000 SF PLUS
1 SPACE PER 2,000 S.F. IN EXCESS OF 20,000 SF (238 SPACES REQ.)
PARKING PROVIDED: 387 SPACES (8 H.C. ACCESSIBLE)
HANDICAP STALLS REQUIRED: 8 HANDICAP STALLS PROVIDED: 8
BUILDING OCCUPANCY CLASSIFICATION = TYPE VB
CLASS OF BUILDING CONSTRUCTION = B - BUSINESS

RAILROAD NOTE:
CONTRACTOR TO CONTRACT JACKIE MACEWICZ MINIMUM 3 WEEKS PRIOR TO ANY WORK WITHIN 25' FROM THE RAILROAD TRACKS TO OBTAIN A RIGHT OF ENTRY PERMIT. ON RAILROAD FLAGGER TO BE PRESENT ONSITE WHENEVER WORK IS TO BE DONE WITHIN 25' OF THE RAILROAD. COORDINATE FLAGGER WITH JACKIE. CONTACT JACKIE AT 715-345-2503 OR jackie.macewicz@cn.ca

EXISTING SITE DATA			
	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	15.42	671,812	
BUILDING FLOOR AREA	7.67	332,200	49.4%
PAVEMENT (ASP. & CONC.)	4.45	237,451	35.3%
TOTAL IMPERVIOUS	12.06	569,651	84.8%
LANDSCAPE/ OPEN SPACE	2.35	102,161	15.2%

PROPOSED SITE DATA			
	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	15.42	671,812	
BUILDING FLOOR AREA	10.47	456,060	67.9%
PAVEMENT (ASP. & CONC.)	6.46	331,019	49.4%
TOTAL IMPERVIOUS	14.97	647,078	96.4%
LANDSCAPE/ OPEN SPACE	0.96	24,733	3.6%

- NOTES:**
1. THE CITY OF GREEN BAY DEPT. OF PUBLIC WORKS MUST BE NOTIFIED (3) WORKING DAYS BEFORE THE START OF ANY STREET CONSTRUCTION WITHIN A PUBLIC RIGHT OF WAY OR EASEMENT. CONTACT MATT WOICEK, PH. (920) 448-3100.
 2. THE CITY OF GREEN BAY DEPT. OF PUBLIC WORKS MUST BE NOTIFIED (3) WORKING DAYS BEFORE THE START OF ANY SANITARY SEWER OR STORM SEWER CONSTRUCTION WITHIN A PUBLIC RIGHT OF WAY OR EASEMENT. CONTACT MATTHEW HECKENLAIBLE, PH. (920) 448-3100.
 3. THE CITY OF GREEN BAY WATER DEPT. MUST BE NOTIFIED (3) WORKING DAYS BEFORE THE START OF ANY WATER MAIN CONSTRUCTION WITHIN A PUBLIC RIGHT OF WAY OR EASEMENT. CONTACT CONTACT BRIAN POWELL, PH. (920) 448-3480.
 4. CONTRACTOR TO PROVIDE TRACKING PAD AT ANY ENTRANCE/EXIT FOR CONSTRUCTION TRAFFIC.
 5. CONTRACTOR TO PROVIDE TEMPORARY PAVEMENT REPAIR UNTIL THE CITY OF GREEN BAY CAN PERMANENTLY REPAIR THE STREET. COST OF PERMANENT STREET REPAIR WILL BE AT THE COST OF THE CONTRACTOR ON THE PERMIT.



PROPOSED ADDITION FOR:
GREEN BAY PACKAGING
831 RADISSON ST • GREEN BAY, WI



PROJECT INFORMATION
PROJECT NUMBER: 1760320

PROFESSIONAL SEAL

SHEET DATES
ISSUE DATE: AUG. 31, 2018
REVISIONS:
AD1: SEPT. 14, 2018

SHEET INFORMATION
SITE PLAN
SHEET NUMBER: **C1.2**



Report to the
Zoning & Planning Board of Appeals
of the City of Green Bay

MEETING DATE

October 17, 2018

PREPARED BY

Paul Neumeyer, Staff

AGENDA ITEM # D.3.

Daniel Ditscheit, on behalf of the City of Green Bay, property owner, proposes to install a ferris wheel at the Bay Beach Amusement Park in a Public Institutional (PI) District at 1313 Bay Beach Road. The applicant requests to deviate from the following requirement in Chapter 13, Green Bay Zoning Code, Section 13-515(e) waterway setback (Ald. K. Lefebvre, District 6).

BACKGROUND**RECOMMENDATION****FISCAL IMPACT****ATTACHMENTS**

- I. 1313 Bay Beach Rd



Zoning & Planning Board of Appeals

VARIANCE APPLICATION

Department of Community
and Economic Development
100 N. Jefferson Street, Rm 608
Green Bay, WI 54301-5026
(920) 448-3300 - phone
(920) 448-3426 - fax
www.greenbaywi.gov

Application Deadline: First Tuesday of the Month at 12 Noon.

Date: 10/2/18 Project Address: 1313 Bay Beach Rd Project #: 74760 Appeal #: 18-067

PROPERTY OWNER	APPLICANT INFORMATION
Name: City of Green Bay	Name: Daniel Ditscheit
Address: 1313 Bay Beach Rd	Address: 100 N Jefferson St
City, State, Zip: Green Bay, WI 54302	City, State, Zip: Green Bay, WI 54301
Phone: 920-448-3365	Phone: 920-448-3381
Email: Dandi@greenbaywi.gov	Email: Dandi@greenbaywi.gov

Describe proposed plan:

The Parks Department is proposing the installation of a Giant Ferris Wheel at Bay Beach Amusement Park adjacent to the Green Bay shoreline.

List variances required to implement the proposed plan (include ordinance numbers and short explanation of each):

Chapter 13 - Zoning Ordinance, Subchapter 13.500, Division 4 - Protection of Natural Features, Sec. 13.515, (e) - Waterway setback states

"There shall be a building setback of 50 feet from the bulkhead line or ordinary high water mark, whichever provides the greater landward distance, of all waterways within the city, as described on map C of subsection 13.2013(c)(3). There shall be no building, or alteration of existing buildings, within such setback area.

These areas shall include, but are not limited to: (1) Green Bay shore"

Describe what hardships are imposed by zoning ordinances listed in section above making conformity unfeasible or unnecessarily burdensome:

The proposed location for the Giant Ferris Wheel is within the current 50' ordinary high water mark.

Describe what unique physical characteristics affect this property which prevent you from complying with the zoning ordinance:

The placement of the Giant Ferris Wheel is to allow users the best possible view of the Bay from the ride and is an important part of the Bay Beach Amusement Park Master Plan.

In addition, a portion of the tracks for an existing train ride will be modified to accommodate the new ride.

Describe how granting this variance will neither harm public interest nor undermine the purpose of the ordinance:

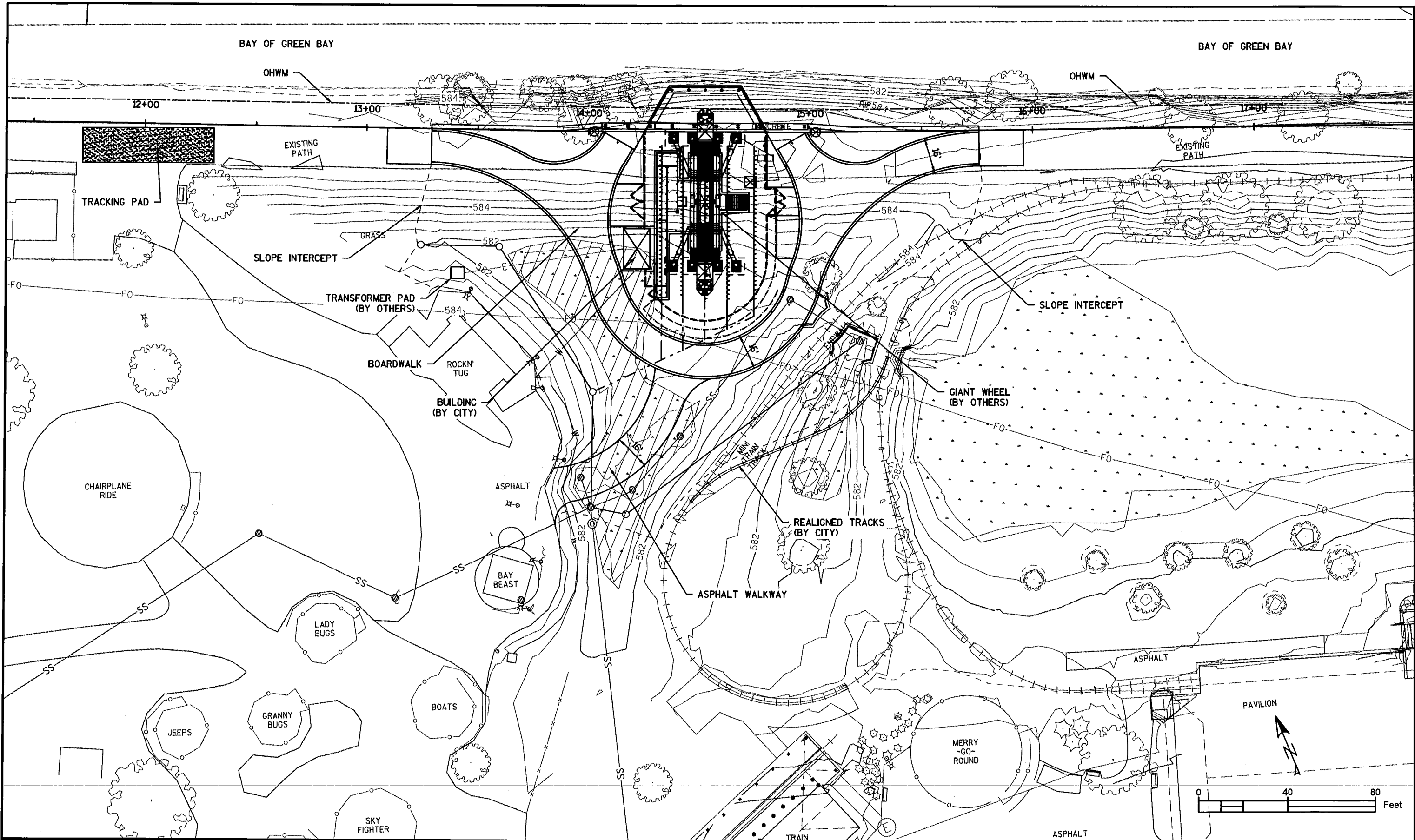
Granting this variance will neither harm public interest nor undermine the purpose of the ordinance because the Parks Department is proposing the installation of a swimming beach as the next phase of the overall plan. The installation of the sand for the swimming beach will extend the current ordinary high water mark further into the Bay creating a new ordinary high water mark. Once the sand is installed, the new ordinary high water mark will allow the structure to meet City Ordinance requirements.

Prepare and submit a copy of a site plan (NO LARGER THAN 11X17) detailing your request completely and any additional information which will support your variance request.

Daniel Ditscheit
Signature of Applicant

10/2/18
Date

OFFICE USE ONLY:	Parcel# <u>27440-1</u>	Residential \$75 <u>0</u> - City Commercial \$150 <u>0</u>
District: <u>6</u> Zoning: <u>PI</u>	Meeting Date: <u>10/15/18</u>	Receipt #:



REV.	DATE	DESCRIPTION
1	09/24/2018	ISSUES & REVISIONS
THE INFORMATION CONTAINED ON THESE DRAWINGS IS FOR USE ON THIS PROJECT ONLY		

Owner/Client:

CITY OF GREEN BAY
PARKS, RECREATION, FORESTRY DEPARTMENT

PATRICK
ENGINEERING

480 Pilgrim Way, Suite 1250
Green Bay, WI 54304
TEL. (920) 321-2330
www.patrickco.com

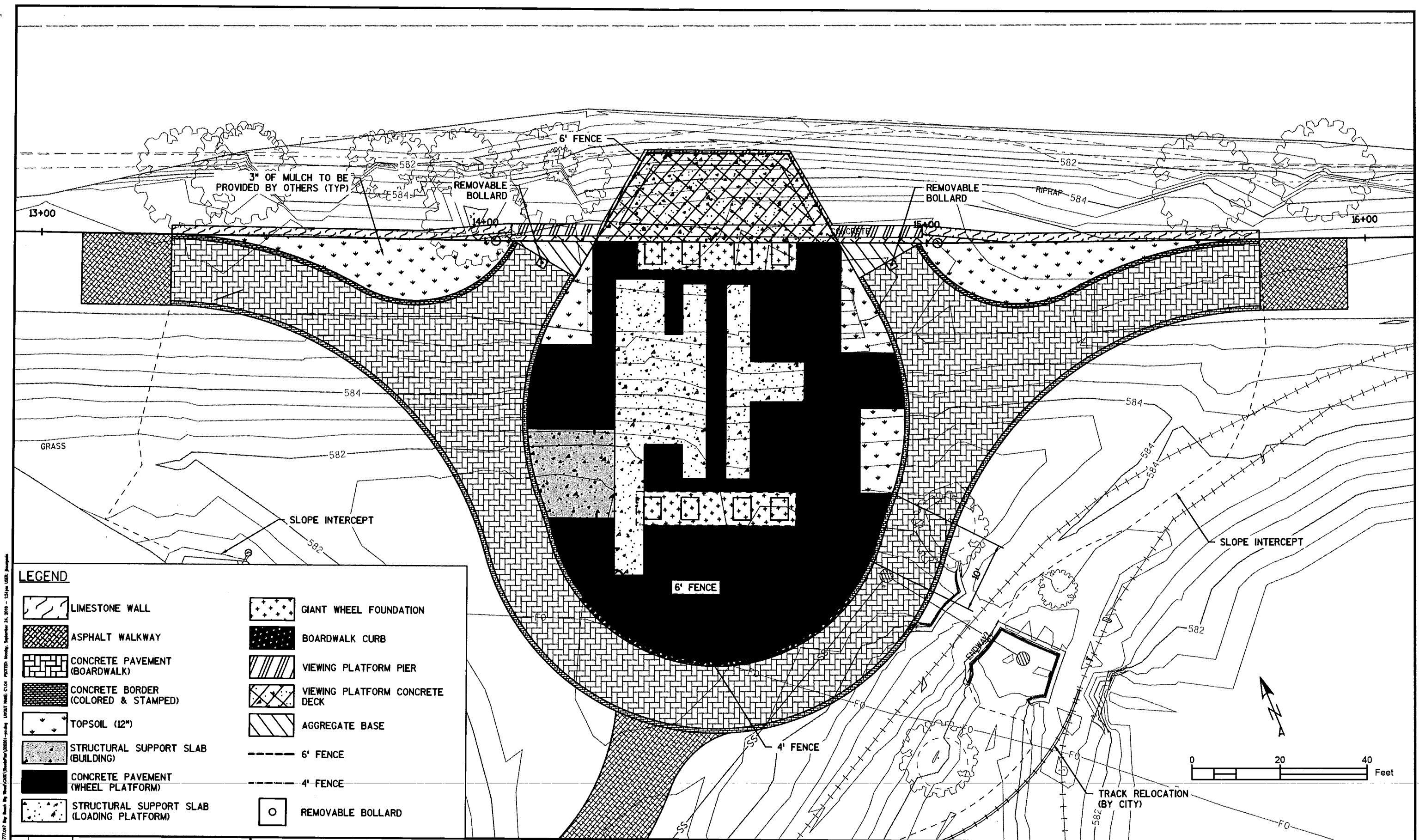
Project: **BAY BEACH
GIANT WHEEL PROJECT**

Sheet Title: **PROJECT OVERVIEW**

Project No.:	21777.047	Date:	09/24/2018
Designed By:	RH	C1.03	
Drawn By:	JCB		
Checked By:	RH		
Approved By:	RH		

FILE NAME: P:\Green Bay\Projects\Green Bay C1.03\1777.047 Bay Beach Big Wheel\DWG\1777.047-Overview.dwg PLOTTER: HPGL-RT, September 24, 2018 - 1:51 pm USER: jcb

FILE NAME: P:\Green Bay\Projects\Green Bay C1.04\21777\047 Bay Beach Big Wheel\21777-047.dwg PLOTTER: HPGL, September 24, 2018 - 1:51pm USER: jacobc



LEGEND

LESTONE WALL	GIANT WHEEL FOUNDATION
ASPHALT WALKWAY	BOARDWALK CURB
CONCRETE PAVEMENT (BOARDWALK)	VIEWING PLATFORM PIER
CONCRETE BORDER (COLORED & STAMPED)	VIEWING PLATFORM CONCRETE DECK
TOPSOIL (12")	AGGREGATE BASE
STRUCTURAL SUPPORT SLAB (BUILDING)	6' FENCE
CONCRETE PAVEMENT (WHEEL PLATFORM)	4' FENCE
STRUCTURAL SUPPORT SLAB (LOADING PLATFORM)	REMOVABLE BOLLARD



REV.	DATE	DESCRIPTION
ISSUES & REVISIONS		
THE INFORMATION CONTAINED ON THESE DRAWINGS IS FOR USE ON THIS PROJECT ONLY		

Owner/Client:

CITY OF GREEN BAY
PARKS, RECREATION, FORESTRY DEPARTMENT

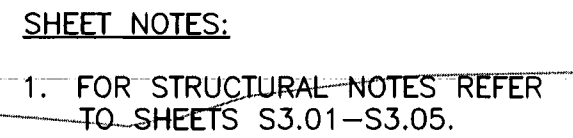
PATRICK ENGINEERING

480 Pilgrim Way, Suite 1250
Green Bay, WI 54304
TEL. (920) 321-2330
www.patrickco.com

Project: **BAY BEACH GIANT WHEEL PROJECT**

Sheet Title: **PROJECT OVERVIEW**

Project No.: 21777.047	Date: 09/24/2018
Designed By: RH	C1.04
Drawn By: JCB	
Checked By: RH	
Approved By: RH	



Project No.: 21777.047		Date: 09/24/2018
Designed By:	RH	S1.02
Drawn By:	JCB	
Checked By:	RH	
Approved By:	RH	

1. CONDUIT SUB-UPS AT FERRIS WHEEL LEG PEDESTALS ARE SIMILAR. SEE PEDESTAL G SECTION DETAILS ON SHEET E2.05 FOR SIMILAR INSTALLATION AT PEDESTALS B, C, AND F.
2. REFER TO ELECTRICAL DRAWINGS WITH SCHEDULES, DETAILS & ELEVATIONS IN THIS SET FOR MORE INFORMATION.
3. UTILITY TRANSFORMER, CONCRETE PAD, AND GROUNDING PROVIDED BY UTILITY.
4. CT METERING WALL CABINET MOUNTED AT 24" ABOVE GRADE ON THE EXTERIOR OF THE MCC BUILDING. UTILITY TO PROVIDE CTs. ELECTRICAL CONTRACTOR TO PROVIDE CT METERING CABINET WITH RACEWAY FOR THE SERVICE LATERAL ENTRANCE AT THE CT CABINET, AND GROUNDING PER UTILITY SPECIFICATIONS. COORDINATE EXACT LOCATION IN THE FIELD.
5. PRIMARY CONDUITS AND CABLES FURNISHED AND INSTALLED BY UTILITY.
6. EC TO PROVIDE (1) 4" PVC SCHEDULE 80 CONDUIT FROM THE CT CABINET TROUGH COMPARTMENT TO A STUB OUT LOCATION ACROSS THE BOARDWALK AS SHOWN. STUB AND CAP CONDUIT AND MARK WITH TAPE FOR CONNECTION WITH UTILITY. TRENCH AND BACKFILL PER CITY OF GREEN BAY STANDARD SPECIFICATIONS.
7. UTILITY TO PROVIDE (1) 4" PVC CONDUIT FROM THE TRANSFORMER TO THE STUB OUT LOCATION. UTILITY TO PROVIDE SECONDARY CABLES FROM THE TRANSFORMER TO THE CT CABINET.
8. RUN (1) 2" PVC CONDUIT THROUGH PIER 1 PILE CAP EMBEDDED IN CONCRETE BEAM AND EXIT THE CONCRETE BEAM AT THE NORTH FACE OF PIER 2 AT 6" BELOW TOP OF CONCRETE. STUB OUT, SEAL WEATHER TIGHT AND SECURE FOR FUTURE PIER LIGHTS USE.
9. RUN (1) 2" PVC CONDUIT TO THE WEST AND TERMINATE ACROSS THE BOARDWALK IN PULL BOX PB-2. STUB OUT, SEAL WEATHER TIGHT AND SECURE FOR FUTURE WEST BOARDWALK LIGHTS.
10. RUN (1) 2" PVC CONDUIT TO THE SOUTH/EAST AND TERMINATE EAST OF THE BOARDWALK IN PULL BOX PB-3. STUB OUT, SEAL WEATHER TIGHT AND SECURE FOR FUTURE EAST BOARDWALK LIGHTS.

ALL WIRE CONNECTIONS AND CONDUIT STUB-OUTS UNDER GROUND AND WITHIN 2 FEET ABOVE BASE FLOOD ELEVATION SHALL BE SEALED WEATHER TIGHT

[illegible]

**CITY OF GREEN BAY
PARKS, RECREATION, FORESTRY DEPARTMENT**



480 Pilgrim Way, Suite 1250
Green Bay, WI 54304
TEL. (920) 321-2330
www.patrickco.com

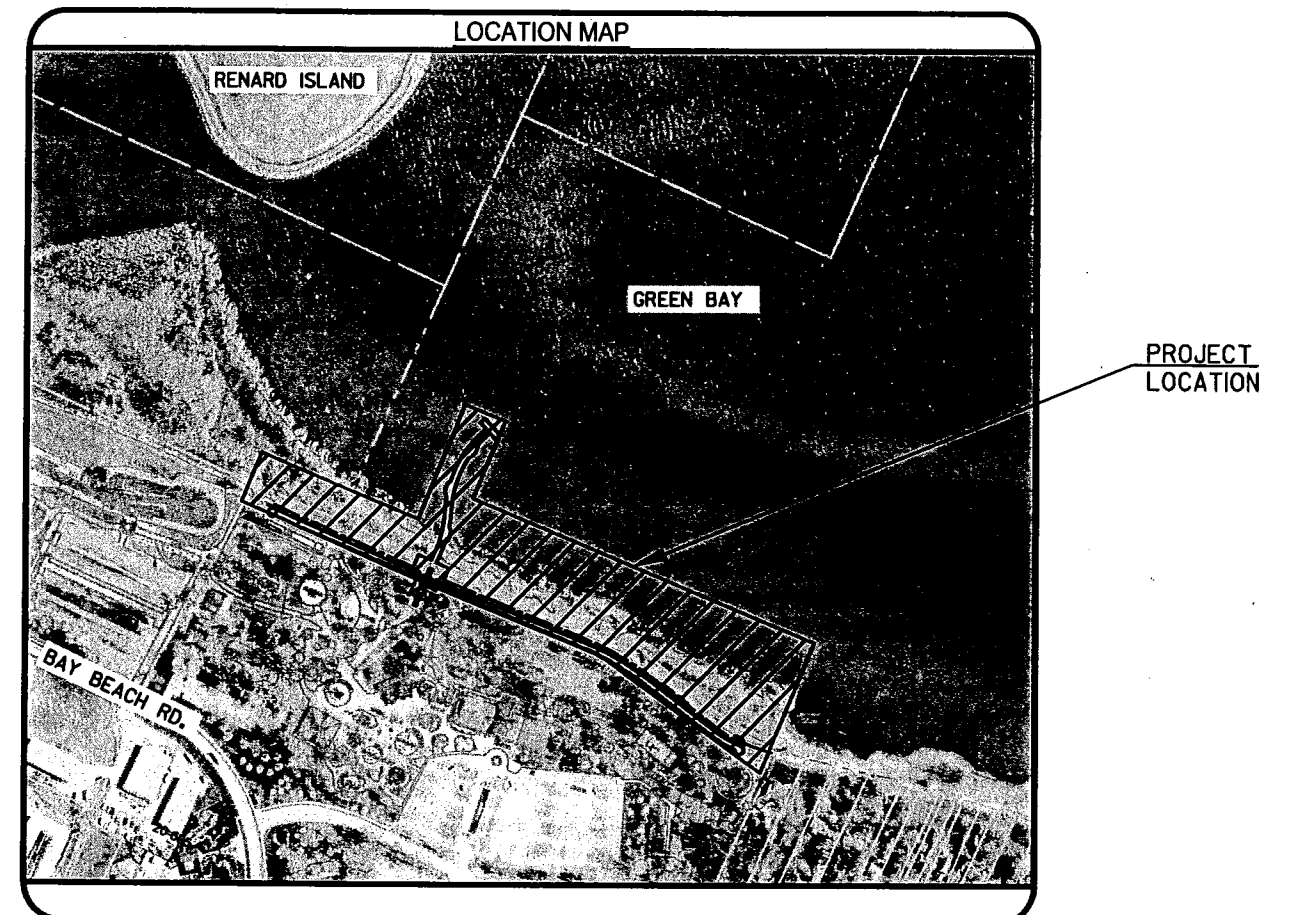
BAY BEACH GIANT WHEEL PROJECT

ELECTRICAL SITE LAYOUT AND CONDUIT ROUTING

HEF

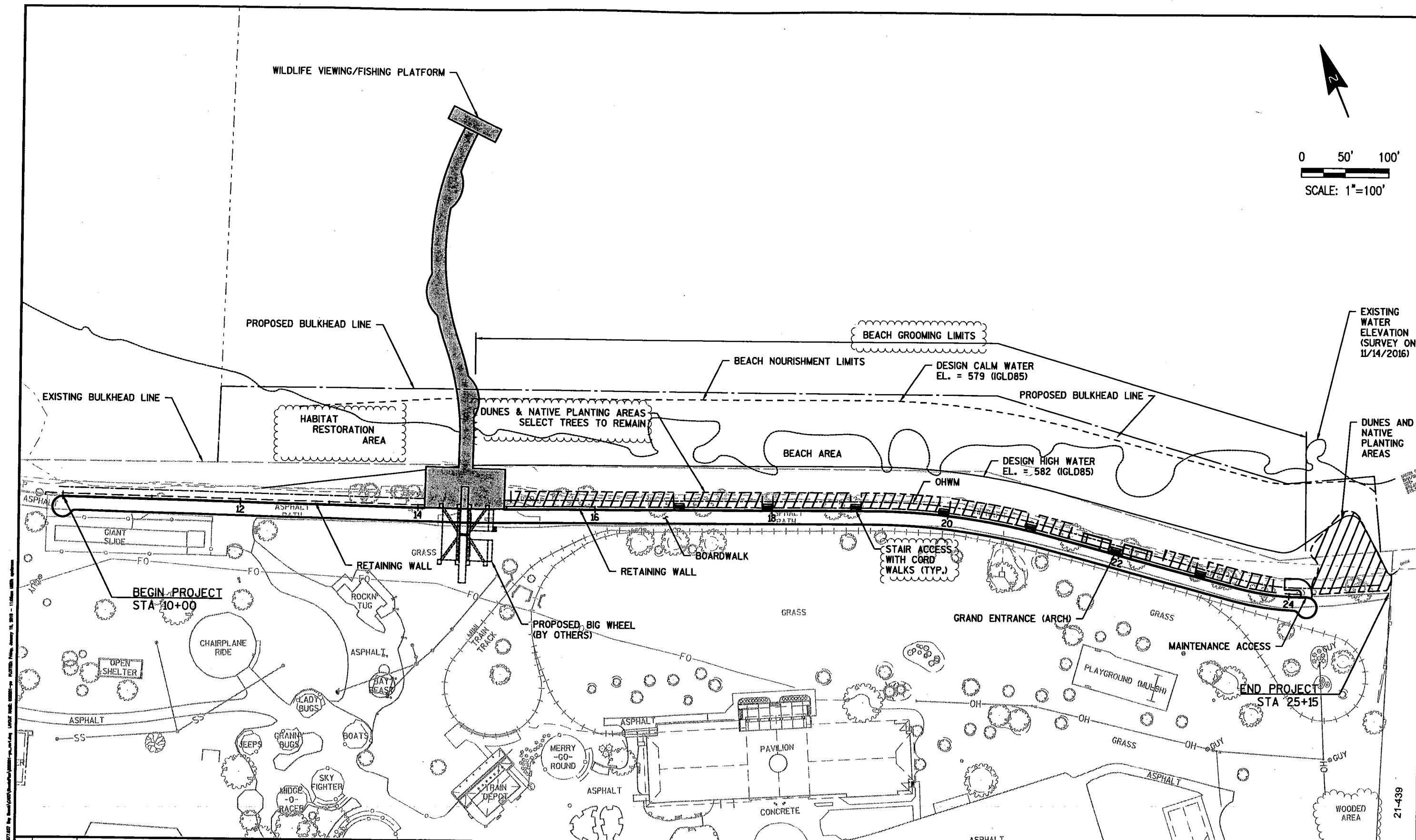
E2.01

E MAIL: P@vsnas P@vsnas <http://vsnas.com> <http://vsnas.com> CH#31877257 Any Bank @GDS/Gouda/in/0101-6-4day LANDR NAME: 910101-4 PLATED: Thursday, December 07, 2017 - 2:00pm USDT: Landed



INDEX OF DRAWINGS	
<u>SHEET ID</u>	<u>TITLE</u>
C1	TITLE SHEET
C2	TYPICAL SECTIONS & CONSTRUCTION DETAILS
C3	PLAN DETAILS
C4	PLAN & PROFILE
S1	PLATFORM STRUCTURE PLANS

			Owner/Client: CITY OF GREEN BAY PARKS, RECREATION, FORESTRY DEPARTMENT	 480 Pilgrim Way, Suite 1250 Green Bay, WI 54304 TEL. (920) 321-2330 www.patrickco.com PATRICK ENGINEERING	Project:		BAY BEACH RESTORATION		Project No.: 21677.037		Date: 11/29/2017									
					Sheet Title:		TITLE SHEET		Designed By: JLL		C1.01									
									Drawn By: JLL											
									Checked By: RH											
									Approved By: RH											
<table><tr><td>REV.</td><td>DATE</td><td>DESCRIPTION</td></tr><tr><td colspan="3">ISSUES & REVISIONS</td></tr><tr><td colspan="3">THE INFORMATION CONTAINED ON THESE DRAWINGS IS FOR USE ON THIS PROJECT ONLY</td></tr></table>					REV.	DATE	DESCRIPTION	ISSUES & REVISIONS			THE INFORMATION CONTAINED ON THESE DRAWINGS IS FOR USE ON THIS PROJECT ONLY									
REV.	DATE	DESCRIPTION																		
ISSUES & REVISIONS																				
THE INFORMATION CONTAINED ON THESE DRAWINGS IS FOR USE ON THIS PROJECT ONLY																				



1	1-12-18	BEACH GROOMING LIMITS
REV.	DATE	DESCRIPTION
ISSUES & REVISIONS		
THE INFORMATION CONTAINED ON THESE DRAWINGS IS FOR USE ON THIS PROJECT ONLY		

Owner/Client:

**CITY OF GREEN BAY
PARKS, RECREATION, FORESTRY
DEPARTMENT**



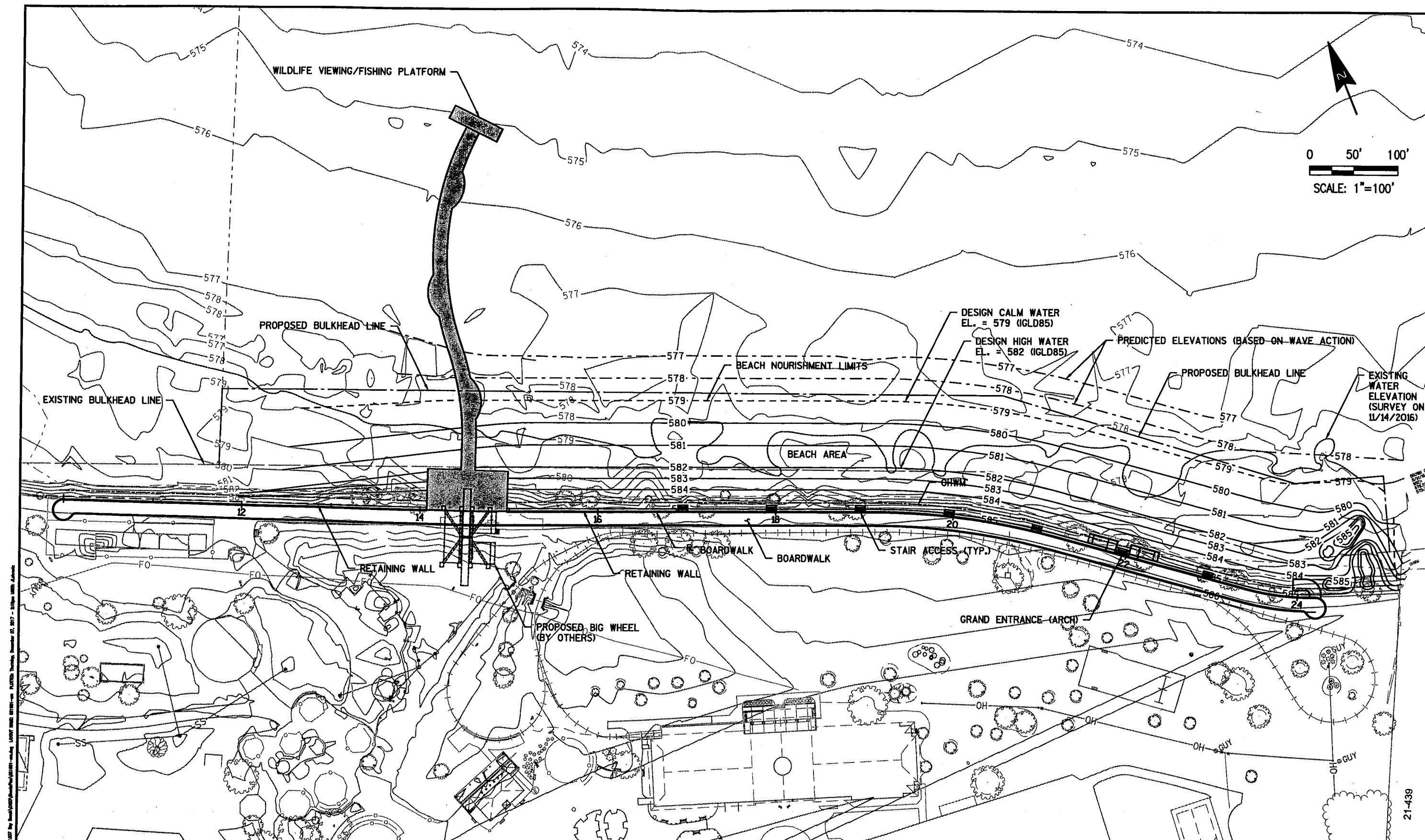
480 Pilgrim Way, Suite 1250
Green Bay, WI 54304
TEL. (920) 321-2330
www.patrickco.com

Project: **BAY BEACH RESTORATION**

Sheet Title: **PROJECT OVERVIEW**

Project No.:	21677.037	Date:	1/12/2018
Designed By:	JUL	C3.01	
Drawn By:	JUL		
Checked By:	RH		
Approved By:	RH		

FILE NAME: P:\Green Bay\Projects\Bay Beach\2018\Bay Beach Restoration.dwg User: JLD Date: 1/12/2018 10:00 AM



FILE NAME: P:\Green Bay\Projects\Green Bay\Bay Beach Restoration\Grading Plan\Grading Plan.dwg
DATE: 11/29/2017
BY: JLL
CHECKED BY: RH
APPROVED BY: RH

REV.	DATE	DESCRIPTION
1	11/29/2017	ISSUES & REVISIONS
THE INFORMATION CONTAINED ON THESE DRAWINGS IS FOR USE ON THIS PROJECT ONLY		

Owner/Client:

CITY OF GREEN BAY
PARKS, RECREATION, FORESTRY
DEPARTMENT

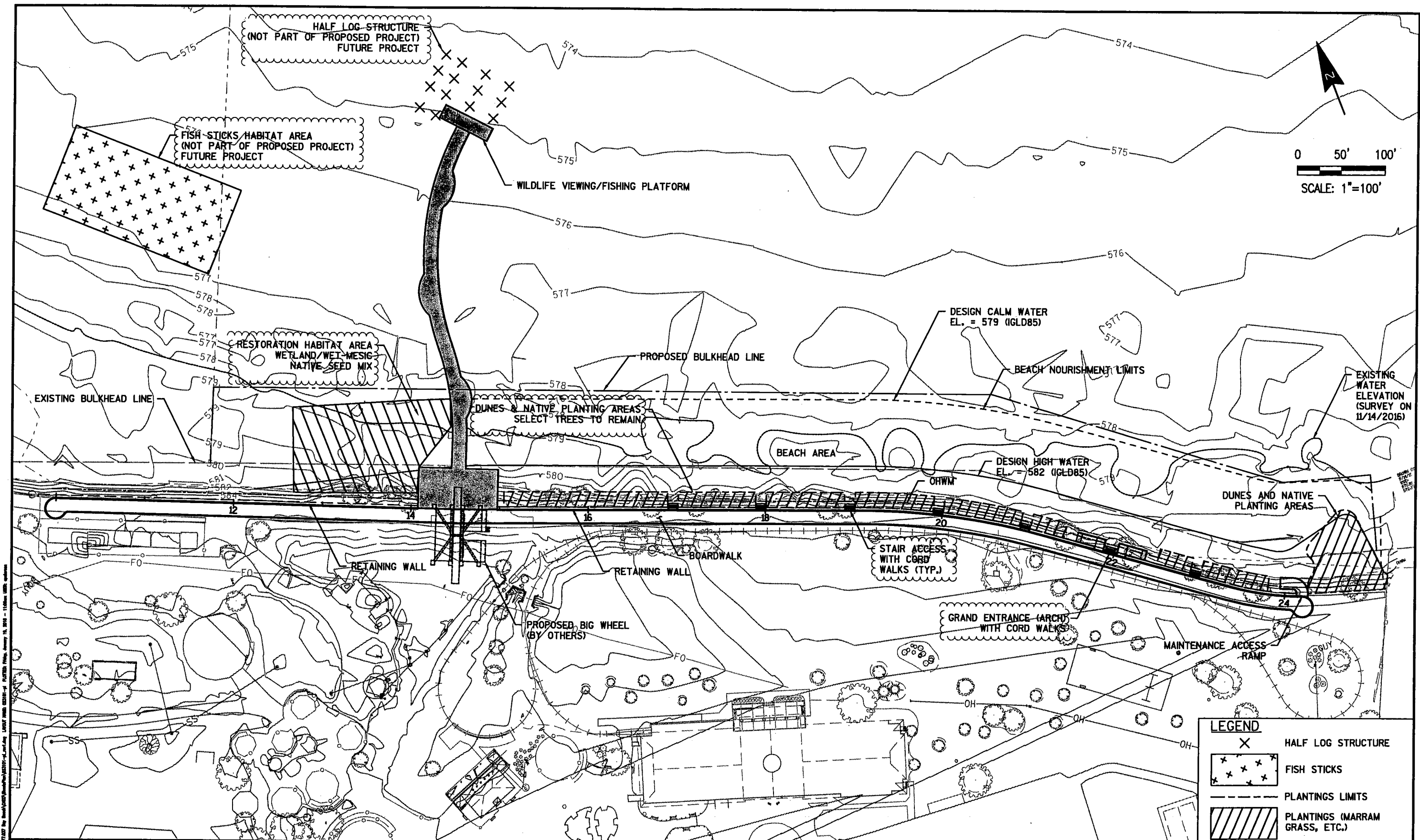
PATRICK
ENGINEERING

480 Pilgrim Way, Suite 1250
Green Bay, WI 54304
TEL. (920) 321-2330
www.patrickco.com

Project: **BAY BEACH RESTORATION**

Sheet Title: **GRADING PLAN**

Project No.:	21677.037	Date:	11/29/2017
Designed By:	JLL	C3.02	
Drawn By:	JLL		
Checked By:	RH		
Approved By:	RH		



LEGEND	
X	HALF LOG STRUCTURE
* * *	FISH STICKS
---	PLANTINGS LIMITS
	PLANTINGS (MARRAM GRASS, ETC.)

1	1-12-18	FISH HABITAT
REV.	DATE	DESCRIPTION
ISSUES & REVISIONS		
THE INFORMATION CONTAINED ON THESE DRAWINGS IS FOR USE ON THIS PROJECT ONLY		

Owner/Client:
CITY OF GREEN BAY
PARKS, RECREATION, FORESTRY
DEPARTMENT


 480 Pilgrim Way, Suite 1250
 Green Bay, WI 54304
 TEL. (920) 321-2330
 www.patrickco.com

Project: **BAY BEACH RESTORATION**
 Sheet Title: **PLANTING & HABITAT RESTORATION PLAN**

Project No.:	21677.037	Date:	1/12/2018
Designed By:	JUL	C3.04	
Drawn By:	JUL		
Checked By:	RH		
Approved By:	RH		

THE INFORMATION CONTAINED ON THESE DRAWINGS IS FOR USE ON THIS PROJECT ONLY



Report to the
Zoning & Planning Board of Appeals
of the City of Green Bay

MEETING DATE

October 17, 2018

PREPARED BY

Paul Neumeyer, Staff

AGENDA ITEM # D.4.

Roy Schneider, on behalf of Green Bay Packaging, property owner, proposes a building expansion within the AE District of the 100 year floodplain and General Industrial (GI) District at 1910 North Quincy Street. The applicant requests to deviate from the following requirements in Chapter 13, Green Bay Zoning Code, Section 13-1330(2)(d) flood protection elevation and Section 13-1343 flood proofing standards (Ald. K. Lefebvre, District 6).

BACKGROUND**RECOMMENDATION****FISCAL IMPACT****ATTACHMENTS**

- I. 1910 N Quincy - merged



Zoning & Planning Board of Appeals

VARIANCE APPLICATION

Department of Community
and Economic Development
100 N. Jefferson Street, Rm 608
Green Bay, WI 54301-5026
(920) 448-3300 - phone
(920) 448-3426 - fax
www.greenbaywi.gov

Application Deadline: First Tuesday of the Month at 12 Noon.

18-068

Date: 10/09/2018 Project Address: 1910 N Quincy Street Project #: Appeal #:

PROPERTY OWNER	APPLICANT INFORMATION
Name: Green Bay Packaging-Roy Schneider, VP-General Mgr.	Name: Same as Owner
Address: 831 Radisson Street	Address:
City, State, Zip Green Bay WI 54302	City, State, Zip
Phone: 920-433-5230	Phone:
Email: rschneider@gbp.com	Email:

Describe proposed plan: See Attached

List variances required to implement the proposed plan (include ordinance numbers and short explanation of each):

See Attached

Describe what hardships are imposed by zoning ordinances listed in section above making conformity unfeasible or unnecessarily burdensome:

See Attached

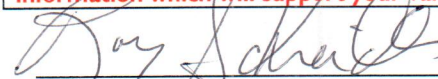
Describe what unique physical characteristics affect this property which prevent you from complying with the zoning ordinance:

See Attached

Describe how granting this variance will neither harm public interest nor undermine the purpose of the ordinance:

See Attached

Prepare and submit a copy of a site plan (NO LARGER THAN 11X17) detailing your request completely and any additional information which will support your variance request.


Signature of Applicant

10/9/18
Date

OFFICE USE ONLY:	Parcel#	Residential \$75 _____	Commercial \$150 _____
District:	Zoning:	Meeting Date:	Receipt #:

October 9, 2018

Green Bay Packaging, Inc – Corrugated Shipping Container Addition
831 Radisson Street
Green Bay WI

PROPOSAL

Green Bay Packaging Inc. is seeking approval to construct a 123,732 SF corrugated shipping container addition to the north side of their existing facility located at 831 Radisson Street. The total property area is 15.42 acres; the property is zoned GI (General Industry). The manufacturing use is a permitted use in the GI District. The property is also located within the flood fringe portion of the floodplain associated with the East River and/or the Fox River.

Proposed site improvements will include demolition of the existing U.S. Oil building on the north side of the property. The current US Oil drive entrance off of Quincy St will remain in the current location and US Oil and Green Bay Packaging will share access. The drive will be modified and repaved with heavy duty asphalt. Eleven (11) concrete loading docks are proposed on the north side of the addition. Two new light poles are proposed along the north side of the proposed pavement. The limits of the US Oil security fence will be modified to secure the US Oil property limits.

Green Bay Packaging, Inc. respectfully asks for relief from the requirements of Section 13-1330(2)(d) of the City of Green Bay Floodplain Overlay Zoning District which require manufacturing or industrial structures erected, altered, or moved into the flood fringe shall have the lowest floor elevated to or above the flood protection elevation or to meet the floodproofing standards of Section 13-1343 of the City of Green Bay Floodplain Overlay Zoning District. Those standards are as follows:

1. Withstand flood pressures, depths, velocities, uplift and impact forces and other regional flood factors.
2. Protect structures to the flood protection elevation.
3. Anchor structures to foundations to resist flotation and lateral movement.
4. Minimize or eliminate infiltration of flood waters.
5. Minimize or eliminate discharges into flood waters.

HARDSHIP

Raising the proposed expansion 3 feet to meet the current flood zone ordinance introduces safety and quality issues related to transporting unstable work in process (WIP) loads on inclines. Stacks of corrugated sheets will be produced in the new expansion and conveyed to converting operations within the existing building. Stacks can be 70+ inches high and weigh several hundred pounds. Load stability can be impacted by paper type, coatings, sheet size, and warp. Conveyor systems within the industry are designed to run level reducing the risks of loads falling during transport. The limited production area prevents installation of the low angle conveying systems needed to address a 3-foot elevation change.

UNIQUE PROPERTY CHARACTERISTICS

The Green Bay Packaging facility at 831 Radisson Street has existed at the present location since prior to 1960. In response to market demand and technological advances, the Green Bay Packaging facility has evolved to what it is today. The process flow layout has also evolved over time and dictates the current and future site development/plant expansion.

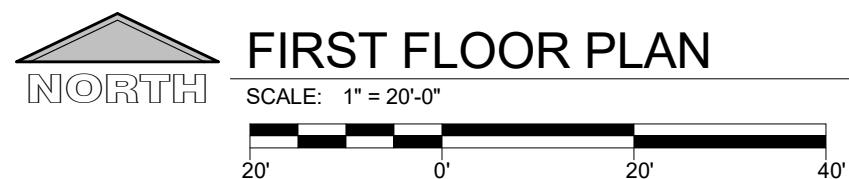
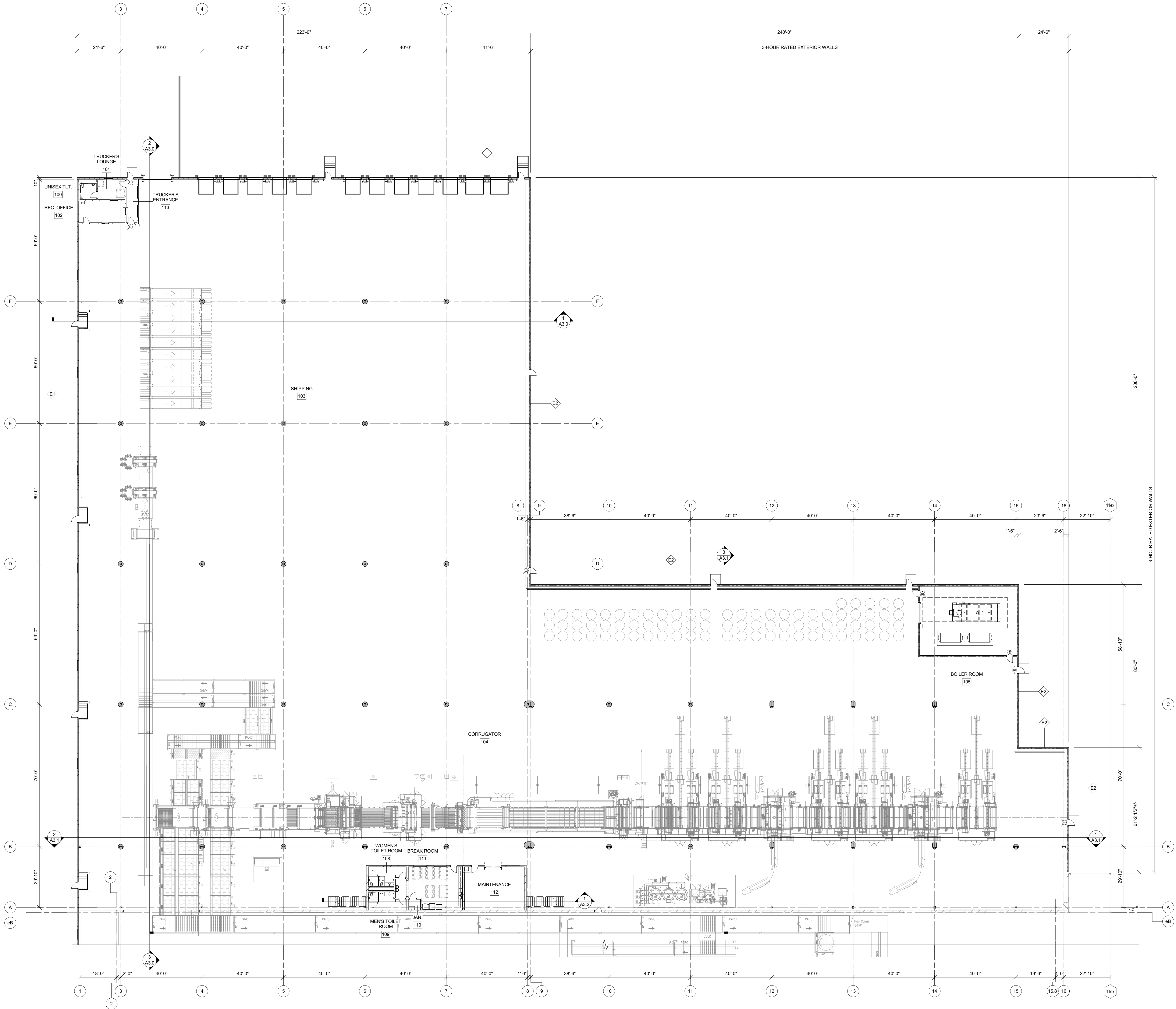
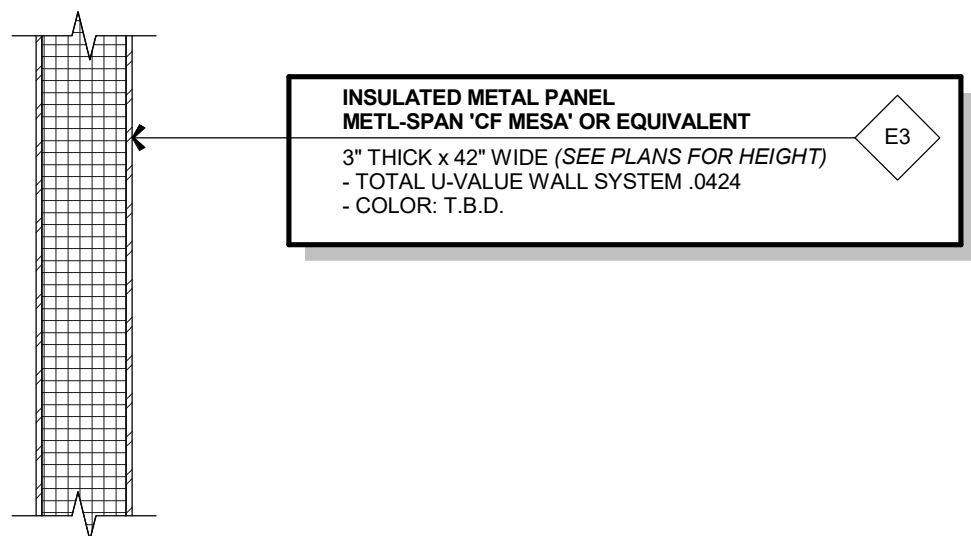
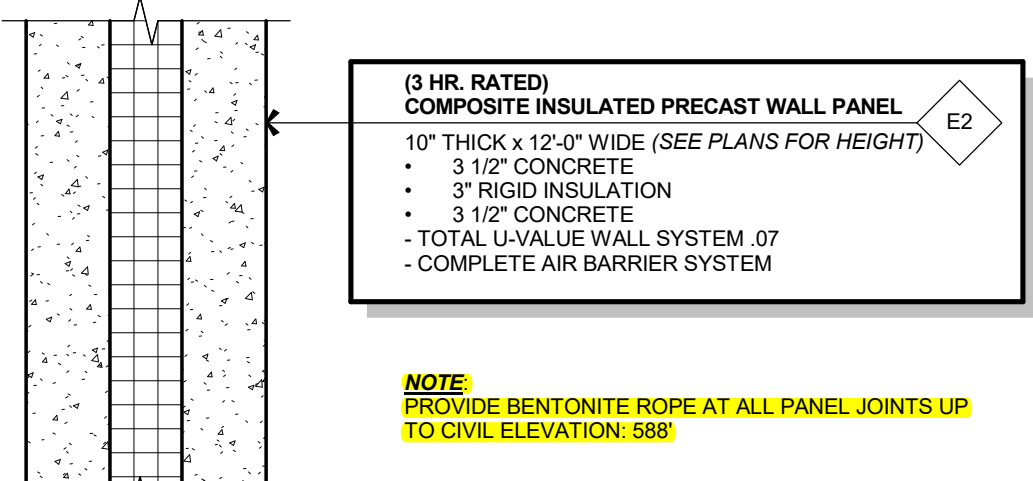
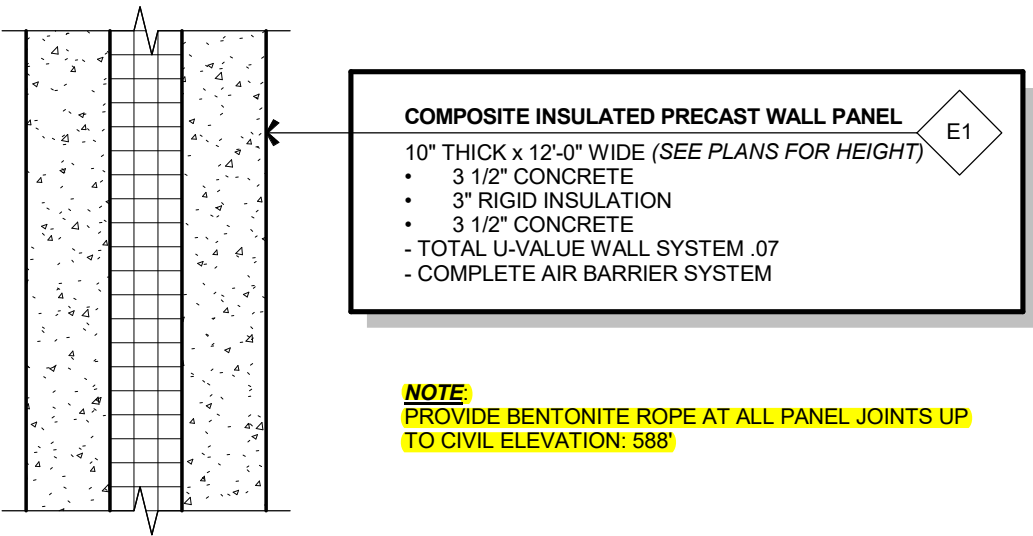
NO HARM TO PUBLIC INTEREST

Green Bay Packaging is addressing the structural risks associated with flooding in the proposed design. The new walls are designed to withstand the added lateral hydraulic loads and the west wall of the existing facility will be upgraded. Green Bay Packaging and their agents have been unable to find proven technology to successfully “water-proof” our proposed facility given multiple truck docks and the larger interior openings required to move product. Administrative procedures will be implemented to address concerns with water infiltration.

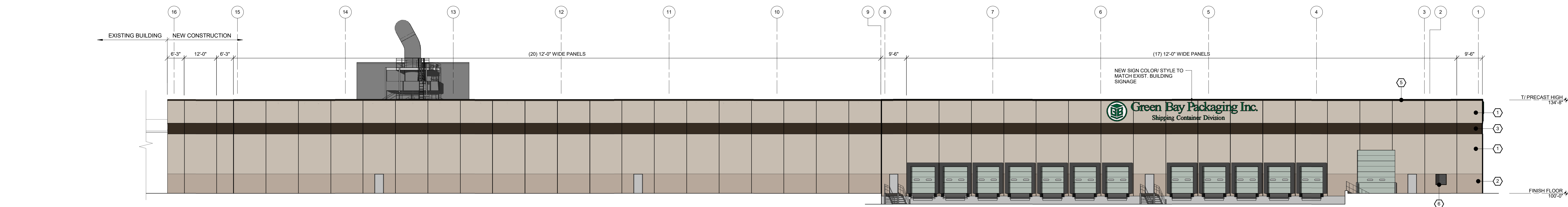
Even if the new addition could be successfully “water-proofed”, the remainder of the production facility would be under water and production would be down. Green Bay Packaging is prepared to manage these business risks with manufacturing sites across the Midwest and a responsible privately held flood insurance policy.

We respectfully request a variance regarding the City of Green Bay Floodplain Overlay Zoning District requirements. Implementing the requirements in this case would create safety concerns for our employees, unfairly burden our business with increased waste and processing inefficiencies, and delay implementation of much needed equipment upgrades.

EXTERIOR WALL TYPE LEGEND

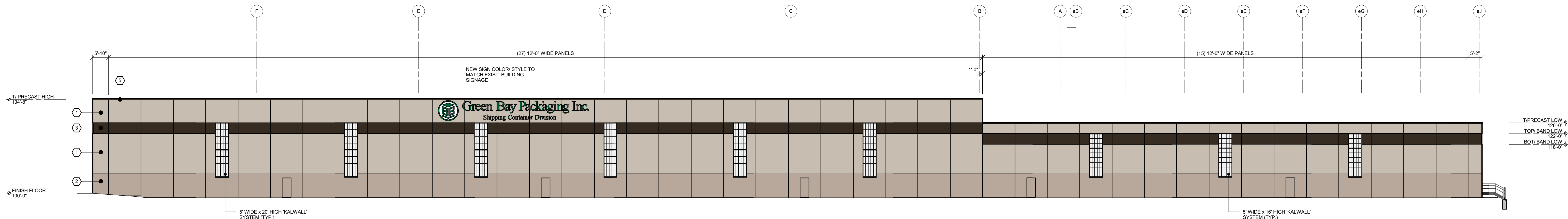


FIRST FLOOR PLAN



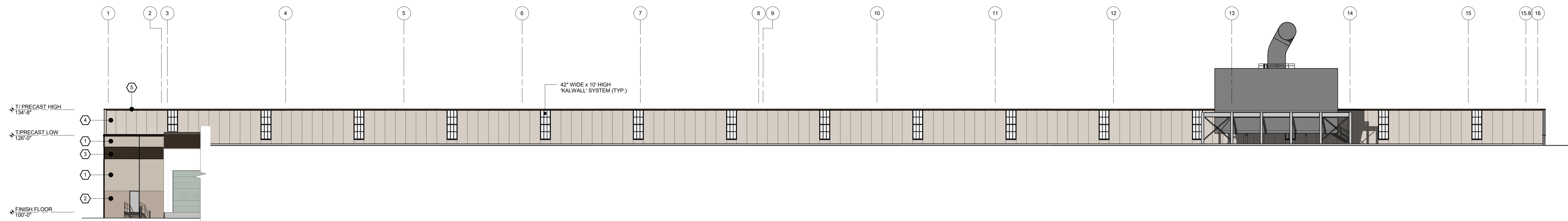
NORTH ELEVATION

SCALE: 1/16" = 1'-0"
16' 0' 16' 32'



WEST ELEVATION

SCALE: 1/16" = 1'-0"
16' 0' 16' 32'



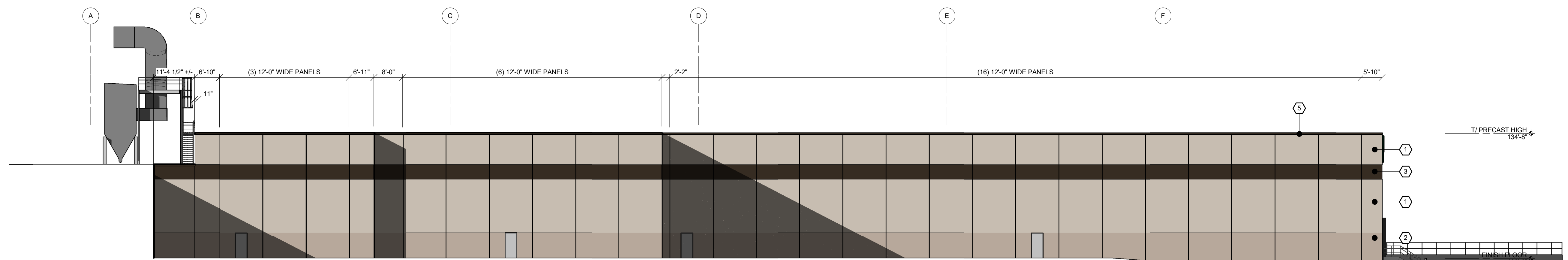
SOUTH ELEVATION

SCALE: 1/16" = 1'-0"
16' 0' 16' 32'

EXTERIOR FINISH KEY

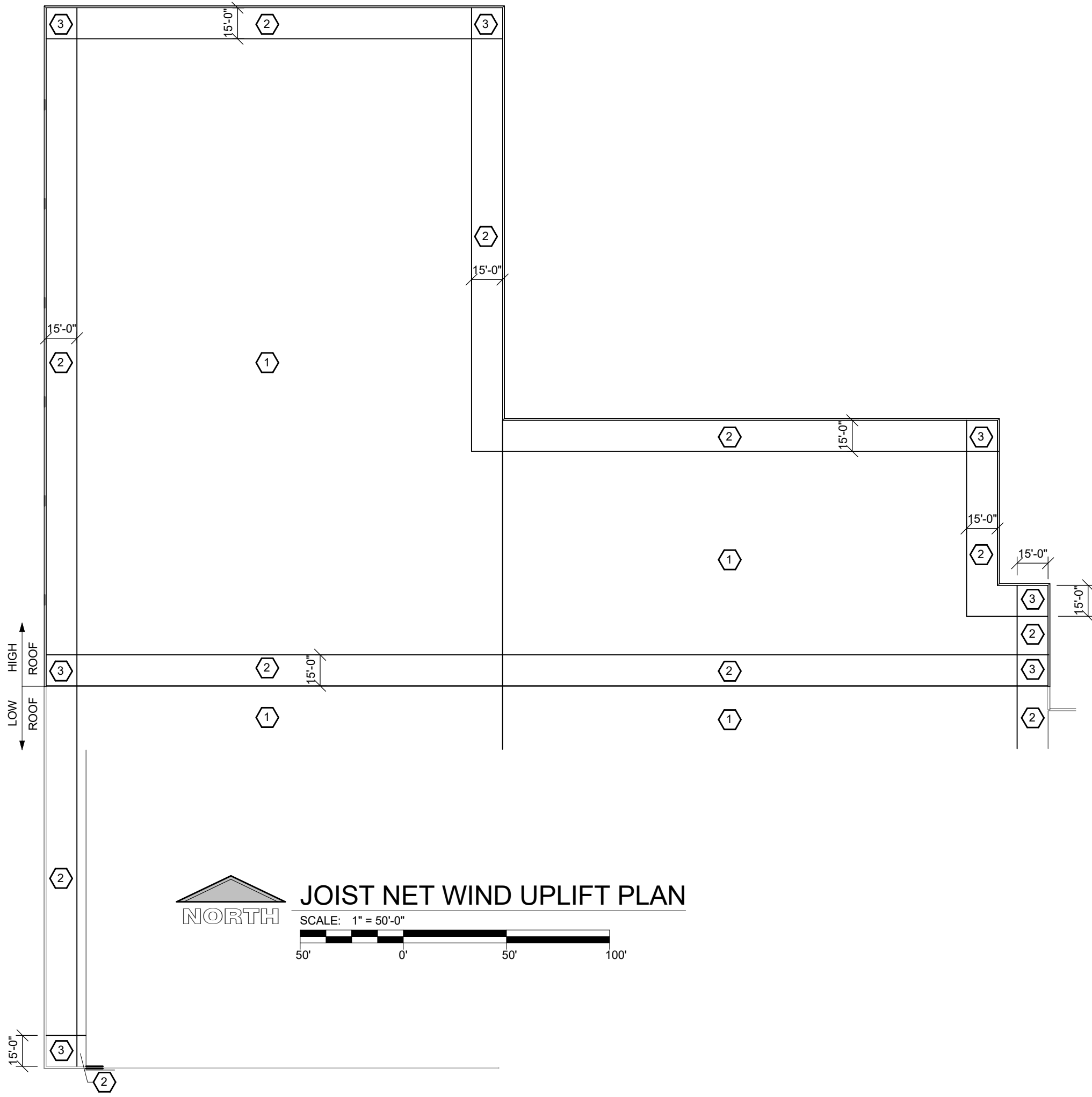
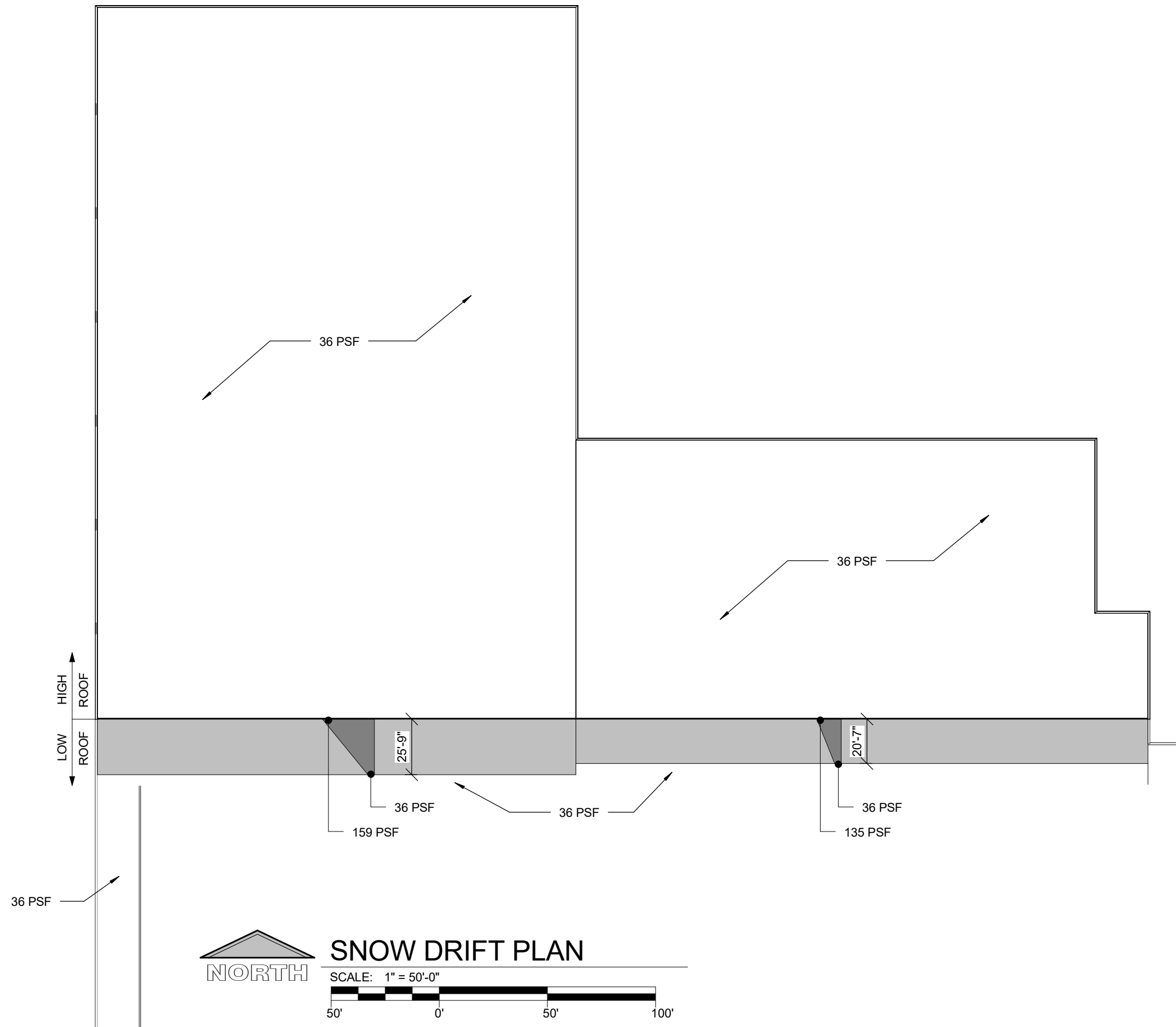
- 1 PRECAST PANEL
- 2 PRECAST PANEL (PAINTED)
- 3 PRECAST PANEL (PAINTED RECESS)
- 4 INSULATED METAL PANEL (CLADDING)
- 5 METAL COPING
- 6 ALUMINUM STOREFRONT WINDOW

NOTES:
- SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION
- ARCHITECT/TOWNER TO SELECT COLOR OF ALL EXTERIOR
MEP PENETRATIONS



EAST ELEVATION

SCALE: 1/16" = 1'-0"
16' 0' 16' 32'



FM RATING LEGEND	
ZONE	FM RATING
①	48.7 PSF (FMG RATING 1-40)
②	81.8 PSF (FMG RATING 1-90)
③	123.1 PSF (FMG RATING 1-135)

NET WIND UPLIFT LEGEND	
ZONE	NET WIND UPLIFT
①	24.27 PSF
②	30.10 PSF
③	30.10 PSF

NOTE:
WIND LOADS SHOWN ARE ULTIMATE LOADS
(0.90 + 1.0W) BASED ON ASCE 7-10 AND
REFLECT FM GLOBAL REQUIREMENTS.

STRUCTURAL DESIGN CRITERIA

GOVERNING CODES:

2018 WISCONSIN COMMERCIAL BUILDING CODE (USING THE 2015 INTERNATIONAL BUILDING CODE) WITH ADDITIONAL FM GLOBAL REQUIREMENTS
ALL LOADS SHOWN ON PLANS ARE UNFACTORED FOR ALLOWABLE STRESS DESIGN (ASD) LOAD COMBINATIONS
LOAD COMBINATION UTILIZED ARE FROM ASCE 7-10

ROOF SNOW LOAD (PER SECTION 1608 AND ASCE 7-10 SECTION 7 AND FM 1-54)

GROUND SNOW LOAD (Ps) (PER FIGURE 1608.2)	40 PSF
FLAT ROOF SNOW LOAD (Pt)	35.42 PSF
SLOPED ROOF SNOW LOAD (Ps)	35.42 PSF
SNOW EXPOSURE FACTOR (Ce)	1.0
SNOW IMPORTANCE FACTOR (Is)	1.1 (RISK CATEGORY II)
THERMAL FACTOR (Ct)	1.1
UNBALANCED SNOW LOADING PER ASCE 7-10 (SECTION 7.6) AND FM 1-54	
SNOW DRIFT PER ASCE 7-10, (SECTIONS 7.7 AND 7.8) AND FM 1-54	
SLIDING SNOW LOADING PER ASCE 7-10, (SECTION 7.9) AND FM 1-54	

ROOF RAIN LOAD

DESIGN RAINFALL INTENSITY FOR 100YR - 1 HR STORM (i)	2.75 IN/HR
DESIGN MAXIMUM STATIC HEAD (Ds)	2.00 IN
DESIGN HYDRAULIC HEAD (Dh)	2.57 IN
MAXIMUM DESIGN RAIN LOAD (R)	23.8 PSF

ROOF LIVE LOAD

MINIMUM ROOF LIVE LOAD PER SECTION 1607.12	20 PSF
--	--------

ROOF DEAD LOADS AND DEFLECTION REQUIREMENTS

STEEL BAR JOISTS	DEAD LOAD (UNBALLASTED) COLLATERAL	12 PSF
	R.T.U. LOADS PER FRAMING PLANS/SPECIAL JOIST DIAGRAM ON STRUCTURAL SHEETS	5 PSF
STEEL BEAM FRAMING	DEAD LOAD (UNBALLASTED) COLLATERAL	12 PSF
	R.T.U. LOADS PER FRAMING PLANS ON STRUCTURAL SHEETS	5 PSF
ROOF DEFLECTION REQUIREMENTS		L/240 LL L/180 TL

MEZZANINES / FLOORS

		UNIFORM (See Note 1 for LL =or> 100 PSF)	CONCENTRATED
PRECAST CONCRETE PLANK	LIVE LOAD	150 PSF 200 PSF	- -
	MISCELLANEOUS DEAD LOAD	4 PSF (PLUS PRECAST SELF-WT.)	-
	COLLATERAL 4" CONC. TOPPING	5 PSF 50 PSF	- -
	MAXIMUM CAMBER	1/2"	-
	DEFLECTION REQUIREMENTS (MIN.)	L/360 LL, L/240 TL	-
SLAB ON GRADE	LIVE LOAD	SEE FOUNDATION PLAN	2,000 LBS
	OFFICE - LIVE LOAD EQUIPMENT	100 PSF	40 PSF + ACT. EQUIP. WT.
	LOBBIES AND FIRST FLOOR CORRIDORS	100 PSF	2,000 LBS

STAIRS AND EXITS

LIVE LOAD	100 PSF	300 LBS AT TREAD
DEAD LOAD	50 PSF	-
DEFLECTION REQUIREMENTS (MIN.)	L/360 LL, L/240 TL	-

LATERAL

WIND LOADS	ENVELOPE PROCEDURE PER ASCE 7-10, DIRECTIONAL PROCEDURE PER ASCE 7-10	
	BASIC WIND SPEED =	MWFRS - 115 MPH (RISK CATEGORY II) FM1-28 - 120 MPH (RISK CATEGORY II)
	WIND IMPORTANCE FACTOR = 1.0 (CATEGORY II), 1.15 FOR COMPONENT & CLADDING PER FM1-28	
	WIND EXPOSURE = "C"	
	INTERNAL PRESSURE COEFFICIENT = + OR - 0.18	
	COMPONENT AND CLADDING PRESSURES/SUCTIONS FOR EFFECTIVE AREAS <= 10 S.F. AS FOLLOWS:	
	ASCE 7-10 C/C PRESSURES	WARE- HOUSE EDGE STRIP (A) = 14.0 FT ROOF ZONE 1 PRESSURE= 16.0 PSF, SUCTION= -34.39 PSF ROOF ZONE 2 PRESSURE= 16.0 PSF, SUCTION= -59.70 PSF ROOF ZONE 3 PRESSURE= 16.0 PSF, SUCTION= -66.84 PSF WALL ZONE 4 PRESSURE= 31.47 PSF, SUCTION= -34.1 PSF WALL ZONE 5 PRESSURE= 31.47 PSF, SUCTION= -41.96 PSF
	(SEE FM DS1-28 FOR CONVERSION TO FM APPROVAL WIND RATING)	
	PRESSURES/SUCTIONS MAY BE REDUCED FOR AREAS > 10 S.F. PER ASCE 7-10	
	MINIMUM WIND LOADS PER ASCE 7-10	MWFRS: 16.0 PSF ON HORIZONTAL AND VERTICAL PROJECTION COMPONENT AND CLADDING: + OR - 16.0 PSF NORMAL TO SURFACE.
EARTHQUAKE DESIGN DATA	SEISMIC IMPORTANCE FACTOR = 1.00 (RISK CATEGORY = II)	S(DS) = 0.056
	SPECTRAL RESPONSE COEFFICIENT	S(D1) = 0.054
	SITE CLASS = D (VERIFIED) SEISMIC DESIGN CATEGORY = A SEISMIC FORCE RESISTING SYSTEM = METAL DECK DIAPHRAGM AND PRECAST SHEAR WALLS/STEEL BRACED FRAMES/STEEL MOMENT FRAMES	
STABILITY LOADS	DESIGN BASE SHEAR (V) = 18,400 LBS. ANALYSIS PROCEDURE: SDC A PER ASCE 7-10 SECTION 11.7	
	INTERIOR PARTITIONS 5 PSF INTERIOR FREESTANDING MEZZ / STRUCTURE 5% OF TOTAL DL + LL	

FLOOD LOAD

DESIGN FLOOD WATER ELEVATION	589.0 (CIVIL)	102'-6" (ARCH)
DESIGN ALL WALL PANELS AND ANCHORAGES FOR FLOOD LOADS PER ASCE 7-10:		

MISCELLANEOUS IMPACT AND/OR CONCENTRATED LOADS

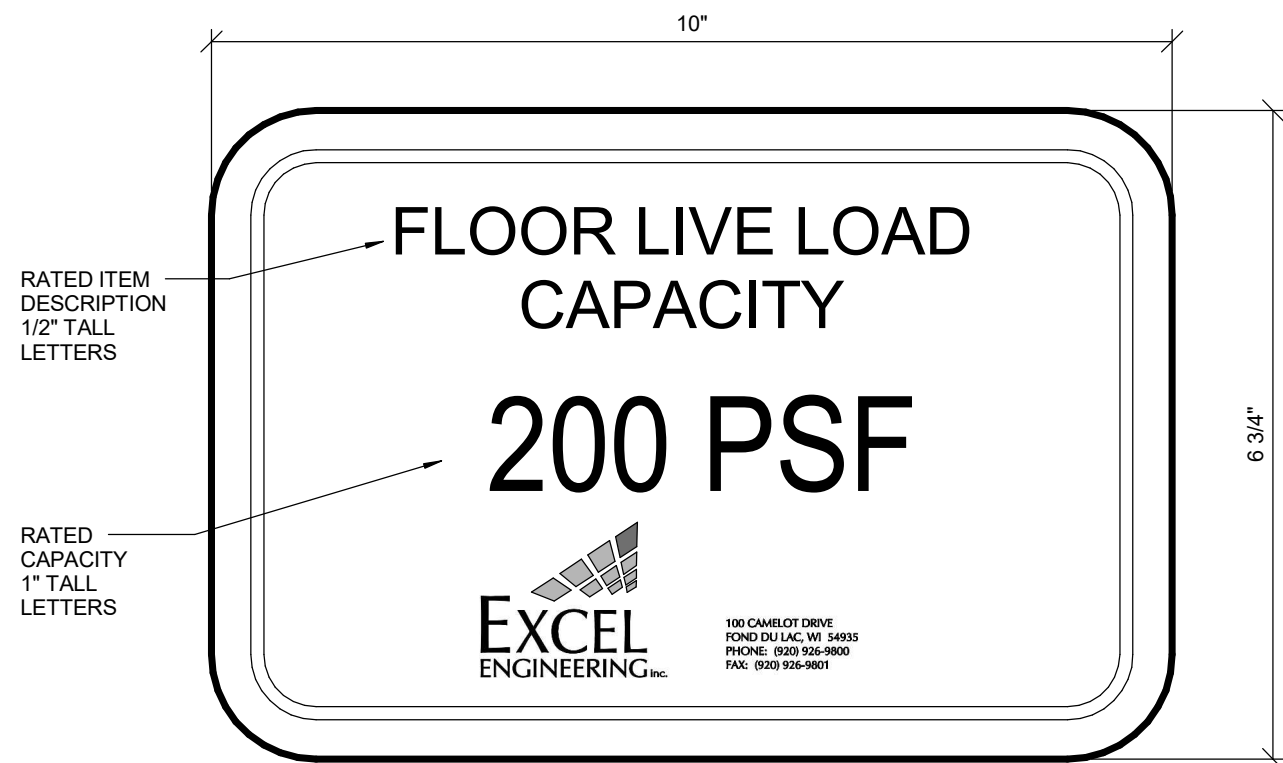
*****SEE PLAN***** FOR SPECIAL LOADING CONDITIONS

ALLOWABLE SOIL BEARING PRESSURE

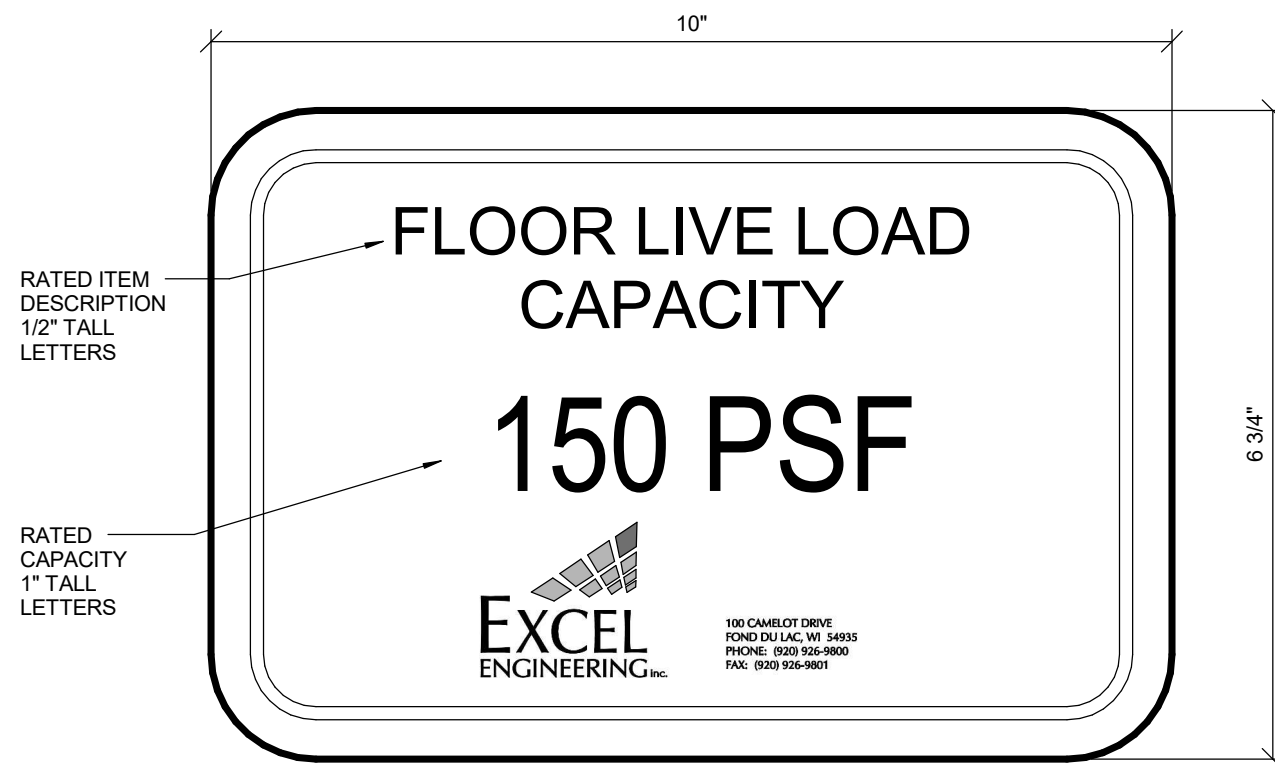
THE VERIFIED SOIL BEARING CAPACITY IS 3,000 PSF AS DETERMINED BY THE GEOTECHNICAL REPORT PREPARED BY
(PROFESSIONAL SERVICE INDUSTRIES, INC. - PSI PROJECT NUMBER 0092944 DATED FEBRUARY 15, 2018).

NOTE 1 - REQUIREMENT FOR POSTED LIVE LOADS EQUAL TO OR EXCEEDING 100 PSF

SPS 362.0400 (6) REQUIRES SIGNS TO BE POSTED BY THE OWNER IN AREAS DESIGNED TO SUPPORT UNIFORM LIVE LOADS EQUAL TO OR EXCEEDING 100 PSF.
SEE DETAILS ON SHEET S0.0 FOR SIGN. SIGNAGE NOT REQUIRED FOR SLAB-ON-GRADE AREAS.



2
S0.0
LOAD CAPACITY SIGNAGE DETAIL 200 PSF
SCALE: 6\"/>



1
S0.0
LOAD CAPACITY SIGNAGE DETAIL 150 PSF
SCALE: 6\"/>

GENERAL STRUCTURAL NOTES

MISCELLANEOUS STRUCTURAL NOTES:

IN THE FOLLOWING NOTES, THE TERM "CONTRACTOR" REFERS TO ALL CONTRACTORS, SUBCONTRACTORS, AND SUPPLIERS ENGAGED IN THE EXECUTION OF WORK SHOWN ON THESE PLANS. THE TERM "AE" REFERS TO EXCEL ENGINEERING, INC.

CONTRACTOR SHALL CROSS CHECK WITH ARCHITECTURAL, HVAC AND PLUMBING PLANS FOR ADDITIONAL DETAILS, DIMENSIONS, ELEVATIONS, INSERTS, BRICK, LEDGES, ETC. NOTIFY AE OF ANY CONFLICTS BEFORE BEGINNING WORK.

IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE IN ORDER TO INSURE THE SAFETY OF THE BUILDING, WORKMEN, AND OCCUPANTS DURING CONSTRUCTION MEANS & METHODS OF CONSTRUCTION). THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF SHORING, UNDERPINNING, AND TEMPORARY BRACING, AS NECESSARY. AE MAY BUILD CONTRACTOR ON A TIME AND EXPENSE BASIS FOR ADDITIONAL WORK, FOR ALL NEW SKETCHES, AND FOR ALL ADDITIONAL REVIEW TIME RELATED TO MEANS & METHODS.

WHERE DETAILS ARE CALLED FOR IN ONE AREA OF THE BUILDING, THEY SHALL BE DUPLICATED AT SIMILAR CONDITIONS, UNLESS SHOWN OTHERWISE.

IN THE EVENT OF ANY CONFLICT BETWEEN PLANS, DETAILS, STRUCTURAL NOTES, STRUCTURAL AND ARCHITECTURAL DRAWINGS, AND SPECIFICATIONS, CONTRACTOR SHALL BRING THE CONFLICT TO THE AE'S ATTENTION. CONTRACTOR SHALL BID THE MOST EXPENSIVE INSTALLATION CALLED OUT.

CONTRACTOR SHALL SURVEY THE EXISTING BUILDING FOR ALL DIMENSIONS, ELEVATIONS, AND CONDITIONS NEEDED TO PERFORM THE WORK SHOWN ON THESE PLANS. THIS INCLUDES VERIFYING DIMENSIONS, ELEVATIONS, & CONDITIONS SHOWN ON THE CONSTRUCTION DOCUMENTS. CONTRACTOR SHALL REPORT ANY NON-CONFORMANCE WITH DESIGN DRAWINGS TO THE AE IMMEDIATELY.

ALL MEMBERS/WORK SHOWN ARE NEW UNLESS SPECIFICALLY NOTED "EXISTING"

REMOVE AND REPLACE AND/OR MODIFY ALL EXISTING CONSTRUCTION (ELECTRICAL, MECHANICAL, HVAC, STRUCTURAL, ARCHITECTURAL) AS REQUIRED IN ORDER TO PLACE NEW STRUCTURAL WORK SHOWN ON THESE DRAWINGS.

THESE STRUCTURAL PLANS DEPICT A STRUCTURAL FRAMING SYSTEM AND THE MAJOR COMPONENTS OF THAT SYSTEM. MINOR ITEMS SUCH AS ROUSTERS, DECK SUPPORT ANGLES AT COLUMNS, FRAMES AT FLOOR AND ROOF DECK OPENINGS, ETC. SHALL BE SUPPLIED BY THE CONTRACTOR AS NEEDED TO PROVIDE A COMPLETE SYSTEM.

PROVIDE OVERFLOW DRAINS AND/OR SCUPPERS SUFFICIENT TO LIMIT DEPTH OF STANDING WATER AT DRAINS, IN THE EVENT THAT THE PRIMARY ROOF DRAINS ARE NOT FUNCTIONING. IN NO CASE SHALL BOTTOM OF SCUPPERS BE LOCATED MORE THAN 1/2\"/>

FOUNDATION SHORING AND/OR UNDERPINNING SHALL BE DESIGNED BY THE CONTRACTOR TO LIMIT HORIZONTAL AND VERTICAL MOVEMENT OF EXISTING CONSTRUCTION TO 3/16\"/>

POST-INSTALLED ANCHORS:

CONTRACTOR SHALL PROVIDE EXCEL ENGINEERING WITH SPECIFICATIONS AND DESIGN INFORMATION FOR ALL ALTERNATE ANCHORS. CONTRACTOR SHALL MAKE ARRANGEMENTS TO COMPENSATE EXCEL ENGINEERING FOR THE EXTRA WORK INVOLVED.

CLEAN SURFACES THOROUGHLY PRIOR TO INSTALLATION. PREPARE SURFACES USING THE METHODS RECOMMENDED BY THE MANUFACTURER FOR ACHIEVING THE BEST RESULTS FOR THE SUBSTRATE UNDER THE PROJECT CONDITIONS.

DO NOT BEGIN INSTALLATION UNTIL SUBSTRATES HAVE BEEN PROPERLY PREPARED. IF SUBSTRATE PREPARATION IS THE RESPONSIBILITY OF ANOTHER INSTALLER, NOTIFY CONTRACTOR OF UNSATISFACTORY PREPARATION BEFORE PROCEEDING.

INSTALL IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS AND AS REQUIRED BY APPLICABLE CODE.

APPLY ANCHOR ITEMS NEATLY, WITH ANCHORS MOUNTED PLUMB AND LEVEL UNLESS OTHERWISE INDICATED.

EXCEL ENGINEERING RESERVES THE RIGHT TO REQUIRE THE ANCHOR MANUFACTURER'S REPRESENTATIVE TO DEMONSTRATE PROPER INSTALLATION PROCEDURES FOR POST-INSTALLED ANCHORS AND TO OBSERVE CONTRACTOR'S INSTALLATION PROCEDURES, AT NO EXTRA COST TO OWNER.

EXCEL ENGINEERING RESERVES THE RIGHT TO REQUIRE PULLOUT OR SHEAR TESTS TO DETERMINE ADEQUACY OF ANCHORS, AT NO EXTRA COST TO OWNER.

GRATING AND STAIR TREADS:

STEEL AND STAINLESS STEEL GRATING SHALL BE MNICHOLS 6W 1\"/>

STEEL & STAINLESS STEEL GRATING ALONG ACCESSIBLE ROUTES AS SHOWN ON ARCHITECTURAL PLANS SHALL BE 6CM1\"/>

GRATE SHALL BE FASTENED TO EACH SUPPORTING ELEMENT BY SADDLE OR G-STYLE CLIPS PER MANUFACTURER RECOMMENDATIONS.

GRATE STAIR TREADS SHALL BE MNICHOLS TYPE B\"/>

STRUCTURAL SUBMITTAL REQUIREMENTS

BOXES MARKED WITH AN "X" ARE ANTICIPATED SUBMITTALS.

☒ CONCRETE MIX DESIGNS)	☒ LIGHT GALUGE FRAMING (TRUSSES, BRG. STUDS, CONNECTIONS, ETC.)
☒ SLAB/TOPPING CONTROL JOINT LAYOUT	☐ WOOD FLOOR TRUSSES
☒ CONCRETE REINFORCING	☐ WOOD FLOOR/ROOF 1\"/>
☒ COLUMN ANCHOR BOLT LAYOUT & DETAILS	☐ WOOD ROOF TRUSSES
☒ STRUCTURAL STEEL	☒ METAL BUILDING REACTIONS - PRELIMINARY (TO INCLUDE ANCHOR BOLT SIZES AND LAYOUTS)
☒ MISC. STEEL (TO INCLUDE STAIR GUARDRAILS, ROLLERS, EQUIP. SUPPORT FRAMES, ETC.)	☐ METAL BUILDING REACTIONS - FINAL (TO INCLUDE ANCHOR BOLT SIZES AND LAYOUTS)
☒ STEEL JOIST, JOIST GIRDERS, & DECK	☒ CONCRETE MASONRY UNITS (CMUs)
☒ FINAL, APPROVED JOIST/GIRDER LAYOUT PLAN AND DESIGN CALCULATIONS	☒ CMU REINFORCING
☒ PRECAST WALL PANELS (TO INCLUDE ANCHORAGE DETAILS, SHEARWALL CALCULATIONS, ETC.)	☒ INSULATED METAL PANELS (WALLS, ROOF, CEILING, CONNECTIONS, ETC.)
☒ PRECAST PLANK/DOUBLE TEES (TO INCLUDE DIAPHRAGM CALCULATIONS)	

NOTES:

SUBMIT ALL SHOP DRAWINGS LISTED ABOVE TO EXCEL ENGINEERING, INC. (AE) FOR REVIEW PRIOR TO FABRICATION. DESIGN DRAWINGS SHALL NOT BE USED AS SHOP DRAWINGS. SHOP DRAWINGS SHALL NOT UTILIZE A SHEET SIZE ANY LARGER THAN ARCHITECTURAL DRAWINGS. CONTRACTOR SHALL REVIEW AND STAMP ALL SHOP DRAWINGS BEFORE SUBMITTING TO AE. CONTRACTOR SHALL ADDRESS ALL "FIELD VERIFY" ISSUES (DIMENSIONS, ETC.) BEFORE SUBMITTING DRAWINGS TO AE. UNREVIEWED AND UNSTAMPED DRAWINGS WILL NOT BE REVIEWED BY EXCEL AND WILL BE RETURNED FOR CONTRACTOR REVIEW.

THE CONTRACTOR SHALL PREPARE A SCHEDULE OF ALL ITEMS TO BE SUBMITTED FOR AE REVIEW. SCHEDULE SHALL SHOW ITEMS TO BE SUBMITTED AND ANTICIPATED DATE OF SUBMISSION. THIS SUBMITTAL SCHEDULE SHALL BE GIVEN TO THE AE WITHIN 20 DAYS OF AWARD OF CONTRACT.

CONTRACTOR SHALL ALLOW 10 WORKING DAYS IN SCHEDULE FOR AE TO REVIEW SHOP DRAWINGS. IF SHOP DRAWINGS REQUIRE AN EXPEDITED REVIEW PROCESS, CONTACT AE PRIOR TO SUBMITTING THE SHOP DRAWINGS TO MAKE THE APPROPRIATE ARRANGEMENT.

IF CHANGES ARE MADE TO A PREVIOUSLY REVIEWED SUBMITTAL, DENOTE ALL REVISED AREAS WITH REVISION CLOUDS AND TAGS.

STRUCTURAL AND ARCHITECTURAL PLANS SHOW DIMENSIONS AND ELEVATIONS TO SIGNIFICANT WORKING POINTS. SHOP DRAWING DETAILERS AND SUPPLIERS ARE RESPONSIBLE FOR THE DETERMINATION OF ALL DIMENSIONS, FITS, ELEVATIONS, ETC. BEYOND THOSE NOTED ABOVE AS NECESSARY TO THOROUGHLY DETAIL/FABRICATE THEIR WORK. CONTACT AE WITH ANY DISCREPANCIES FOUND.

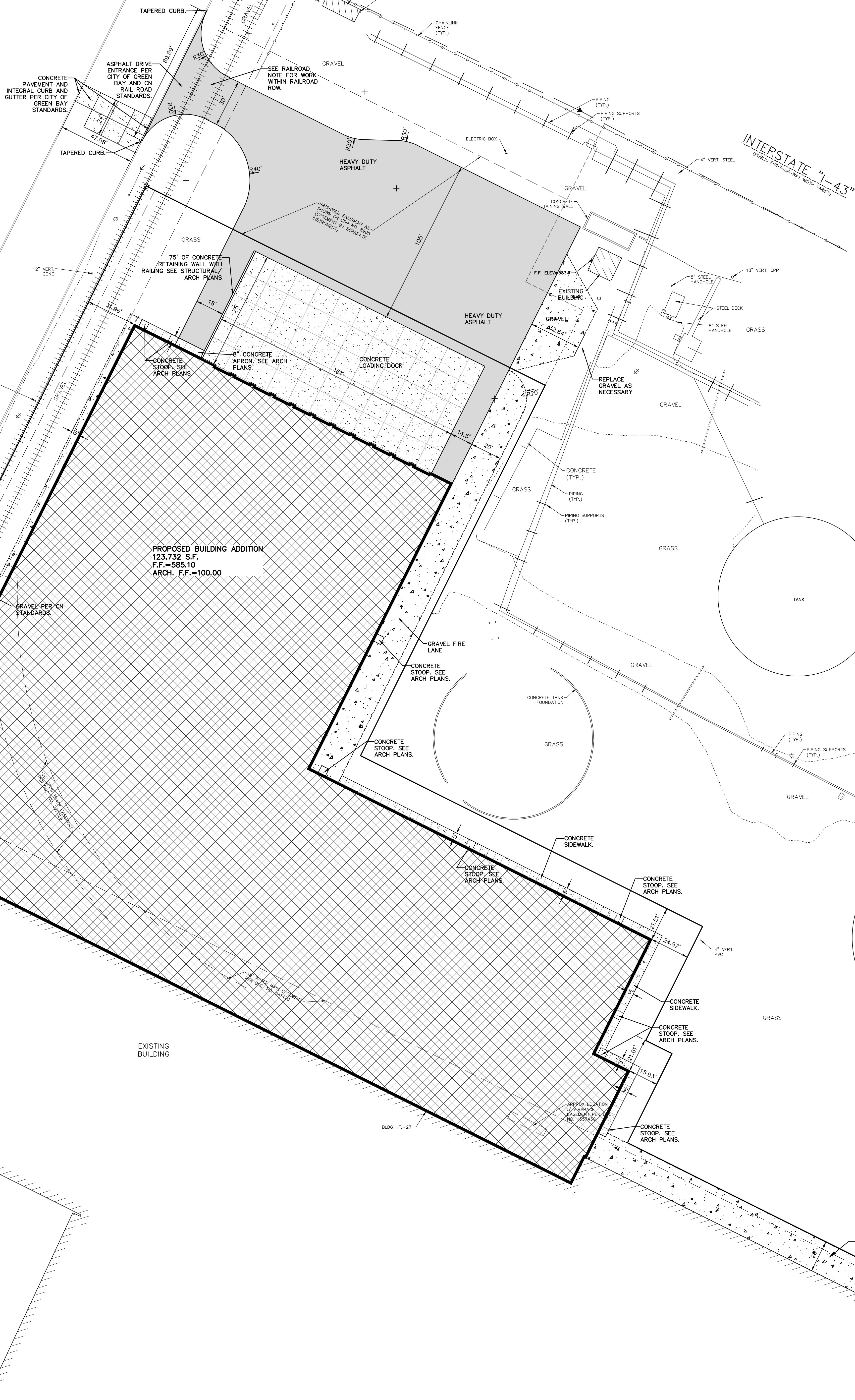
IN NO CASE SHALL CHANGES BE MADE TO WORK SHOWN OR PROCEDURE SPECIFIED ON STRUCTURAL PLANS UNLESS FIRST APPROVED IN WRITING BY AE. REVIEW OF SHOP DRAWINGS BY AE DOES NOT CONSTITUTE ACCEPTANCE OF A DESIGN CHANGE. PROPOSED CHANGES BY CONTRACTOR MUST BE SUBMITTED IN RFI FORMAT AND MUST BE APPROVED IN THE SAME MANNER. CONTRACTOR REQUESTING CHANGE MAY BE BILLED ON A TIME AND EXPENSE BASIS BY AE. FOR ALL REDESIGN WORK, FOR ALL NEW SKETCHES PREPARED, AND FOR ALL ADDITIONAL REVIEW TIME RELATED TO THE CHANGES.

SEE SHEET T2.0 FOR ADDITIONAL SUBMITTAL REQUIREMENTS.

SITE INFORMATION:

PROPERTY AREA: AREA = 671,812 S.F. (15.42 ACRES).
EXISTING ZONING: GENERAL INDUSTRY (G)
PROPOSED ZONING: GENERAL INDUSTRY (G)
PROPOSED USE: SHIPPING CONTAINER PLANT ADDITION
AREA OF SITE DISTURBANCE: 200,506 SF (4.60 AC)
SETBACKS: BUILDING: FRONT = 0'
SIDE = 0'
REAR = 0'
PAVEMENT: FRONT = 0'
SIDE = 0'
REAR = 0'
PROPOSED BUILDING HEIGHT: 35' (MAX. HEIGHT ALLOWED: 35')
PARKING REQUIRED: 1 SPACES PER 1,000 S.F. UP TO 20,000 SF PLUS
1 SPACES PER 2,000 S.F. IN EXCESS OF 20,000 SF (238 SPACES REQ.)
PARKING PROVIDED: 387 SPACES (8 H.C. ACCESSIBLE)
HANDICAP STALLS REQUIRED: 8 HANDICAP STALLS PROVIDED: 8
BUILDING OCCUPANCY CLASSIFICATION = TYPE VB
CLASS OF BUILDING CONSTRUCTION = B - BUSINESS

AD1



RAILROAD NOTE:
CONTRACTOR TO CONTRACT JACKIE MACEWICZ MINIMUM 3 WEEKS
PRIOR TO ANY WORK WITHIN 25' FROM THE RAILROAD TRACKS TO
OBTAIN A RIGHT OF ENTRY PERMIT. CN RAILROAD FLAGGER TO BE
PRESENT ONSITE WHENEVER WORK IS TO BE DONE WITHIN 25' OF THE
RAILROAD. COORDINATE FLAGGER WITH JACKIE. CONTACT JACKIE AT
715-345-2503 OR jackie.macewicz@cn.ca

EXISTING SITE DATA

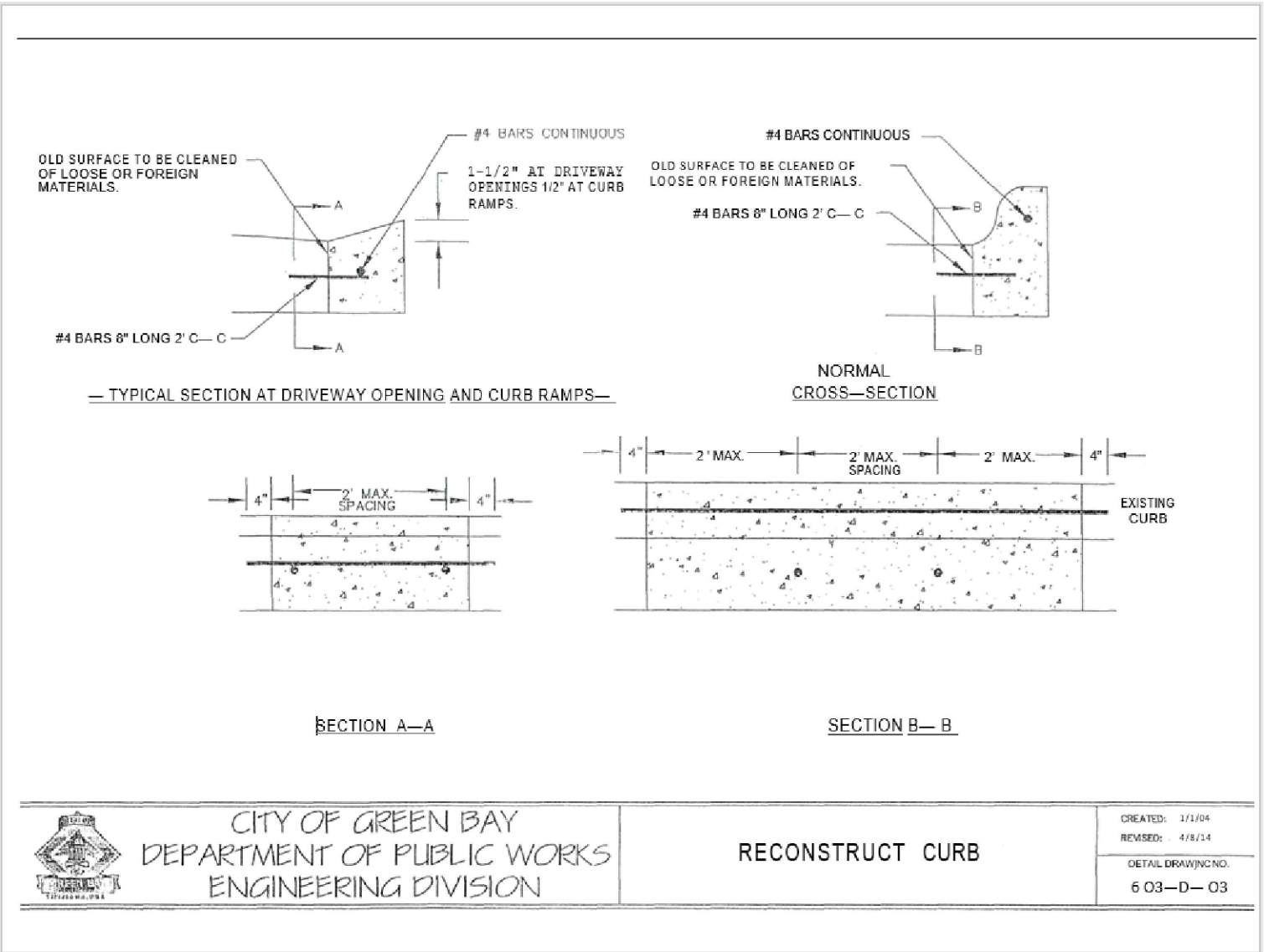
	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	15.42	671,812	
BUILDING FLOOR AREA	7.63	332,200	49.4%
PAVEMENT (ASP. & CONC.)	5.45	237,451	35.3%
TOTAL IMPERVIOUS	13.08	569,651	84.8%
LANDSCAPE/ OPEN SPACE	2.35	102,161	15.2%

PROPOSED SITE DATA

	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	15.42	671,812	
BUILDING FLOOR AREA	10.47	456,060	67.9%
PAVEMENT (ASP. & CONC.)	4.40	191,519	28.5%
TOTAL IMPERVIOUS	14.87	647,579	96.4%
LANDSCAPE/ OPEN SPACE	0.56	24,233	3.6%

NOTES:

1. THE CITY OF GREEN BAY DEPT. OF PUBLIC WORKS MUST BE NOTIFIED (3) WORKING DAYS BEFORE THE START OF ANY STREET CONSTRUCTION WITHIN A PUBLIC RIGHT OF WAY OR EASEMENT. CONTACT MATT WOICEK, PH. (920) 448-3100.
2. THE CITY OF GREEN BAY DEPT. OF PUBLIC WORKS MUST BE NOTIFIED (3) WORKING DAYS BEFORE THE START OF ANY SANITARY SEWER OR STORM SEWER CONSTRUCTION WITHIN A PUBLIC RIGHT OF WAY OR EASEMENT. CONTACT MATTHEW HECKENLAIBLE, PH. (920)448-3100.
3. THE CITY OF GREEN BAY WATER DEPT. MUST BE NOTIFIED (3) WORKING DAYS BEFORE THE START OF ANY WATER MAIN CONSTRUCTION WITHIN A PUBLIC RIGHT OF WAY OR EASEMENT. CONTACT CONTACT BRIAN POWELL, PH. (920) 448-3480.
4. CONTRACTOR TO PROVIDE TRACKING PAD AT ANY ENTRANCE/EXIT FOR CONSTRUCTION TRAFFIC.
5. CONTRACTOR TO PROVIDE TEMPORARY PAVEMENT REPAIR UNTIL THE CITY OF GREEN BAY CAN PERMANENTLY REPAIR THE STREET. COST OF PERMANENT STREET REPAIR WILL BE AT THE COST OF THE CONTRACTOR ON THE PERMIT.



PROPOSED ADDITION FOR:
GREEN BAY PACKAGING
831 RADISSON ST • GREEN BAY, WI

PROFESSIONAL SEAL

SHEET DATES

ISSUE DATE: AUG. 31, 2018

REVISIONS

AD1 SEPT. 14, 2018

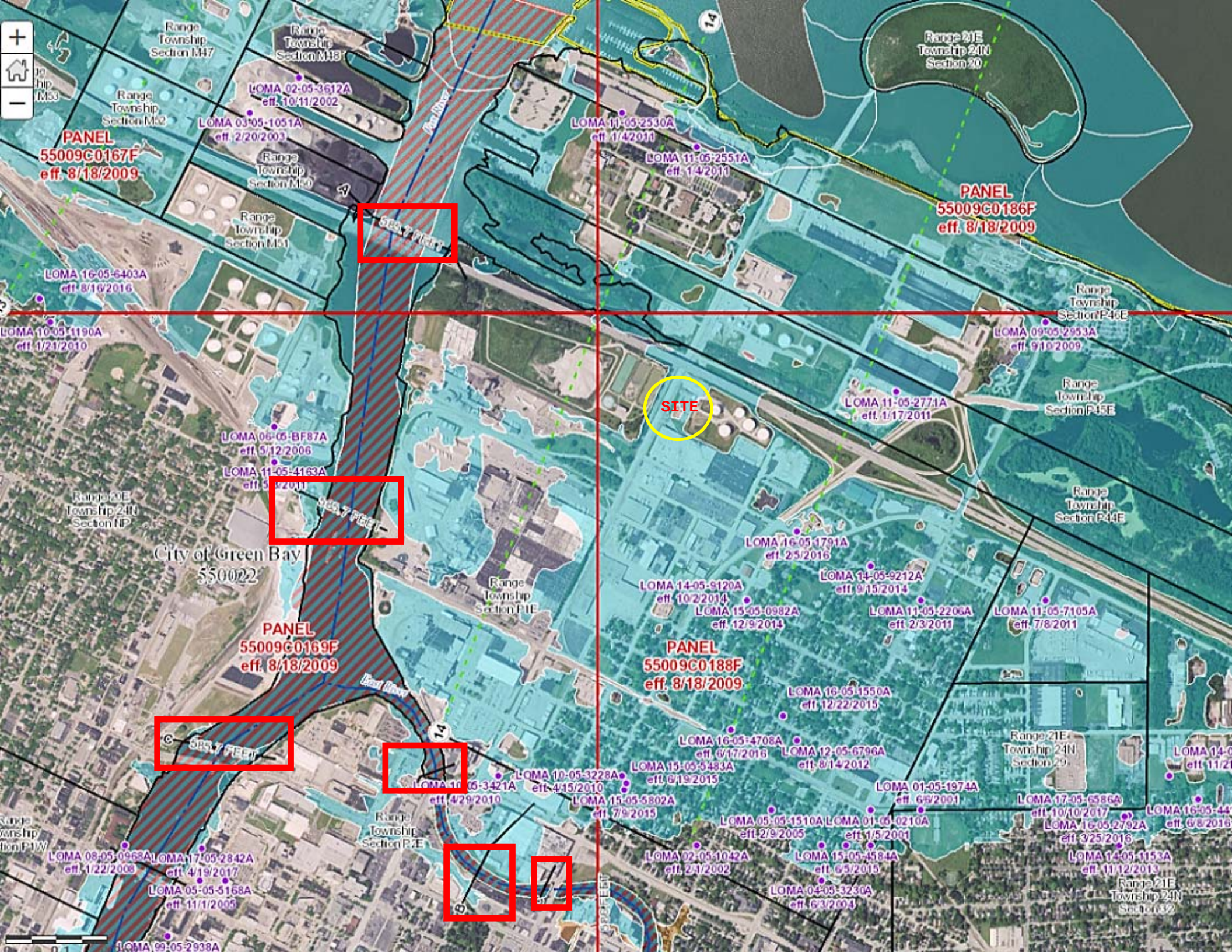
SHEET INFORMATION

SITE PLAN

SHEET NUMBER

C1.2

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MAP SCALE 1" = 500'

250 0 500 1000 FEET
METERS

PANEL 0188F

FIRM
FLOOD INSURANCE RATE MAP
BROWN COUNTY,
WISCONSIN
AND INCORPORATED AREAS

PANEL 188 OF 500
(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:

COMMUNITY	NUMBER	PANEL	SUFFIX
GREEN BAY, CITY OF	550022	0188	F

Notice to User: The **Map Number** shown below should be used when placing map orders; the **Community Number** shown above should be used on insurance applications for the subject community.



MAP NUMBER
55009C0188F
EFFECTIVE DATE
AUGUST 18, 2009
Federal Emergency Management Agency

This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT On-Line. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For the latest product information about National Flood Insurance Program flood maps check the FEMA Flood Map Store at www.msc.fema.gov