



AGENDA OF THE REDEVELOPMENT AUTHORITY OF THE CITY OF GREEN BAY

**TUESDAY, JANUARY 14, 2020, 1:30 PM
CITY HALL, ROOM 604 - THE HARRY MAIER ROOM**

A. Roll Call.

- I. Members: Gary Delveaux, Chair; Matt Schueller, Vice-Chair; Ald. Barbara Dorff, James Blumreich, Deby Dehn, Kathy Hinkfuss, and Melanie Parma.
Liaisons: Chelsea Kocken, Jeff Mirkes, and Leah Weycker.

B. Approval of the Agenda.

- I. Approval of the agenda for the January 14, 2020, meeting of the Redevelopment Authority.

C. Approval of Minutes.

- I. Approval of the minutes from the December 10, 2019, meeting of the Redevelopment Authority.

D. Regular Business.

- I. Consideration with possible action on the disposition of 223 S Buchanan Street (Tax Parcel 3-1175-R), 227 S Buchanan Street (Tax Parcel 3-1063-2), 1207 Western Avenue (Tax Parcel 3-804-A), and 1253 9th Street (Tax Parcel 1-428-C) to Greater Green Bay Habitat for Humanity for the construction of four (4) single-family homes.
2. Consideration with possible action on a development agreement with Jane Juza for the property located at 1361-1363 Smith Street (Tax Parcel 7-411) under the New Homes in Your Neighborhood program.
3. Consideration with possible action on awarding a full housing study for the City of Green Bay to MSA Professional Services, Inc. in the amount of \$33,800.00.
4. Consideration with possible action for approval of final payment to Northern Electric Inc., in the amount of \$28,683.71, for Contract "CD 18-01 Beaver Dam Park Ballfield Lighting."

5. Consideration with possible action to award RFQ #3204 – Interior Demolition and Exterior Clean Up of 158 N. Maple Avenue to the lowest responsive, responsible vendor.
6. Consideration with possible action on approving the terms of a short sale proposal for 1155 Stuart Street.

E. Informational.

1. Update on RDA-owned properties.
2. Financial report and check register.
3. Director's report and project updates.
4. Next meeting: February 11, 2020 at 1:30 PM.

F. Adjournment.

- 1) THIS MEETING IS RECORDED: THE VIDEO OF THIS MEETING AND MINUTES ARE AVAILABLE ONLINE AT www.greenbaywi.gov
- 2) ACCESSIBILITY: Any person wishing to attend who requires special accommodation because of a disability, should contact the City Safety Manager at 920-448-3125 at least 48 hours before the scheduled meeting time so that arrangements can be made.
- 3) QUORUM: Please take notice that a majority or quorum of the Common Council will attend this Redevelopment Authority meeting and will constitute a meeting of the Common Council for purposes of discussion and information gathering relative to this agenda.
- 4) REPRESENTATION: The party requesting the communication, or their representative, should be present at this meeting.



MINUTES OF THE REDEVELOPMENT AUTHORITY OF THE CITY OF GREEN BAY

**TUESDAY, DECEMBER 10, 2019, 1:30 PM
CITY HALL, ROOM 604 - THE HARRY MAIER ROOM**

A. ROLL CALL.

I. Members: Gary Delveaux, Chair; Matt Schueller, Vice-Chair; Ald. Barbara Dorff, James Blumreich, Deby Dehn, Kathy Hinkfuss, and Melanie Parma.

Liaisons: Chelsea Kocken, Jeff Mirkes, and Leah Weycker.

Members Present: Matt Schueller, Barbara Dorff, Deby Dehn, Gary J. Delveaux, James Blumreich,

Excused: Kathy Hinkfuss, Melanie Parma

Liaisons Present: Leah Weycker

B. APPROVAL OF THE AGENDA.

I. Approval of the agenda for the December 10, 2019, meeting of the Redevelopment Authority.

Moved by James Blumreich, seconded by Ald. Barbara Dorff to approve. Motion carried.

Yes- Barbara Dorff, Gary J. Delveaux, James Blumreich, Matt Schueller, Deby Dehn, No- None,

Abstain- None

C. APPROVAL OF MINUTES.

I. Approval of the minutes from the November 12, 2019, meeting of the Redevelopment Authority.

Moved by James Blumreich, seconded by Ald. Barbara Dorff to approve. Motion carried.

Yes- Barbara Dorff, Gary J. Delveaux, James Blumreich, Matt Schueller, Deby Dehn, No- None,
Abstain- None

D. REGULAR BUSINESS.

I. Consideration with possible action to approve a request by DDL Holdings, LLC, to transfer real property, in accordance with Development Agreement 17-02 (Rail Yard: North).

The Authority may convene in closed session pursuant to Sections 19.85(1)(e), Wis. Stats., for purposes of deliberating or negotiating the sale of public properties, investing of public funds or conducting other specified public business as necessary for competitive or bargaining reasons. The Authority may thereafter reconvene in open session pursuant to Section 19.85(2), Wis. Stats., to report the results of the closed session and consider the balance of the agenda.

Moved by James Blumreich, seconded by Matt Schueller to approve the request by DDL Holdings, LLC, to transfer real property, in accordance with Development Agreement 17-02 (Rail Yard: North). Motion carried.

Yes- Barbara Dorff, Gary J. Delveaux, James Blumreich, Matt Schueller, Deby Dehn, No- None,
Abstain- None

E. INFORMATIONAL.

1. Financial report and check register.

2. Bonding update.

Diana Ellenbecker provided the bonding update.

3. Director's report and project updates.

Kevin Vonck provided the Director's report and project updates.

4. Next meeting: January 14, 2020 at 1:30 PM.

F. ADJOURNMENT.

Moved by Ald. Barbara Dorff, seconded by Matt Schueller to adjourn. Motion carried.

Yes- Barbara Dorff, Gary J. Delveaux, James Blumreich, Matt Schueller, Deby Dehn, No- None,

Abstain- None



Report to the
Redevelopment Authority
of the City of Green Bay

MEETING DATE

January 14, 2020

PREPARED BY

Ken Rovinski, Staff

AGENDA ITEM # D.I.

Consideration with possible action on the disposition of 223 S Buchanan Street (Tax Parcel 3-1175-R), 227 S Buchanan Street (Tax Parcel 3-1063-2), 1207 Western Avenue (Tax Parcel 3-804-A), and 1253 9th Street (Tax Parcel 1-428-C) to Greater Green Bay Habitat for Humanity for the construction of four (4) single-family homes.

BACKGROUND

Greater Green Bay Habitat for Humanity has been working in neighborhood development for many years and the RDA has deeded numerous parcels to the organization for new home construction. With the City's design standards for new home construction on infill lots requiring a design that fits the neighborhood, Habitat continually seeks parcels within the City that allow for a single-story home to be constructed in order to keep construction costs low. The four (4) properties that Habitat has selected for construction in Green Bay for 2020 have been reviewed by Staff and support single-story designs without requiring any subsidy. Staff has reviewed the four (4) designs proposed and supports the redevelopment of these parcels with minor changes to the plans to further enhance the design to better fit the neighborhood (i.e. windows, garage placement, exterior materials, etc.)

RECOMMENDATION

Approve the disposition of 223 S Buchanan Street (Tax Parcel 3-1175-R), 227 S Buchanan Street (Tax Parcel 3-1063-2), 1207 Western Avenue (Tax Parcel 3-804-A), and 1253 9th Street (Tax Parcel 1-428-C) to Greater Green Bay Habitat for Humanity for the construction of four (4) single-family homes and allow staff to work with the developer to finalize design plans.

FISCAL IMPACT

223 S Buchanan Street: purchased 6/23/2016 for \$8,346.73 with NEF
227 S Buchanan Street: purchased 8/13/2019 for \$10,018.38 with NEF
1207 Western Avenue: purchased 1/27/2019 for \$59,930.00 with CDBG
1253 9th Street: purchased 8/14/2018 for \$15,100.00 with CDBG

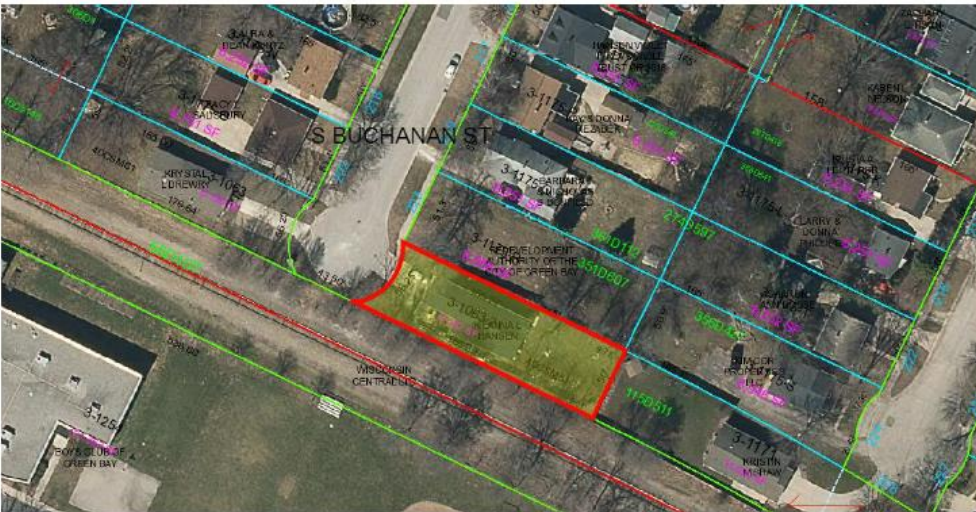
ATTACHMENTS

1. Habitat properties
2. 223 S Buchanan Street - Plan
3. 227 S Buchanan Street - Plan
4. 1207 Western Avenue - Plan
5. 1253 9th Street - Plan

223 South Buchanan Street



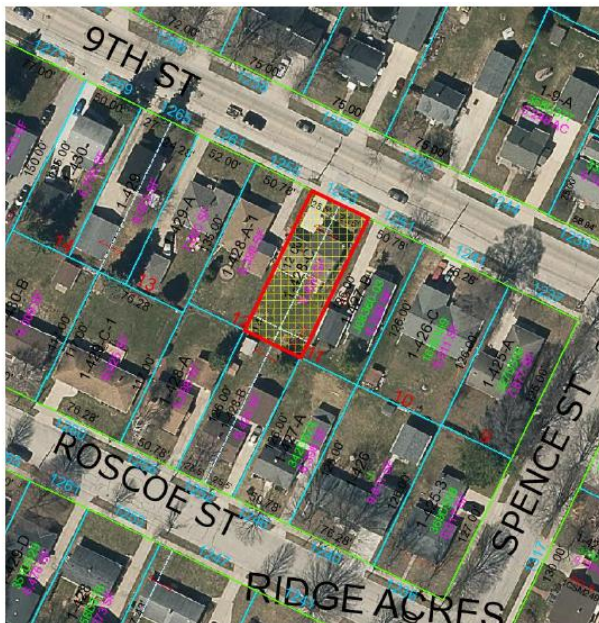
227 South Buchanan Street



1207 Western Avenue



1253 9th Street



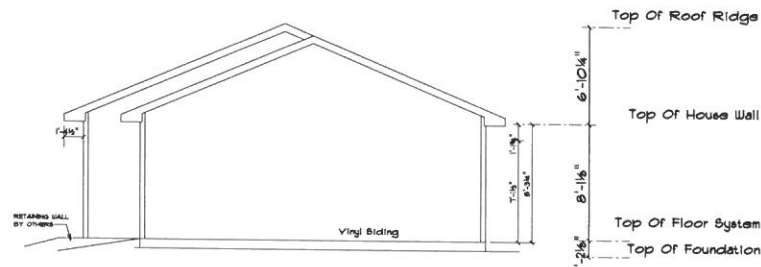
223 S. Buchanan Street

SQUARE FOOTAGE:	
FIRST FLOOR:	285
FINISHED BASEMENT:	750
GARAGE:	576
COVERED PORCH:	66



FRONT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"

CUSTOM DESIGNED FOR	
Greater Green Bay Habitat For Humanity	
DATE: 12/20/2018	DATE: 12/20/2018
DESIGNER: J. L. HALL	DATE: 12/20/2018
PROJECT: 19-344-R	DATE: 12/20/2018

IMPORTANT NOTE:
 IT IS ADVISED THAT ALL HOUSES BUILT BY HABITAT FOR HUMANITY ARE DESIGNED BY A PROFESSIONAL ARCHITECT AND CONSTRUCTION BY A LICENSED CONTRACTOR. IT IS THE RESPONSIBILITY OF THE HOMEOWNER TO VERIFY THAT THE HOUSE IS BUILT TO THE SPECIFICATIONS OF THE ARCHITECTURAL PLAN AND TO OBTAIN A PERMIT FROM THE LOCAL BUILDING DEPARTMENT. IT IS NOT RESPONSIBLE FOR ANY DISCREPANCIES OR DAMAGES TO THE HOUSE OR TO THE HOMEOWNER'S PERSONAL PROPERTY.

WISCONSIN
 P.O. BOX 1000
 GREEN BAY, WI 54301
 OFFICE: 920.835.1234
 FAX: 920.835.1235
 WWW.WISCONSINBUILDINGSUPPLY.COM





-NOT FOR CONSTRUCTION-

SQUARE FOOTAGE:	
FIRST FLOOR:	1285
FINISHED BASEMENT:	T.B.D.
GARAGE:	576
COVERED PORCH:	66

CUSTOM DESIGNED FOR:
Greater Green Bay Habitat For Humanity

IMPORTANT NOTE:

* IT IS AGREED THAT ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING AND CHECKING THESE PLANS FOR ACCURACY, THE GENERAL CONTRACTOR/OWNER MUST REVIEW ALL DIMENSIONS, DETAILS AND NOTES BEFORE BEGINNING ANY CONSTRUCTION AND IS HEREBY HELD RESPONSIBLE FOR ANY DISCREPANCIES.

IT IS UNDERSTOOD THAT THE UNKNOWN SAFETY AND PROFESSIONAL SERVICES CODE AND LAYOUT DRAWINGS FOR FLOOR AND ROOF TRAMMERS WILL TAKE FINAL PRECEDENCE OVER THESE ARCHITECTURAL PLANS.

MAILING ADDRESS:
P.O. BOX 10001
GREEN BAY, WI 54307-0001

COMPONENTS:
1745 NORMAN TERRACE
GREEN BAY, WI 54303
PHONE 780/986-8094
FAX 780/986-8090

OFFICE:
2700 LARSEN ROAD
GREEN BAY, WI 54303
PHONE 780/986-8080
FAX 780/986-8070



Wisconsin
BUILDING SUPPLY

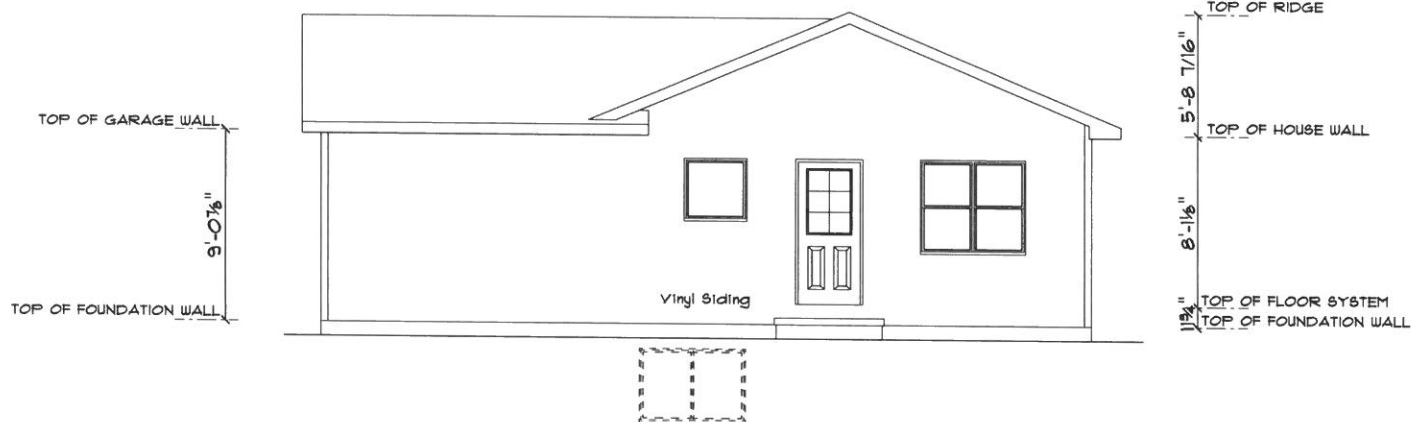
227 S. Buchanan St.



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

NOTE:
THESE ELEVATIONS ARE CLOSE FACSIMILES ONLY
AND ARE FOR GENERAL REFERENCE PURPOSES.
THESE ELEVATIONS ARE NOT INTENDED TO BE
COMPLETELY ACCURATE REPRESENTATIONS
OF DESIRED END RESULT.
BUILDER TO CONSULT OWNER FOR EXACT DETAILS.



REAR ELEVATION

SCALE: 1/4" = 1'-0"

IMPORTANT NOTE:

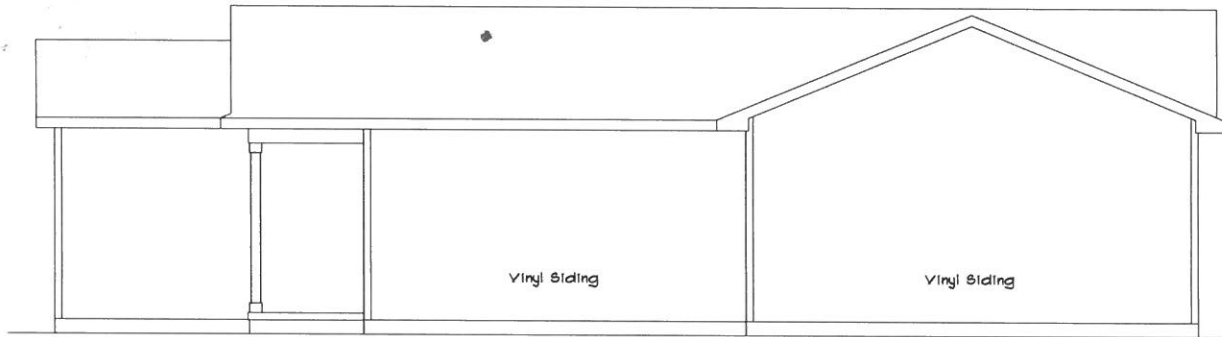
- * IT IS AGREED THAT ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING AND CHECKING THESE PLANS FOR ACCURACY, THE GENERAL CONTRACTOR/OWNER MUST REVIEW ALL DIMENSIONS, DETAILS AND MATERIALS FOR CORRECTNESS AND IS HEREBY HELD RESPONSIBLE FOR ANY DISCREPANCIES THEREAFTER.
- * IT IS UNDERSTOOD THAT THE WORKMAN UNIFORM DUELING CODE AND PRECEDENCE OVER THESE ARCHITECTURAL PLANS.

CUSTOMER DESIGNED FOR:		GREATER GREEN BAY	
		HABITAT FOR HUMANITY	
JOB NAME:	1742 Chicago St. (Garage Back)	325 SQ. FT. (Fin. Basement)	
DRAWN BY:	AME. SCHELLEKE	82. FT. x 1094 SQ. FT.	
DATE:	09 MAR 2015	SCALE:	1/4" = 1'-0"
REVISIONS:		PLAN NO.:	15-091-R
			(14-417-R)

OFFICE:
PHONE (800) 496-5080
FAX (800) 496-5080
1742 CHICAGO ST.
P.O. BOX 10001
GREEN BAY, WI 54301

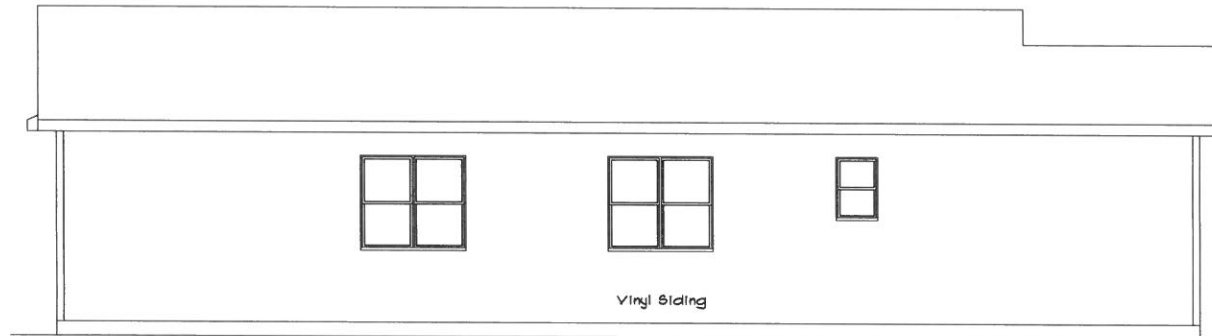
COMPONENTS:
PHONE (800) 496-5084
FAX (800) 496-5084
1742 CHICAGO ST.
P.O. BOX 10001
GREEN BAY, WI 54301

Wisconsin
BUILDING SUPPLY



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

OFFICE:
PHONE (307) 496-5080
FAX (307) 494-9570
1850 LARSEN ROAD
PO BOX 1000
GREEN BAY, WI 54301

COMPONENTS:
PHONE (307) 496-5084
FAX (307) 496-018
146 MORRIS TERRACE
GREEN BAY, WI 54303

CUSTOMER DESIGNED FOR:

GREATER GREEN BAY
HABITAT FOR HUMANITY

JOB NAME: 1742 Chicago St. (Garage Back) 325 SQ. FT. (Fin. Basement)

DRAWN BY: AME SCHILLKE SQ. FT.: 1094 SQ. FT.

DATE: 08 MAR 2019 SCALE: 1/4" = 1'-0"

REVISIONS: PLAN NO.: 15-091-R

IMPORTANT NOTE:

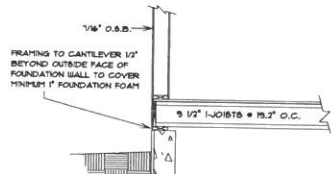
* IT IS AGREED THAT ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING AND CHECKING THESE PLANS FOR ACCURACY, THE GENERAL CONTRACTOR/OWNER MUST REVIEW ALL DIMENSIONS, DETAILS AND NOTES BEFORE BEGINNING ANY CONSTRUCTION AND IS HEREBY HELD RESPONSIBLE FOR ANY DISCOVERED DISCREPANCIES.

* IT IS UNDERSTOOD THAT THE UNCOMMON UNIFORM DUELING CODE AND LAYOUT DRAWINGS FOR ROOF AND ROOF TRUSSES SHALL TAKE FINAL PRECEDENCE OVER THESE ARCHITECTURAL PLANS.

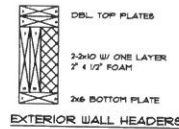
Wisconsin
BUILDING SUPPLY

FLOOR PLAN

8'-1 1/8" CLG. HGT.
1094 SQ. FT.
283 SQ. FT. (GARAGE)
44 SQ. FT. (PORCH)



BOX SILL DETAIL
SCALE: 3/8" = 1'-0"



EXTERIOR WALL HEADERS

NOTES:

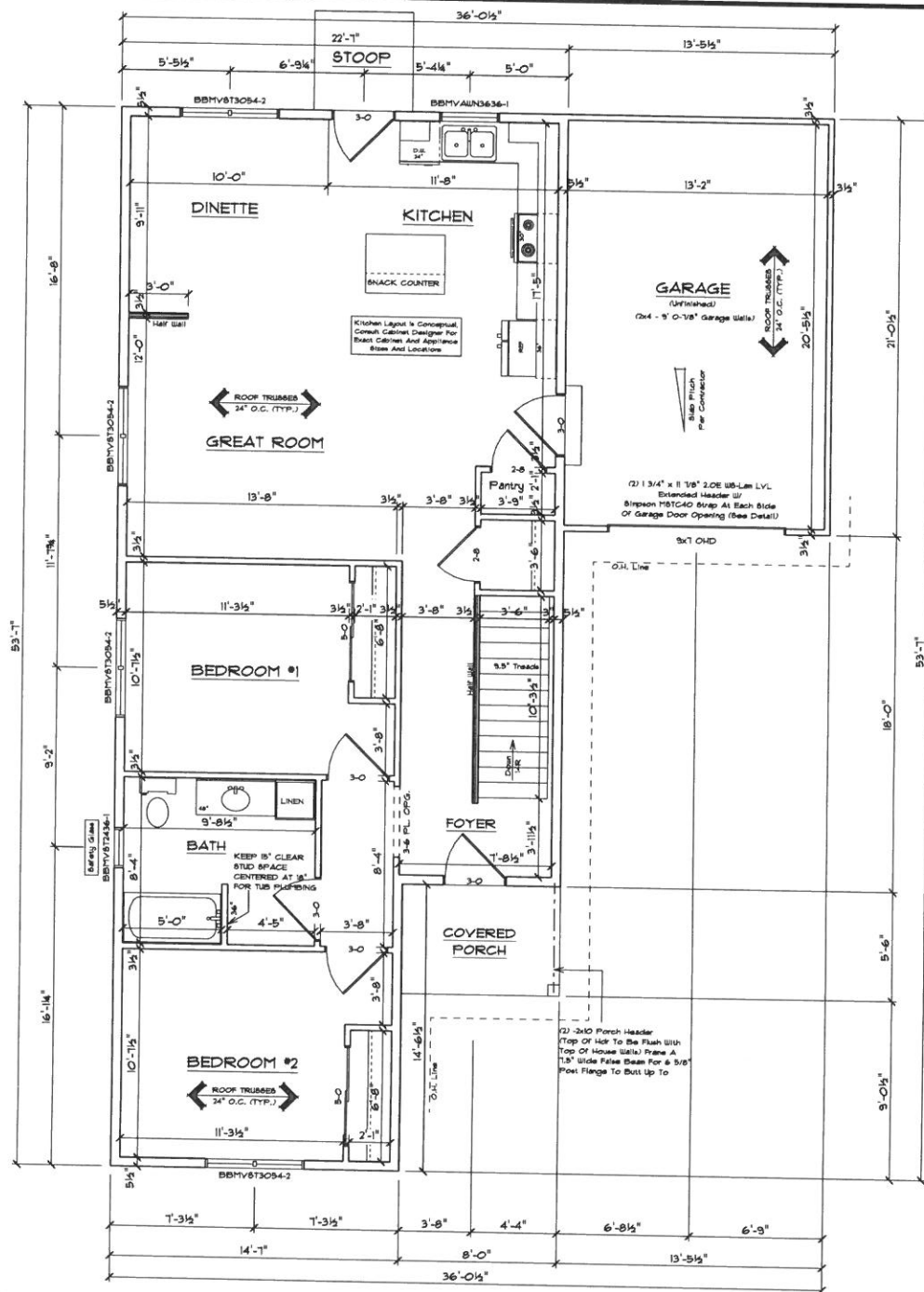
- FLOOR SYSTEM: 1ST FLR: 9' 1/2" I-JOISTS @ 19.2" O.C.
LOADING: TOTAL LOAD = 90K
LL = 40K
DL = 10K
(ADDITIONAL 10K DL = TILE AREAS)
(ADDITIONAL 20K DL = GRANITE AREAS)
FLOOR DEFLECTION: LL = L/360
TL = L/740
DURATION OF LOAD: 1.00K
- ROOF SYSTEM: WOOD TRUSSES @ 24" O.C.
LOADING: TOTAL LOAD = 90K
LL = 40K
DL = 10K
TCOL = 10K
TCOL = 10K
ROOF DEFLECTION: LL = L/240
TL = L/80
DURATION OF LOAD: 1.00K
- STD. HEADERS: (2x10)
- EXT. WALL STUDS: 1ST FLR: 2x4 @ 5/8"
- INT. WALL STUDS: 1ST FLR: 2x4 @ 5/8"
- WINDOW SIZES SHOWN ARE FOR JELDEN BRICKMOLD VINYL WINDOWS SEE CATALOG FOR DETAILS
- ALL DIMENSIONS SHOWN ARE TO FACE OF STUD.
- STAIRS: BSMT. TO 1ST FLR: 14 RISERS @ 7 1/2" TREADS @ 5.5"
- PROVIDE ATTIC ACCESS PANEL @ 2' x 2' POAM ON BACK OF 5/8" GYPSUM BOARD. SET ON FOAM WEATHERSTRIP ROUGH OPENING TO BE @ 10'x10'. PROVIDE 1/2" OSB INSULATION Baffles 16" TO TOP MEASURED FROM BOTTOM OF TRUSSES.
VIN. CODE CLEAR FINISH OPEN OF ACCESS @ 14"x14"
- AT BEDROOM 2, BATH, BEDROOMS, AND HALL CLOSETS INSTALL MINIMUM OF 3-2x6 BACKING FOR CLOSET POLE BRACKET CENTERED IN CLOSET AT 10' TO TOP
- FOR STAIR RAILING INSTALL MINIMUM OF 3-2x6 BLOCKING AT TOP AND BOTTOM OF STAIRS AND 3 AT MIDDLE BRACED 3'-3" APART AT 36" TO TOP OF BLOCKING FOR A TOTAL OF FIVE BRACKETS SPACED
- THE ABOVE CONDITIONS LISTED ARE STANDARD FOR THIS PLAN (EXCEPTIONS ARE NOTED ON THE PLAN).

NOTE:

EXTERIOR DIMENSIONS ARE SHOWN TO REFLECT HOUSE FRAMING WALLS HELD OUT 1/2" FOR EXTERIOR WALL SHEATHING TO FLUSH OUT WITH 1" FOUNDATION FOAM.

NOTE:

BUILDER RESPONSIBLE TO TRANSFER POINT LOADS FROM ABOVE THROUGH THE FLOOR SYSTEM, AND OTHER WALLS WITH SOLID BLOCKING DOWN TO FOUNDATION WALLS BELOW



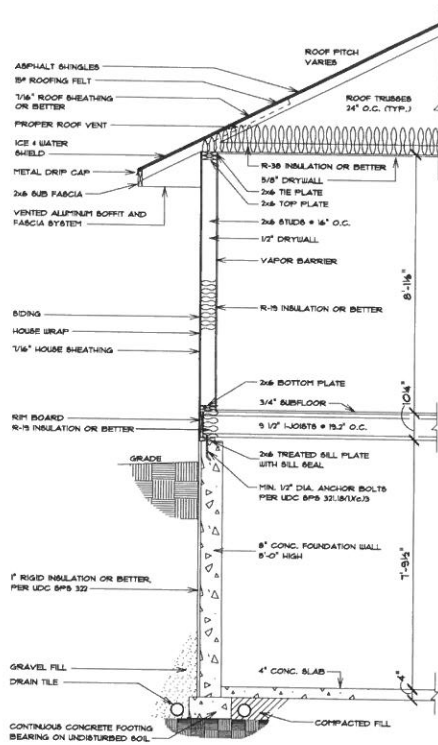
IMPORTANT NOTE:
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* IT IS UNDERSTOOD THAT THE WISCONSIN UNIFORM BUILDING CODE AND LATEST DRAWINGS FOR FLOOR AND ROOF TRUSSES SHALL TAKE FINAL PRECEDENCE OVER THESE ARCHITECTURAL PLANS.

CUSTOM DESIGNED FOR:
**GREATER GREEN BAY
HABITAT FOR HUMANITY**

JOB NAME: 1142 Chicago St. (Garage Block) 325 SQ. FT. (Fin. Basement)	502 FT. x 1094 SQ. FT.
DRAWN BY: AME SCHILLER	SCALE: 1/4" = 1'-0"
DATE: 03 MAR 2015	PLAN NO.: 15-091-R
REVISIONS: (14-41-R)	

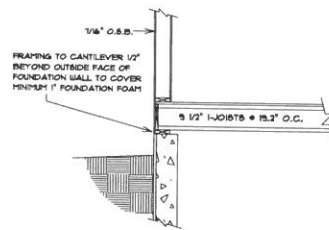
OFFICE:
PHONE (920) 486-5080
FAX (920) 486-5080
1950 LARSEN ROAD
P.O. BOX 10001
GREEN BAY, WI 54301
COMPONENTS:
PHONE (920) 486-5084
FAX (920) 486-5085
1745 MORRIS TERRACE
GREEN BAY, WI 54303

Wisconsin
BUILDING SUPPLY

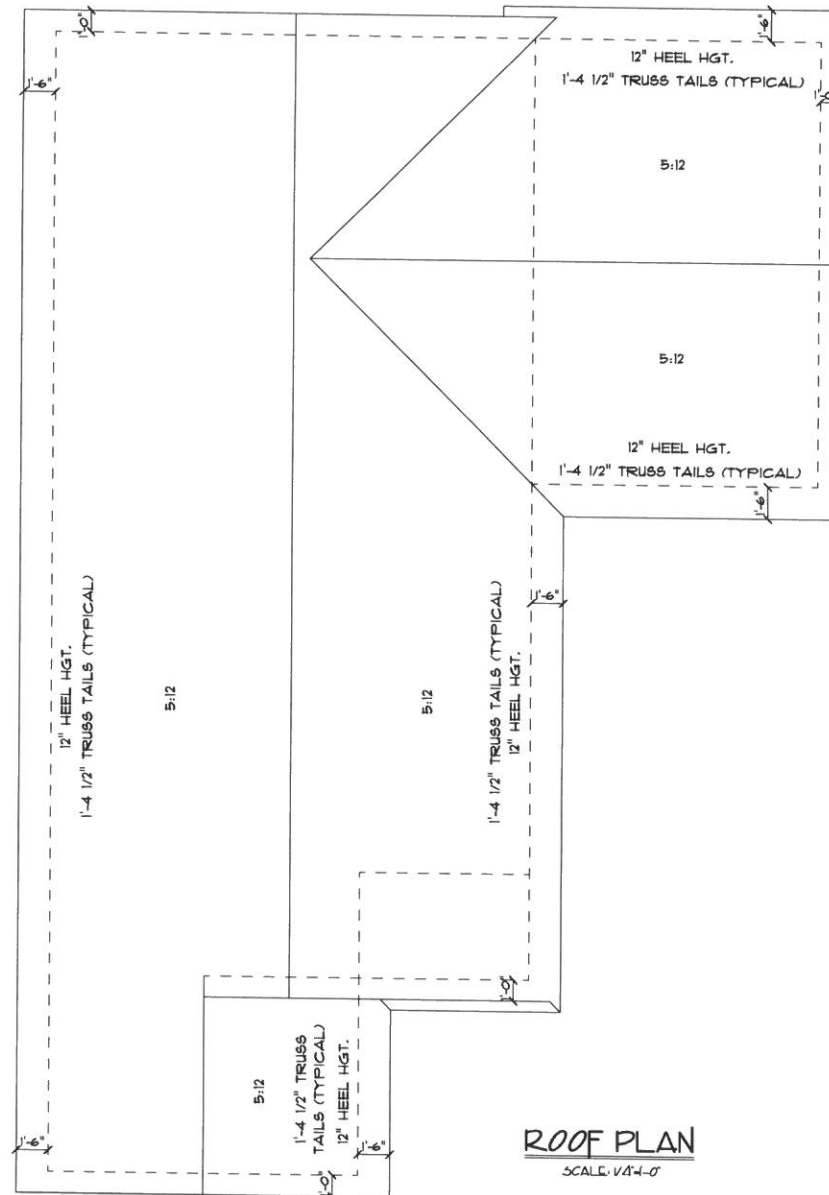


TYPICAL RANCH SECTION
SCALE: 3/8" = 1'-0"

ALL ITEMS TO BE VERIFIED BY CONTRACTOR



BOX SILL DETAIL
SCALE: 3/8" = 1'-0"



ROOF PLAN
SCALE: 1/4" = 1'-0"



OFFICE:
PHONE (300) 496-5080
FAX (300) 494-9870
1700 GREEN BAY ROAD
GREEN BAY, WI 54301

CUSTOM DESIGNED FOR:
GREATER GREEN BAY
HABITAT FOR HUMANITY

JOB NAME: 1742 Chicago St. (Garage Back)
DRAWN BY: AME SCHELEK
DATE: 03 MAR 2015
SCALE: AS NOTED
REVISIONS:
(14-117-R)
PLAN NO.: 15-091-R

IMPORTANT NOTE:

* IT IS AGREED THAT ALTHOUGH EVERY EFFORT HAS BEEN MADE IN THE PREPARATION OF THESE DRAWINGS, THE ARCHITECT MAKES NO WARRANTY, EXPRESS OR IMPLIED, THAT THE DRAWINGS ARE COMPLETE OR ACCURATE. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE PREPARATION OF THE DRAWINGS AND NOT TO THE CONSTRUCTION OF THE PROJECT. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY DISCREPANCIES OR OMISSIONS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY DISCREPANCIES OR OMISSIONS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY DISCREPANCIES OR OMISSIONS.



SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"

SQUARE FOOTAGE:

FIRST FLOOR:	1014
FUT. FIN. BASEMENT:	441
GARAGE:	320
COVERED PORCH:	70

CUSTOM DESIGNED FOR:

CUSTOM DESIGNED FOR:
Greater Green Bay - Habitat For Humanity

JOB NAME: 906 Waverly Place

REVISIONS:

3/11/19 AYB

PLAN 9,

PLAN •

18-525-R

IMPORTANT NOTE:

IMPORTANT NOTE: IT IS AGREED THAT ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING AND CHECKING THESE PLANS FOR ACCURACY, THE GENERAL CONTRACTOR/OWNER MUST REVIEW ALL DIMENSIONS, DETAILS AND NOTES BEFORE BEGINNING ANY CONSTRUCTION AND IS HEREBY HELD RESPONSIBLE FOR ANY DISCOVERED DISCREPANCIES.

EVERY HELD RESPONSIBLE FOR ANY DISCOVERED DISCREPANCIES.

IT IS UNDERSTOOD THAT THE WISCONSIN SAFETY AND PROFESSIONAL SERVICES CODE AND LAYOUT DRAWINGS FOR FLOOR AND ROOF TRUSSES SHALL TAKE FINAL PRECEDENCE OVER THESE ARCHITECTURAL PLANS.

OFFICE.

OFFICE: _____

1990 LARSEN ROAD

1990 LARSEN ROAD
GREEN BAY, WI 54303

GREEN BAY, WI 54303
PHONE (920)496-5080

PHONE (920) 496-5080
FAX (920) 494-9570

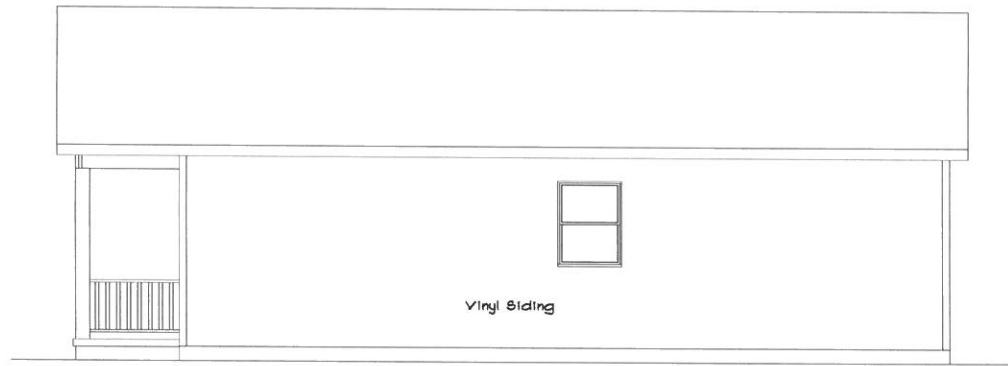
FAX (920) 494-9570

CONSEQUENTLY,

745 MORaine TERRACE

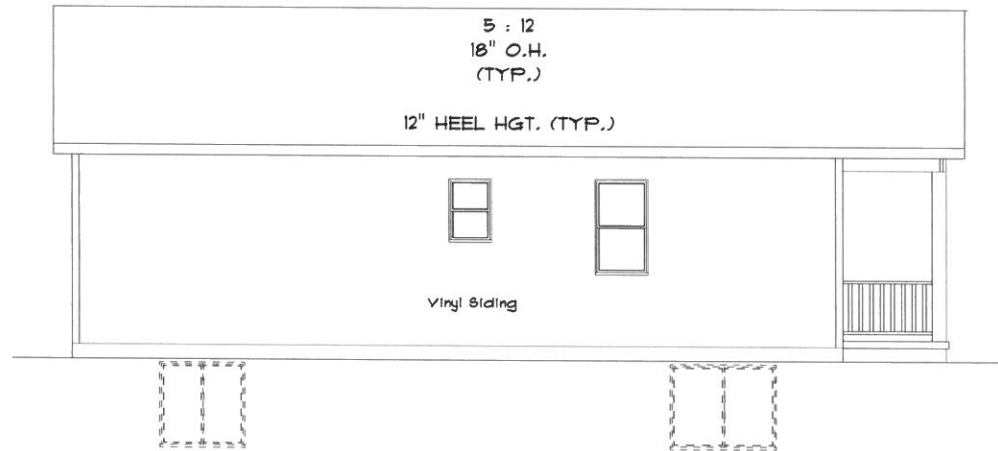
GREEN BAY, WI 54303
PHONE (920) 496-5094

MAILING ADDRESS:
P.O. BOX 10001
GREEN BAY, WI 54307-0001**Wisconsin**
BUILDING SUPPLY



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

SQUARE FOOTAGE:

FIRST FLOOR:	1014
FUT. FIN. BASEMENT:	441
GARAGE:	320
COVERED PORCH:	10

MAILING ADDRESS:
P.O. BOX 0000
GREEN BAY, WI 54301-0000

Wisconsin
BUILDING SUPPLY

OFFICE:
1890 LARSEN ROAD
GREEN BAY, WI 54303
PHONE (920) 434-5000
FAX (920) 434-5010

COMPONENTS: TERRACE
GREEN BAY, WI 54303
PHONE (920) 434-5034
FAX (920) 434-5078

IMPORTANT NOTE:

* IT IS AGREED THAT ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING AND CHECKING THESE PLANS FOR ACCURACY, THE GENERAL CONTRACTOR/OWNER MUST REVIEW ALL DIMENSIONS, DETAILS AND NOTES BEFORE BEGINNING ANY CONSTRUCTION AND IS HEREBY HELD RESPONSIBLE FOR ANY DISCOVERED DISCREPANCIES.

* IT IS UNDERSTOOD THAT THE WISCONSIN SAFETY AND PROFESSIONAL SERVICES CODE AND LAYOUT DRAWINGS FOR FLOOR AND ROOF SURFACES SHALL TAKE PRECEDENCE OVER THESE ARCHITECTURAL PLANS.

CUSTOM DESIGNED FOR:

Greater Green Bay - Habitat For Humanity

JOB NAME: 506 University Plaza

DATE: Dec. 14, 2009

DESIGN BY: Andy Banks

PLAN #: 18-525-R

BLANK OF 09

PLAN NUMBER

REVISIONS:

3/1/18 AYS

3/26/18 AYS

SQUARE FOOTAGE:

FIRST FLOOR:	1014
FUT. FIN. BASEMENT:	441
SARAGE:	320
COVERED PORCH:	70

PLAN SPECIFICATIONS:

* THE CONDITIONS LISTED BELOW ARE STANDARD FOR THIS PLAN ONLY. EXCEPTIONS ARE NOTED ON THE PLAN ITSELF.

WALL INFORMATION:

- 8" X 8" FOAMED CONCRETE
- FOAM INSULATION
- 8" FOAMED CONCRETE, TYP. 4" TALL
- HOUSE ENTRANCE
- FIRST FLOOR: 2" X 4" X 8" 1/8" STUDS + 1" O.C.
- HOUSE INTERIOR
- FIRST FLOOR: 2" X 4" X 8" 1/8" STUDS + 1" O.C.
- TALL WALLS ARE EXTERIOR WALLS UPN STUDS
- 8" EXTERIOR WALLS + 1" O.C. + 1" O.C. + 1" O.C.
- TALLER THAN 10'0" AND NEED TO BE DETAILED
- 8" EXTERIOR WALLS + 1" O.C. + 1" O.C. + 1" O.C.
- TALLER THAN 10'0" AND NEED TO BE DETAILED
- 8" EXTERIOR WALLS + 1" O.C. + 1" O.C. + 1" O.C.
- TALLER THAN 10'0" AND NEED TO BE DETAILED

STAIR INFORMATION:

- RAMP TO FIRST FLOOR
- 1 RAMP + 1" O.C. + 1" O.C. + 1" O.C.
- 1 RAMP + 1" O.C. + 1" O.C. + 1" O.C.

FLOOR SYSTEMS:

- RAMP TO FIRST FLOOR
- 1 RAMP + 1" O.C. + 1" O.C. + 1" O.C.
- 1 RAMP + 1" O.C. + 1" O.C. + 1" O.C.

ROOF SYSTEMS:

- ENGINEERED ROOF TRUSSES + 24" O.C.
- 24" O.C. FOR TYP. LOADS
- 24" O.C. FOR TYP. LOADS

HEADERS:

- 24" O.C. FOR TYP. LOADS
- 24" O.C. FOR TYP. LOADS
- 24" O.C. FOR TYP. LOADS

WINDOWS:

- 24" O.C. FOR TYP. LOADS
- 24" O.C. FOR TYP. LOADS
- 24" O.C. FOR TYP. LOADS

DOORS:

- 24" O.C. FOR TYP. LOADS
- 24" O.C. FOR TYP. LOADS
- 24" O.C. FOR TYP. LOADS

GENERAL INFORMATION:

- 24" O.C. FOR TYP. LOADS
- 24" O.C. FOR TYP. LOADS
- 24" O.C. FOR TYP. LOADS

IMPORTANT NOTE:

- 24" O.C. FOR TYP. LOADS
- 24" O.C. FOR TYP. LOADS
- 24" O.C. FOR TYP. LOADS

OFFICE:

- 24" O.C. FOR TYP. LOADS
- 24" O.C. FOR TYP. LOADS
- 24" O.C. FOR TYP. LOADS

COMPONENTS:

- 24" O.C. FOR TYP. LOADS
- 24" O.C. FOR TYP. LOADS
- 24" O.C. FOR TYP. LOADS

MAILING ADDRESS:

- 24" O.C. FOR TYP. LOADS
- 24" O.C. FOR TYP. LOADS
- 24" O.C. FOR TYP. LOADS

PHONE:

- 24" O.C. FOR TYP. LOADS
- 24" O.C. FOR TYP. LOADS
- 24" O.C. FOR TYP. LOADS

FAX:

- 24" O.C. FOR TYP. LOADS
- 24" O.C. FOR TYP. LOADS
- 24" O.C. FOR TYP. LOADS

WEBSITE:

- 24" O.C. FOR TYP. LOADS
- 24" O.C. FOR TYP. LOADS
- 24" O.C. FOR TYP. LOADS

EMAIL:

- 24" O.C. FOR TYP. LOADS
- 24" O.C. FOR TYP. LOADS
- 24" O.C. FOR TYP. LOADS

REVISIONS:

- 24" O.C. FOR TYP. LOADS
- 24" O.C. FOR TYP. LOADS
- 24" O.C. FOR TYP. LOADS

DATE:

- 24" O.C. FOR TYP. LOADS
- 24" O.C. FOR TYP. LOADS
- 24" O.C. FOR TYP. LOADS

DESIGN BY:

- 24" O.C. FOR TYP. LOADS
- 24" O.C. FOR TYP. LOADS
- 24" O.C. FOR TYP. LOADS

PLAN #:

- 24" O.C. FOR TYP. LOADS
- 24" O.C. FOR TYP. LOADS
- 24" O.C. FOR TYP. LOADS

BASED ON:

- 24" O.C. FOR TYP. LOADS
- 24" O.C. FOR TYP. LOADS
- 24" O.C. FOR TYP. LOADS

PLAN #131840

18-525-R

18-525-R

18-525-R

18-525-R

18-525-R

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18-525-R

18-525-R

18-525-R

18-525-R

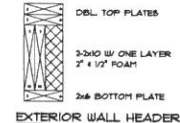
18-525-R

18-525-R

18-525-R

FLOOR PLAN

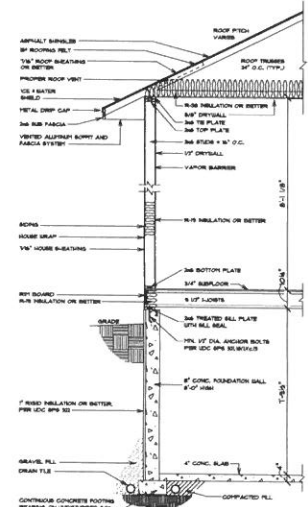
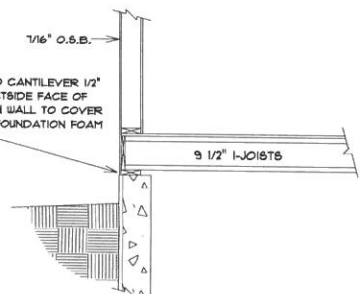
SCALE: 1/4" = 1'-0"
8'-1 1/8" CLG. HGT.



NOTE:
EXTERIOR DIMENSIONS ARE SHOWN TO REFLECT HOUSE FRAMING WALLS HELD OUT 1/2" FOR EXTERIOR WALL SHEATHING TO FLUSH OUT WITH 1" FOUNDATION FOAM. IF FOUNDATION FOAM IS TO BE OTHER THAN 1", FRAMING DIMENSIONS ARE TO BE FIELD ADJUSTED AND MAINTAIN ALL CODE COMPLIANCE ACCORDINGLY.

BOX SILL DETAIL

SCALE: 1/2" = 1'-0"

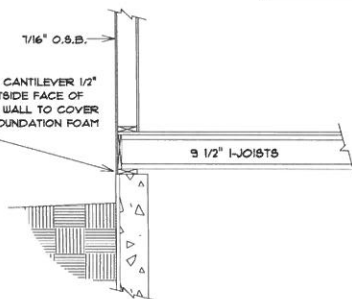
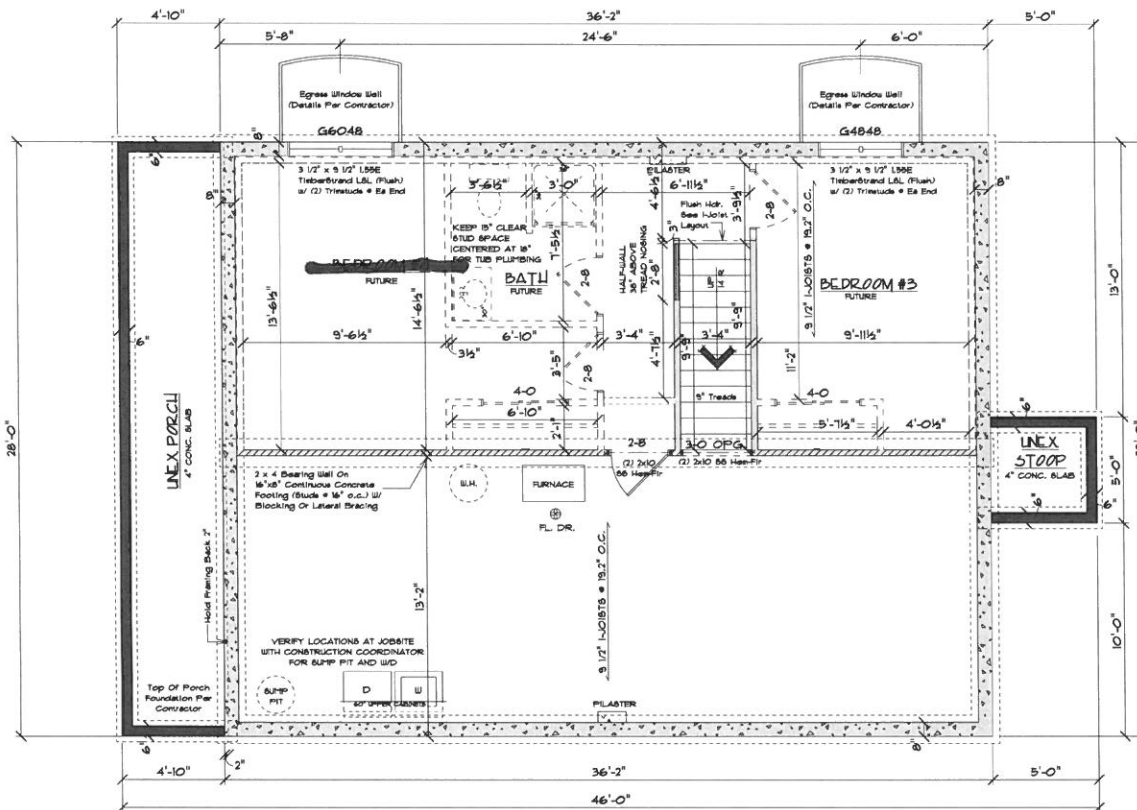


Greater Green Bay - Habitat For Humanity
 CUSTOM DESIGNED FOR:
Greater Green Bay - Habitat For Humanity
 JOB DATE: 306 SHIPPY PLACE
 DATE: DEC. 14, 2018
 DRAWN BY: Andy Shanks
 PLAN #:
 BASED ON:
 PLAN #131840

IMPORTANT NOTE:
 * IT IS AGREED THAT ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING AND CHECKING THESE PLANS FOR ACCURACY, THE GENERAL CONTRACTOR/OWNER MUST REVIEW ALL DIMENSIONS, DEPARTMENTS, AND MATERIALS BEFORE CONSTRUCTION. THE GENERAL CONTRACTOR/OWNER IS HEREBY HELD RESPONSIBLE FOR ANY DISCOVERED DISCREPANCIES.
 * IT IS UNDERSTOOD THAT THE SECONSON SAFETY AND PROFESSIONAL LIABILITY INSURANCE POLICY COVERAGE SHALL TAKE FINAL PRECEDENCE OVER THESE ARCHITECTURAL PLANS.

OFFICE:
 GREEN BAY, WI 54303
 PHONE (920)434-5060
 FAX (920)434-5070
 COMPONENTS:
 1145 MORRIS TERRACE
 GREEN BAY, WI 54303
 PHONE (920)434-5074
 FAX (920)434-5075

Wisconsin
 BUILDING SUPPLY



SQUARE FOOTAGE:

FIRST FLOOR: 1014
 FUT. FIN. BASEMENT: 441
 GARAGE: 320
 COVERED PORCH: 10

PLAN SPECIFICATIONS:

THE CONDITIONS LISTED BELOW ARE STANDARD FOR THIS PLAN ONLY - EXCEPTIONS ARE NOTED ON THE PLAN ITSELF

WALL INFORMATION:
 HOUSE FOUNDATION: 8" x 8'-0" POURED CONCRETE
 PORCELAINTO FOUNDATION: 8" POURED CONCRETE MIN. 4'-0" TALL
 HOUSE EXTERIOR: 3 1/2" x 8'-1 1/2" STUDS @ 16" O.C.
 FIRST FLOOR: 2 1/2" x 8'-1 1/2" STUDS @ 16" O.C.
 HOUSE INTERIOR: 2 1/2" x 8'-1 1/2" STUDS @ 16" O.C.
 TALL WALLS ARE EXTERIOR WALLS WITH STUDS TALLER THAN 10'-0" AND NEED TO BE DESIGNED BY ENGINEERED WOOD PRODUCTS SUPPLIER
 TYPED WALLS ARE TO BE BRANDED TO UNDERLIE OF SCISSORS ROOF TRUSSES

STAIR INFORMATION:
 BASEMENT TO FIRST FLOOR:
 8" RISERS x 11 1/2" TREADS @ 9"

FLOOR SYSTEMS:
 BASEMENT:
 4" REINFORCED CONCRETE SLAB
 FIRST FLOOR:
 8" JOISTS @ 16" O.C.
 STD. LOADS (PER B.C. 7.1)

ADD'L. L.O.P. CL.
 ADDITIONAL LOADING (PER B.C. 7.1)
 30' L.O.P. FOR GRAVELS

DEFLECTION (L.L.O.P. CL.)
 DURATION OF LOAD: LONG
 * REFER TO REFERENCE JOIST/BEAM LAYOUT PLANS TO VERIFY EXACT SIZE AND LOCATION OF ALL FLOOR HEADERS AND BEAMS IN FLOOR SYSTEM

ROOF SYSTEM:
 ENGINEERED WOOD TRUSSES @ 14' O.C.
 DESIGNED FOR BROWN COUNTY - ZONE 15
 STD. LOADS (PER B.C. 7.1)
 30' L.O.P. FOR GRAVELS

DEFLECTION (L.L.O.P. CL.)
 DURATION OF LOAD: LONG
 * REFER TO REFERENCE TRUSS LAYOUT PLANS TO VERIFY EXACT LOCATIONS OF GUSSET TRUSSES AND THEIR RESPECTIVE BEARING REQUIREMENTS & JOINT ANCHORING REQUIREMENTS

HEADERS:
 STD. HEADERS: (2) 2X10 HPSR SELECT STRUCTURAL W/ PLAT
 TOP OF UNDOOR R.O.S.
 FIRST FLOOR @ 4'-6" 3/4" ABOVE SUBFLOOR
 FINISH OF (2) 2X10 STUDS AT EACH END FOR ALL OPENINGS 6'-0" AND LARGER

WINDOWS:
 ALLUANCE VINYL WINDOWS
 MANUFACTURER TO PROVIDE SUPPLIER WITH EXACT R.O. SIZES AND DETAILS. SUPPLIER TO VERIFY THAT ALL CODE REQUIREMENTS ARE MET.

GENERAL INFORMATION:
 THE FOLLOWING ITEMS ARE TO BE LOCATED IN THE FOUNDATION BY THE GENERAL CONTRACTOR:
 BASEMENT UNDOOR FLOOR DRAINS
 ELECTRIC SERVICES WATER HEATER
 SUPPLY PIT & PUMP FURNACE

BUILDER TO PROVIDE HEADERS AT CONCRETE OPENINGS IF NOT NOTED ON THE FOUNDATION PLAN
 POURED CONCRETE FLOOR TO BEAR ON UNDOOR R.O.S. BELOW THE PROJECT LINE

STEEL COLUMNS TO SUPPORT 2000#
 BEARING WALLS TO BE ON REINFT 16" x 16" CONTINUOUS CONCRETE FOOTINGS, STUDS @ 16" O.C. WITH BLOCKING OR LATERAL BRACING

AMPHIBOLUS CAPACITY @ 2000 P.S.F. 15' DEEP
 TEST BE ASSURED FOR VARYING SOIL CONDITIONS
 FOUNDATION WALLS ARE TO BE UNREINFORCED 2000 P.S.F. CONCRETE. WALLS ARE OBTAINED FROM 1/2" SPS TABLES BASED ON THE HEIGHT OF THE UNBALANCED FILL. PROPER REINFORCEMENT OBTAINED BY OTHERS MAY ALLOW FOR WALLS THAT ARE LESS THICK, BUT ANY DEVIATION FROM THE DIMENSIONS SHOWN ON THE PLAN IS THE RESPONSIBILITY OF THE FOUNDATION CONTRACTOR AND/OR THE GENERAL CONTRACTOR

ALL LUMBER IN PERMANENT CONTACT W/ CONCRETE MUST BE PRESURE TREATED LUMBER AS PER SPS 3.3.1.3.1
 DUE TO UNKNOWN GRADE CONDITIONS, ACTUAL STEPS IN FOUNDATION WALLS AND LOCATION OF WINDOW SILLS TO BE DETERMINED ON SITE BY GENERAL CONTRACTOR

RELIEF IS RESPONSIBLE FOR TRANSPORTING POINT LOADS FROM ABOVE THROUGH THE FLOOR SYSTEMS AND WALLS, IF SOLID BLOCKING DOWN TO CONCRETE FOUNDATION WALLS BELOW

PLAN IS DRAWN ACCORDINGLY FOR 3 1/4" CANS
 ALL EXTENSIONS BEYOND ARE FROM 8'10" TO 8'10"
 BUILDER TO PROVIDE ATTIC SCUTTLE AND LOCATION
 FIRE SEPARATION THAT BE PROVIDED BETWEEN HOUSE AND GARAGE (SEE CODE FOR DETAILS)

ALL CABINET LAYOUTS ARE CONCEPTUAL. CONSULT CABINET DESIGNER/ PROVIDER FOR EXACT SIZES AND LOCATIONS OF CABINETS, APPLIANCES, AND WINDOWS

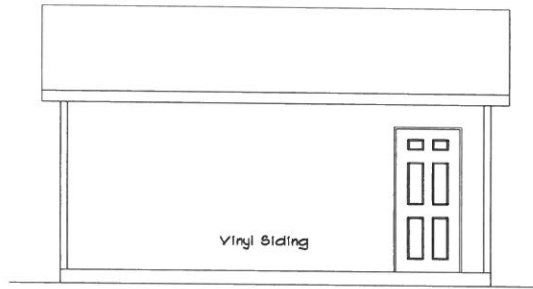
IMPORTANT NOTE:

IT IS AGREED THAT ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING AND CHECKING THESE PLANS FOR ACCURACY, THE ARCHITECT ASSUMES NO LIABILITY FOR ANY ERRORS, OMISSIONS, DETAILS AND NOTED BEFORE BEGINNING ANY CONSTRUCTION AND IS HEREBY HELD RESPONSIBLE FOR ANY DISCOVERED DISCREPANCIES.
 IT IS UNDERSTOOD THAT THE UNCONFINED SAFETY AND PROFESSIONAL SERVICE CODE AND LAYOUT DRAWINGS FOR FLOOR AND ROOF TRUSSES SHALL TAKE FINAL PRECEDENCE OVER THESE ARCHITECTURAL PLANS.

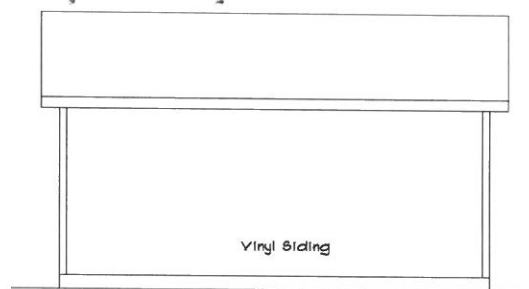
OFFICE:
 GREEN BAY, WI 54303
 PHONE (920) 438-5000
 FAX (920) 438-5000
 COMPONENTS:
 THE MORGAN TERRACE
 GREEN BAY, WI 54303
 PHONE (920) 438-5000
 FAX (920) 438-5000

MAILING ADDRESS:
 P.O. BOX 00001
 GREEN BAY, WI 54307-0001
Wisconsin
 BUILDING SUPPLY

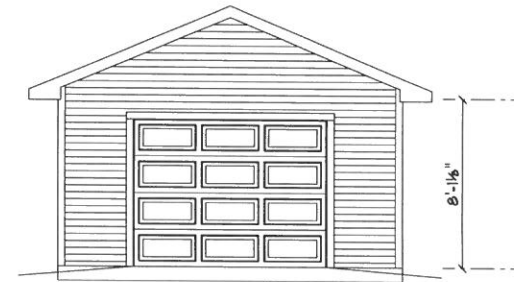
CUSTOM DESIGNED FOR:
Greater Green Bay - Habitat For Humanity
 JOB NAME: 506 Waverly Place
 DATE: DEC. 14, 2019
 DRAWN BY: Andy Burke
 PLAN #: 18-525-R
 PLAN TALK: 18-525-R
 REVISIONS:
 3/17/19 AYS
 3/28/19 AYS



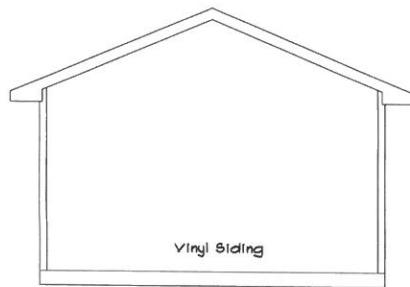
LEFT PLAN
SCALE: 1/4"=1'-0"



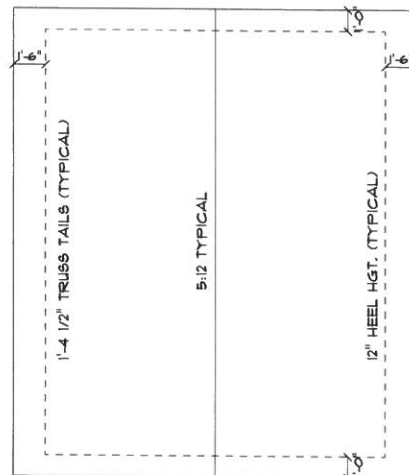
RIGHT PLAN
SCALE: 1/4"=1'-0"



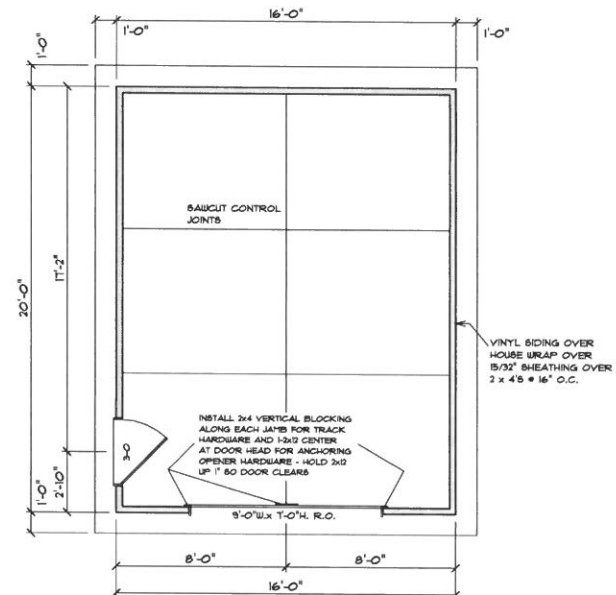
FRONT PLAN
SCALE: 1/4"=1'-0"



REAR PLAN
SCALE: 1/4"=1'-0"



ROOF PLAN
SCALE: 1/4"=1'-0"



FLOOR PLAN
SCALE: 1/4"=1'-0"

NOTE:

THIS CONSTRUCTION PLAN CURRENTLY DOESN'T NOTATE PROPER WALL BRACING REQUIREMENTS. PLEASE CONTACT LOCAL BUILDING OFFICIAL TO VERIFY IF BRACING IS REQUIRED FOR GARAGE PLAN PRIOR TO APPLYING FOR PERMITS TO INITIATE THE START OF THE WALL BRACING PLAN/CALCULATIONS

CUSTOM DESIGNED FOR:
Greater Green Bay - Habitat For Humanity

JOB NAME: 506 University Place	REV/NOV:
DATE: Dec. 14, 2018	3/1/18 AVS
DRAWN BY: Andy Burns	3/28/18 AVS
PLAN NO: 18-525-R	18-525-R
PLANS OF	PLAN 11/18/18

IMPORTANT NOTE:

- IT IS AGREED THAT ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE PERMITS AND CHECKING THESE PLANS FOR ACCURACY. THE GENERAL CONTRACTOR/OWNER MUST REVIEW ALL DIMENSIONS, DETAILS AND NOTES BEFORE BEGINNING ANY CONSTRUCTION AND IS HEREBY HELD RESPONSIBLE FOR ANY DISCOVERED DISCREPANCIES.
- IT IS UNDERSTOOD THAT THE WISCONSIN SAFETY AND PROFESSIONAL SERVICES CODE AND LAYOUT DRAWINGS FOR FLOOR AND ROOF TRUSSES SHALL TAKE FINAL PRECEDENCE OVER THESE ARCHITECTURAL PLANS.

OFFICE:
11950 LARSEN ROAD
GREEN BAY, WI 54303
PHONE (920) 434-5000
FAX (920) 434-5010

COMPONENTS:
145 FORTUNE TERRACE
GREEN BAY, WI 54304
PHONE (920) 434-5004
FAX (920) 434-5010

MAILING ADDRESS:
11950 LARSEN ROAD
GREEN BAY, WI 54303
PHONE (920) 434-5000

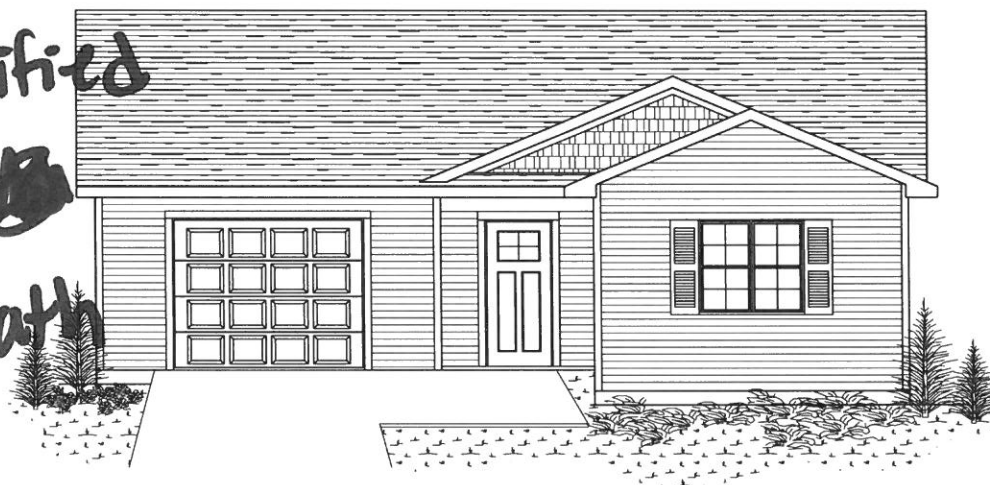
Wisconsin
BUILDING SUPPLY

1253 9th Street

ADA / modified

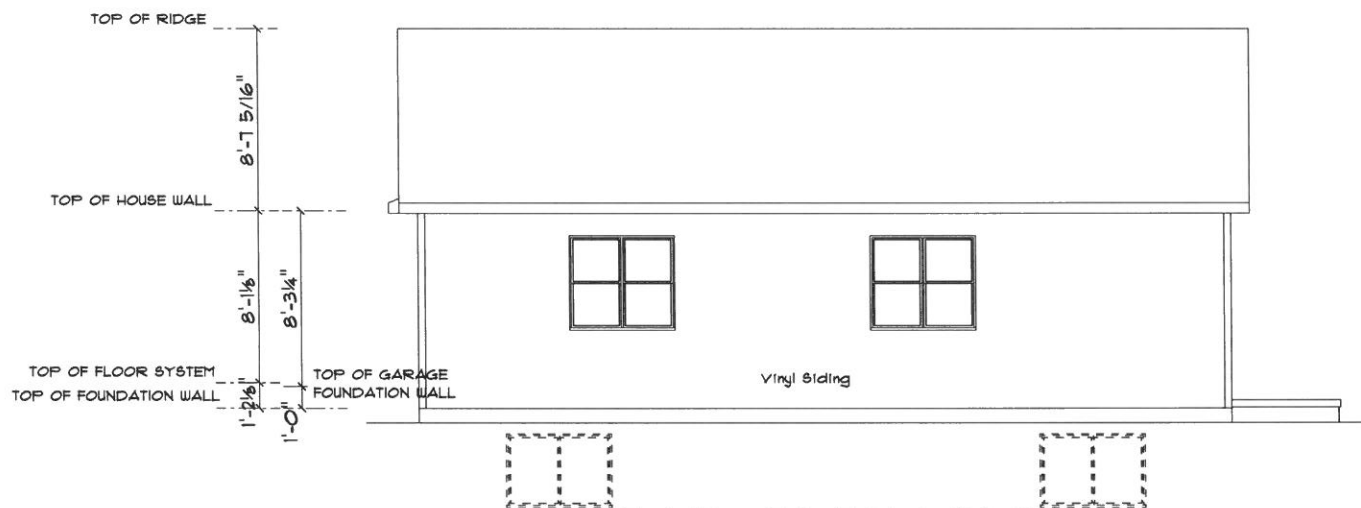
~~2 bed, 1 bath~~

2 bed, 1 bath



FRONT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"

OFFICE:
PHONE (300) 436-3080
FAX (300) 434-9570
1950 LARSEN ROAD
GREEN BAY, WI 54301

Wisconsin
BUILDING SUPPLY

CUSTOMER DESIGNED FOR:

GREATER GREEN BAY
HABITAT FOR HUMANITY

JOB NAME: 1256 Western Ave.

DRAWN BY: M.K.

DATE: 02-02-18

REVISIONS:
(14-125-R)

480 SQ. FT. (Fin. Basement)

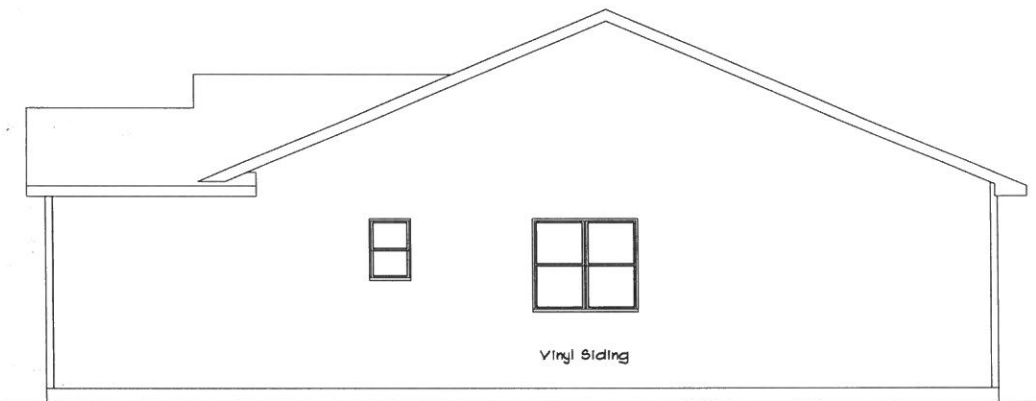
159 SQ. FT.

SCALE: 1/4" = 1'-0"

PLAN NO. 18-042-R

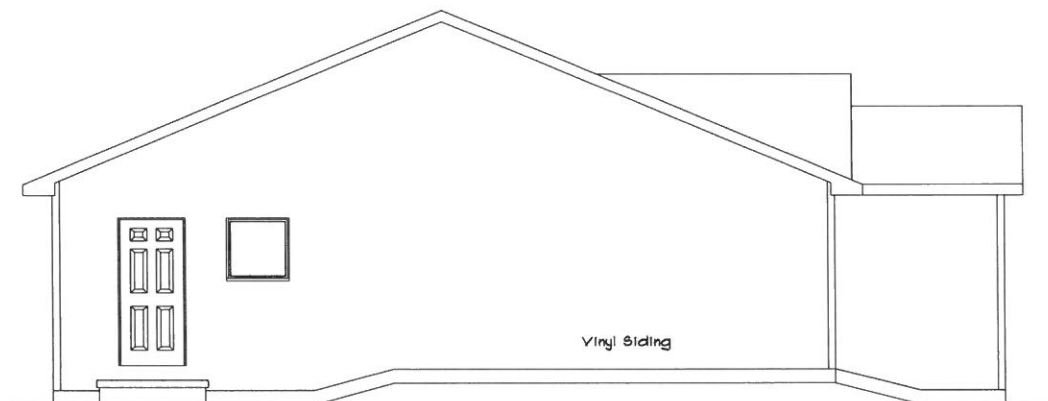
IMPORTANT NOTE:

* IT IS AGREED THAT ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING AND CHECKING THESE PLANS FOR ACCURACY, THE GENERAL CONTRACTOR OR OWNER MUST BE RESPONSIBLE FOR ALL FIELD VERIFICATION OF THE CONSTRUCTION AND IS HEREBY HELD RESPONSIBLE FOR ANY DISCOVERED DISCREPANCIES.
* IT IS UNDERSTOOD THAT THE WISCONSIN INSPECTOR, BUILDING CODE AND LAYOUT DRAWINGS FOR FLOOR AND ROOF TRIMMER SHALL TAKE FINAL PRECEDENCE OVER THESE ARCHITECTURAL PLANS.



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

OFFICE
PHONE (300) 496-5090
FAX (300) 494-0510
1820 LARSEN ROAD
GREEN BAY, WI 54301

CUSTOM DESIGNED FOR: GREATER GREEN BAY
HABITAT FOR HUMANITY

JOB NAME: 1256 Western Ave.
480 SQ. FT. (Fin. Basement)

DRAWN BY: M.J.

DATE: 02-02-18

REVISIONS:

14-425-RJ

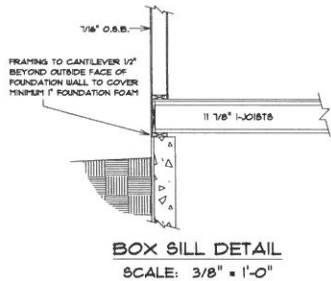
PLAN NO.: 18-042-R

Wisconsin
BUILDING SUPPLY

IMPORTANT NOTE:

* IT IS AGREED THAT ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING AND CHECKING THESE PLANS FOR ACCURACY, THE ARCHITECT MAKES NO WARRANTY OR REPRESENTATION AS TO THE ACCURACY OF ANY INFORMATION PROVIDED BY THE CLIENT. THE ARCHITECT SHALL NOT BE HELD RESPONSIBLE FOR ANY DISCREPANCIES.

* IT IS UNDERSTOOD THAT THE WISCONSIN APPOINTMENT CODE AND LAYOUT DRAWING FOR FLOOR AND ROOF TRIMMER SHALL TAKE FINAL PRECEDENCE OVER THESE ARCHITECTURAL PLANS.



BOX SILL DETAIL
SCALE: 3/8" = 1'-0"

NOTES:

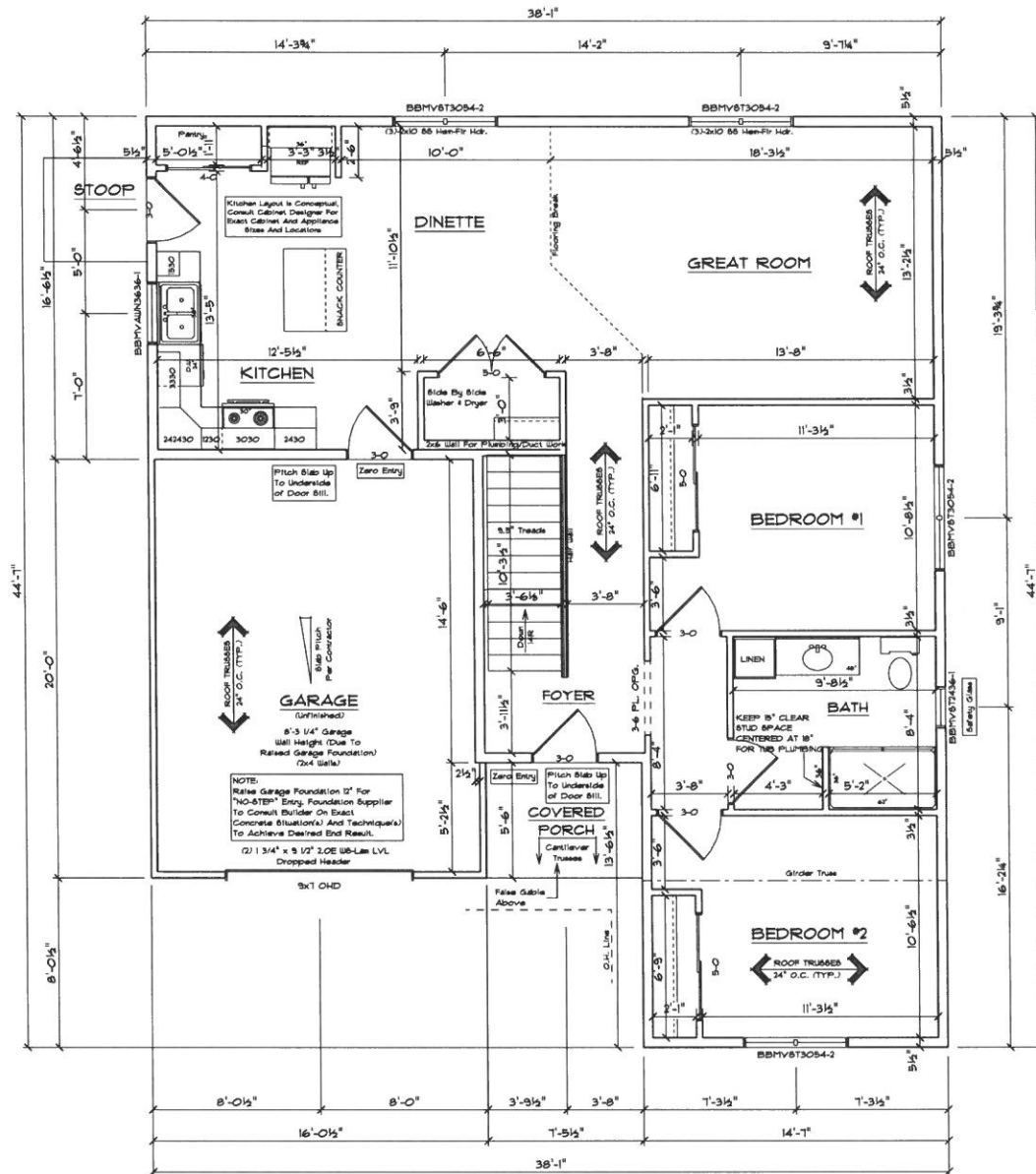
- FLOOR SYSTEM: 1ST FLR: 5 1/2" JOISTS @ 19.2" O.C. LOADING: TOTAL LOAD = 90" LL + 40" (ADDITIONAL 10" DL @ TILE AREAS) (ADDITIONAL 20" DL @ GRANITE AREAS) FLOOR DEFLECTION: LL = L/240 DURATION OF LOAD: 1.00% 2) ROOF SYSTEM: WOOD TRUSSES @ 24" O.C. LOADING: TOTAL LOAD = 90" TOLL = 30" TCCL = 10" BCCL = 10" ROOF DEFLECTION: LL = L/240 DURATION OF LOAD: 1.00% 3) STD. HEADERS: 12x40 4) EXT. WALL STUDS: 1ST FLR: 2x6-12 5/8" 5) INT. WALL STUDS: 1ST FLR: 2x4-12 5/8" 6) WINDOW SIZES SHOWN ARE FOR JELDEN BRICKMOLD VINYL WINDOW SEE CATALOG FOR DETAILS 7) ALL DIMENSIONS SHOWN ARE TO FACE OF STUD. 8) STAIRS: BMT. TO 1ST FLR: 14 RISERS @ 7 1/8" 9) PROVIDE ATTIC ACCESS PANEL 12' x 3' x 2" FIRM ON BACK OF 5/8" GYPSUM BOARD, SET ON FOAM WEATHERSTRIP ROUGH OPENING TO BE 16 1/2" x 21". PROVIDE 1/2" OSB INSULATION BUILT UP TO TOP OF RAISED GARAGE FOUNDATION. 10) AT BEDROOM 3, BATH, BEDROOMS, AND HALL CLOSETS INSTALL MINIMUM OF 3-2x6 BACKING FOR CLOSET POLE BRACKET CENTERED IN CLOSET AT 10" TO TOP 11) FOR STAIR RAILING INSTALL MINIMUM OF 2-2x6 BLOCKING AT TOP AND BOTTOM OF STAIRS AND 3 AT MIDDLE SPACED 5'-3" APART AT 36" TO TOP OF BLOCKING FOR A TOTAL OF FIVE BRACKETS SPACED 12) 1 3/4" x 5 1/2" 2x6 W-LVL DROPPED HEADER 13) THE ABOVE CONDITIONS LISTED ARE STANDARD FOR THIS PLAN (EXCEPTIONS ARE NOTED ON THE PLAN)

NOTE:

EXTERIOR DIMENSIONS ARE SHOWN TO REFLECT HOUSE FRAMING WALLS HELD OUT 1/2" FOR EXTERIOR WALL SHEATHING TO FLUSH OUT WITH 1" FOUNDATION FOAM.

NOTE:

BUILDER RESPONSIBLE TO TRANSFER POINT LOADS FROM ABOVE THROUGH THE FLOOR SYSTEM, AND OTHER WALLS WITH SOLID BLOCKING DOWN TO FOUNDATION WALLS BELOW



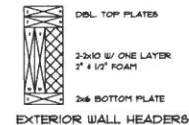
FLOOR PLAN

8'-1 1/8" CLG. HGT.

1155 SQ.FT.

315 SQ.FT. (GARAGE)

40 SQ. FT. (PORCH)



IMPORTANT NOTE:
* IT IS AGREED THAT ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING AND CHECKING THESE PLANS FOR ACCURACY, THE ARCHITECT ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS. THE ARCHITECT SHALL BE HELD RESPONSIBLE FOR ANY DISCREPANCIES.
* IT IS AGREED THAT THE ARCHITECT ASSUMES NO LIABILITY FOR ANY DISCREPANCIES. THE ARCHITECT SHALL BE HELD RESPONSIBLE FOR ANY DISCREPANCIES.

CLIENT DESIGNED FOR:
**GREATER GREEN BAY
HABITAT FOR HUMANITY**

JOB NAME: 1256 Western Ave.

DRAWN BY: M.K.

DATE: 02-02-18

REVISIONS:

(14-425-R)

PLAN NO.: 18-042-R

OFFICE:
PHONE (920) 496-5040
FAX (920) 494-8510
1800 LARSEN ROAD
GREEN BAY, WI 54301

COMPONENTS:
PHONE (920) 496-5041
FAX (920) 496-5042
1800 LARSEN ROAD
GREEN BAY, WI 54301

Wisconsin
BUILDING SUPPLY

NOTES:

- FOUNDATION WALLS:
HOUSE: 8" POURED CONCRETE WALLS 8'-0" HIGH
- THE FOLLOWING ITEMS ARE TO BE LOCATED IN THE FOUNDATION BY THE CONTRACTOR:
BASEMENT WINDOWS
ELECTRIC SERVICES
FLOOR DRAINS
WATER HEATER
FURNACE
- BUILDER TO PROVIDE HEADERS AT BASEMENT WINDOWS
- POURED CONCRETE FOOTINGS TO BEAR ON UNDISTURBED SOIL BELOW THE FRONT LINE.
- STEEL COLUMNS TO SUPPORT 12,000 LBS. UNLESS NOTED OTHERWISE.
- ARMED SOIL BEARING CAPACITY IS 3000 PSI. FOOTING SIZES MUST BE ADJUSTED FOR VARYING SOIL CONDITIONS.
- FOUNDATION WALLS ARE ASSUMED TO BE UNREINFORCED 3000 PSI CONCRETE. WALLS ARE DESIGNED PER UDC TABLE 2.15-B BASED ON HEIGHT OF UNBALANCED FILL.

NOTE:
SUPPLIER OF WINDOW WELL
WINDOW IS RESPONSIBLE
FOR MEETING ALL LIGHT &
EGRESS REQUIREMENTS PER THE UDC

NOTE:
BOTTOM OF WINDOW WELL WINDOW
CLEAR OPENING TO BE NO MORE
THAN 46" FROM TOP OF FINISHED
FLOORING TO MEET EGRESS REQUIREMENTS

NOTE:
SUPPLIER OF WINDOW WELL
WINDOW IS RESPONSIBLE
FOR MEETING ALL LIGHT &
EGRESS REQUIREMENTS PER THE UDC

IMPORTANT NOTE:

- IT IS AGREED THAT ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING AND CHECKING THESE PLANS FOR ACCURACY, THE GENERAL CONTRACTOR/OWNER MUST REVIEW ALL DIMENSIONS, DETAILS AND NOTES BEFORE BEGINNING ANY CONSTRUCTION AND IS HELD RESPONSIBLE FOR ANY DISCOVERED DISCREPANCIES.
- IT IS UNDERSTOOD THAT THE WISCONSIN UNIFORM DWELLING CODE AND LAYOUT DRAWINGS FOR FLOOR AND ROOF FRAMES SHALL TAKE FINAL PRECEDENCE OVER THESE ARCHITECTURAL PLANS.

GREATER GREEN BAY HABITAT FOR HUMANITY

CUSTOM DESIGNED FOR:

480 SQ. FT.

1895 SQ. FT.

SCALE: 1/4" = 1'-0"

PLAN NO. 18-042-R

1256 Western Ave.

GREEN BAY, WI 54307

DATE: 02-02-18

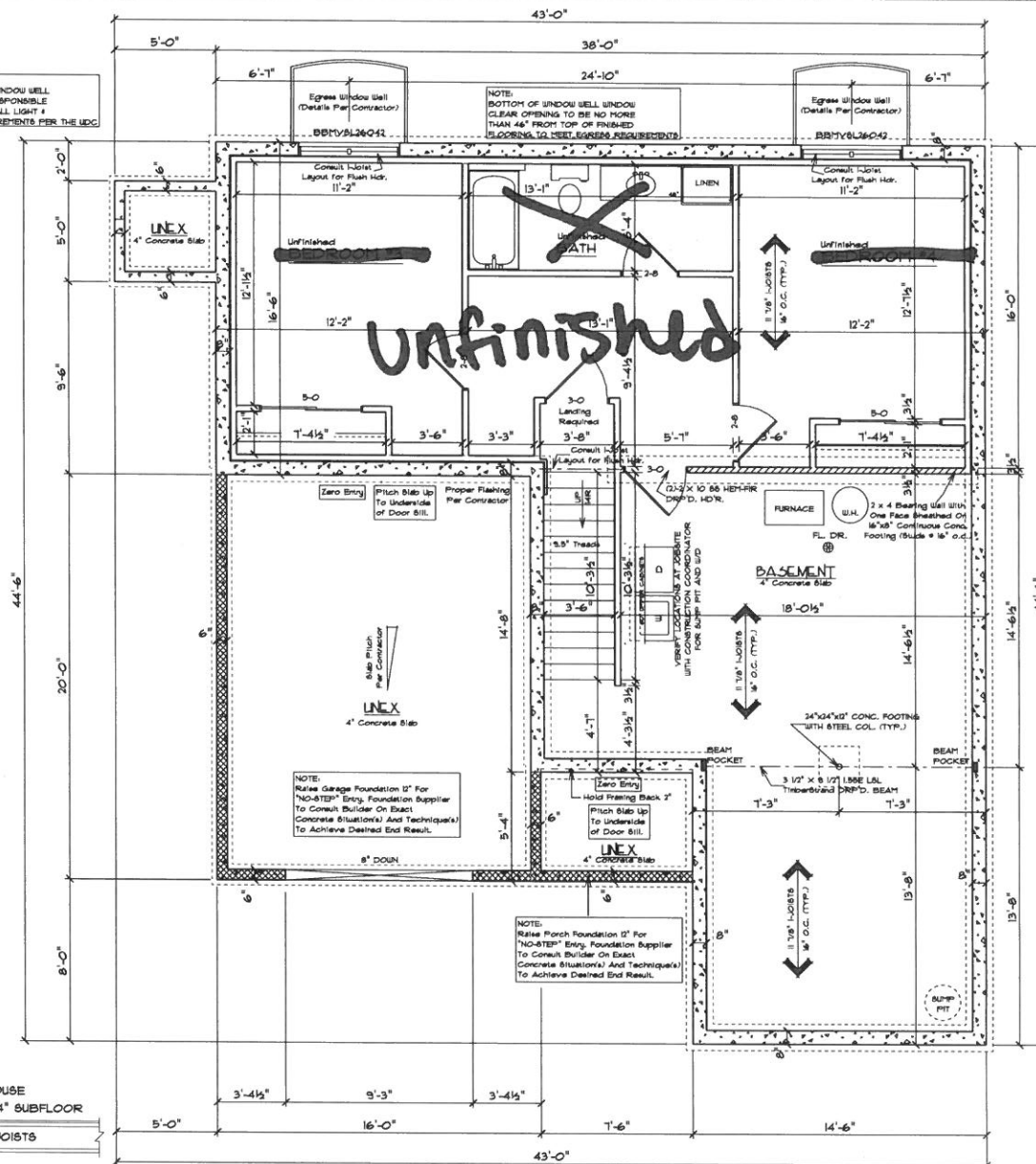
REVISIONS:

(14-035-R)

OFFICE:
PHONE (920) 436-5080
FAX (920) 434-3570
1850 LARSEN ROAD
P.O. BOX 10001
GREEN BAY, WI 54307

COMPONENTS:
PHONE (920) 436-5034
FAX (920) 434-3570
1105 MORRIS TERRACE
GREEN BAY, WI 54303

Wisconsin
BUILDING SUPPLY



NOTE:
House Framing Flush
With Foundation.

PITCH SLAB UP
TO UNDERSIDE OF
DOOR SILL

HOUSE
3/4" SUBFLOOR

11 1/8" JOISTS

PROPER FLASHING
PER CONTRACTOR

"NO STEP" ENTRY DETAIL (Driveway)

SCALE: 3/8" = 1'-0"

CONTRACTOR TO VERIFY DETAIL
PRIOR TO CONSTRUCTION

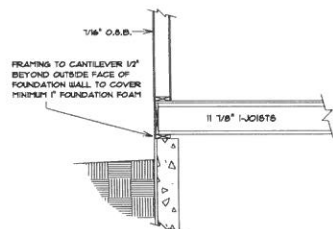
"NO STEP" ENTRY DETAIL (Garage)

SCALE: 3/8" = 1'-0"

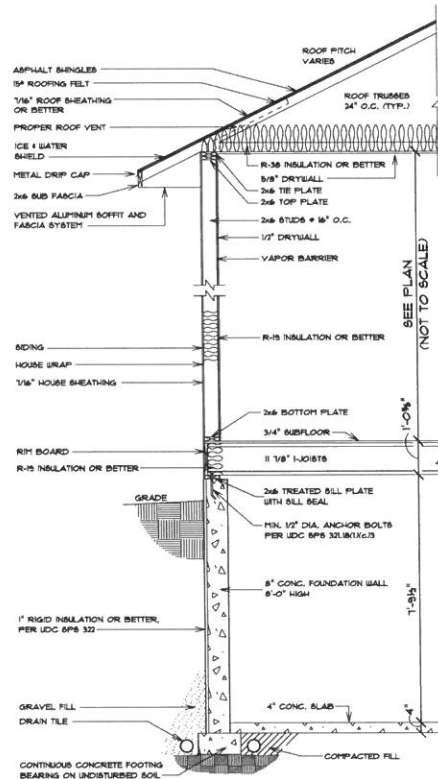
CONTRACTOR TO VERIFY DETAIL
PRIOR TO CONSTRUCTION

FOUNDATION PLAN

8'-0" CONC. WALL HGT.
480 SQ. FT.

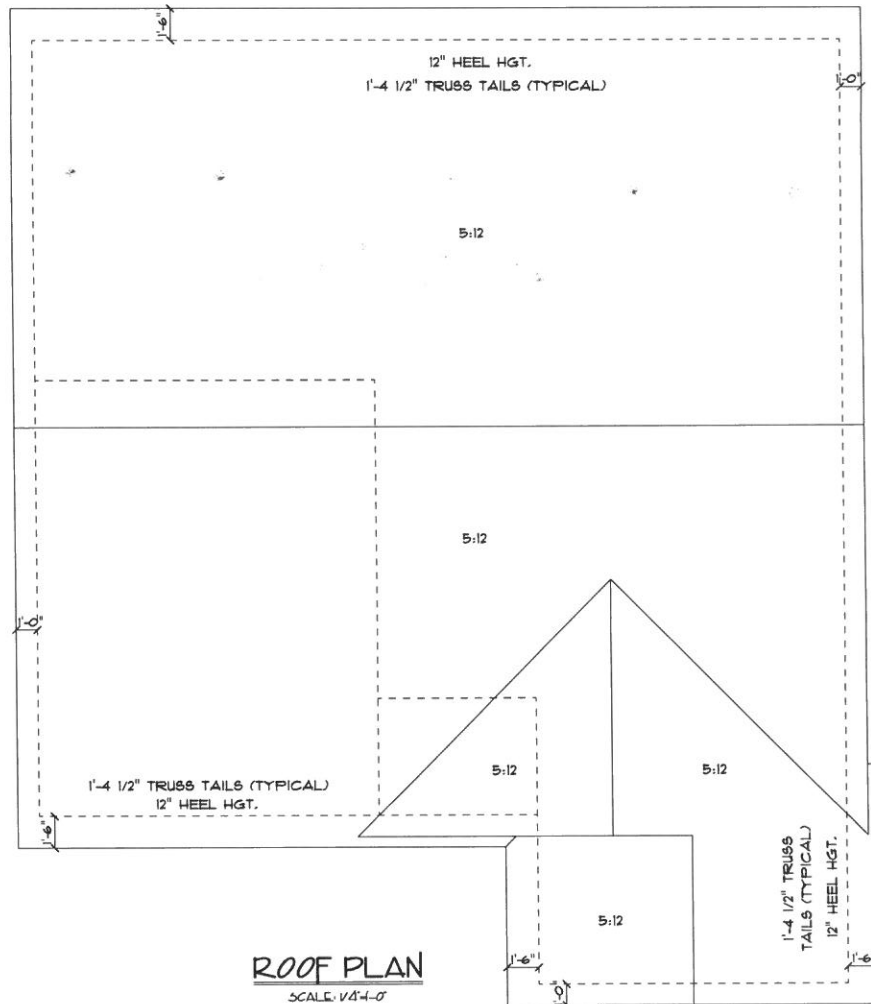


BOX SILL DETAIL
SCALE: 3/8" = 1'-0"



TYPICAL RANCH SECTION
SCALE: 3/8" = 1'-0"

ALL ITEMS TO BE VERIFIED BY CONTRACTOR



ROOF PLAN
SCALE: 1/4" = 1'-0"

IMPORTANT NOTE:

* IT IS AGREED THAT ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING AND CHECKING THESE PLANS FOR ACCURACY, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DETAILS AND CONDITIONS PRIOR TO CONSTRUCTION AND SHALL BE HELD RESPONSIBLE FOR ANY DISCOVERED DISCREPANCIES.
* IT IS UNDERSTOOD THAT THE UNCOMMON UNIFORM DUELING CODE AND LAYOUT DRAWINGS FOR FLOOR AND ROOF TRIMMER SHALL TAKE FINAL PRECEDENCE OVER THESE ARCHITECTURAL PLANS.

CUSTOM DESIGNED FOR:
**GREATER GREEN BAY
HABITAT FOR HUMANITY**

JOB NAME: 1256 Western Ave.
DRAWN BY: M.K.
DATE: 02-02-18
SCALE: AS NOTED

OFFICE:
PHONE (930) 496-8080
FAX (930) 494-8570
1850 LARSEN ROAD
GREEN BAY, WI 54301

COMPONENTS:
PHONE (930) 496-8084
FAX (930) 498-0718
145 MORRIS PARKWAY
GREEN BAY, WI 54303

REVISIONS:
(14-125-R)

PLAN NO. 18-042-R

Wisconsin
BUILDING SUPPLY



Report to the
Redevelopment Authority
of the City of Green Bay

MEETING DATE

January 14, 2020

PREPARED BY

Ken Rovinski, Staff

AGENDA ITEM # D.2.

Consideration with possible action on a development agreement with Jane Juza for the property located at 1361-1363 Smith Street (Tax Parcel 7-411) under the New Homes in Your Neighborhood program.

BACKGROUND

This property was acquired from the Brown County Treasurer on June 23, 2016. There was a two-family unit on the property that was demolished, leaving a vacant, buildable site. This property has been advertised on the City website under the New Homes in Your Neighborhood (NHIYN) program. Jane Juza submitted an application for the program. Upon completion of the project, the home will be sold for owner-occupancy. The applicant has been working with Staff through the design process and has presented a design that is very fitting to the neighborhood. Staff has also been working with the applicant to verify financing for the project. Upon verification, the applicant can begin building as soon as permits are submitted and approved.

RECOMMENDATION

Approve a development agreement with Jane Juza for the property located at 1361-1363 Smith Street (Tax Parcel 7-411) under the New Homes in Your Neighborhood program using \$25,000.00 of Neighborhood Enhancement Funds.

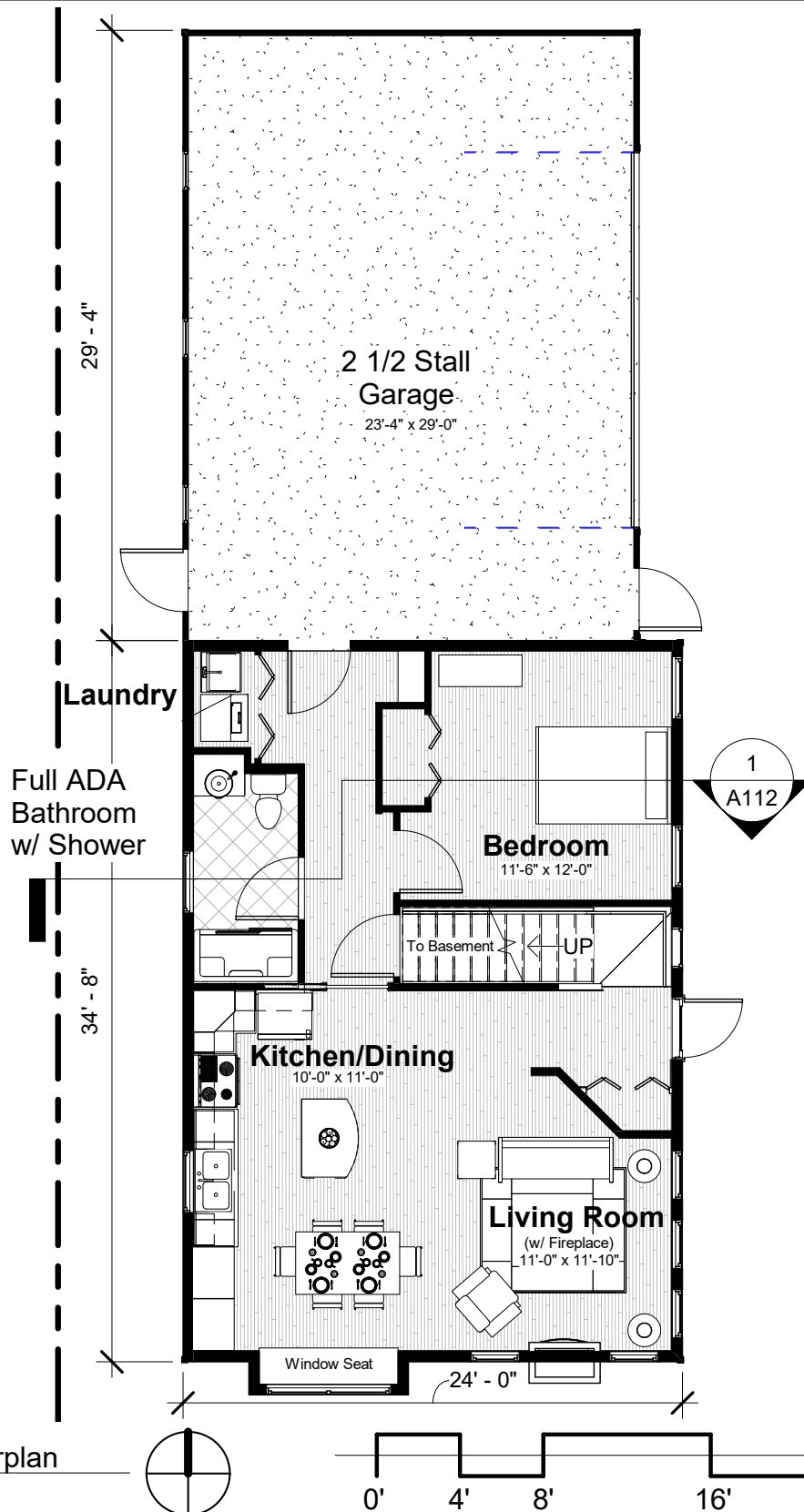
FISCAL IMPACT

This property was acquired from the Brown County Treasurer using \$11,695.77 of Neighborhood Enhancement funds. The applicant is seeking the \$25,000.00 NHIYN grant and will be leveraging \$150,000.00 of their own funds for the construction.

ATTACHMENTS

1. 1361-1363 Smith Street report info
2. NHIYN 19-05 - FINAL plan - FULL SET

An aerial photograph of a residential neighborhood with property boundaries outlined in cyan and owner names labeled throughout. The streets shown are Smith St running diagonally from the top left to the bottom right, and N Baird St running vertically through the center-right. A central lot, bounded by Smith St to the west and N Baird St to the east, is highlighted with a thick red border. This highlighted lot contains a yellow rectangular area and is labeled "INTERIOR OF THE CITY OF GREEN BAY". Other owners visible include Steven J. Scott & Wife Etal, Wade Conard, Anthony Teleman, Tonia Elia Patterson, Elaine Ramirez, Angel Beasus, Leif Mineau, McAllister Properties LLC, Daniel Lamme, Dale Rader, Benjamin Smith, Ryan Mueller, Benito Gomez, David Callis, Edward Grusecki, John Smith, Nestor Maxica, James Denis, Angel Beasus Gomez, Bulmaro Corona, Pedro Roa, William Viny, Harry Duquaine, Sherry Gorfahl, Nancy Peters, Hector Gonzalez, Soho Rental LLC, and Johnson Properties LLC. Red arrows point to various features across the map.



1 Level 1 Floorplan
1/8" = 1'-0"

Jane Juza

New Construction

DIMENSION IV™

PLANNING - ARCHITECTURE - ENVIRONMENTAL DESIGN

124 S. Broadway
Green Bay, WI 54303

PHONE (920) 431-3444
FAX (920) 431-3445
www.dimension-iv.com

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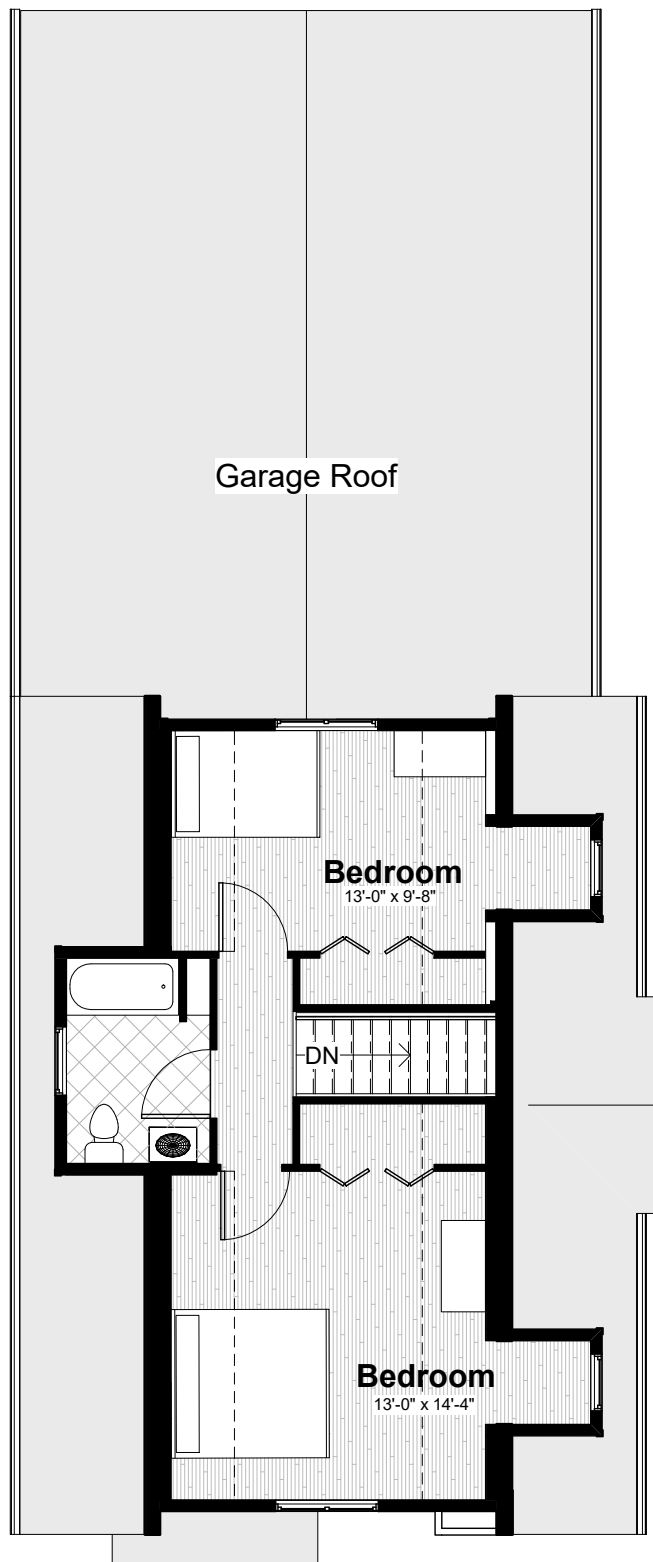
DRAWN	✓	APPRVD
Author	Checker	Approver

12-13-19

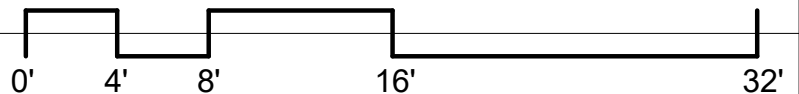
A106

1361 Smith Street

Green Bay, WI



① Level 2 Floorplan
1/8" = 1'-0"



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DRAWN	✓	APPRVD
Author	Checker	Approver

12-13-19

A107

Jane Juza

New Construction

1361 Smith Street

Green Bay, WI

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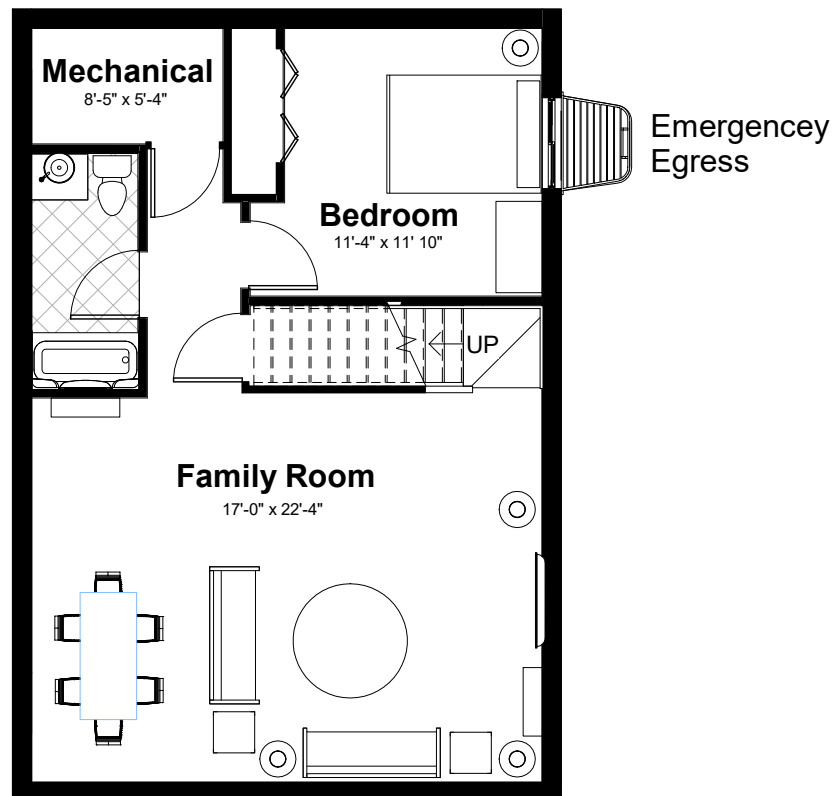
PLANNING - ARCHITECTURE - ENVIRONMENTAL DESIGN

124 S. Broadway
Green Bay, WI 54303

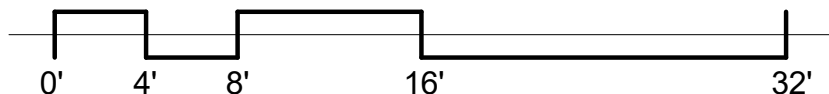
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FAX (920) 431-3445
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Future Possible Basement Use



1 Basement Floorplan
1/8" = 1'-0"



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DRAWN	✓	APPRVD
Author	Checker	Approver

12-13-19

A108

Jane Juza

New Construction

1361 Smith Street

Green Bay, WI

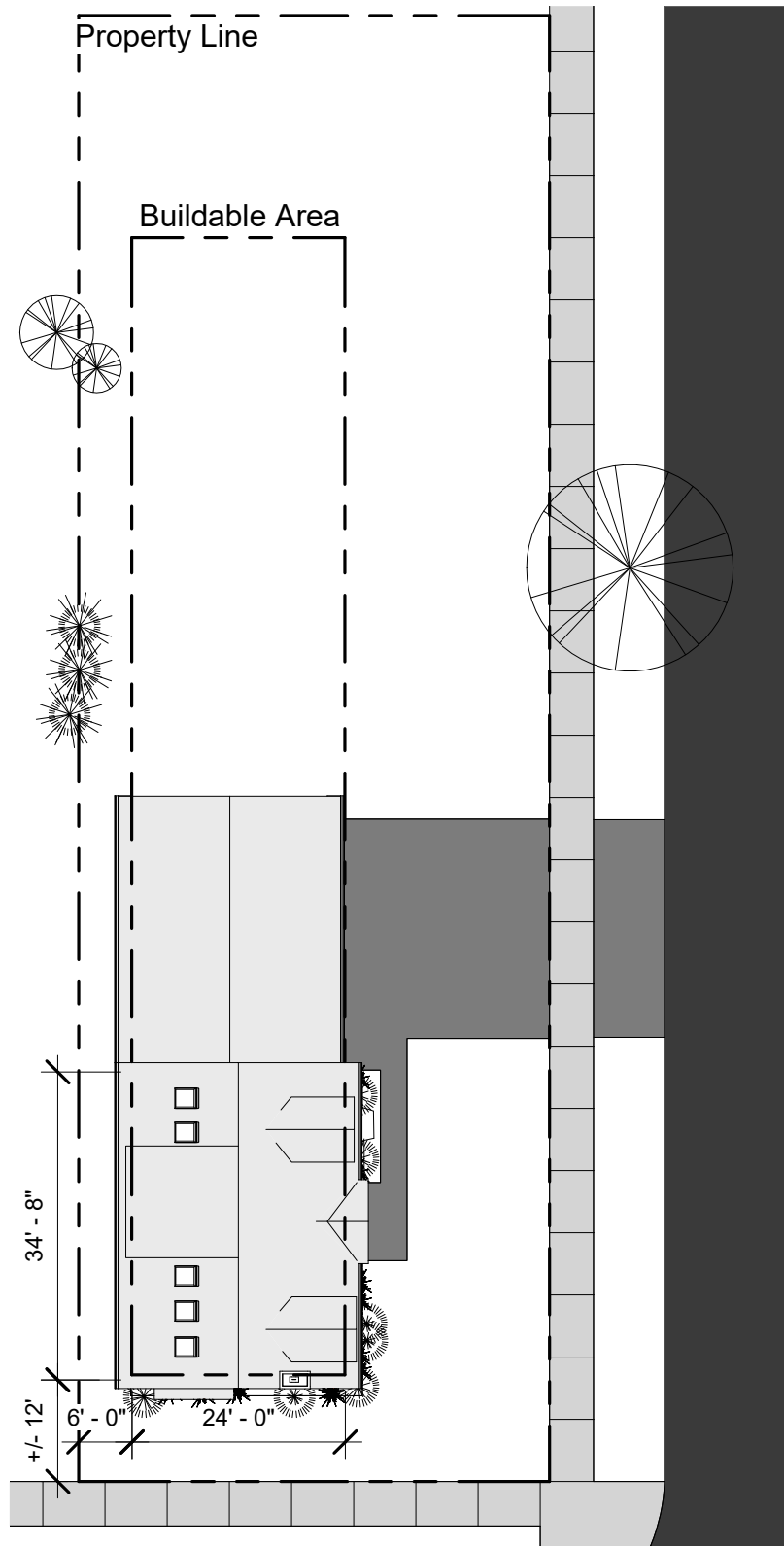
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PLANNING - ARCHITECTURE - ENVIORNMENTAL DESIGN

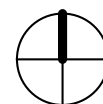
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Green Bay, WI 54303

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FAX (920) 431-3445
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1 Site Plan
1" = 20'-0"



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Author	Checker	Approver

12-13-19

A109

Jane Juza

New Construction

1361 Smith Street

Green Bay, WI

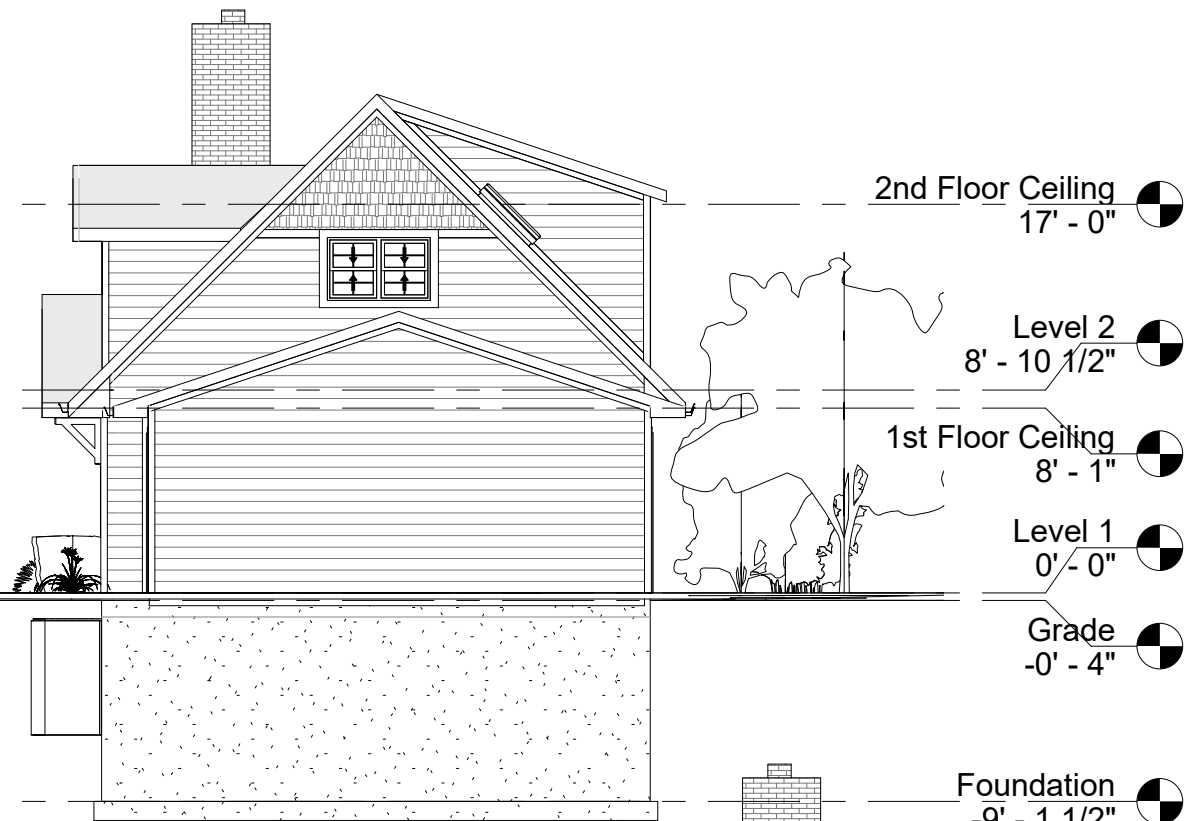
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PLANNING - ARCHITECTURE - ENVIRONMENTAL DESIGN

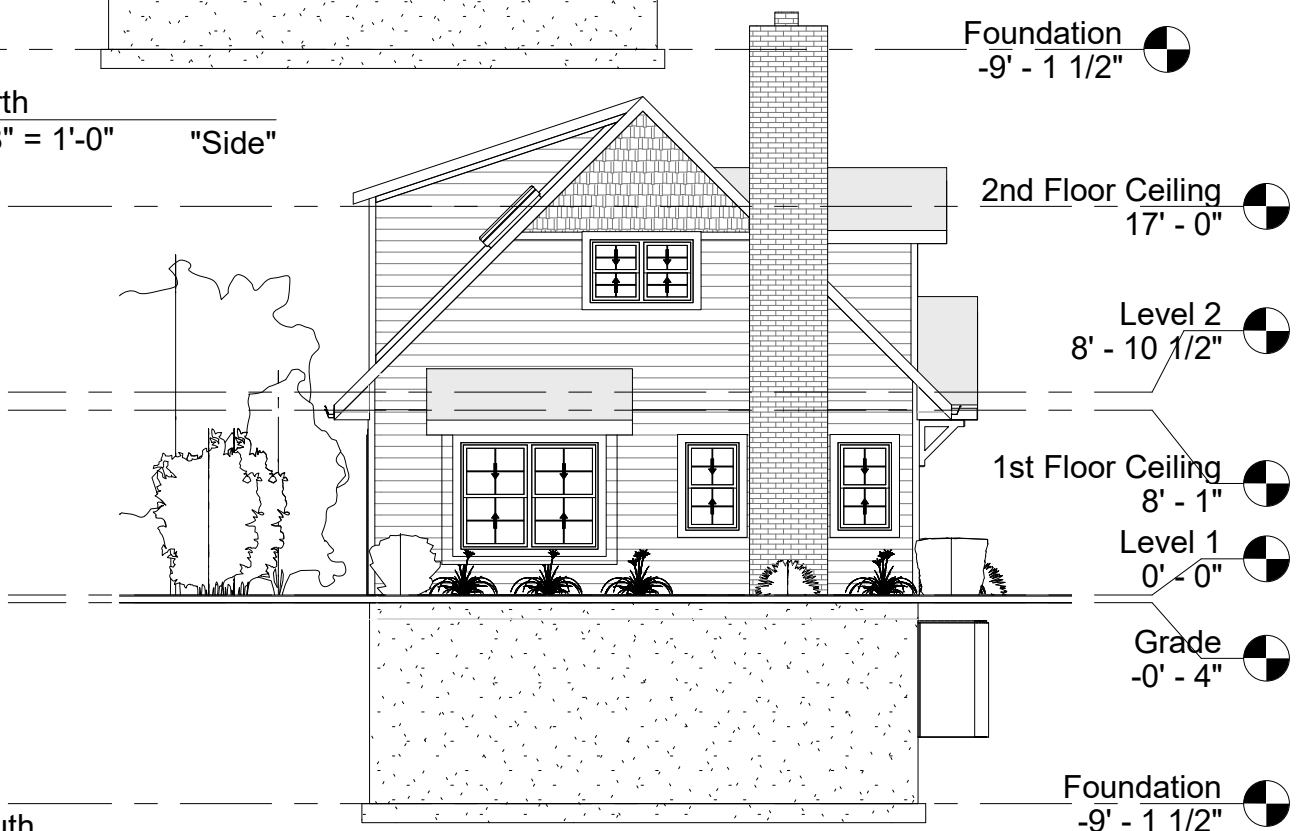
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FAX (920) 431-3445
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① North
1/8" = 1'-0" "Side"



② South
1/8" = 1'-0" Smith Street

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DRAWN	✓	APPRVD
Author	Checker	Approver

12-13-19

A110

Jane Juza

New Construction

1361 Smith Street

Green Bay, WI

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PLANNING - ARCHITECTURE - ENVIRONMENTAL DESIGN

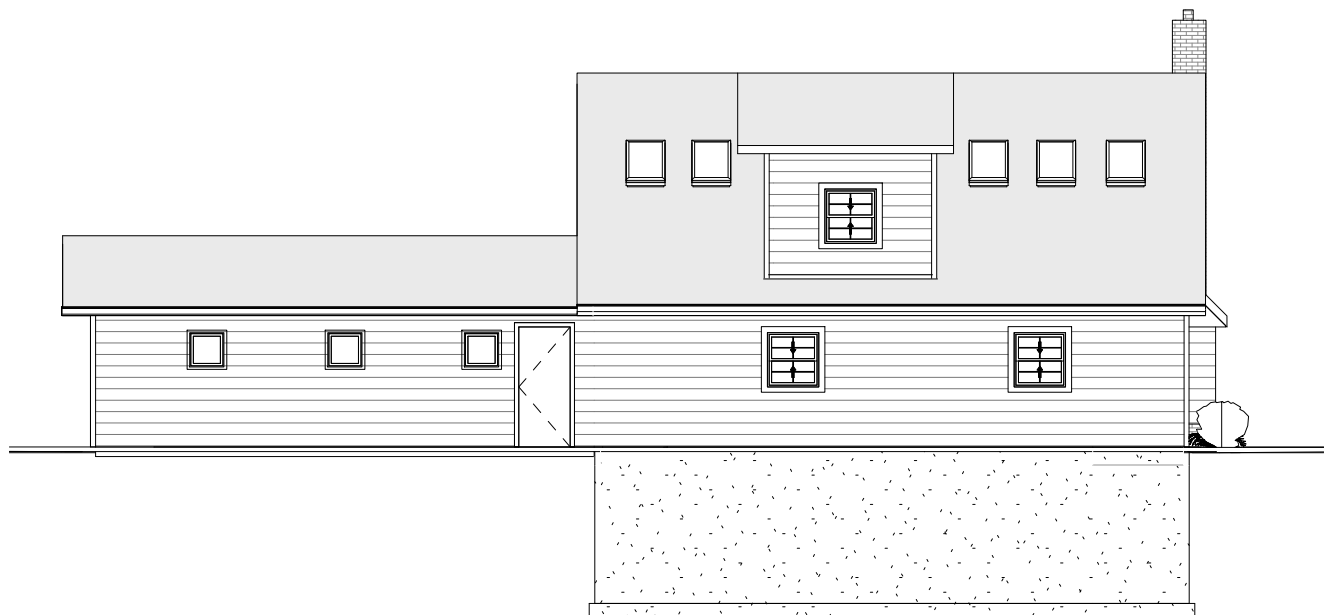
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① East
 $\frac{3}{32}" = 1'-0"$ Baird St.



② West
 $\frac{3}{32}" = 1'-0"$ "Back"

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DRAWN	✓	APPRVD
Author	Checker	Approver

12-13-19

A111

Jane Juza

New Construction

1361 Smith Street

Green Bay, WI

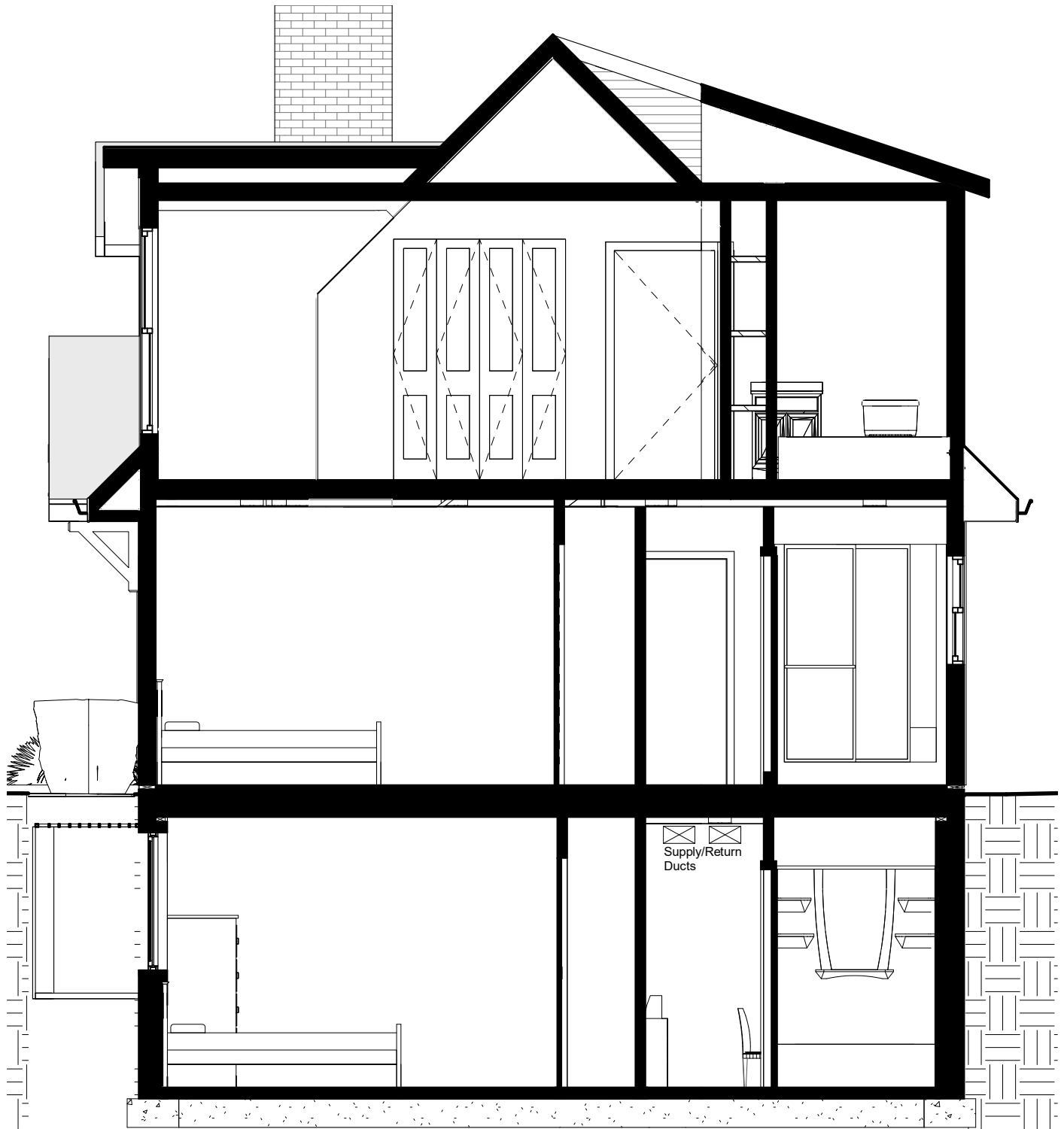
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① House Section
1/4" = 1'-0"

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Author	Checker	Approver

12-13-19

A112

Jane Juza

New Construction

1361 Smith Street

Green Bay, WI

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① Front of House

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DRAWN	✓	APPRVD
Author	Checker	Approver
12-13-19		

A113

Jane Juza

New Construction

1361 Smith Street

Green Bay, WI

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Report to the
Redevelopment Authority
of the City of Green Bay

MEETING DATE

January 14, 2020

PREPARED BY

Krista Cisneroz, Staff

AGENDA ITEM # D.3.

Consideration with possible action on awarding a full housing study for the City of Green Bay to MSA Professional Services, Inc. in the amount of \$33,800.00.

BACKGROUND

The Redevelopment Authority of the City of Green Bay would like to enter into a service agreement with MSA Professional Services, Inc. to conduct a full housing study within the City of Green Bay.

The purpose of this study is to analyze the housing market within the City and surrounding communities (Allouez, Ashwaubenon, Bellevue, Suamico, De Pere and Howard), and to identify gaps in the local housing market and recommend proactive strategies to close the gaps. This gap analysis must consider both current conditions and future projected needs. The analysis will evaluate the quality, quantity, location and occupancy of various housing types, sizes, tenures and price points in the City and in surrounding communities.

RECOMMENDATION

Approve awarding a full housing study for the City of Green Bay to MSA Professional Services, Inc. in the amount of \$33,800.00.

FISCAL IMPACT

ATTACHMENTS

- I. MSA Service Agreement



Professional Services Agreement

This AGREEMENT (Agreement) is made today 12/09/2019 by and between CITY OF GREEN BAY (OWNER) and MSA PROFESSIONAL SERVICES, INC. (MSA), which agree as follows:

Project Name: City of Green Bay Housing Study

The scope of the work authorized is: See Attachment A

The schedule to perform the work is: Approximate Start Date: 01/06/2020
Approximate Completion Date: 08/03/2020

The lump sum fee for the work is: \$33,800

All services shall be performed in accordance with the General Terms and Conditions of MSA, which is attached and made part of this Agreement. Any attachments or exhibits referenced in this Agreement are made part of this Agreement. Payment for these services will be on a lump sum basis.

Approval: Authorization to proceed is acknowledged by signatures of the parties to this Agreement.

CITY OF GREEN BAY

Eric Genrich
Mayor
Date: _____

Attest:

Kris Teske
City Clerk
Date: _____

100 N. Jefferson Street
Green Bay, WI 54301
Phone: 920-448-3005

MSA PROFESSIONAL SERVICES, INC.

Jason Valerius
Jason Valerius
Team Leader
Date: 12/09/2019

Rebecca Binz
Rebecca Binz
Project Manager
Date: 12/09/2019

1702 Pankratz Street
Madison, WI 53704
Phone: 608-242-6601
Fax: bbinz@msa-ps.com

ATTACHMENT A: SCOPE OF SERVICES

PROJECT UNDERSTANDING

The purpose of this project is to analyze the housing market within the City and surrounding communities (Allouez, Ashwaubenon, Bellevue, Suamico, De Pere and Howard), and to identify gaps in the local housing market and recommend proactive strategies to close those gaps. This gap analysis must consider both current conditions and future projected needs. It is necessary for the analysis to evaluate the quality, quantity, location and occupancy of various housing types, sizes, tenures and price points in the City and in surrounding communities.

We recognize the need to identify housing needs of all residents of the community, and to balance those needs with supply. We will devote special attention to supply/demand gaps that result in undesirable conditions within the City.

The study will incorporate specific strategies to close any supply gaps, both tested and innovative strategies. We will support your policy-setting and budgeting efforts by organizing the various strategies into cohesive themes that describe the City's overall attitude about a proactive public role in housing market issues.

TECHNICAL APPROACH TO PROJECT

PROCESS

This study will be comprised of three basic activities.

1. Data Collection, Mapping and Analysis

Data will be collected and mapped for the City of Green Bay as well as the surrounding communities listed above. Data sources for this project will include the U.S. Census and American Community Survey (ACS); Brown County parcel and assessment records; City data on building permits and code violations; and MLS real estate listings and sale records. We will use maps to convey much of the data with ties to parcel records. We will coordinate mapping with Brown County's GIS staff. The mapping process is just that—a process. Initial drafts will reveal questions and insights that may require additional drafts to fully understand and clearly convey. Our cost estimate includes the time necessary for this iterative process.

2. Stakeholder Input

We suggest the designation of a Working Group from which we can seek input on our interview list, community survey, initial findings and recommendations. This should be a group with knowledge of local housing conditions and familiarity with the City's administrative, political and fiscal capacities to support housing initiatives. This could be the

Redevelopment Authority or an ad hoc group, at the City's discretion. We have planned for three meetings with this Working Group.

It will be advantageous to speak with a variety of other local experts and stakeholders. We anticipate and have budgeted for about 14 hours of interviews (plus associated time for travel, summaries, etc.), including a mixture of in-person and phone conversations. Some of the conversations may take place in a group setting. We will work with staff and/or the Working Group to fine-tune who we interview and how it is done. The following list includes individuals/groups/roles with whom we would like to speak:

- Chamber of Commerce
- Major Employers
- Landlords
- Realtors
- Developers
- Banks/Lenders
- City Staff

Finally, we propose a community survey to better understand the perspectives and preferences of current City residents. Specifically, we would like residents to report on the quality of

ATTACHMENT A: SCOPE OF SERVICES

their current housing, investment in that housing, projections of their own future housing needs and opinions about the housing needs of the community. We recommend an online survey, which we use frequently with success to fulfill similar project needs. If the City would like hard copies of the survey distributed, it will be responsible for that effort as well as inputting any hard copy responses into an online collector. We will also seek assistance from the City and Working Group with promotion of the survey through various media and via the email lists of local stakeholder organizations.

3. Report Preparation

We will prepare the document in MS Word. Later rounds of edits can be tracked in the document for ease of review.

SCHEDULE

We recommend the following steps and timing.

Week of January 6	Execution of Contract for Services (assumed to occur at a meeting of the Redevelopment Authority)
Week of January 13	Initial Conference Call with Community Development Staff
Week of February 10	Working Group Meeting #1 – Discussion of issues and opportunities, Review of draft community survey and promotional methods, Review of interview targets
February 24-March 12	Interviews, Community Survey
Week of May 4	Submittal of first draft
Week of May 11	Working Group Meeting #2 – Presentation and discussion of first draft
Week of June 22	Submittal of final draft and public meeting presentation materials
Week of July 14	Public Meeting presentation of Housing Study to Redevelopment Authority and stakeholders
Week of July 21	Common Council Approval Meeting (MSA attends)
August 3, 2020	Submittal of Final Report

ATTACHMENT A: SCOPE OF SERVICES

HOUSING STUDY CONTENT

The following components will be included in the Housing Study.

Executive Summary

We will summarize, in four pages or less, the essential findings and conclusions of the study. The centerpiece will be a clear and concise presentation of market gaps and strategies to close those gaps.

Housing Supply

This section will feature a current profile of the City's and surrounding communities' housing stock, documented in tables, graphs and maps. Location of various unit types and characteristics will be a critical piece of the analysis, to be addressed with the maps. As feasible, we will also consider historic data to identify trends. Aspects of the housing stock to be evaluated include:

- Type (attached vs. detached, number of units in building)
- Tenure (rental vs. owner-occupied)
- Size (rooms, bedrooms, square feet)
- Cost/Value (total value, value per square foot, recent sales prices, rental rates)
- Age and Condition (year built, reinvestment permit trends, code violations, amenities)
- Building Permit Data (new homes and major renovations/additions)

Housing Demand

This section will feature a current profile and identify trends in the City's population and households. It will be influenced by stakeholder feedback, especially from employers, realtors, landlords and lenders.

- Demographic and economic profile, trends and projections
- Future housing demand projections (low, medium and high growth scenarios) and trends
- Demand profile by demographic cohort (student, young professional, family, senior)
- Vacancy rates
- Sales trends

Other Issues

This section will feature a review of other topics relevant to housing. In most cases the analysis will be qualitative, except when the City provides quantitative data.

- Livability (a qualitative review of quality of life issues and opportunities)
- Affordable housing
- Homelessness
- Single family conversion to rental
- Accessible Housing
- Other special needs housing and support programs
- Neighborhood delineation and distressed neighborhood analysis
- Redevelopment/rehab program funding and viability
- Infrastructure challenges
- Adaptive re-use redevelopment housing opportunities
- Planning and zoning challenges
- Historic housing properties and preservation programs
- Green building cost/benefit and programs

Housing Supply Gaps

This section will synthesize the supply and demand data with the stakeholder feedback to identify and quantify gaps in the primary market. For each gap, we will offer an explanation of the cause or causes of the gap, which will provide the basis and justification for the recommended "gap filler" strategies. The gaps will be presented in order of priority and importance, based primarily on their projected impact on the local economy.

- Current gaps
- Projected future gaps

Recommendations

This section will address each of the housing supply gaps with one or more city-initiated strategies to close the gap.

Housing types, amenities, location and price ranges

- Identification of housing demand unlikely to be met without incentives
- Programs and incentives to influence the supply and quality of housing, with estimated cost
- Strategies to influence general quality of life issues

ATTACHMENT A: SCOPE OF SERVICES

DELIVERABLES

MSA will provide the final report in MS Word and PDF format, as well as the GIS maps in their source format.

CITY STAFF EXPECTATIONS

We anticipate and request the following assistance from City staff during this project:

- Make all local meeting arrangements, including scheduling in-person interviews
- Provide hard copies of draft documents for Working Group review, as necessary
- Provide data or Realtor contact who has agreed to provide Multiple Listing Service real estate data per our requests
- Print/distribute hard copies of the online survey and input responses into online survey collector
- Provide data in MS Excel format:
 - Parcel data
 - Housing permit data (at least five years)
 - Code violation data (at least five years)

COST PROPOSAL

MSA can complete the above scope of services, inclusive of reimbursables, for **\$33,800**.



Report to the
Redevelopment Authority
of the City of Green Bay

MEETING DATE

January 14, 2020

PREPARED BY

Krista Cisneroz, Staff

AGENDA ITEM # D.4.

Consideration with possible action for approval of final payment to Northern Electric Inc., in the amount of \$28,683.71, for Contract "CD 18-01 Beaver Dam Park Ballfield Lighting."

BACKGROUND

RECOMMENDATION

Approve final payment to Northern Electric Inc., in the amount of \$28,683.71, for Contract "CD 18-01 Beaver Dam Park Ballfield Lighting."

FISCAL IMPACT

ATTACHMENTS

None



Report to the
Redevelopment Authority
of the City of Green Bay

MEETING DATE

January 14, 2020

PREPARED BY

Ken Rovinski, Staff

AGENDA ITEM # D.5.

Consideration with possible action to award RFQ #3204 – Interior Demolition and Exterior Clean Up of 158 N. Maple Avenue to the lowest responsive, responsible vendor.

BACKGROUND

158 N. Maple Avenue is a large, six (6) unit multi-family home on a prominent corner near the center of the Broadway corridor. Staff worked with a developer on the property across the street at 159 N. Maple Avenue as a catalyst project for the neighborhood and for the “Love Here, Live Here” campaign. Staff is currently working with a developer at 520 Hubbard Street as part of the New Homes in Your Neighborhood program.

Staff put this property out for RFP seeking a private developer to rehabilitate this property under a development agreement. There has been interest in the property, but there have not been any proposals to date that Staff has felt would meet the potential of this property. Staff feels that the property would show better to potential developers if selective demolition of both the interior and exterior of this property were to be completed.

Working through the Purchasing Department, Staff issued an RFQ for the selective demolition of this property with four (4) contractors bidding on the project.

The successful conversion of 158 N. Maple Avenue will continue to stimulate positive redevelopment in a neighborhood with great opportunity near the center of the Broadway corridor.

RECOMMENDATION

Award RFQ #3204 – Interior Demolition and Exterior Clean Up of 158 N. Maple Avenue to Badgerland Demolition.

FISCAL IMPACT

The RDA purchased this property July 31, 2018 for \$129,900.00.

ATTACHMENTS

1. 158 N Maple Ave - report info
2. #3204 quote summary

158 North Maple Avenue



CITY OF GREEN BAY QUOTE SUMMARY
RFQ #3204 - 158 N. Maple Ave
Interior Demolition & Exterior Clean Up Project

Dept: CS	Req #219	VENDOR #1	VENDOR #2	VENDOR #3	VENDOR #4
Planholders:	CC #912	BADGERLAND DEMOLITION	GREEN BAY AREA BUILDERS	SPECIAL FORCES BUILDING & GROUNDS	R.J. ALBRIGHT INC
Issued: 12/11/19	Due: 12/30/19	De Pere	Oneida	Green Bay	Oshkosh
LUMP SUM COST for all labor, materials & equipment necessary to demolish/ repair/clean-up listed projects and any incidentals:		\$ 26,530.00	\$ 43,625.00	\$ 46,970.00	\$ 52,345.00
LUMP SUM COST for all dumpster rentals and disposal fees:		\$ 6,000.00	\$ 6,800.00	\$ 2,600.00	\$ 6,825.00
TOTAL:		\$ 32,530.00	\$ 50,425.00	\$ 49,570.00	\$ 59,170.00
Lead Time:					
All work to be completed by 3/15/20		3/14/2020	3/15/2020	3/15/2020	3/6/2020
Payment Terms Net 30					
Early Payment Discount:		Net 30	Net 30	Net 30	Net 30
Accepts credit card payments:		No	No	No	No
Bidder's Proof/SOQ Expiration Date:		12/23/2020	6/19/2020	4/16/2020	On File

Recommendation: Award to the lowest responsive, responsible vendor



Report to the
Redevelopment Authority
of the City of Green Bay

MEETING DATE

January 14, 2020

PREPARED BY

Kevin King, Staff

AGENDA ITEM # D.6.

Consideration with possible action on approving the terms of a short sale proposal for 1155 Stuart Street.

BACKGROUND

The homeowner received a loan in 2009 in the amount of \$3,191.00. The homeowner made a payment of \$1,000.00 and brought the balance down to \$2,191.00. The couple separated and the house went into disrepair. They found a cash buyer and are offering \$1,500.00 to satisfy the mortgage with the RDA.

RECOMMENDATION

To accept the short sale as proposed and satisfy the mortgage.

FISCAL IMPACT

ATTACHMENTS

1. 1155 Stuart HUD 40K Higgins
2. 1155 Stuart LOE



A. Settlement Statement (HUD-1)

B. Type of Loan

1. ☐ FHA	2. ☐ RHS	3. ☐ Conv. Unins.	6. File Number:	7. Loan Number:	8. Mortgage Insurance Case Number:
4. ☐ VA	5. ☐ Conv. Ins.	☒ CASH			

C. Note: This form is furnished to give you a statement of actual settlement costs. Amounts paid to and by the settlement agent are shown. Items marked "(p.o.c.*)" were paid outside the closing; they are shown here for informational purposes and are not included in the totals.

D. Name & Address of Borrower: Mike Higgins	E. Name & Address of Seller: Tracey Smith	F. Name & Address of Lender:
G. Property Location: 1155 Stuart St Green Bay, WI 54301	H. Settlement Agent: Ashly Kilmire Place of Settlement: Summit LDS 5401 W Morgan Ave Greenfield, WI	I. Settlement Date: 02/28/20

J. Summary of Borrower's Transaction

100. Gross Amount Due from Borrower	
101. Contract sales price	
102. Personal property	
103. Settlement charges to borrower (line 1400)	
104.	
105.	
Adjustment for items paid by seller in advance	
106. City/town taxes to	
107. County taxes to	
108. Assessments to	
109.	
110.	
111.	
112.	
120. Gross Amount Due from Borrower	
200. Amount Paid by or in Behalf of Borrower	
201. Deposit or earnest money	
202. Principal amount of new loan(s)	
203. Existing loan(s) taken subject to	
204.	
205.	
206.	
207.	
208.	
209.	
Adjustments for items unpaid by seller	
210. City/town taxes to	
211. County taxes to	
212. Assessments to	
213.	
214.	
215.	
216.	
217.	
218.	
219.	
220. Total Paid by/for Borrower	
300. Cash at Settlement from/to Borrower	
301. Gross amount due from borrower (line 120)	
302. Less amounts paid by/for borrower (line 220)	()
303. Cash ☐ From ☐ To Borrower	

K. Summary of Seller's Transaction

400. Gross Amount Due to Seller	
401. Contract sales price	40,000
402. Personal property	
403.	
404.	
405.	
Adjustment for items paid by seller in advance	
406. City/town taxes to	
407. County taxes to	
408. Assessments to	
409.	
410.	
411.	
412.	
420. Gross Amount Due to Seller	
500. Reductions in Amount Due to seller	
501. Excess deposit (see instructions)	
502. Settlement charges to seller (line 1400)	3,820
503. Existing loan(s) taken subject to	
504. Payoff of first mortgage loan	33,180
505. Payoff of second mortgage loan GBRD	1,500
506.	
507.	
508.	
509.	
Adjustments for items unpaid by seller	
510. City/town taxes to Green Bay, WI	750
511. County taxes to Brown Co, WI	750
512. Assessments to	
513.	
514.	
515.	
516.	
517.	
518.	
519.	
520. Total Reduction Amount Due Seller	
600. Cash at Settlement to/from Seller	
601. Gross amount due to seller (line 420)	
602. Less reductions in amounts due seller (line 520)	()
603. Cash ☒ To ☐ From Seller 0	

The Public Reporting Burden for this collection of information is estimated at 35 minutes per response for collecting, reviewing, and reporting the data. This agency may not collect this information, and you are not required to complete this form, unless it displays a currently valid OMB control number. No confidentiality is assured; this disclosure is mandatory. This is designed to provide the parties to a RESPA covered transaction with information during the settlement process.

L. Settlement Charges

700. Total Real Estate Broker Fees				Paid From Borrower's Funds at Settlement	Paid From Seller's Funds at Settlement
Division of commission (line 700) as follows :					
701. \$	2,400	to Homestead Realty Inc			
702. \$		to			
703. Commission paid at settlement					2,400
704.					

800. Items Payable in Connection with Loan					
801. Our origination charge	\$	(from GFE #1)			
802. Your credit or charge (points) for the specific interest rate chosen	\$	(from GFE #2)			
803. Your adjusted origination charges		(from GFE #A)			
804. Appraisal fee to		(from GFE #3)			
805. Credit report to		(from GFE #3)			
806. Tax service to		(from GFE #3)			
807. Flood certification to		(from GFE #3)			
808.					
809.					
810.					
811.					

900. Items Required by Lender to be Paid in Advance					
901. Daily interest charges from	to	@ \$	/day	(from GFE #10)	
902. Mortgage insurance premium for	months to			(from GFE #3)	
903. Homeowner's insurance for	years to			(from GFE #11)	
904.					

1000. Reserves Deposited with Lender					
1001. Initial deposit for your escrow account		(from GFE #9)			
1002. Homeowner's insurance	months @ \$	per month \$			
1003. Mortgage insurance	months @ \$	per month \$			
1004. Property Taxes	months @ \$	per month \$			
1005.	months @ \$	per month \$			
1006.	months @ \$	per month \$			
1007. Aggregate Adjustment		-\$			

1100. Title Charges					
1101. Title services and lender's title insurance		(from GFE #4)			
1102. Settlement or closing fee	\$				750
1103. Owner's title insurance		(from GFE #5)			550
1104. Lender's title insurance	\$				
1105. Lender's title policy limit \$					
1106. Owner's title policy limit \$					
1107. Agent's portion of the total title insurance premium to	\$				
1108. Underwriter's portion of the total title insurance premium to	\$				
1109.					
1110.					
1111.					

1200. Government Recording and Transfer Charges					
1201. Government recording charges		(from GFE #7)			
1202. Deed \$	Mortgage \$	Release \$			
1203. Transfer taxes		(from GFE #8)			120
1204. City/County tax/stamps	Deed \$	Mortgage \$			
1205. State tax/stamps	Deed \$	Mortgage \$			
1206.					

1300. Additional Settlement Charges					
1301. Required services that you can shop for		(from GFE #6)			
1302.	\$				
1303.	\$				
1304.					
1305.					

1400. Total Settlement Charges (enter on lines 103, Section J and 502, Section K)					3,820
--	--	--	--	--	-------

Comparison of Good Faith Estimate (GFE) and HUD-1 Charges		Good Faith Estimate	HUD-1
Charges That Cannot Increase	HUD-1 Line Number		
Our origination charge	# 801		
Your credit or charge (points) for the specific interest rate chosen	# 802		
Your adjusted origination charges	# 803		
Transfer taxes	# 1203		

Charges That In Total Cannot Increase More Than 10%	Good Faith Estimate	HUD-1
Government recording charges # 1201		
#		
#		
#		
#		
#		
#		
#		
#		
Total		
Increase between GFE and HUD-1 Charges	\$ or	%

Charges That Can Change	Good Faith Estimate	HUD-1
Initial deposit for your escrow account # 1001		
Daily interest charges \$ /day # 901		
Homeowner's insurance # 903		
#		
#		
#		

Loan Terms	
Your initial loan amount is	\$
Your loan term is	years
Your initial interest rate is	%
Your initial monthly amount owed for principal, interest, and any mortgage insurance is	\$ includes ☐ Principal ☐ Interest ☐ Mortgage Insurance
Can your interest rate rise?	☐ No ☐ Yes, it can rise to a maximum of % . The first change will be on and can change again every after . Every change date, your interest rate can increase or decrease by % . Over the life of the loan, your interest rate is guaranteed to never be lower than % or higher than % .
Even if you make payments on time, can your loan balance rise?	☐ No ☐ Yes, it can rise to a maximum of \$
Even if you make payments on time, can your monthly amount owed for principal, interest, and mortgage insurance rise?	☐ No ☐ Yes, the first increase can be on and the monthly amount owed can rise to \$. The maximum it can ever rise to is \$.
Does your loan have a prepayment penalty?	☐ No ☐ Yes, your maximum prepayment penalty is \$
Does your loan have a balloon payment?	☐ No ☐ Yes, you have a balloon payment of \$ due in years on .
Total monthly amount owed including escrow account payments	☐ You do not have a monthly escrow payment for items, such as property taxes and homeowner's insurance. You must pay these items directly yourself. ☐ You have an additional monthly escrow payment of \$ that results in a total initial monthly amount owed of \$. This includes principal, interest, any mortgage insurance and any items checked below: ☐ Property taxes ☐ Flood insurance ☐ ☐ Homeowner's insurance ☐ ☐

Note: If you have any questions about the Settlement Charges and Loan Terms listed on this form, please contact your lender.

01/07/2020

Re: 1155 Stuart St/ Tracey Smith

To whom it may concern,

This is a brief explanation of our request to settle the debt for less than is owed. The property was damaged by the last tenants that Tracey Smith had a lease with. Due to that damage she is unable to sell the house for enough to pay off her first mortgage and US Bank has agreed to work out a short sale settlement with her. The loan is through FHA and them most FHA will allow a secondary lien to be paid is \$1,500.

Tracey is struggling financially and lives paycheck to paycheck. As such she has no savings or surplus funds to pay anything additionally on her own.

We sincerely appreciate your consideration in this matter,



01/07/2020

Laura Moldenhauer, real estate agent



Tracey Smith, homeowner

Jan 7th 2020



Report to the
Redevelopment Authority
of the City of Green Bay

MEETING DATE

January 14, 2020

PREPARED BY

Krista Cisneroz, Staff

AGENDA ITEM # E.2.

Financial report and check register.

BACKGROUND

RECOMMENDATION

FISCAL IMPACT

ATTACHMENTS

1. Check Register
2. RDA Financial Report 2019

City of Green Bay RDA
Check Register
31-Dec

CHECK #	CHECK DATE	VENDOR NAME	AMOUNT
21164	12/16/2019	GREATER GREEN BAY HABITAT FOR HUMANITY	7,592.00
21165	12/16/2019	CITY OF GREEN BAY	10,049.37
21166	12/16/2019	ENVIRONMENTAL HAZARDS SERVICES, LLC	32.00
21167	12/16/2019	WISCONSIN PUBLIC SERVICE CORPORATION	123.79
21168	12/16/2019	SHEFCHIK INC.	4,673.00
21169	12/16/2019	TRANS UNION, LLC	40.00
21170	12/16/2019	DEBAKER HARDWARE AND ELEC	1,346.00
21171	12/16/2019	LIGHTHOUSE TITLE INC	50.00
21172	12/16/2019	ADAM KOCH	3,200.00
21173	12/16/2019	DAVID K. ANDERSON	475.00
21174	12/23/2019	BOSLEY PROPERTIES / RICCI BOSLEY	1,120.65
21175	12/23/2019	JOSEPH C. MACHKOVICH	8,750.00
21176	12/23/2019	1ST CHOICE HEATING	4,100.00
			\$ 41,551.81

Redevelopment Authority
Financial Report
CDBG
12/31/2019

	2019 Budget	2018 Carry Over	Program Income	Expenses	Obligated	Remaining Balance
Park Improvements	150,000.00	200,300.00	-	194,276.55	69,154.66	86,868.79
Public Works Improvements	150,000.00	207,281.41	-	226,544.62	76,450.97	54,285.82
Public Service	108,500.00	62,408.97	-	69,843.72	-	101,065.25
Fair Housing	20,000.00	20,000.00	-	15,900.00	-	24,100.00
CDBG Eligible Areas	207,052.00	278,167.35	176,824.23	406,616.65	9,718.32	245,708.61
CDBG Eligible Areas-Beautificatio/Art	25,000.00	50,000.00	-	20,606.00	-	54,394.00
CDBG Eligible Areas-Lead Lines	-	25,000.00	-	-	-	25,000.00
Economic Development	100,000.00	88,084.39	431,520.43	200,000.00	-	419,604.82
ED Blight Elimination-Walnut Street	-	89,904.86	-	4,379.50	-	85,525.36
ED Façade & Demo Loans	50,000.00	50,000.00	-	22,153.50	68,415.50	9,431.00
Administration	202,638.00	150,810.40	-	175,701.49	-	177,746.91
	\$ 1,013,190.00	\$ 1,221,957.38	\$ 608,344.66	\$ 1,336,022.03	\$ 223,739.45	\$ 1,283,730.56

Redevelopment Authority
Financial Report
HOME
12/31/2019

	2019 Budget	2018 Carry Over	Program Income	Expenses	Obligated	Remaining Balance
Single Family Rehab Loan Program	150,000.00	350,881.55	147,391.85	327,039.13	116,426.87	204,807.40
Housing Development Projects	117,510.00	475,599.96	-	178,192.00	297,407.96	117,510.00
CHDO Projects	100,000.00	4,615.63	14,824.72	4,615.63	-	114,824.72
Downpayment Closing Cost Assistance	100,000.00	100,000.00	-	95,000.00	-	105,000.00
Administration	51,945.00	52,575.56	18,024.06	86,832.78	-	35,711.84
	\$ 519,455.00	\$ 983,672.70	\$ 180,240.63	\$ 691,679.54	\$ 413,834.83	\$ 577,853.96