



AGENDA OF THE ZONING & PLANNING BOARD OF APPEALS

**MONDAY, FEBRUARY 17, 2020, 5:30 PM
CITY HALL, ROOM 604 - THE HARRY MAIER ROOM**

A. Roll Call.

- I. Members: Don Carlson - Chair, Gregory Babcock - Vice Chair, Tommy Everman, Noel Halvorsen and Jim Hutchison

Does anyone need to abstain from voting? Who was out to the property? Did you speak to anyone regarding this variance request?

B. Approval of the Agenda.

- I. Approval of the agenda for the February 17, 2020, meeting of the Zoning & Planning Board of Appeals.

C. Approval of Minutes.

- I. Approval of the minutes from the November 18, 2019, meeting of the Zoning & Planning Board of Appeals.

D. Regular Business.

- I. (Appeal 20-001) Benjamin Buehler, property owner, proposes to construct an attached garage in a Low Density Residential (R1) District at 3579 Van Laanen Road. The applicant requests to deviate from the following requirements in Chapter 13, Green Bay Zoning Code, Section 13-604, Table 6-2, rear yard setback, Section 13-615(b)(2), size of accessory building and Section 13-1715(c), driveway width (Ald. B. Dorff, District 1).
2. (Appeal 20-002) Tim Philipps, property owner, proposes to construct a 12 ft. x 20 ft. driveway expansion within a corner side yard setback located in a Low Density Residential (R1) District at 2089 Fern Lane. The applicant requests to deviate from the following requirement in Chapter 13, Green Bay Zoning Code, Section 13-604, Table 6-2, corner side yard setback (Ald. A. Nicholson, District 3).

3. (Appeal 20-003) Larry and Darlene Sterckx, property owners, propose to construct an attached garage in a Low Density Residential (R1) District at 304 North Platten Street. The applicants request to deviate from the following requirement in Chapter 13, Green Bay Zoning Code, Section 13-604, Table 6-2, rear yard setback (Ald. M. Steuer, District 11).
4. (Appeal 20-004) Phil Jennings, Creative Sign Company, on behalf of the Freedom House Ministries, Inc. property owner, proposes to install a two wall signs in a Varied Density Residential (R3) District at 2997 St. Anthony Drive. The applicants request to deviate from the following requirement in Chapter 13, Green Bay Zoning Code, Section 13-2007(c), institutional identity signs (Ald. K. Lefebvre, District 6).
5. (Appeal 20-005) David Chrouser, Mau & Associates, on behalf of Kevin and Marne Williams, property owners, propose a residence and site alterations within the AE District of the 100-year floodplain and Low Density Residential (R1) District at 1937 Lakeside Place. The applicants request to deviate from the following requirement in Chapter 13, Green Bay Zoning Code, Section 13-1330(a)(1) fill area (Ald. K. Lefebvre, District 6).
6. (Appeal 20-006) David Chrouser, Mau & Associates, on behalf of Douglas Schneider, property owner, proposes to pave an existing nonconforming drive and parking area in a Varied Density Residential (R3) District at 212 Alvina Street. The applicant requests to deviate from the following requirement in Chapter 13, Green Bay Zoning Code, Section 13-604, Table 6-2, side yard setback fill area (Ald. C. Wery, District 8).
7. (Appeal 20-007) Jessy Geurts, on behalf of Green Bay East Kingdom Hall of Jehovah's Witnesses, property owner, proposes to modify their existing surface parking lot in a Varied Density Residential (R3) District at 2895 East Mason Street. The applicant requests to deviate from the following requirements in Chapter 13, Green Bay Zoning Code, Section 13-609, impervious coverage, Section 13-1821, interior lot landscaping and Section 13-604, Table 6-2, front and corner side yard setback (Ald. V. Corpus-Dax, District 2).

E. Informational.

1. Discussion revisions to process and application to the Board of Appeals.
2. Date of next meeting: March 16, 2020.

F. Adjournment.

- 1) THIS MEETING IS RECORDED: THE VIDEO OF THIS MEETING AND MINUTES ARE AVAILABLE ONLINE AT www.greenbaywi.gov
- 2) ACCESSIBILITY: Any person wishing to attend who requires special accommodation because of a disability, should contact the City Safety Manager at 920-448-3125 at least 48 hours before the scheduled meeting time so that arrangements can be made.
- 3) QUORUM: Please take notice that a majority or quorum of the Common Council will attend this Zoning & Planning Board of Appeals meeting and will constitute a meeting of the Common Council for purposes of discussion and information gathering relative to this agenda.
- 4) REPRESENTATION: The party requesting the communication, or their representative, should be present at this meeting.



MINUTES OF THE ZONING & PLANNING BOARD OF APPEALS

**MONDAY, NOVEMBER 18, 2019, 5:30 PM
CITY HALL, ROOM 604 - THE HARRY MAIER ROOM**

A. ROLL CALL.

I. Members: Don Carlson - Chair, Gregory Babcock - Vice Chair, Tommy Everman, Noel Halvorsen and Jim Hutchison

Does anyone need to abstain from voting? Who was out to the property? Did you speak to anyone regarding this variance request?

Present: Don Carlson, Gregory Babcock, Jim Hutchison, Tommy Everman, Noel Halvorsen,
Excused:

Chair Don Carlson asked if anyone need to abstain from voting, went out to any of the properties or spoke to anyone regarding the variance requests? All stated no.

Others Present: Ald. John Vander Leest, Ald. Randy Scannell

B. APPROVAL OF THE AGENDA.

I. Approval of the agenda for the November 18, 2019, meeting of the Zoning & Planning Board of Appeals.

Don Carlson asked for approval of the agenda. No motion was made, but all agreed with the agenda.

C. APPROVAL OF MINUTES.

1. Approval of the minutes from the October 21, 2019, meeting of the Zoning & Planning Board of Appeals.

Moved by Gregory Babcock, seconded by Jim Hutchison to approve the minutes. Motion carried.
Yes- Don Carlson, Gregory Babcock, Tommy Everman, Noel Halvorsen, Jim Hutchison, No- None, Abstain- None

D. REGULAR BUSINESS.

Moved by Noel Halvorsen, seconded by Jim Hutchison to open the floor for discussion for the Zoning & Planning Board of Appeals meeting. Motion carried.

Yes- Don Carlson, Gregory Babcock, Tommy Everman, Noel Halvorsen, Jim Hutchison, No- None, Abstain- None

1. James L. and Sheila M. Goodletson, property owners, propose to retain an existing driveway in a Low Density Residential (R1) District at 1961 Treeland Drive. The applicants request to deviate from the following requirement in Chapter 13, Green Bay Zoning Code, Section 13-1716(b), Parking for single and two family uses (Ald. J. VanderLeest, District 11).

Moved by Tommy Everman, seconded by Jim Hutchison to grant the variance as requested. Motion carried.

Yes- Don Carlson, Gregory Babcock, Tommy Everman, Noel Halvorsen, Jim Hutchison, No- None, Abstain- None

2. Ronald L. Smits, property owner, proposes to retain three commercial signs in a Highway Commercial (C2) District located at 1003 Pine Street (a.k.a. 1000 Main Street). The applicant requests to deviate from the following requirement in Chapter 13, Green Bay Zoning Code, Section 13-2010, Table 20-2, number of attached signs (Ald. R. Scannell, District 7).

Moved by Noel Halvorsen, seconded by Gregory Babcock to grant the variance as requested. Motion carried.

Yes- Don Carlson, Gregory Babcock, Noel Halvorsen, No- Tommy Everman, Abstain- Jim Hutchison

3. Daniel and Bonita Hall, property owners, propose to construct a single-family dwelling located in a Low Density Residential (R1) District at 2123 Emmaline Court. The applicants request to deviate from the following requirement in Chapter 13, Green Bay Zoning Code, Section 13-604, Table 6-2, rear yard setback (Ald. B. Dorff, District 1).

Moved by Noel Halvorsen, seconded by Tommy Everman to grant the variance as requested with the conditions of a rear yard setback of not less than 18 ft. and a front yard setback of not less than 20 ft. using the house plan as presented. Motion carried.

Yes- Don Carlson, Gregory Babcock, Tommy Everman, Noel Halvorsen, Jim Hutchison, No- None, Abstain- None

Moved by Noel Halvorsen, seconded by Jim Hutchison to close the floor for discussion for the Zoning & Planning Board of Appeals meeting. Motion carried.

Yes- Don Carlson, Gregory Babcock, Tommy Everman, Noel Halvorsen, Jim Hutchison, No- None, Abstain- None

E. INFORMATIONAL.

1. Discussion revisions to process and application to the Board of Appeals.

A discussion was had regarding the revisions to the meeting process and application for the Board of Appeals.

2. Date of Next Meeting: December 16, 2019.

F. ADJOURNMENT.

Moved by Gregory Babcock, seconded by Jim Hutchison to adjourn. Motion carried.

Yes- Don Carlson, Gregory Babcock, Tommy Everman, Noel Halvorsen, Jim Hutchison, No- None, Abstain- None



Zoning & Planning Board of Appeals

VARIANCE
APPLICATION

Department of Community
and Economic Development
100 N. Jefferson Street, Rm 608
Green Bay, WI 54301-5026
(920) 448-3300 - phone
(920) 448-3426 - fax
www.greenbaywi.gov

Application Deadline: First Tuesday of the Month at 12 Noon.

Date: 1/5/20 Project Address: 3579 Van Laanen Road Project #: 88780 Appeal #: 20-001

PROPERTY OWNER	APPLICANT INFORMATION
Name: <u>Benjamin Buehler</u>	Name: <u>Same</u>
Address: <u>3579 Van Laanen Road</u>	Address:
City, State, Zip <u>Green Bay WI 54311</u>	City, State, Zip
Phone: <u>920-973-1613</u>	Phone:
Email: <u>ben@Same day windshield.com</u>	Email:

Describe proposed plan:

Garage addition to East Side of Existing garage

List variances required to implement the proposed plan (include ordinance numbers and short explanation of each):

- Total outbuilding square footage is over the plus the current garage and addition would be 305 sq ft over the allowed size.
- * 13-615 (b)(2) In no case shall the total floor area of Accessory structures exceed the ground floor of the principal structure
- * 13-604 Table 6-2 - Rear yard setback less than 25'
- * 13-1705 Residential Driveways MAX Driveway of 25'

Describe what hardships are imposed by zoning ordinances listed in section above making conformity unfeasible or unnecessarily burdensome:

Lot line setbacks and the presence of a boat house are the factors impacting the project. Due to setbacks, the addition to the house had to be vertical. Therefore we did not increase the footprint of the original house. Had we increased the footprint, the extra garage would conform. In current form, we are limited to a two car garage for a 3900 sq ft house.

Describe what unique physical characteristics affect this property which prevent you from complying with the zoning ordinance:

The house footprint is small, but the total square footage is due to the vertical addition.

Describe how granting this variance will neither harm public interest nor undermine the purpose of the ordinance:

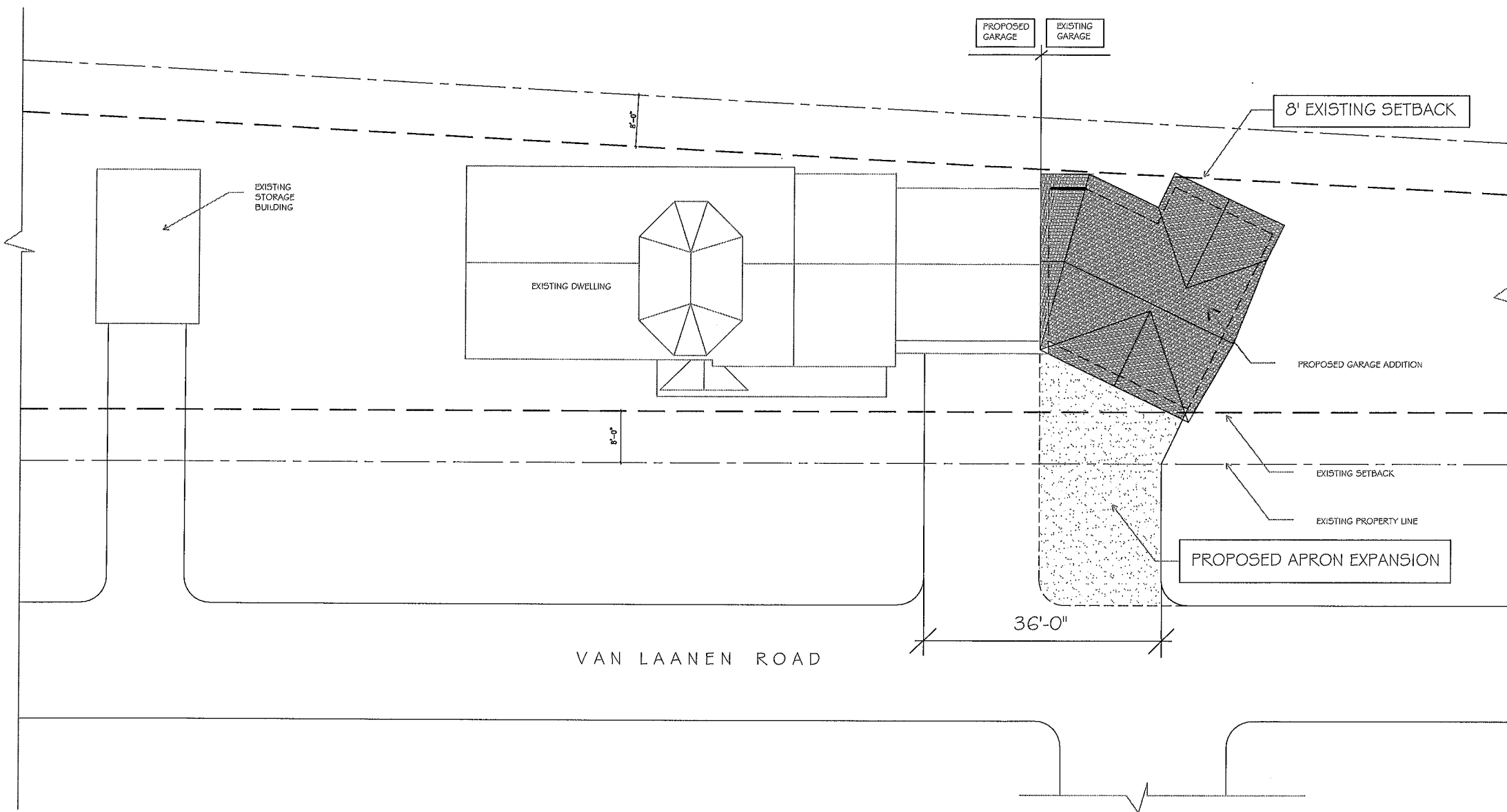
The extra square footage is minimal at 305. There are no house rules that will have

Prepare and submit a copy of a site plan (NO LARGER THAN 11X17) detailing your request completely and any additional information which will support your variance request.

Signature of Applicant

Date

OFFICE USE ONLY:	Parcel# <u>22-58</u>	Residential \$75 <u>X</u>	Commercial \$150
District: <u>1</u>	Zoning: <u>R1</u>	Meeting Date: <u>2/17/20</u>	Receipt #: <u>2755241-1</u>



OWNER

BENJAMIN BUEHLER
3579 VAN LAANEN ROAD
GREEN BAY, WI 54311
920 973 1613

INDEX

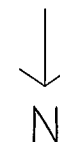
- S1 SITE AND TITLE SHEET
- 1 FLOOR PLAN
- 2 NORTH ELEVATION
- 3 WEST ELEVATION
- 4 SOUTH ELEVATION

EXISTING GARAGE	578 SQUARE FEET
PROPOSED GARAGE	806 SQUARE FEET
TOTAL GARAGE	1,384 SQUARE FEET
BOATHOUSE	520 SQUARE FEET
TOTAL	1,904 SQUARE FEET
HOUSE	1,599 SQUARE FEET

OVER ALLOWED 305 SQUARE FEET

SITE PLAN

N.T.S.



REVISIONS:	PREPARED BY:	GARAGE ADDITION	S1
DATE: 01/16/2020	HOME REMAKES	BEN BUEHLER	
	1523 SHADOW RIDGE WAY	3579 VAN LAANEN ROAD	
	DEPERE, WISCONSIN 54115	GREEN BAY, WI.54311	
	920 360 5262		



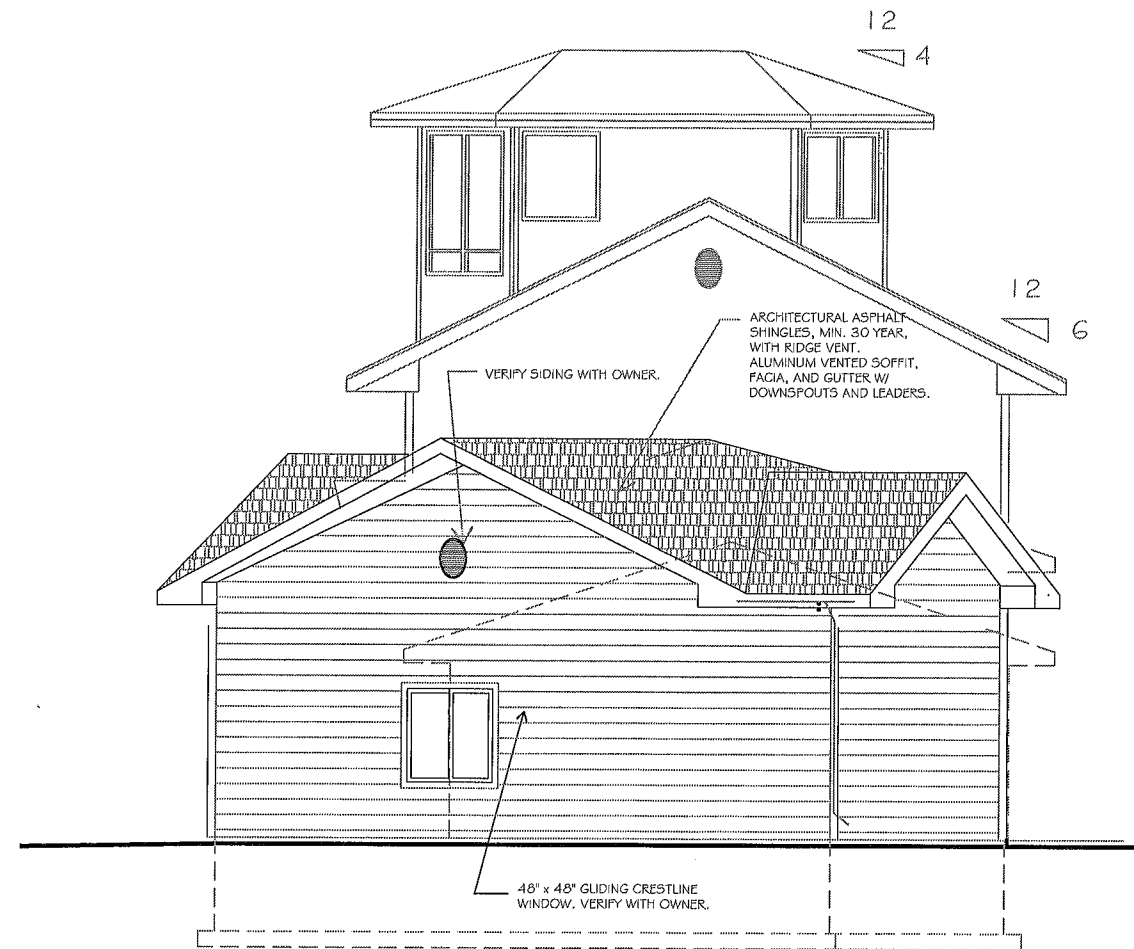
NORTH ELEVATION

SCALE 1/8" = 1'-0"

REVISIONS:
DATE: 01/16/2020

PREPARED BY:
HOME REMAKES
1523 SHADOW RIDGE WAY
DEPERE, WISCONSIN 54115
920 360 5262

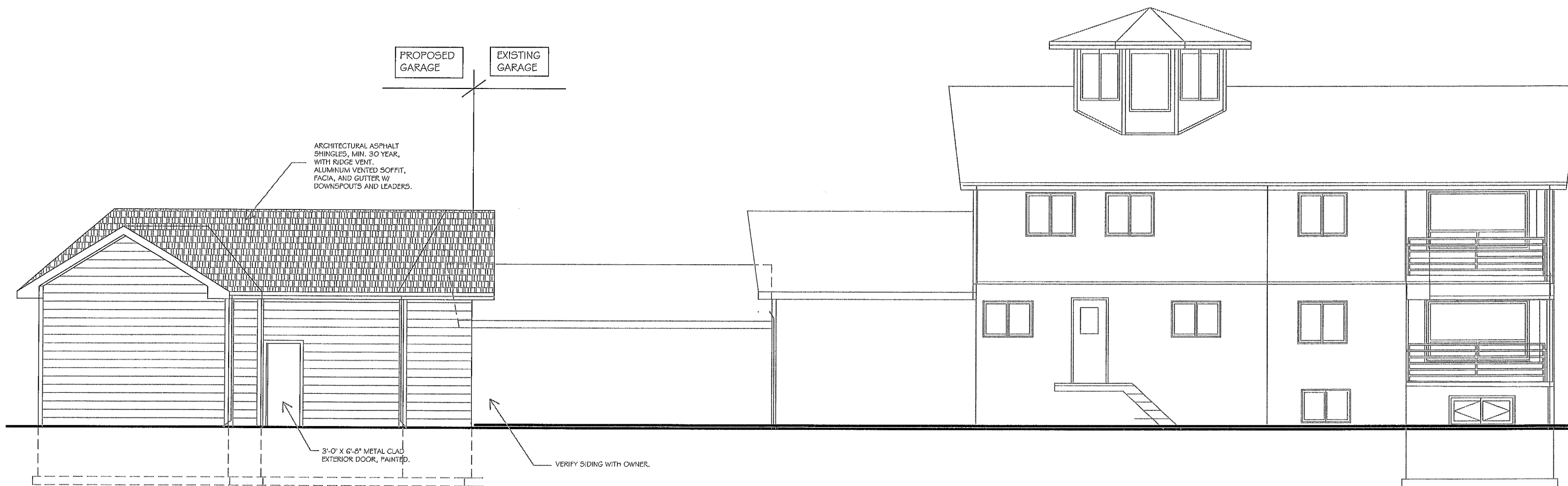
GARAGE ADDITION
BEN BUEHLER
3579 VAN LAANEN ROAD
GREEN BAY, WI.54311



WEST ELEVATION

SCALE 1/8" = 1'-0"

REVISIONS:	PREPARED BY: HOME REMAKES 1523 SHADOW RIDGE WAY DEPERE, WISCONSIN 54115 920 360 5262	GARAGE ADDITION BEN BUEHLER	3
		3579 VAN LAANEN ROAD	
		GREEN BAY, WI. 54311	



SOUTH ELEVATION

SCALE 1/8" = 1'-0"

REVISIONS:	PREPARED BY: HOME REMAKES 1523 SHADOW RIDGE WAY DEPERE, WISCONSIN 54115 920 360 5262	GARAGE ADDITION BEN BUEHLER	4
DATE: 01/16/2020		3579 VAN LAANEN ROAD GREEN BAY, WI.54311	



Zoning & Planning Board of Appeals

VARIANCE APPLICATION

Department of Community
and Economic Development
100 N. Jefferson Street, Rm 608
Green Bay, WI 54301-5026
(920) 448-3300 - phone
(920) 448-3426 - fax

Application Deadline: First Tuesday of the Month at 12 Noon.

Date: 1/8/2020 Project Address: 2089 Fern Ln. Project #: 99695 Appeal #: 20-002

PROPERTY OWNER	APPLICANT INFORMATION
Name: <u>Tim Philipps</u>	Name: <u>Tim Philipps</u>
Address: <u>2089 Fern Ln</u>	Address: <u>2089 Fern Ln</u>
City, State, Zip: <u>Green Bay WI 54302</u>	City, State, Zip: <u>Green Bay WI 54302</u>
Phone: <u>920-360-4790</u>	Phone: <u>920-360-4790</u>
Email: <u>tphilipps@new.rr.com</u>	Email: <u>tphilipps@new.rr.com</u>

Describe proposed plan:

I would like to add a concrete parking pad along side my Garage approx 12'x20' - To park a work trailer

List variances required to implement the proposed plan (include ordinance numbers and short explanation of each):

Describe what hardships are imposed by zoning ordinances listed in section above making conformity unfeasible or unnecessarily burdensome:

I would like to keep my work trailer on the side so I can park my car in the Garage. Also being on a busy corner hook up the Trailer creates a hazard as it is necessary to be partially in the road. This would solve that hazard. I don't believe that I would obstruct any views either

Describe what unique physical characteristics affect this property which prevent you from complying with the zoning ordinance:

I believe I have room for at least part of this pad within the setbacks I just need a little more.

Describe how granting this variance will neither harm public interest nor undermine the purpose of the ordinance:

This won't obstruct views as my Garage is lower than the street and neighboring houses. Next door there is an existing privacy fence that already blocks any view I might obstruct

Prepare and submit a copy of a site plan (NO LARGER THAN 11X17) detailing your request completely and any additional information which will support your variance request.

Signature of Applicant

Date

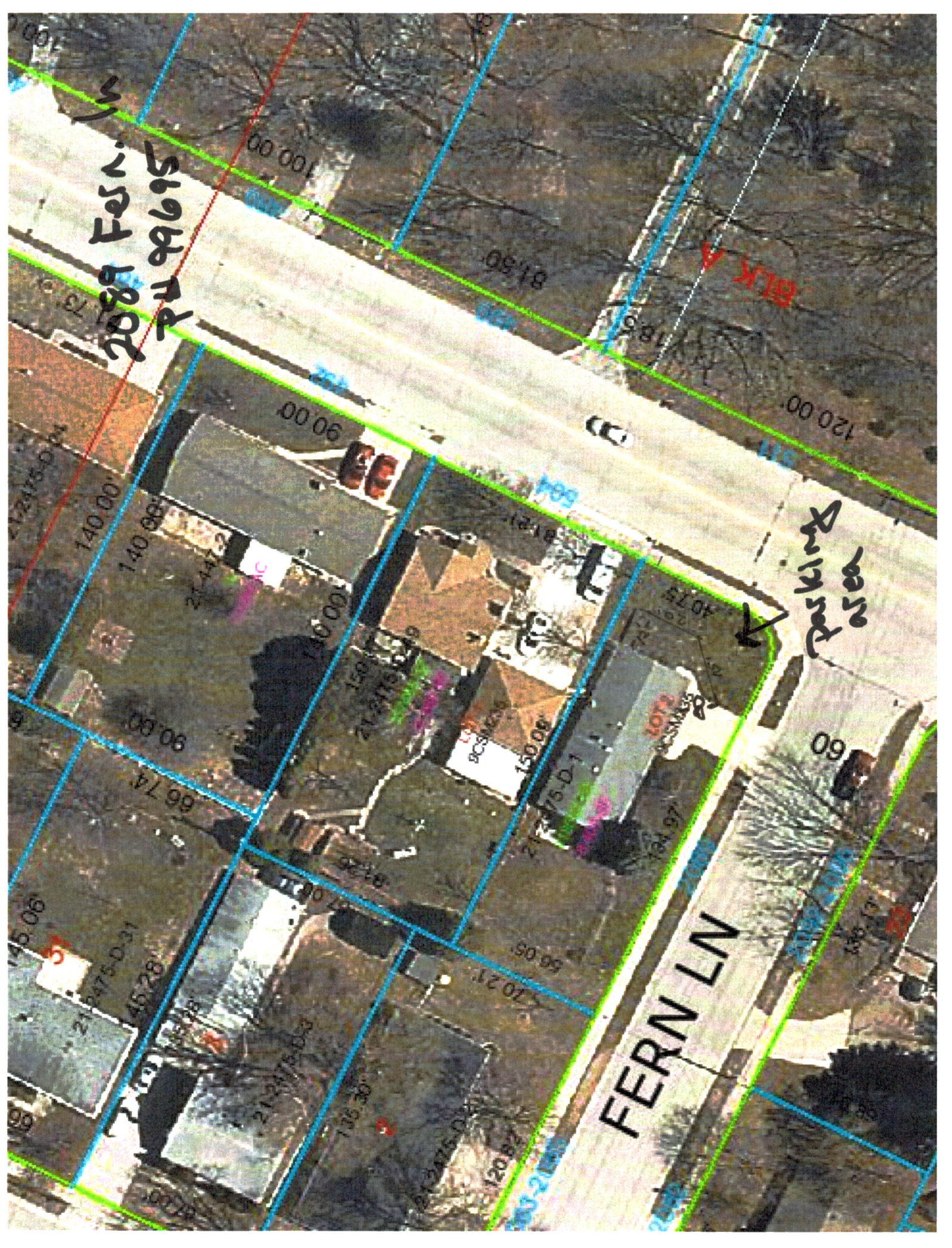
1/8/2020

OFFICE USE ONLY:	Parcel#: <u>21-2475-D-1</u>	Residential \$75 ☒	Commercial \$150 ☐
District: <u> </u>	Zoning: <u> </u>	Meeting Date: <u> </u>	Receipt #: <u>2755241-2</u>

2089 Fern Ln.
PU 99695

FERN LN

part
splitting





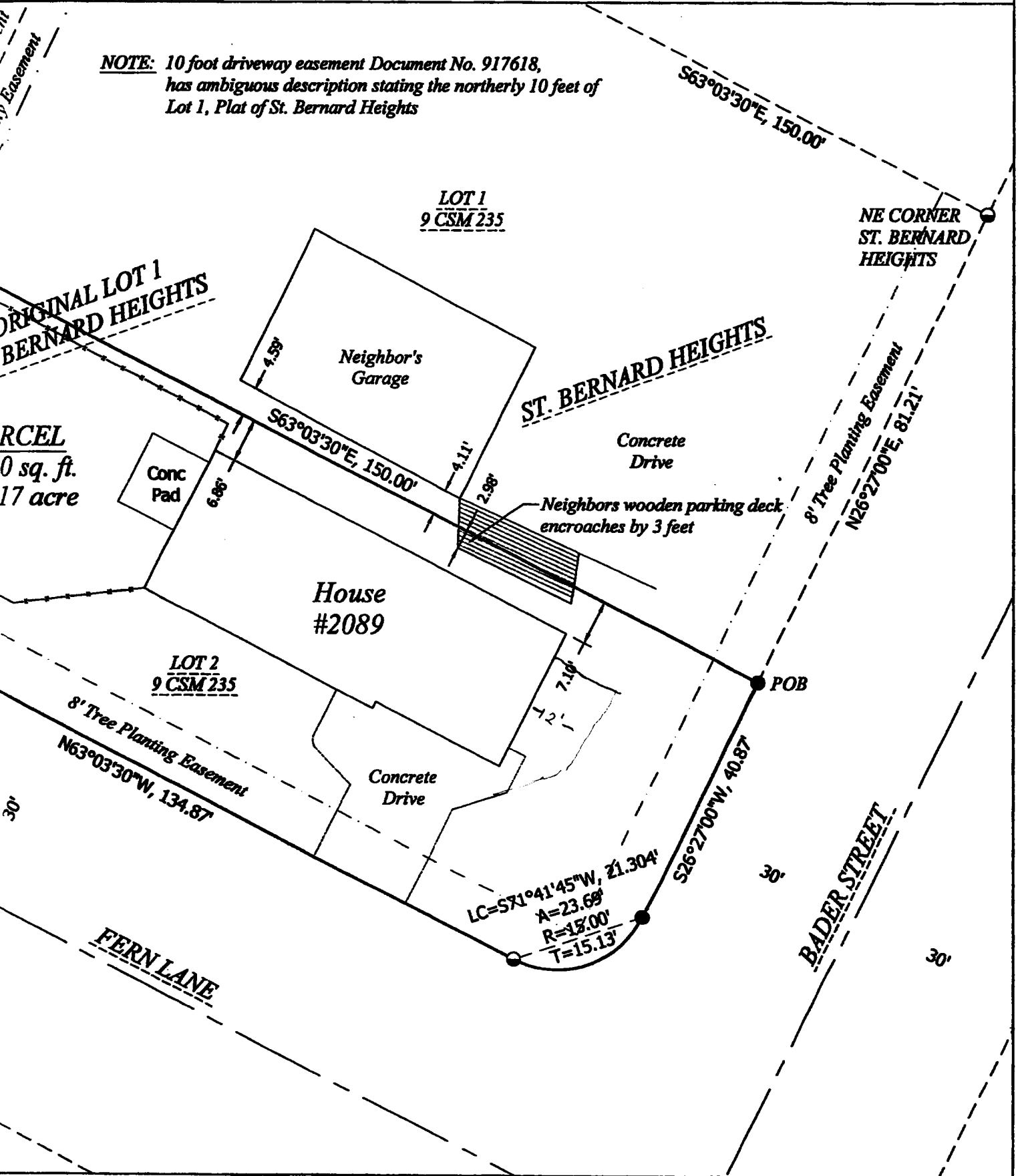




PLAT OF SURVEY

**1 of land, being all of Lot 2, in Volume 9 of Certified Survey Maps, Page 235, Map No. 2122,
part of Lot 1, according to the recorded Plat of St. Bernard Heights, in the City of Green Bay,
Side of the Fox River, Brown County, Wisconsin, as described in Document No. 2834610**

NOTE: 10 foot driveway easement Document No. 917618,
has ambiguous description stating the northerly 10 feet of
Lot 1, Plat of St. Bernard Heights





Zoning & Planning Board of Appeals

VARIANCE APPLICATION

Department of Community and Economic Development
100 N. Jefferson Street, Rm 608
Green Bay, WI 54301-5026
(920) 448-3300 - phone
(920) 448-3426 - fax

Application Deadline: First Tuesday of the Month at 12 Noon.

Date: 1-20-2020 Project Address: 304 N. Platter St Project #: 99974 Appeal #: 20-003

PROPERTY OWNER	APPLICANT INFORMATION
Name: Larry & Darlene Sterckx	Name: Larry Sterckx
Address: 304 N. Platter St	Address: 304 N. Platter St
City, State, Zip: Green Bay WI 54303	City, State, Zip: Green Bay WI 54303
Phone: 920 639 6108	Phone: 920 639 6108
Email: Lsterckx@SBCGlobal.net	Email: Lsterckx@SBCGlobal.net

Describe proposed plan:

Car/RV Port on north side of attached garage

List variances required to implement the proposed plan (include ordinance numbers and short explanation of each):

Back lot line

13-604 Lot dimension Table 6-2 Setback Requirements
R1 - Rear yard 25 ft.

Describe what hardships are imposed by zoning ordinances listed in section above making conformity unfeasible or unnecessarily burdensome:

with front & rear set back on corner lot can not build on lot

Describe what unique physical characteristics affect this property which prevent you from complying with the zoning ordinance:

Rear set back on corner lot. Rear set back would be the same as existing attached garage

Describe how granting this variance will neither harm public interest nor undermine the purpose of the ordinance:

RV Port would be placed on top of existing concrete and have open sides

Prepare and submit a copy of a site plan (NO LARGER THAN 11X17) detailing your request completely and any additional information which will support your variance request.

Larry Sterckx

Signature of Applicant

1-20-2020

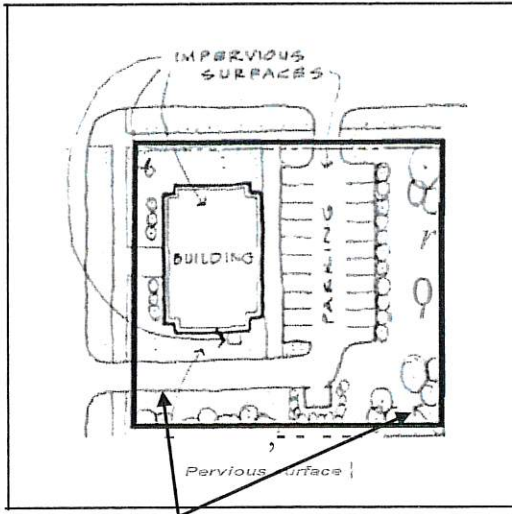
Date

OFFICE USE ONLY:	Parcel# 5-661-A	Residential \$75 ☒ Commercial \$150 ☐
District: 10 Zoning: R1	Meeting Date:	Receipt #: 2755362-5



IMPERVIOUS SURFACE RATIO CALCULATION

Department of Community
and Economic Development
100 N. Jefferson Street, Rm 608
Green Bay, WI 54301-5026
(920) 448-3300 - phone
(920) 448-3426 - fax
inspmail@greenbaywi.gov



Impervious surface means an area that releases, as runoff, all or a large portion of the precipitation that falls on it, except for frozen soil. Rooftops, sidewalks, driveways and parking lots are examples of surfaces that are typically impervious. Surfaces in the public right-of-way, such as a street, driveway apron or public sidewalk, are not counted in this calculation-only area on your property.

Impervious surface ratio means the measure of intensity of land use, determined by dividing the total of all impervious surfaces on a site by the gross area of the site.

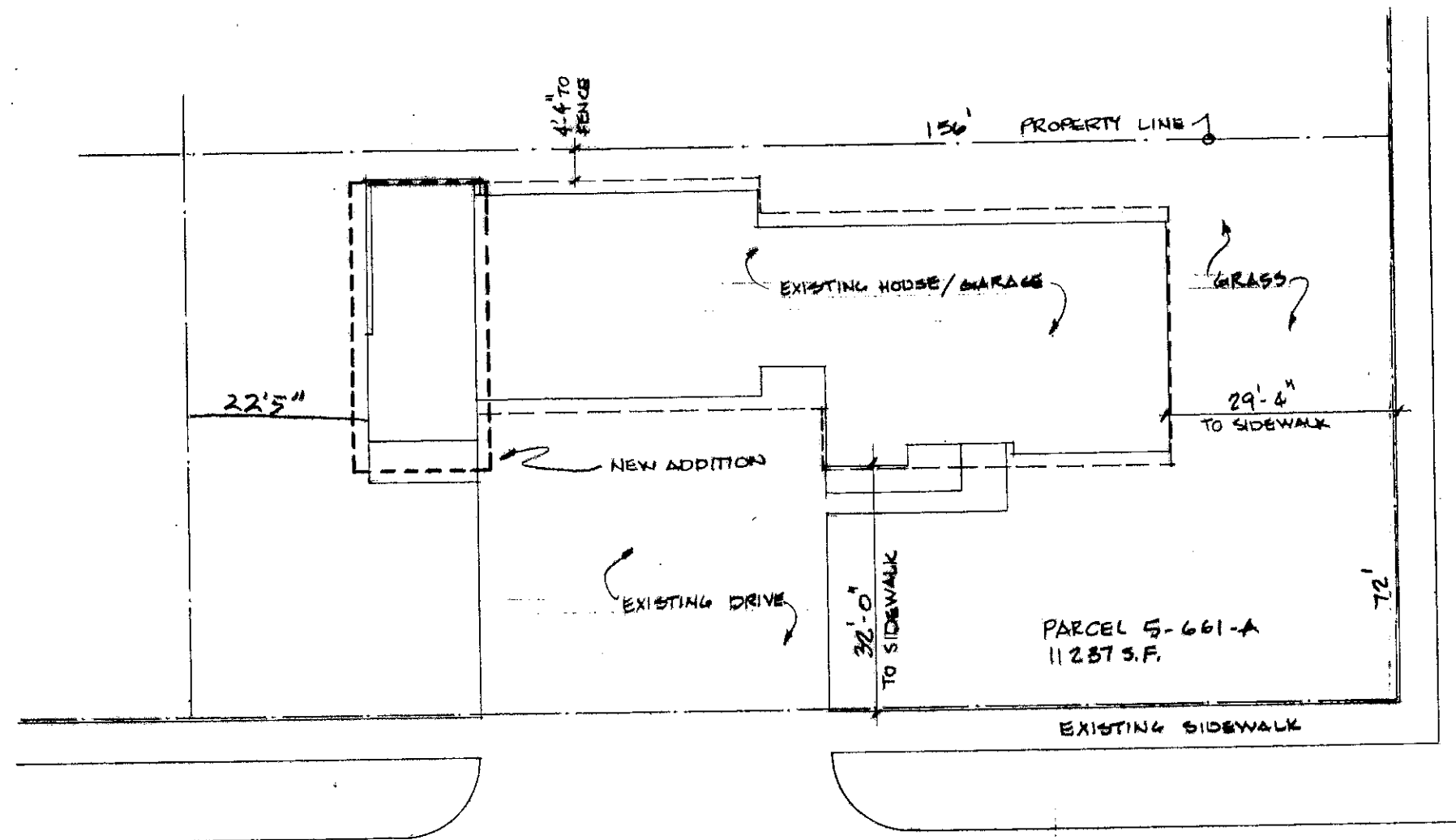
Required for new buildings of any kind, additions, porches, patios, driveways and walks (anything impervious to water).

MAXIMUM LOT COVERAGE: R1 = 50%

Component	Area (square feet)
1. House (including porches, patios, attached garage)	2382 sq. ft.
2. New structure	4448 4448 sq. ft.
3. Existing structures (sheds, etc.)	sq. ft.
4. Driveway	2458 sq. ft.
5. Sidewalks (private)	sq. ft.
6. Total of all impervious surfaces on the site (sum of lines 1-5)	5288 sq. ft.
7. Gross area of the site (lot area)	11237 sq. ft.

Impervious surface ratio (line 6 divided by line 7 x 100 = %) 47 %

Example: If #6 is 4,000 and #7 is 10,000 the ratio would be 4,000 divided by 10,000 x 100 = 40%



BLDG. AREA	2382 S.F.
CONC. SURFACE	2468 S.F.
GRASS	6397 S.F.
	<u>11237 S.F.</u>

SITE PLAN
SCALE 1/20

NORTH

304 N. PLATTEN

304 N Platten
PH 99974



Zoning & Planning Board of Appeals

VARIANCE APPLICATION

Department of Community
and Economic Development
100 N. Jefferson Street, Rm 608
Green Bay, WI 54301-5026
(920) 448-3300 - phone
(920) 448-3426 - fax

Application Deadline: First Tuesday of the Month at 12 Noon.

Date: 1/20/20 Project Address: 2997 ST. ANTHONY DR. Project #: 99714 Appeal #: 26-004

PROPERTY OWNER	APPLICANT INFORMATION
Name: FREEDOM HOUSE MINISTRIES	Name:
Address: 2997 ST. ANTHONY DR.	Address:
City, State, Zip: GREEN BAY, WI 54311	City, State, Zip
Phone:	Phone:
Email:	Email:

Describe proposed plan: PRODUCE & INSTALL FACE LIT CHANNEL LETTERS 9'2" X 3' TALL

List variances required to implement the proposed plan (include ordinance numbers and short explanation of each):

CHAPTER 13-2007(C)
① ONE WALL SIGN NOT EXCEEDING SIXTEEN SQ FT. WHICH MAY BE ILLUMINATED. ON A CORNER LOT, TWO SUCH SIGNS ARE PERMITTED PER BUILDING IF FACING BOTH STREETS

Describe what hardships are imposed by zoning ordinances listed in section above making conformity unfeasible or unnecessarily burdensome:

THE SUBJECT PROPERTY IS ZONED VARIED DENSITY RESIDENTIAL
THE SIGN WOULD BE FACING CURRY LANE AND HWY 52-54 AND WOULD NOT BE LARGE ENOUGH FOR PEOPLE TO SEE IT

Describe what unique physical characteristics affect this property which prevent you from complying with the zoning ordinance:

Describe how granting this variance will neither harm public interest nor undermine the purpose of the ordinance:

THE SIGN WILL NOT FACE ANY RESIDENTIAL PROPERTIES SO LIGHT FROM SIGN WILL NOT EFFECT PRIVACY OR INCONVENIENCE SLEEP WITH LIGHTING

Prepare and submit a copy of a site plan (NO LARGER THAN 11X17) detailing your request completely and any additional information which will support your variance request.

Signature of Applicant: Phil Jennings		Date: 1/20/20	
OFFICE USE ONLY:	Parcel#: 26-275-14	Residential \$75	Commercial \$150 X
District: Zoning:	Meeting Date:	Receipt #: 2755483-5	



505 LAWRENCE DR. DE PERE, WI 54115
920.336.8900 GREENBAYSIGNS.COM

CLIENT: FREEDOM HOUSE

LOCATION: 2997 ST. ANTHONY ST. GREEN BAY, 54311

DRAWN BY: BRIDGET N.

SALESPERSON: PHILL JENNINGS KOHORN

DATE: 01/06/2020

DESIGN #: D16259

PAGE: 2

REVISION LOG:	INTL	DATE	DESCRIPTION
	BN	01/08/2020	QTY 1/COLOR MATCH

FACELIT CHANNEL LETTERS

QUANTITY: 1

LETTERS: FACELIT CHANNEL LETTERS

LIGHTING: LED (WHITE)

FACES: 3/16" IMPACT MOD WHT TRANS ACRYLIC

TRIM CAP: 3/4" JEWELITE (WHITE)

RETURNS: 5" STANDARD (WHITE)

MOUNTING: FLUSH TO RACEWAY

GRAPHICS: DIRECT PRINT

FONT: LOGO PROVIDED

RACEWAY: YES (5.875" H X 5.5" D)

MOUNTING: FLUSH TO WALL

PHOTO EYE: YES

INSTRUCTION: CSC IS TO PRODUCE AND INSTALL
FACE AND BACKLIT CHANNEL LETTERS
AS SHOWN.

COLORS:

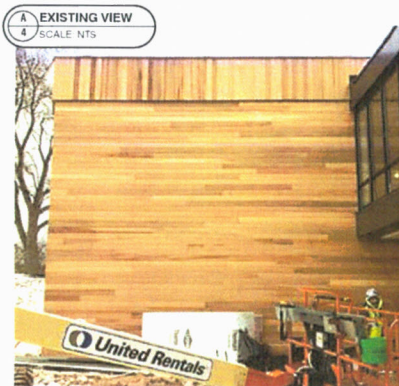
- ☐ C-1 WHITE/JEWELITE WHITE
- ☐ C-2 PMS 424 C
- ☐ C-3 PMS 2154 C
- ☐ P-4 MP 10441 CAPILANO BRIDGE

CUSTOMER SIGNATURE FOR DESIGN APPROVAL:

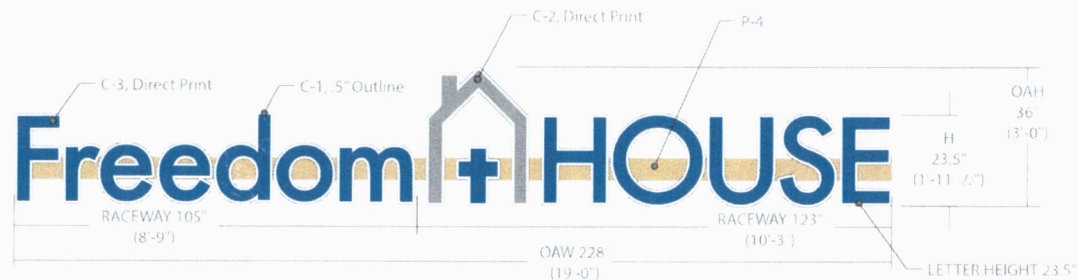
DATE



WEST SIDE



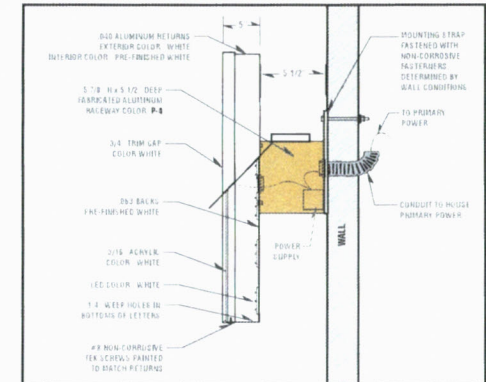
DETAIL VIEW
SCALE 3/8" = 1'



CONCEPTUAL DRAWING ONLY - NOT FOR FABRICATION PURPOSES (SIZES ARE APPROX)

This is an original, unpublished drawing by Creative Sign Co., Inc. It is for your personal use, in conjunction with a project being planned for you by Creative Sign Co., Inc. It is not to be shown to anyone outside of your organization nor is it to be used, reproduced, copied or exhibited in any fashion. Use of this design or the salient elements of this design in any sign done by any other company, without the expressed written permission of Creative Sign Co., Inc., is forbidden by law, and carries a civil forfeiture of up to 25% of the purchase price of the sign. Creative Sign will endeavor to closely match colors, including PMS, where specified. We cannot guarantee exact matches due to varying compatibility of surface materials and paints used. All sizes and dimensions are illustrated for clients' conception of the project and are not to be understood as being exact size or exact scale.

CHL-1: LOC-1
OPTION B



FACE-ILLUMINATED CH. LTRS. ON A RACEWAY

LIT SIGN

THIS SIGN WILL REQUIRE ELECTRICAL HOOD UP. CUSTOMER IS REQUIRED TO SCHEDULE A LICENSED ELECTRICIAN TO RUN POWER TO THE SIGN AND DO FINAL HOOD UP. TALK TO YOUR SIGN CONSULTANT IF:
- YOU WOULD LIKE CREATIVE SIGN TO COORDINATE YOUR ELECTRICAL
- YOU HAVE ANY QUESTIONS REGARDING THE POWER REQUIREMENTS FOR YOUR SIGNAGE.

CURRY LANE VIEW OF BUILDING -



HWY 57-54
←

1
HWY 54-57



Zoning & Planning Board of Appeals

VARIANCE APPLICATION

Department of Community
and Economic Development
100 N. Jefferson Street, Rm 608
Green Bay, WI 54301-5026
(920) 448-3300 - phone
(920) 448-3426 - fax
www.greenbaywi.gov

Application Deadline: First Tuesday of the Month at 12 Noon.

Date: 12/6/2019

Project Address: 1937 Lakeside Place

Project #: 99413 Appeal #: 20-005

PROPERTY OWNER	APPLICANT INFORMATION
Name: Kevin and Marne Williams	Name: David Chrouser / Mau & Associates, LLP
Address: 2479 Sun Terrace	Address: 400 Security Blvd.
City, State, Zip: Green Bay, WI 54311	City, State, Zip: Green Bay, WI 54313
Phone:	Phone: 920-434-9670
Email: kdw62929505@yahoo.com	Email: dchrouser@mau-associates.com

Describe proposed plan:

Kevin and Marne Williams wish to build a house at 1937 Lakeside Place. Fill will be brought in to raise the grade of the lot to two feet above flood plain.

List variances required to implement the proposed plan (include ordinance numbers and short explanation of each):

A variance is being requested for less than 15 feet of fill at 1 foot above flood elevation from the structure. Ordinance 13-1330(2)(c) states that fill to at least 1 foot above the 100-year regional flood line for a distance of 15 feet beyond the structure must be placed.

Describe what hardships are imposed by zoning ordinances listed in section above making conformity unfeasible or unnecessarily burdensome:

The existing lot is only 62 feet wide. Due to the amount of fill needed to raise this lot 2 feet above flood, retaining walls will be needed on either side of the property. In order to fit the house between the setbacks and the retaining walls the necessary 3 feet off the property lines, there is not 15 feet available around the proposed house.

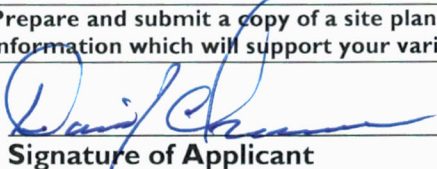
Describe what unique physical characteristics affect this property which prevent you from complying with the zoning ordinance:

This lot is narrow, in the flood plain and located on the bay. Due to the elevations that exist, fill will be needed to bring the lot above the 100-year flood plain.

Describe how granting this variance will neither harm public interest nor undermine the purpose of the ordinance:

No surrounding properties will be harmed by granting this variance as we are requesting the variance to prevent filling the neighboring property. Fill will be placed to 15 feet from structure where achievable. Retaining walls and proper drainage will ensure the neighbors are not affected.

Prepare and submit a copy of a site plan (NO LARGER THAN 11X17) detailing your request completely and any additional information which will support your variance request.


Signature of Applicant

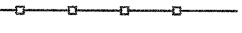
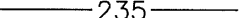
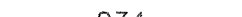
12-9-19
Date

OFFICE USE ONLY:	Parcel# 21-961	Residential \$75 _____ Commercial \$150 _____
District: _____ Zoning: _____	Meeting Date: _____	Receipt #: 2755483-6

Site Plan/Erosion Control Plan

Lot 5, Block 11, recorded plat of
"First Addition to Lakeside Plat", City
of Green Bay, Brown County,
Wisconsin.
~1937 Lakeside Place~

Legend

- 1" iron pipe found
- ⊙ SA sanitary sewer manhole
-  existing building
-  silt fence
-  235 proposed contour line
-  234 existing contour line

North



Bearings referenced to the North
right of way of Lakeside Place,
assumed to be N77°08'19"W

Elevations referenced to the
NAVD 88 Benchmark Datum.

To convert to City of Green Bay
Datum subtract 483.79 feet
from elevations

Flood information obtained from
FEMA FIRM Map No.
55009C0188F dated August 18,
2009



Scale: 1" = 20'

Client: Bostad Builders

Tax Parcel: 21-961

Drafted By: MRA

File: D-8791Site Plan 111119.dwg

Data File: D-8791.txt

Mau & Associates, LLP

LAND SURVEYING & PLANNING

CIVIL & WATER RESOURCE ENGINEERING

Phone: 920-434-9670 Website: www.mau-associates.com

400 Security Blvd Ste 1, Green Bay, WI 54313-9712

Sheet One of Three

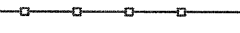
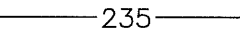
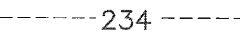
Project No.: D-8791

Drawing No.: X-946

Site Plan/Erosion Control Plan

Lot 5, Block 11, recorded plat of
"First Addition to Lakeside Plat", City
of Green Bay, Brown County,
Wisconsin.
~1937 Lakeside Place~

Legend

- 1" iron pipe found
- ⊙ (SA) sanitary sewer manhole
-  existing building
-  silt fence
-  235 proposed contour line
-  234 existing contour line

North

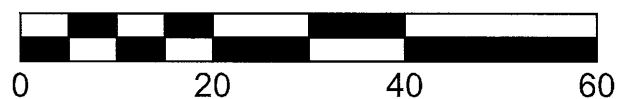


Bearings referenced to the North
right of way of Lakeside Place,
assumed to be N77°08'19"W

Elevations referenced to the
NAVD 88 Benchmark Datum.

To convert to City of Green Bay
Datum subtract 483.79 feet
from elevations

Flood information obtained from
FEMA FIRM Map No.
55009C0188F dated August 18,
2009



Scale: 1" = 20'

Client: Bostad Builders

Tax Parcel: 21-961

Drafted By: MRA

File: D-8791Site Plan 111119.dwg

Data File: D-8791.txt

Mau & Associates, LLP

LAND SURVEYING & PLANNING
CIVIL & WATER RESOURCE ENGINEERING
Phone: 920-434-9670 Website: www.mau-associates.com
400 Security Blvd Ste 1, Green Bay, WI 54313-9712

Sheet One of Three

Project No.: D-8791

Drawing No.: X-946



Zoning & Planning Board of Appeals

VARIANCE APPLICATION

Department of Community
and Economic Development
100 N. Jefferson Street, Rm 608
Green Bay, WI 54301-5026
(920) 448-3300 - phone
(920) 448-3426 - fax
www.greenbaywi.gov

Application Deadline: First Tuesday of the Month at 12 Noon.

Date: 12/18/19 Project Address: 212 Alvina St

Project #: Appeal #: 20-006

PROPERTY OWNER	APPLICANT INFORMATION
Name: Douglas Schneider	Name: David Chrouser / Mau & Associates LLP
Address: PO Box 2075	Address: 400 Security Blvd
City, State, Zip Green Bay WI 54306-2075	City, State, Zip Green Bay WI 54313
Phone: 920-621-0895	Phone: 920-434-9670
Email: dschneider5055@yahoo.com	Email: dchrouser@mau-associates.com

Describe proposed plan: The property owner would like to pave the driveway and parking lot associated with the site. The driveway follows an easement between the properties with the idea it will service both properties when the southerly one is built out. This will cause the driveway to be paved with in the setback of 10 feet on both sides of the property line.

List variances required to implement the proposed plan (include ordinance numbers and short explanation of each):

The property is zoned R-3 and the variance is for Code 13-17.17 which refers back to 13-600, 13-604. They require a 10 foot sideyard for both properties from the property line for paving driveways.

Describe what hardships are imposed by zoning ordinances listed in section above making conformity unfeasible or unnecessarily burdensome: The owner is trying to pave the existing gravel presently used to access the garage to his Apt building. He has an existing easement at the entrance that is intended to be used by both parties when the lot to the south is built upon. He is asking for a variance to pave to the property line and /or easement line to give his tenants room to get in and out. Presently the width of the driveway to the south line of the easement makes the driveway about 11 feet in width, which is about all we can get and as you can see minimal in width.

Describe what unique physical characteristics affect this property which prevent you from complying with the zoning ordinance: The uniqueness of this property is the fact that its existed as is now in excess of 44 yrs. The recorded easement is a good indication that these two properties were and are intended to share the entrance to and from both properties. The present owner of the lot to the south is reluctant to grant an additional easement at this time due to the unknown development characteristics that may take place when it is built upon.

Describe how granting this variance will neither harm public interest nor undermine the purpose of the ordinance:

As per the recorded easement the entrance is expected to be used by both parties when the time comes. Paving this drive will make for a cleaner & nicer facility. Pavement will allow for less maintenance, better surface water drainage and help keep dirt and gravel out of the apartment building. Construction on the adjoining lot will likely tie these two sites together. The pavement we are proposing will be needed to accomodate both sites and most likely will require additional pavement to make this driveway wide enough to accomodate additional units.

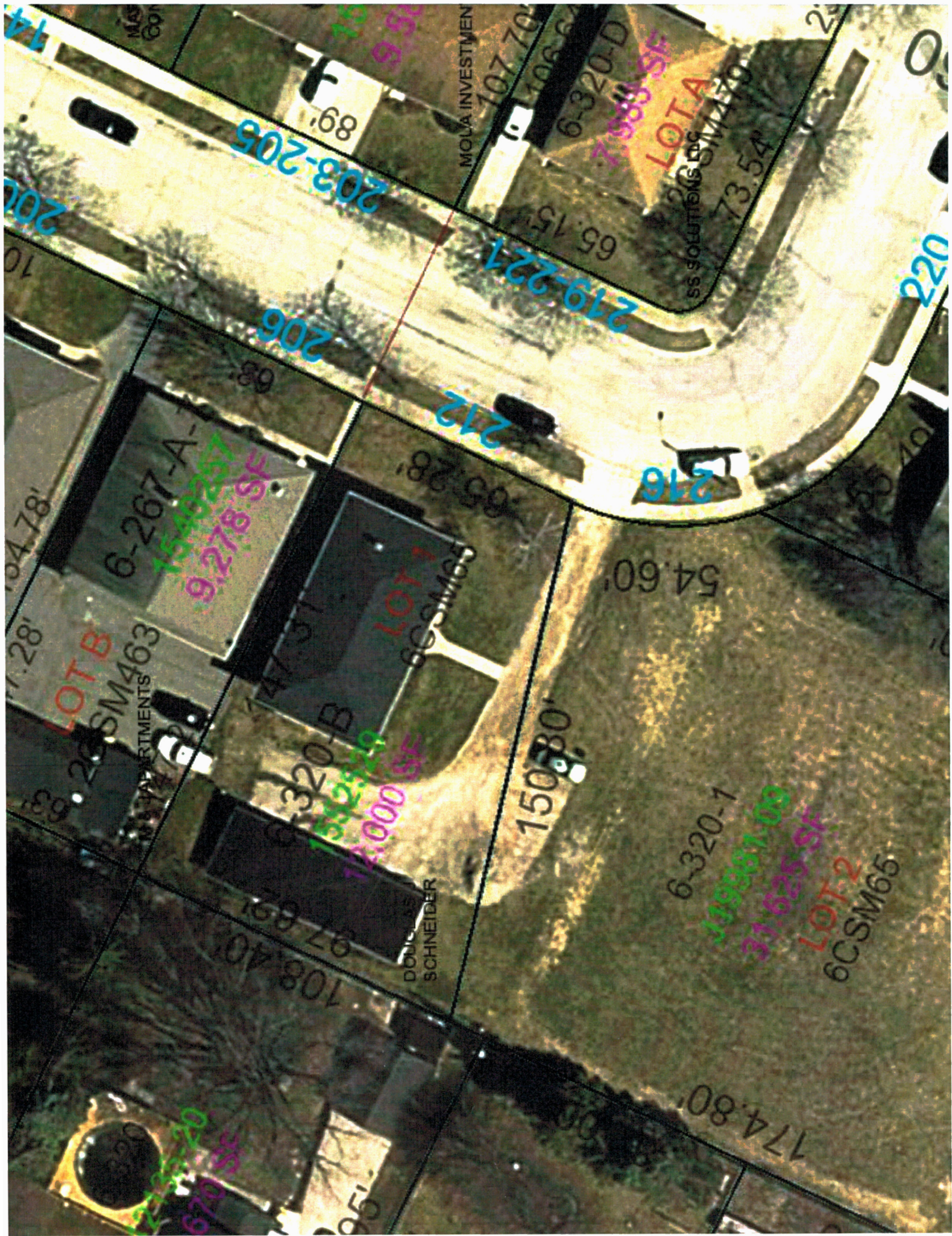
Prepare and submit a copy of a site plan (NO LARGER THAN 11X17) detailing your request completely and any additional information which will support your variance request.

Signature of Applicant

Date

1-7-2020

OFFICE USE ONLY:	Parcel# 6-320-B	Residential \$75 _____ Commercial \$150 _____
District: Zoning:	Meeting Date:	Receipt #: 2755483-7



919022

J 3235 I 27

REGISTER OF DEEDS
BROWN COUNTY

JUN 20 1979

AT 8:01 O'CLOCK A.M.

Ray Delph REGISTER OF DEEDSCOLONIAL SAVINGS ASS'N.
734 S. Adams - P. O. Box 96
Green Bay, Wisconsin 54305BERNARD W. DESPINS AND NANCY A. DESPINS, HIS
WIFE, AND EACH IN THEIR OWN INDIVIDUAL
CAPACITY, Grantorsconveys and warrants to NORMAN M. WATERMOLEN AND MARY
I. WATERMOLEN HIS WIFE, AS TENANTS IN COMMON,
Granteesthe following described real estate in Brown County,
State of Wisconsin:

Tax Key No.

Lot 1 (One), according to the recorded certified survey map recorded in Vol. 6 of Certified Survey Maps, page 65, Brown County, Wisconsin, City of Green Bay, Brown County Wisconsin, together with a perpetual easement for vehicular and pedestrian ingress and egress to said premises over that portion of Lot 2 (Two) according to the recorded certified survey map recorded in Volume 6 of Certified Survey Maps, page 65, Brown County, Wisconsin, City of Green Bay, Brown County, Wisconsin, as follows: Beginning at the easterly end of the line dividing Lots 1 & 2, thence southerly 12.60 feet along the arc of the right-of-way curve to the southerly edge of the existing asphalt drive, thence N 64° 00' 00" W along said southerly edge 58.35 feet to intersect the said dividing line between Lots 1 & 2, thence S 76° 23' 10" W 58.28 feet to the point of beginning. The vendee agrees to pay all costs of maintenance and repair of the aforesaid driveway until such time as any improvement is constructed on the aforesaid Lot 2 and after the construction of any such improvement on Lot 2, the parties hereto agree to equally share the cost of maintenance and repair of said driveway.

This deed is given in full satisfaction of an unrecorded land contract between the parties hereto dated the 26th day of April, 1976.
This is not homestead property.

(Is) (Is not)

Exception to warranties: easements and restrictions of record.TRANSFER
\$ 75.00
FEEDated this Twenty-ninth day of May, 19 79

(SEAL)

BERNARD W. DESPINS

(SEAL)

(SEAL)

NANCY A. DESPINS

(SEAL)

AUTHENTICATION

Signatures authenticated this 29th day of
May, 19 79

Doris C. Strother
• Doris C. Strother, Notary Public
TITLE: ~~NOTARY PUBLIC~~
My commission expires: 4/1/81

THIS INSTRUMENT WAS DRAFTED BY

ALLAN M. ROSS

(Signatures may be authenticated or acknowledged. Both are not necessary.)

ACKNOWLEDGMENT

STATE OF ~~WISCONSIN~~ HAWAII

MAUI County.

Personally came before me, this 29th day of
May, 1979, the above named
Bernard W. Despina and Nancy A.
Despins, his wife

to me known to be the person who executed the foregoing instrument and acknowledge the same.

• DORIS C. STROTHER

Notary Public MAUI County, Hawaii
My Commission is permanent. (If not, state expiration date: April 1, 1981)

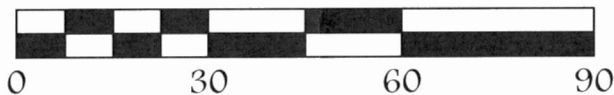
*Names of persons signing in any capacity should be typed or printed below their signatures.



North

Plat of Survey

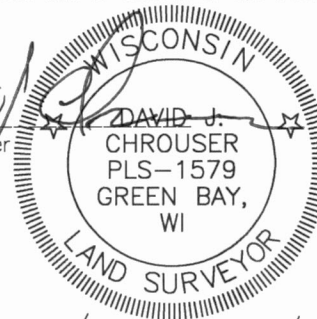
Lot 1, Volume 6, Certified Survey Maps, Page 65, Map No. 1457, Document No. 827912, Brown County
Records, being part of vacant strip in Private Claims, WSFR, City of Green Bay, Brown County, Wisconsin.
~212 Alvina Street~



SURVEYOR'S CERTIFICATE

I, David J. Chrouser, Professional Land Surveyor, PLS-1579, do hereby certify that the above described property was surveyed and mapped in accordance with AE-7 of the Wisconsin Administrative Code and is correct to the best of my knowledge and belief.

David J. Chrouser
PLS-1579
June 28, 2019

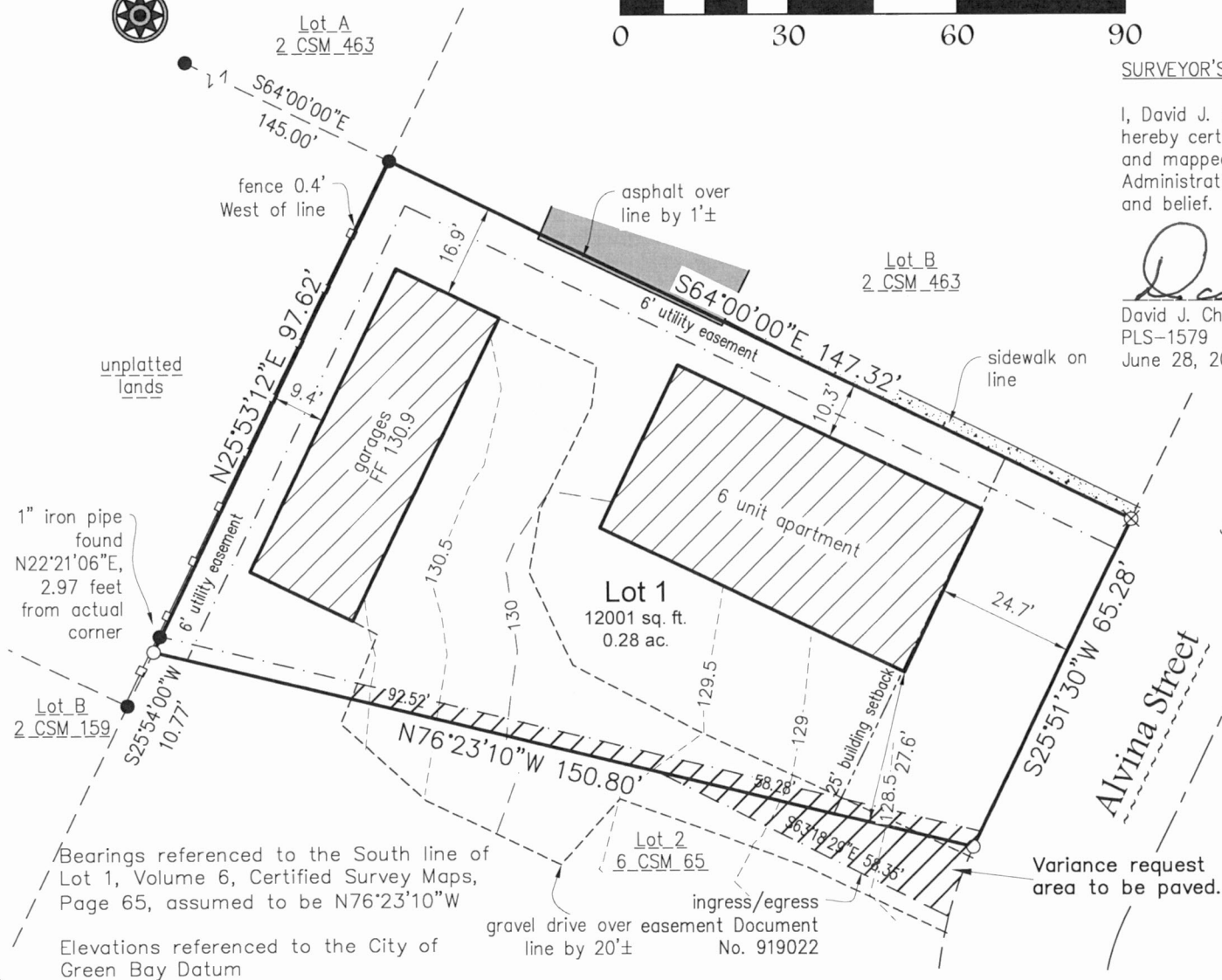


Scale: 1" = 30'

Sheet One of One
Project No.: S-6219
Drawing No.: L-10746
Fieldwork Completed: 06/13/19

Mau & Associates, LLP
LAND SURVEYING & PLANNING
CIVIL & WATER RESOURCE ENGINEERING
Phone: 920-434-9670 Website: www.mau-associates.com
400 Security Blvd Ste 1, Green Bay, WI 54313-9712

Client: Doug Schneider
Tax Parcel: 6-320-B
Drafted By: MRA
File: S-6219POS 062719.dwg
Data File: S-6219.txt



Legend

- 1.32" (o.d.) x 18" iron pipe weighing 1.68 lbs/lin ft set
- 1" iron pipe found
- ⊗ cut + found

Bearings referenced to the South line of Lot 1, Volume 6, Certified Survey Maps, Page 65, assumed to be N76°23'10"W

Elevations referenced to the City of Green Bay Datum

ingress/egress gravel drive over easement Document No. 919022

Variance request area to be paved.

827912

CERTIFIED SURVEY MAP
OF
PARCEL C OF 2 CSM 409
Which is part of
VACANT STRIP IN PRIVATE CLAIMS, WSFR
CITY OF GREEN BAY, BROWN COUNTY, WISCONSIN

14 57

0 20 40 60 80 100

SCALE: 1" = 40'

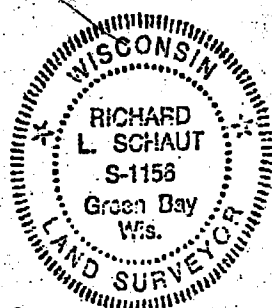
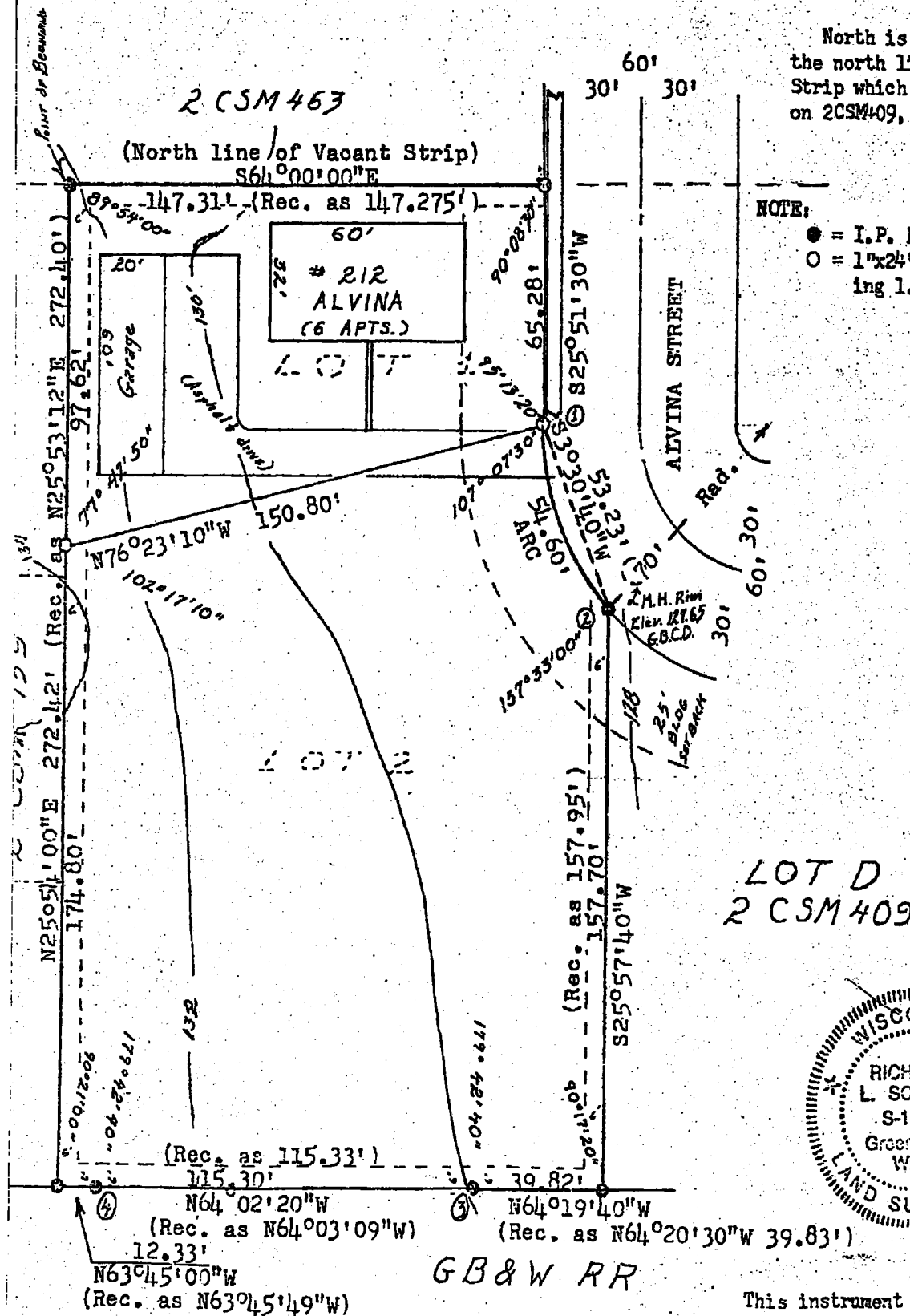
CURVE DATA

Number	Cent. Angle	Radius	Tang.	Arc	Chord	Chord Brg.
1-2	44°41'40"	70.00'	28.78'	54.60'	53.23'	S3°30'40"W
3-4	00°34'40"	11433.95'	57.65'	115.30'	115.30'	N64°02'20"W

North is referenced to
the north line of Vacant
Strip which is S64°00'00"E
on 2CSM409, BCR.

NOTE:

- = I.P. Found
- = 1"x24" I. P. weigh-
ing 1.13 lb/ft. set.



This instrument drafted by
Richard L. Schaut

827912

CERTIFIED SURVEY MAP
of
Parcel C of 2 CSM 409
Which is part of
VACANT STRIP IN PRIVATE CLAIMS, WSPR
CITY OF GREEN BAY, BROWN COUNTY, WISCONSIN

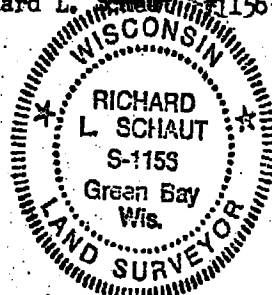
SURVEYORS CERTIFICATE

I, Richard L. Schaut, registered land surveyor, hereby certify that I have complied with Chap. 236.34 of Wis. Stats and Chap 14.07 of the Green Bay Sub'd Ord. in surveying and mapping Parcel C of a Certified Survey Map filed on page 409 of Vol. 2, Certified Survey Maps, Brown County Records; located in the Vacant Strip in Private Claims, West Side Fox River; City of Green Bay, Brown County, Wisconsin; and more particularly described as follows:
Beginning at the northerly corner of said 2CSM409, thence S64°00'00"E along the north line of said Vacant Strip 147.31 ft., (Recorded as 147.275'); thence S25°51'30"W 65.28 ft.; thence 54.60' along the arc of a curve to the left, (Recorded as 54.27'), whose chord bears S3°30'40"W 53.23 ft., (Recorded as S3°39'W 52.92'); thence S25°57'40"W 157.70 ft., (Recorded as 157.95'); thence N64°19'40"W 39.82 ft., (Recorded as N64°20'30"W 39.83'); thence 115.30 ft. (Recorded as 115.33') along the arc of a curve to the left whose chord bears N64°02'20"W 115.30 ft., (Recorded as N64°03'09"W 115.33'); thence N63°45'00"W, (Recorded as N63°45'49"W), 12.33 ft.; thence N25°54'00"E 272.42 ft., (Recorded as N25°53'12"E 272.40') to the point of beginning. Said parcel contains 43,823 square ft., Lot 1 contains 12,001 sq. ft., and Lot 2 contains 31,822 sq. ft.

Dated this 21 day of FEB., 1976

Richard L. Schaut
Richard L. Schaut, S-1153

REGISTER'S OFFICE, Brown Co., Wis.
Received for record the 9th day
of March A.D. 1976 at
8:01 o'clock A. M. and recorded in
Vol. 6 of Register's Maps 165
CSM Register of Deeds.
My Del. 30



OWNERS CERTIFICATE

We hereby certify that we have caused this property to be surveyed, divided, and mapped as hereon depicted.

Dated this 21 day of FEB., 1976

Bernard Despins
Bernard Despins, owner

Nancy Despins
Nancy Despins, owner

STATE OF WISCONSIN)
BROWN COUNTY)

Personally came before me this 21 day of FEB., 1976
the above owners, to me known to be the persons who executed
the foregoing instrument and acknowledged the same.

My commission expires 12/25/77

Sue A. Schaut
Sue Schaut, Notary Public

CITY OF GREEN BAY

Approved by the Green Bay Plan Commission this 9 day of May, 1976

Rich Schaut
1218 Marshall Ave. Sheet 2 of 2
SB 54303

Bernard Paruleski
Bernard Paruleski, Dir.

This instrument drafted by
Richard L. Schaut



Zoning & Planning Board of Appeals

VARIANCE APPLICATION

Department of Community
and Economic Development
100 N. Jefferson Street, Rm 608
Green Bay, WI 54301-5026
(920) 448-3300 - phone
(920) 448-3426 - fax
www.greenbaywi.gov

Application Deadline: First Tuesday of the Month at 12 Noon.

Date: 1/31/20 Project Address: 2895 E Mason St, Green Bay Project #: 72579 Appeal #: 20-007

PROPERTY OWNER	APPLICANT INFORMATION
Name: Green Bay East Kingdom Hall of Jehovah's Witnesses	Name: Green Bay East Kingdom Hall of Jehovah's Witnesses
Address: 2895 East Mason St	Address: 2895 East Mason St
City, State, Zip: Green Bay, WI 54301	City, State, Zip: Green Bay, WI 54301
Phone: Designated Agent-Jessy Geurts	Phone: 920-246-1455 — Jessy Geurts
Email:	Email: UrbanConceptsGB@gmail.com

Describe proposed plan:

General scope of work. Re-pavement to match and not to exceed existing pavement set backs. Mill and remove existing asphalt. Adjust grades to improve slopes (raise/lower minor adjustments in some places). Proof roll to verify soft spots. Salvage gravel from soft spots. Remove sub-base material at weak areas, replace with engineered, compacted fill (base bid 12" x 8500 SF.). Replace gravel and add if necessary. Proof roll to verify repairs. Compaction, fine grade and pave (include in base bid, unit costs/CY removal and replacement of added fill, also unit costs/CY if fill is not required as in base bid). Add concrete sidewalk and concrete bumper strip. Landscaping repair and additions.

List variances required to implement the proposed plan (include ordinance numbers and short explanation of each):

1. 13-1821 Any parking areas that are reconstructed or rehabilitated exceeding 25 parking spaces are required to provide 5% interior lot landscaping. 2. 13-609 Impervious coverage; maximum impervious coverage is 70%.

Items 1&2 are variances that have been approved in April 2018.

Item 3 is the additional variance that is being requested per this Variance Application

3. Chapter 23-1709(a), Green Bay Zoning Code. A 15 foot building and paving setback is required along Finger Road, Superior Road and East Mason St.

Describe what hardships are imposed by zoning ordinances listed in section above making conformity unfeasible or unnecessarily burdensome: The lot development/parking was put in place over 30 years ago and continues to be the same, which predates code changes. The current building/use/parking have not changed. The current parking is being frequently utilized to full capacity. Implementing the current code requirements for setbacks would result in a loss of substantial parking spaces from the parking lot. This would effectively make the use of this property unsafe for our congregation members as they would need to utilize street parking spaces (in amount of parking lost by code implementation). There are site/neighborhood specific safety and community impact concerns to this street parking. Maintaining safety and minimizing impact on the adjacent residential community is of our paramount concern...both of these would be negatively impacted by this change.

Describe what unique physical characteristics affect this property which prevent you from complying with the zoning ordinance: To best maintain the parking lot we need to make limited repairs to the base prior to asphalt overlay. By making these repairs, it requires us to bring it up to current code. Lot size does not allow us to conform with the current building and pavement setback requirements and still maintain existing parking needs. To safely use the street parking, this may necessitate upgraded city lighting, sidewalk and controlled crossing access to this site especially for services that take place in the evening hours. Very limited adjacent street parking which is shared with neighboring residential properties. Sufficient street parking will require pedestrians crossing heavy traffic (Superior Road). Attendees, many who are families with children, and elderly, may need to enter and exit vehicles on these streets which will be especially unsafe. Residential neighbors will be impacted, limiting their guest parking.

Describe how granting this variance will neither harm public interest nor undermine the purpose of the ordinance: By granting this variance, it will be possible to complete the project to the "best" standard for the asphalt replacement. It will allow for the preserving of the current number of parking spaces. This will limit overflow parking on the street which will maintain the safety of the attendees and limit the community impact on residential neighbors. Without the variance, our options are limited to resurfacing and not correcting the base issues or complying with current code and losing parking. This will cause more street parking, negatively impacting the safety of our congregation members and parking availability for residential neighbors, and perhaps even necessitating city improvements to mitigate safety and neighborhood issues.

Prepare and submit a copy of a site plan (NO LARGER THAN 11X17) detailing your request completely and any additional information which will support your variance request.


Signature of Applicant

1-30-2020
Date

OFFICE USE ONLY:	Parcel#	Residential \$75 _____ Commercial \$150 <u>X</u>
District: <u>2</u> Zoning: <u>R3</u>	Meeting Date:	Receipt #: <u>2755474 12</u>

KINGDOM HALL

2895 E MASON ST.

GREEN BAY, WISCONSIN 54311

GENERAL NOTES

- BOUNDARY SHOWN ON PLANS WAS TAKEN FROM A SURVEY ENTITLED "PLAT OF SURVEY", PREPARED BY DAVID W. MAU, S-1030, DATED AUGUST 23, 1982.

GENERAL CONSTRUCTION NOTES

- CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OF CITY OF GREEN BAY, WISCONSIN AND ALL OTHER GOVERNING AUTHORITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS RELATED TO PROJECT.
- THE CONTRACTOR SHALL PROPERLY DISPOSE OF ALL UNSATISFACTORY AND/OR WASTE MATERIALS INCLUDING VEGETATION, ROOTS, CONCRETE, AND DEBRIS RELATED TO THE PROJECT IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL LAWS. CONTRACTOR SHALL NOTIFY OWNER AND ENGINEER PRIOR TO DISPOSING OF ANY SOIL FROM THE SITE TO CONFIRM QUANTITY AND REASON FOR NEEDING TO EXPORT EXCESS SOIL.
- CONTRACTOR SHALL CONFINE ALL WORK TO THE PROJECT BOUNDARY AND AREAS DIRECTLY ADJOINING THE WORK IN THE PUBLIC RIGHT-OF-WAY. EXISTING PAVEMENTS, CURBS, SIDEWALKS, DRIVEWAYS, LANDSCAPING, FENCES AND OTHER EXISTING IMPROVEMENTS DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE REPLACED IN ACCORDANCE WITH THE CITY OR GOVERNING AUTHORITIES REQUIREMENTS. CONDITION OF THE ROAD AND/OR RIGHT-OF-WAY, DURING AND UPON COMPLETION OF THE JOB, SHALL BE AS GOOD AS THE CONDITION PRIOR TO CONSTRUCTION. CONTRACTOR SHALL PROMPTLY CLEAN MUD, DIRT OR DEBRIS TRACKED ONTO EXISTING STREETS FROM THE PROJECT SITE.
- CONTRACTOR SHALL VERIFY ALL ELEVATIONS, DIMENSIONS AND CONDITIONS IN THE FIELD BEFORE COMMENCING ANY WORK. CONTRACTOR SHALL REPORT ANY CONFLICTS OR VARIATIONS AND RESOLVE ALL CHANGES WITH THE OWNER PRIOR TO COMMENCING THE WORK.
- UNLESS OTHERWISE REQUIRED BY LOCAL AUTHORITIES, SHOP DRAWINGS OR SUBMITTALS SHALL BE PREPARED AND SUBMITTED FOR REVIEW BY THE ENGINEER FOR THE FOLLOWING ITEMS:
 - STORM DRAINS, CATCH BASINS, INLETS
 - MANHOLES
 - JOB MIX PAVING FORMULA
 - AGGREGATE BASE
- ALL SPECIFICATIONS AND DOCUMENTS REFERRED TO IN THESE PLANS SHALL BE OF THE LATEST REVISION.

GENERAL SCOPE OF WORK

- REMOVE EXISTING ASPHALT AND SAVE FOR USE AS BASE MATERIAL IF DETERMINED TO BE ACCEPTABLE, OTHERWISE DISPOSE OF OFF-SITE.
- ADJUST GRADES TO IMPROVE SLOPES (RAISE / LOWER MINOR ADJUSTMENTS IN SOME PLACES).
- PROOF-ROLL TO VERIFY SOFT SPOTS.
- SALVAGE GRAVEL FROM SOFT SPOTS.
- REMOVE SUB-BASE MATERIAL AT WEAK AREAS, REPLACE WITH ENGINEERED, COMPACTED FILL (BASE BID 12" x 8500 SF).
- REPLACE GRAVEL AND ADD IF NECESSARY.
- PROOF-ROLL TO VERIFY REPAIRS.
- COMPACTION, FINE GRADE AND PAVE (INCLUDE IN BASE BID, UNIT COSTS/CY, REMOVAL AND REPLACEMENT OF ADDED FILL, ALSO UNIT COSTS/CY IF FILL IS NOT REQUIRED AS IN BASE BID).
- ADD CONCRETE SIDEWALK AND CONCRETE BUMPER STRIP.
- LANDSCAPING REPAIR AND ADDITIONS.

NEW UNDERDRAIN

- BELOW GRAVEL BASE
- 4" PERFORATED PLASTIC TUBING WITH FILTER SOCK
- PLACED IN MINIMUM 6" WDOT APPROVED DRAINAGE GRAVEL
- TIED TO CATCH BASIN
- TOTAL 200 LF

CONSTRUCTION NOTICE NOTES

- CONTRACTOR SHALL NOTIFY THE CITY OF GREEN BAY, WISCONSIN AT LEAST 24 HOURS PRIOR TO WORKING IN ANY PUBLIC RIGHT-OF-WAY OR EASEMENTS OR CONNECTING TO STREET, DRAINAGE, WATER OR WASTEWATER FACILITIES.
- CONTRACTOR SHALL NOTIFY THE CITY OF GREEN BAY, WISCONSIN AT LEAST 24 HOURS PRIOR TO DISTURBING ANY SOIL ON THE SITE.

CONTACT INFORMATION

DESIGNATED AGENT:
NAME: JESSY MICHAEL GEURTS
PHONE: (920) 246-1255
ADDRESS: 953 SHAWANO AVENUE
GREEN BAY, WISCONSIN 54303

ARCHITECT OF RECORD:
NAME: JAMES WEISS
PHONE: (715) 813-0771
P.O. BOX 249
IRON RIVER, WISCONSIN 54847

GEOTECHNICAL ENGINEER:
NAME: MARK E. KING, P.E.
RIVER VALLEY TESTING CORP.
PHONE: (920) 347-9040
ADDRESS: 1280 PARKVIEW ROAD
GREEN BAY, WISCONSIN 54304

ZONING STATISTICS AND PARKING SUMMARY

TOTAL PARCEL AREA: ±38,986 SF (±.89 AC + ROW)
ADDRESS: 2895 E MASON STREET
GREEN BAY, WI 54311
PARCEL ID #: 21-147-1
ZONING: R-3, RESIDENTIAL
CURRENT USE: PLACE OF WORSHIP
PROPOSED USE: PLACE OF WORSHIP
PROPOSED IMPERVIOUS COVER: 82% EXISTING
79% NEW
REQUIRED PARKING: 1 SPACE PER EVERY 6 SEATS
194 SEATS / 6 = 33 SPACES
DESIRED PARKING: 1 SPACE PER EVERY 3 SEATS
194 SEATS / 3 = 65 SPACES
EXISTING PARKING: 59 SPACES (INCLUDES 4 H/C SPACES)
PROPOSED PARKING: 57 REGULAR SPACES
4 H/C SPACES
TOTAL = 61 SPACES

DRAWING INDEX

C-001 COVER SHEET
C-002 SITE CONSTRUCTION COORDINATION PLAN
VS101 BOUNDARY AND TOPOGRAPHIC SURVEY
CS101 SITE PLAN
CS101 GRADING AND DRAINAGE PLAN
CE101 EROSION CONTROL PLAN
C-501 SITE DETAILS

QUANTITY SUMMARY TABLE

DESCRIPTION	QUANTITY
NEW ASPHALT PAVEMENT	26,280 SF (25,096 SITE + 1,184 IN R.O.W.)
NEW CONCRETE SIDEWALK	666 SQ.FT.
NEW 4" PARKING LOT DRAIN	185 LF
EFFICIENCY AREA / PARKING SPACES	25,096/61 = 411 SF/SPACE

SITE IMPERVIOUS CALCULATIONS

1. EXISTING SITE	
1.1 PAVEMENT	26,718 SF
1.2 BUILDING	4,443 SF
1.3 CARPORT CONCRETE	691 SF
1.5 TOTAL =	31,852 SF
1.6	31,852/38,986 SF = 82%
2. SITE WITH NEW PARKING LOT	
2.1 PAVEMENT	25,096 SF
2.2 BUILDING	4,443 SF
2.3 CARPORT CONCRETE	691 SF
2.4 SIDEWALK	642 SF
2.5 TOTAL =	30,872 SF
2.6	30,872/38,986 SF = 79%



1 VICINITY MAP

JAMES R. WEISS
ARCHITECT

70745 RANGE LINE RD.
IRON RIVER, WI 54847
715-813-0771



**NOT FOR
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**REVIEW AND
APPROVAL**

21 NOV 19 STAMPED APP SET
23 OCT 19 SHARED REVIEW
24 JUL 18 INTERNAL/SHARED REVIEW

MARK: DATE: DESCRIPTION:

OWNER:
**GREEN BAY CONGREGATION
of JEHOVAH'S WITNESSES**
2895 E. MASON STREET
GREEN BAY, WI 54311

PROJECT TITLE:
**GREEN BAY
KINGDOM HALL**
2895 E. MASON STREET
GREEN BAY, WI 54311

SHEET TITLE:
COVER SHEET

PROJECT No.
20850

SHEET No.
C-001

OWNER

RECEIVED

DEC 10 2019

COMMUNITY AND
ECONOMIC DEVELOPMENT

2895 E Mason St.
S# 1812 P# 72579

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FILE PATH:
PLOT DATE:
FILE PATH:

1. INSPECT GENERAL FILL PLACEMENT IN PAVED AREAS OUTSIDE OF THE BUILDING PAD.
2. INSPECT SUBGRADE PREPARATION AND BACKFILL OPERATIONS FOR ALL UTILITY TRENCHES. REFER TO BEDDING AND BACKFILL AND TRENCH DETAILS ON C-501.
3. LANDSCAPE ARCHITECT SHOULD EVALUATE TOPSOIL TO BE USED IN LANDSCAPED AREAS - SEE NOTE 3 IN GENERAL EARTHWORK NOTES ON C-501.
4. PRIOR TO PAWING, PROOF-ROLLING SHOULD BE INSPECTED TO CONFIRM PAVING LOT IS READY FOR PAWING. SEE PROOF-ROLLING NOTES ON C-601.
5. SDI COMPACTION TESTING AND ASPHALT COMPACTION TESTING SHOULD BE PERFORMED. SEE REQUIREMENTS ON CG101 AND C-501.

1. UNLESS OTHERWISE REQUIRED BY LOCAL AUTHORITIES, SHOP DRAWINGS OR SUBMITTALS SHALL BE PREPARED BY THE CONTRACTOR AND SUBMITTED FOR REVIEW BY THE ENGINEER FOR THE FOLLOWING ITEMS:

SUBMITTAL/SHOP DRAWING LIST	WHAT TO SUBMIT
A. EROSION CONTROL	
1. SEDIMENT BARRIER (SILT FENCE)	PRODUCT CUT SHEET
2. INLET FILTERS	PRODUCT CUT SHEET
3. EROSION BLANKETS	PRODUCT CUT SHEET
4. REINFORCEMENT MATS	PRODUCT CUT SHEET
B. EARTHWORK	
1. PIPE BEDDING AND BACKFILL (CLASS I, II, III)	SOURCE, QTY, CERT. OF CLEAN FILL, GRADATION TEST REPORT, PROCTOR TEST RESULT, PLASTICITY (PI) INDEX
2. PIPE BEDDING AND BACKFILL (OTHER)	
3. STRUCTURAL FILL UNDER PAVED AREAS OR STRUCTURES	
4. IMPORTED FILL	
5. NON-STRUCTURAL FILL	GRADATION TEST REPORT, PROCTOR TEST RESULT, PLASTICITY (PI) INDEX
6. PAVEMENT SUBBASE STONE	GRADATION TEST REPORT
7. EXPORT MATERIAL	SOURCE OF MATERIAL, LOCATION OF DISPOSAL AND AMOUNT OF EXPORT
8. SWPPP INSPECTION REPORTS	INSPECTION REPORTS
C. CONCRETE MIXES	
1. CONCRETE SUBBASE	
A. CURING COMPOUND	PRODUCT CUT SHEET
B. CONCRETE SEALER	PRODUCT CUT SHEET
D. HOT MIX ASPHALT	
1. BASE OR BINDER COURSE PAVEMENT	MIX DESIGN
2. SURFACE OR TOP COURSE PAVEMENT	MIX DESIGN
3. PRIME COAT	PRODUCT CUT SHEET
4. TACK COAT	PRODUCT CUT SHEET
E. PAVEMENT MARKINGS	PRODUCT CUT SHEET
F. STORM SYSTEM	
1. UNDERDRAINS	PRODUCT CUT SHEET
2. STORM SEWER PIPE	PRODUCT CUT SHEET
G. SPECIALTY ITEMS	
1. SIGN POSTS	PRODUCT CUT SHEET
2. DETECTABLE WARNING SURFACES	PRODUCT CUT SHEET
3. WARNING TAPE	PRODUCT CUT SHEET

PART 1 GENERAL

1. SUMMARY
- A. SECTION INCLUDES:
1. ADMINISTRATIVE AND PROCEDURAL REQUIREMENTS FOR OWNER TESTING AND INSPECTION SERVICES.
- B. RELATED REQUIREMENTS:
1. GENERAL CONDITIONS: INSPECTIONS, TESTING, AND APPROVALS REQUIRED BY PUBLIC AUTHORITIES.
2. REFERENCES
- A. THE PUBLICATIONS LISTED BELOW FORM A PART OF THIS SPECIFICATION TO THE EXTENT REFERENCED. THE PUBLICATIONS ARE REFERRED TO WITHIN THE TEXT BY THE BASIC DESIGNATION ONLY.
- B. AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS (ASHTO) - ESTABLISHING AND IMPLEMENTING A QUALITY SYSTEM FOR CONSTRUCTION MATERIALS TESTING LABORATORIES.
- C. ASTM INTERNATIONAL (ASTM):
1. ASTM 1077 - STANDARD SPECIFICATIONS FOR CONCRETE AGGREGATES FOR USE IN CONSTRUCTION AND CRITERIA FOR LABORATORY EVALUATION.
2. ASTM 1093 - ACCREDITATION OF TESTING AGENCIES FOR UNIT MASONRY.
3. ASTM D 3740 - MINIMUM REQUIREMENTS FOR AGENCIES ENGAGED IN TESTING AND/OR INSPECTION OF SOIL AND ROCK AS USED IN ENGINEERING DESIGN AND CONSTRUCTION.
4. ASTM D 3686 - MINIMUM REQUIREMENTS FOR AGENCIES TESTING AND INSPECTING ROAD AND PAVING MATERIALS.
5. ASTM E 349 - AGENCIES ENGAGED IN THE TESTING AND/OR INSPECTION OF MATERIALS USED IN CONSTRUCTION.
6. ASTM C 523 - AGENCIES PERFORMING NONDESTRUCTIVE TESTING.
7. ASTM E 699 - CRITERIA FOR EVALUATION OF AGENCIES INVOLVED IN TESTING, QUALITY ASSURANCE, AND EVALUATING BUILDING COMPONENTS IN ACCORDANCE WITH TEST METHODS PROMULGATED BY ASTM COMMITTEE E-6.
3. DEFINITIONS
- A. TESTING: EVALUATION OF SYSTEMS, PRIMARILY REQUIRING PHYSICAL MANIPULATION AND ANALYSIS OF MATERIALS, IN ACCORDANCE WITH APPROVED STANDARDS.
- B. INSPECTION: EVALUATION OF SYSTEMS PRIMARILY REQUIRING OBSERVATION AND ENGINEERING JUDGMENT.
- C. TESTING AND INSPECTION (T&I): THE OWNER'S PROGRAM OF TESTING AND INSPECTION FOR THE PROJECT.
- D. QUALITY ASSURANCE: ACTIONS, ACTIONS, AND PROCEDURES PERFORMED BY THE CONSTRUCTION GROUP OVERSEER BEFORE AND DURING EXECUTION OF THE WORK TO GUARD AGAINST DEFECTS AND DEFICIENCIES AND SUBSTANTIATE THAT CONSTRUCTION WILL SUBSTANTIALLY COMPLY WITH CONSTRUCTION DOCUMENTS.
- E. QUALITY CONTROL: TESTS, INSPECTIONS, PROCEDURES, AND RELATED ACTIVITIES PERFORMED BEFORE, DURING, AND AFTER EXECUTION OF THE WORK TO EVALUATE THAT ACTUAL PRODUCTS INCORPORATED INTO THE WORK AND COMPLETED CONSTRUCTION SUBSTANTIALLY COMPLY WITH CONSTRUCTION DOCUMENTS.
- F. CONSTRUCTION TESTING LABORATORY (CTL): THE INDEPENDENT TESTING AND INSPECTION AGENCY EMPLOYED BY THE OWNER.
- G. ARCHITECT OF RECORD (AOR): THE PRIME CONSULTANT IN CHARGE OF OVERALL DESIGN AND COORDINATION OF THE BUILDING.
- H. ENGINEER OF RECORD (EOR): THE REGISTERED ENGINEER IN RESPONSIBLE CHARGE OF THE STRUCTURAL DESIGN FOR THE PROJECT.
- I. ENGINEERING CONSULTANT (EC): THE REGISTERED ENGINEER IN RESPONSIBLE CHARGE OF THE CIVIL DESIGN FOR THE PROJECT.
- J. ARCHITECT - ENGINEER (A/E): A COLLECTIVE TERM TO INCLUDE THE AOR, EOR, SER, AND THE MECHANICAL, ELECTRICAL, AND FIRE PROTECTION EOR.
- K. CONSTRUCTION GROUP OVERSEER (CGO): THE OWNER'S REPRESENTATIVE IN RESPONSIBLE CHARGE OF COORDINATING THE PROJECT.
- L. SPECIAL INSPECTOR (SI): THE SPECIAL INSPECTOR UNDER THE DIRECT SUPERVISION OF A REGISTERED CIVIL STRUCTURAL ENGINEER (UNLESS OTHERWISE SPECIFIED) REGULARLY ENGAGED IN INSPECTION, AND EXPERIENCED WITH THE TYPE OF WORK REQUIRING RELATED TESTING AND INSPECTION (T&I).
- M. BUILDING OFFICIAL: THE OFFICER OR HIS DULY AUTHORIZED REPRESENTATIVE CHARGED WITH THE ADMINISTRATION AND ENFORCEMENT OF THE LOCAL BUILDING CODE.
- N. CONTINUOUS INSPECTION: THE FULL-TIME OBSERVATION OF WORK REQUIRING INSPECTION BY AN APPROVED SPECIAL INSPECTOR WHO IS PRESENT IN THE AREA WHERE THE WORK IS BEING PERFORMED.
- O. PERIODIC INSPECTION: THE PART-TIME OR INTERMITTENT OBSERVATION OF WORK REQUIRING INSPECTION BY AN APPROVED SPECIAL INSPECTOR WHO IS PRESENT IN THE AREA WHERE THE WORK HAS BEEN OR IS BEING PERFORMED AND AT THE COMPLETION OF THE WORK.
- P. EVACUATION: ANY ITEM OR PORTION OF WORK THAT DOES NOT SUBSTANTIALLY CONFORM TO THE REQUIREMENTS OF THE CONSTRUCTION PLANS AND/OR SPECIFICATIONS AND WHICH HAS NOT BEEN CORRECTED BY THE END OF BUSINESS ON THE DAY IT IS IDENTIFIED. A LIFE-SAFETY DEFICIENCY IS ANY CONSTRUCTION DEFICIENCY THAT POSES A SERIOUS HAZARD TO ANY PERSON.
4. CONSTRUCTION TESTING LABORATORY (CTL) QUALITY REQUIREMENTS
- A. CTL SHALL COMPLY WITH REQUIREMENTS OF ASTM C 1077, ASTM C 1093, ASTM D 3740, ASTM D 3686, ASTM E 329, ASTM E 543, ASTM E 699, AND ASHTO R18.
- B. CTL SHALL BE AUTHORIZED TO OPERATE IN STATE IN WHICH PROJECT IS LOCATED.
- C. CTL TESTING EQUIPMENT SHALL BE CALIBRATED AT REASONABLE INTERVALS WITH DEVICES OF ACCURACY TRACEABLE TO EITHER NATIONAL SYSTEMS OF STANDARDS OR (TESTING AND INSPECTION) STANDARDS OR ACCEPTED VALUES OF NATURAL, PHYSICAL CONSTANTS.
- D. CTL SHALL HAVE AND MAINTAIN A WRITTEN QUALITY MANUAL (QM) FOR ITS LABORATORY CONFORMING TO THE APPENDIX REQUIREMENTS ASTM E 329 OR ASHTO R18. THE QM SHALL BE AVAILABLE FOR REVIEW BY THE OWNER'S CONSTRUCTION GROUP OVERSEER UPON REQUEST. THE QM SHALL BE ORGANIZED SIMILAR TO QUALITY MANUAL REQUIREMENTS OF ASHTO R18 AND INCLUDE THE FOLLOWING:
1. ORGANIZATION AND ORGANIZATIONAL POLICIES.
2. STAFF.
3. EQUIPMENT.
4. DATA CONTROL AND REPORTS.
5. DIAGNOSTIC AND CORRECTIVE ACTION.
6. INTERNAL QUALITY SYSTEM REVIEW.
7. SUBCONTRACTING.
8. STATEMENT CERTIFYING COMPLIANCE WITH ASTM STANDARDS SPECIFIED ABOVE.
5. OWNER RESPONSIBILITIES
- A. EMPLOYMENT AND PAYMENT FOR SERVICES OF A CONSTRUCTION TESTING LABORATORY (CTL) AND/OR SPECIAL INSPECTOR (SI) TO PERFORM SPECIFIED TESTING AND INSPECTING WILL BE BY THE OWNER UNDER SEPARATE CONTRACT.
6. CONSTRUCTION TESTING LABORATORY AND SPECIAL INSPECTOR RESPONSIBILITIES
- A. RESPONSIBILITIES INCLUDE INSPECTIONS, TESTS, AND RELATED ACTIONS INCLUDING REPORTS PERFORMED BY TESTING OR INSPECTION SERVICE. THEY DO NOT INCLUDE CONTRACT ENFORCEMENT ACTIVITIES PERFORMED BY THE OWNER'S CONSTRUCTION GROUP OVERSEER OR AUTHORITIES HAVING JURISDICTION.
- B. PROVIDE THE ARCHITECT OF RECORD A COPY OF THE CONTRACTUAL PROVISIONS DEFINING THE CTL'S AND SI'S SCOPE OF SERVICES.
- C. THE AOR REPRESENTATIVE SHALL ATTEND A PRE-CONSTRUCTION MEETING PRIOR TO ACTUAL START OF THE PROJECT. THE CTL/SI REPRESENTATIVE SHALL BE THE REGISTERED PROFESSIONAL ENGINEER ASSIGNED TO THE PROJECT.
- D. MAINTAIN A COPY OF CONTRACT DRAWINGS AND SPECIFICATIONS WITH ALL ADDENDA AND CHANGE ORDERS. USE THE CONTRACT DOCUMENTS
7. SUBMIT REPORTS FOR EACH TEST AND INSPECTION AS DEFINED IN PART 3 OF THIS SECTION. TESTING AND INSPECTION SHALL BE UNDER SUPERVISION OF THE REGISTERED PROFESSIONAL ENGINEER (P.E.) IN THE PROJECT GROUP OFFICE LOCATED.
8. PERFORMANCE SPECIFIED INSPECTION, SAMPLING, AND TESTING OF WORK, MATERIALS, AND EQUIPMENT IN ACCORDANCE WITH SPECIFIED STANDARDS. CERTAIN COMPLAINTS, MATERIALS AND MIXES WITH REQUIREMENTS OF CONTRACT DOCUMENTS.
9. PERFORMANCE TESTING AND INSPECTIONS IN A TIMELY MANNER TO AVOID DELAY OF WORK. SCHEDULE AND COORDINATE TESTING AND INSPECTIONS WITH THE CONSTRUCTION GROUP OVERSEER AND APPROPRIATE SUB-CONTRACTORS AND INSTALLERS.
10. COORDINATE AND CONSOLIDATE SPECIFIED TESTING AND INSPECTION TO BE CONCURRENT TO THE MAXIMUM EXTENT PRACTICABLE, DURING EACH REQUIRED SITE VISIT IN ORDER TO MINIMIZE NUMBER OF VISITS.
11. IF OBSERVED DEVIATIONS FROM THE CONTRACT DRAWINGS, SPECIFICATIONS, OR BUILDING CODE WILL BE PROBABLE CAUSE OF SUBSEQUENT CORRECTIONS, THE CTL/SI SHALL IMMEDIATELY NOTIFY THE CONSTRUCTION GROUP OVERSEER, SITEWORK ENGINEERING CONSULTANT, AND ARCHITECT OF RECORD, SUFFICIENTLY IN ADVANCE FOR DETERMINATION TO CORRECT DEFICIENCIES OR TAKE CORRECTIVE MEASURES BEFORE CONTINUING.
12. TRACK RESOLUTIONS AND REMEDIAL REPAIRS TO DEVIATIONS AND SUBSEQUENT CONFORMANCE TO THE CONTRACT DOCUMENTS ON THE PROJECT.
13. REPORT ANY OBSERVED LIFE SAFETY ISSUE IMMEDIATELY TO THE OWNER'S CONSTRUCTION GROUP OVERSEER. AFTER NOTIFICATION IS GIVEN TO THE OWNER'S CONSTRUCTION GROUP OVERSEER, THE CTL/SI SHALL ALSO LOG THE LIFE SAFETY ISSUE IN THE PROJECT LOG.
14. PERFORM RETESTING DUE TO NON-COMPLIANCE WITH THE CONTRACT DOCUMENTS BASED ON CTL TESTING.
15. PROVIDE A FINAL CONFORMANCE LETTER TO THE OWNER, THE SER, THE AOR AND ARCHITECT OF RECORD. THE A/E SHALL HAVE AN EXAMPLE E-6 ATTACHED AT THE END OF THIS SECTION.
16. TESTING AND INSPECTION BY THE BUILDING OFFICIAL DO NOT PRECLUDE THE NORMAL FIELD INSPECTION BY THE ARCHITECT OR ARCHITECT OR STRUCTURAL ENGINEER OF RECORD, NOR SHALL IT RELIEVE THE CONSTRUCTION GROUP OVERSEER OF ANY RESPONSIBILITY TO COMPLETE THE WORK IN ACCORDANCE WITH THE APPROVED DRAWINGS AND SPECIFICATIONS.
17. CONSTRUCTION TESTING LABORATORY AND SPECIAL INSPECTOR LIMITS ON AUTHORITY: THE CTL OR SI MAY NOT:
1. REFUSE, REVOKE, OR ENLARGE ON REQUIREMENTS OF CONTRACT DOCUMENTS.
2. APPROVE OR ACCEPT ANY PORTION OF THE WORK.
3. ASSUME ANY DUTIES OF THE CONSTRUCTION GROUP OVERSEER.
4. STOP THE WORK.
18. TESTING AND INSPECTION SERVICES PERFORMED BY THE CTL (CONSTRUCTION TESTING LABORATORY) ARE REQUIRED TO VERIFY COMPLIANCE WITH REQUIREMENTS OF CONTRACT DOCUMENTS.
19. CTL SERVICES DO NOT RELIEVE THE CONSTRUCTION GROUP OVERSEER OF RESPONSIBILITY FOR COMPLIANCE WITH THE CONTRACT DOCUMENT REQUIREMENTS NOR LIMIT THE CONSTRUCTION GROUP OVERSEER'S QUALITY ASSURANCE AND QUALITY CONTROL PROCEDURES THAT FACILITATE COMPLIANCE WITH THE CONTRACT DOCUMENT REQUIREMENTS.
20. SPECIFIC TESTING AND INSPECTION REQUIREMENTS FOR INDIVIDUAL CONSTRUCTION ACTIVITIES SHALL BE AS SPECIFIED IN THE INDIVIDUAL SECTIONS.
21. REQUIREMENTS FOR THE CONSTRUCTION GROUP OVERSEER TO PROVIDE QUALITY ASSURANCE AND QUALITY CONTROL SERVICES REQUIRED BY ARCHITECT, OWNER, OR AUTHORITIES HAVING JURISDICTION DO NOT LIMIT RESPONSIBILITIES OF THE CTL.
- 1.7 CONSTRUCTION GROUP OVERSEER RESPONSIBILITIES
- A. COOPERATE WITH CTL/SI PERSONNEL, AND PROVIDE ACCESS TO THE WORK AND TO MANUFACTURER'S FACILITIES.
- B. PROVIDE INCIDENTAL TIME AND FACILITIES TO PROVIDE ACCESS TO WORK TO BE TESTED, TO OBTAIN AND HANDLE SAMPLES AT THE SITE OR AT SOURCE OF PRODUCTS TO BE TESTED, TO FACILITATE TESTS AND INSPECTIONS, AND TO PROVIDE STORAGE AND CURING OF TEST SAMPLES. PROVIDE LIFT EQUIPMENT AND ACCESS TO THE CONSTRUCTION PERSONNEL OF THE OWNER OR THE OWNER'S REPRESENTATIVES.
- C. PROVIDE CTL 24 HOUR NOTICE PRIOR TO EXPECTED TIME FOR OPERATIONS REQUIRING INSPECTING AND TESTING SERVICES.
- 1.8 CONSTRUCTION TESTING LABORATORY REPORTS
- A. THE CTL SHALL SUBMIT REPORTS AND OTHER ITEMS AS REQUIRED IN THE PARAGRAPH.
- B. CTL INFORMATION: TESTING LABORATORY NAME, ADDRESS, AND TELEPHONE NUMBER, AND NAMES OF FULL TIME REGISTERED ENGINEER AND SPECIAL INSPECTOR.
- C. TEST AND INSPECTION REPORTS:
1. SUBMIT TEST AND INSPECTION REPORTS SHOWING THE FOLLOWING INFORMATION
2. DATE ISSUED.
3. PROJECT TITLE AND NUMBER.
4. PROJECT NUMBER.
5. FINAL TEST AND ADDRESS.
6. NAME AND SIGNATURE OF TESTER OR INSPECTOR.
7. NAME AND SEAL OF REGISTERED ENGINEER IN RESPONSIBLE CHARGE (AS APPLICABLE).
8. DATE AND TIME OF SAMPLING.
9. DATE OF TEST OR INSPECTION.
10. IDENTIFICATION OF PRODUCT AND SPECIFICATION SECTION.
11. LOCATION IN PROJECT, INCLUDING ELEVATIONS, GRID LOCATION AND DETAIL.
12. TYPE OF TEST OR INSPECTIONS.
13. RESULTS OF TESTS OR INSPECTIONS AND INTERPRETATION OF SAME.
14. OBSERVATIONS REGARDING COMPLIANCE WITH CONTRACT DOCUMENTS OR DEVIATIONS THEREFROM.
- D. SUBMIT REQUIRED REPORTS AND OTHER ITEMS TO THE FOLLOWING:
1. CEC: 1 COPY. (SITE WORK T&I ONLY).
2. SER: 1 COPY. (CONSTRUCTION GROUP OVERSEER) (BIDG T&I ONLY).
3. AOR: 2 COPIES (CONSTRUCTION GROUP OVERSEER).
4. CONSTRUCTION GROUP OVERSEER: 3 COPIES.
5. BUILDING OFFICIAL: QUANTITIES AS REQUIRED.
- E. SUBMIT A SEPARATE FINAL SIGNED REPORT STATING THE WORK REQUIRING INSPECTION IS, TO THE BEST OF THE INSPECTOR'S KNOWLEDGE, IN CONFORMANCE WITH THE CONTRACT DOCUMENTS.
- F. REPORTS SHALL BE MADE ON 8-1/2 BY 11 WHITE PAPER, SUITABLE FOR PHOTOCOPYING AND BINDING IN BOOKLET FORM. SHEETS SHALL HAVE THE CTL LETTERHEAD (INCLUDING PHONE NUMBER AND ADDRESS). LARGER SHEETS SHALL BE TIED AND BOUND INTO THE BOOKLET.
- G. SUBMIT TEST AND INSPECTION REPORTS WITHIN 3 WORKING DAYS OF T&I OCCURRENCE.
- H. TESTS AND INSPECTIONS INDICATING NON-COMPLIANCE (DEVIATIONS) TO THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE CONSTRUCTION GROUP OVERSEER, CIVIL ENGINEERING CONSULTANT, AND ARCHITECT OF RECORD UPON DISCOVERY IN THE FORM OF HARD COPY REPORTS AND ENTERED INTO THE PROJECT'S OBSERVATION LOG WITHIN 24 HOURS.
- I. DEVIATIONS FROM THE CONTRACT DOCUMENTS, AS DEFINED ABOVE, SHALL BE SUBMITTED TO THE CONSTRUCTION GROUP OVERSEER.
- J. OWNER'S CONSTRUCTION GROUP OVERSEER IN CONJUNCTION WITH THE CTL AND/OR SI SHALL DETERMINE WHETHER TO INVOLVE THE AOR OR EOR FOR REMEDIAL ACTION.

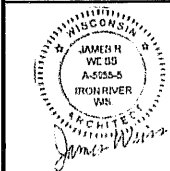
PRODUCTS ARE NOT SPECIFIED.

3.1 NOTIFICATION REQUIREMENTS

- A. NOTIFY WRITING THE OWNER'S CONSTRUCTION GROUP ABOUT THE THREE WORKERS DAYS PRIOR TO EXPECTED TIME FOR OPERATIONS REQUIRING INSPECTING AND TESTING SERVICES.
- 3.2 PRODUCTION TESTING:
- A. GENERAL REQUIREMENTS:
1. TESTING SHALL BE CONDUCTED AS SPECIFIED IN THE INDIVIDUAL SPECIFICATION SECTIONS.
 2. TESTS AND INSPECTIONS SHALL, AS A MINIMUM, BE PERFORMED BY TECHNICAL INSPECTOR (I) IF NOT OTHERWISE SPECIFIED IN THE INDIVIDUAL SECTION.
 3. INSPECTION OR LABORATOR'S WORK IS REQUIRED, THE COO MAY REQUIRE TESTING AND INSPECTION OF THE WORK AT THE PLANT BEFORE SHIPMENT.
 4. TESTING AND INSPECTION SHALL BE PERFORMED IN ACCORDANCE WITH THE INDUSTRY STANDARD USED AS THE REFERENCE FOR THE SPECIFIC MATERIAL OR PROCEDURE UNLESS OTHER CRITERIA ARE SPECIFIED. IN THE ABSENCE OF A REFERENCED STANDARD, TESTS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH GENERALLY ACCEPTED INDUSTRY STANDARDS.
 5. WORK SHALL BE CHECKED AS IT PROGRESSES, BUT FAILURE TO DETECT ANY DEFECTIVE WORK OR MATERIALS SHALL IN NO WAY PREVENT LATER REUSE OF THE SAME IF DEFECTIVE WORK OR MATERIALS ARE DISCOVERED, NOR SHALL IT OBLIGATE OWNER TO ACCEPT SUCH WORK.
- B. REQUIREMENTS FOR TESTING BY THE OWNER'S CONSTRUCTION TESTING LABORATORY ARE PROVIDED IN INDIVIDUAL SPECIFICATIONS UNDER THE TITLE "OWNER TESTING AND INSPECTION (T&I)".
- C. TESTING OR INSPECTION IN ADDITION TO THAT SPECIFIED IN THE INDIVIDUAL SECTIONS SHALL BE PERFORMED BY THE OIL AS DIRECTED BY THE COO.

END OF SECTION

70745 RANGE LINE RD.
IRON RIVER, WI 54847
715-813-0771



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**REVIEW AND
APPROVAL**

-	21 NOV 19	STAMPED APP SET
-	23 OCT 19	SHARED REVIEW
-	24 JUL 18	INTERNAL/SHARED REVIEW
MARK:	DATE:	DESCRIPTION:

OWNER

**GREEN BAY CONGREGATION
of JEHOVAH'S WITNESSES**
2895 E. MASON STREET
GREEN BAY, WI 54311

PROJECT TITLE:

**GREEN BAY
KINGDOM HALL**
2895 E. MASON STREET
GREEN BAY, WI 54311

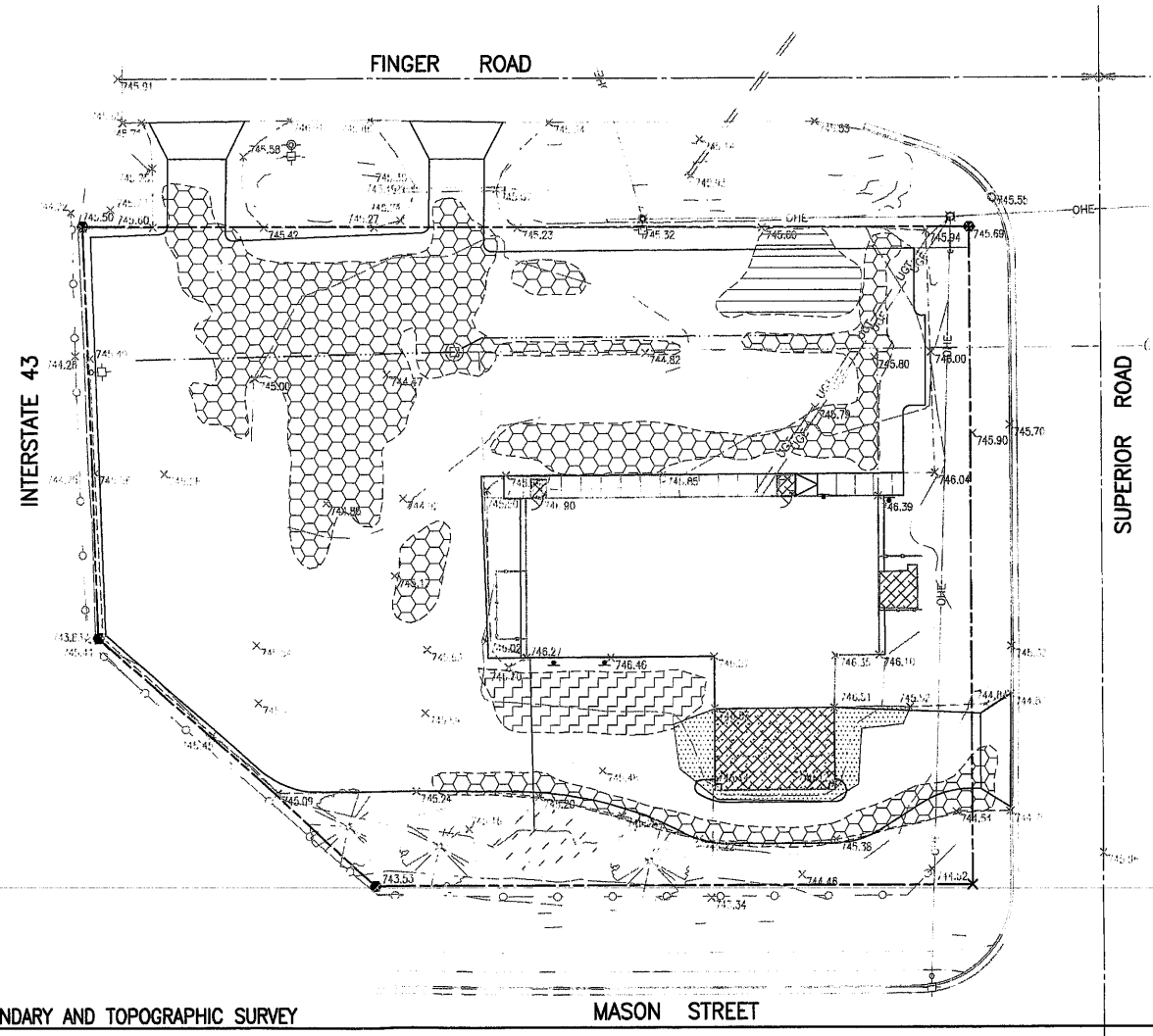
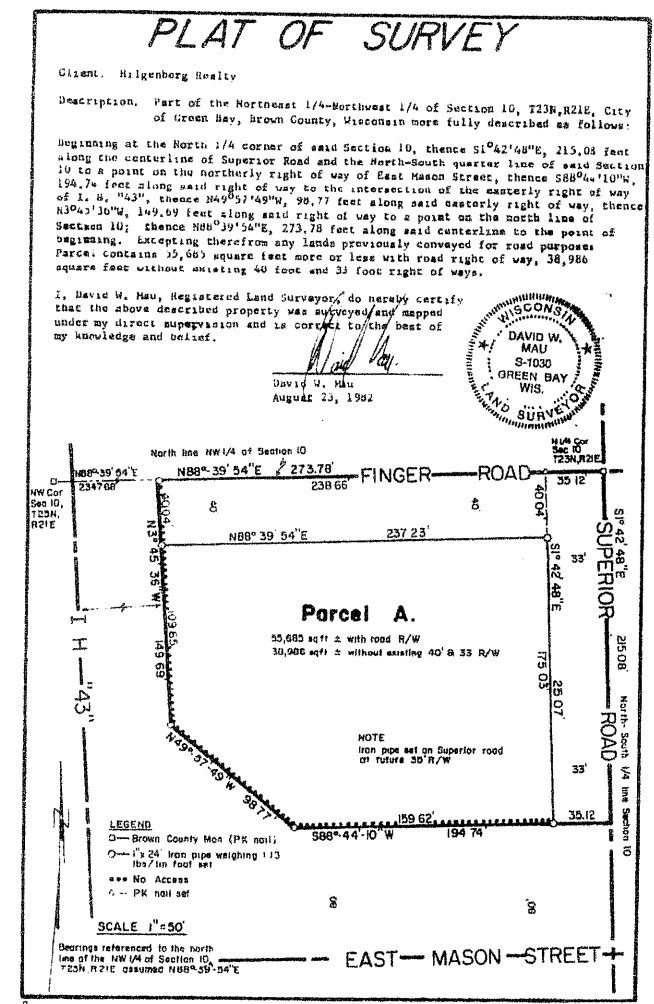
SHEET TITLE:

SITE CONSTRUCTION COORDINATION PLAN

PROJECT No. 20850

SHEET No. _____

C-002



GENERAL SHEET NOTES

1. REFER TO C-001 COVER SHEET FOR GENERAL NOTES REFERENCING SURVEY INFORMATION, DATUMS, GENERAL PROJECT AND CONSTRUCTION INFORMATION.
2. ACCORDING TO FLOOD INSURANCE RATE MAP NO. 5500900277F, PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), DATED 08/18/2009, THE SURVEYED PROPERTY SHOWN HEREIN DOES NOT LIE WITHIN ANY SPECIAL FLOOD HAZARD AREA.

JAMES R. WEISS
ARCHITECT

70745 RANGE LINE RD.
IRON RIVER, WI 54847
715-813-0771

NOT FOR CONSTRUCTION
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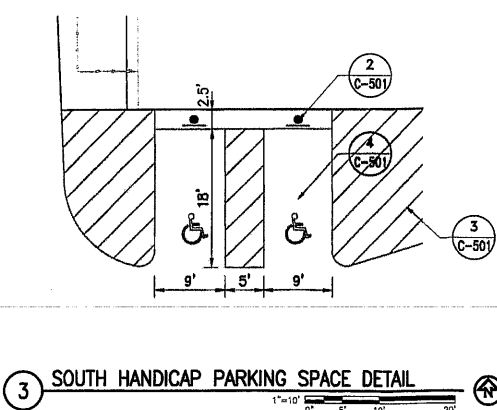
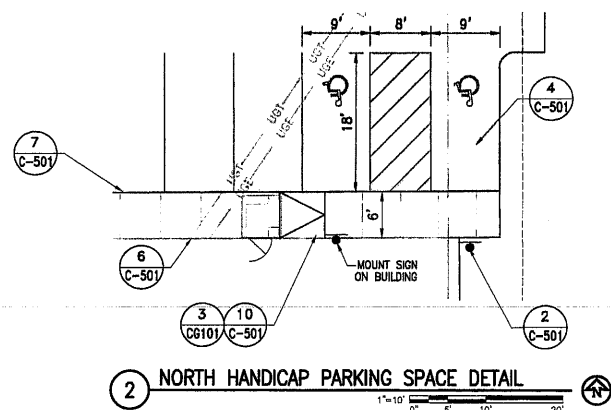
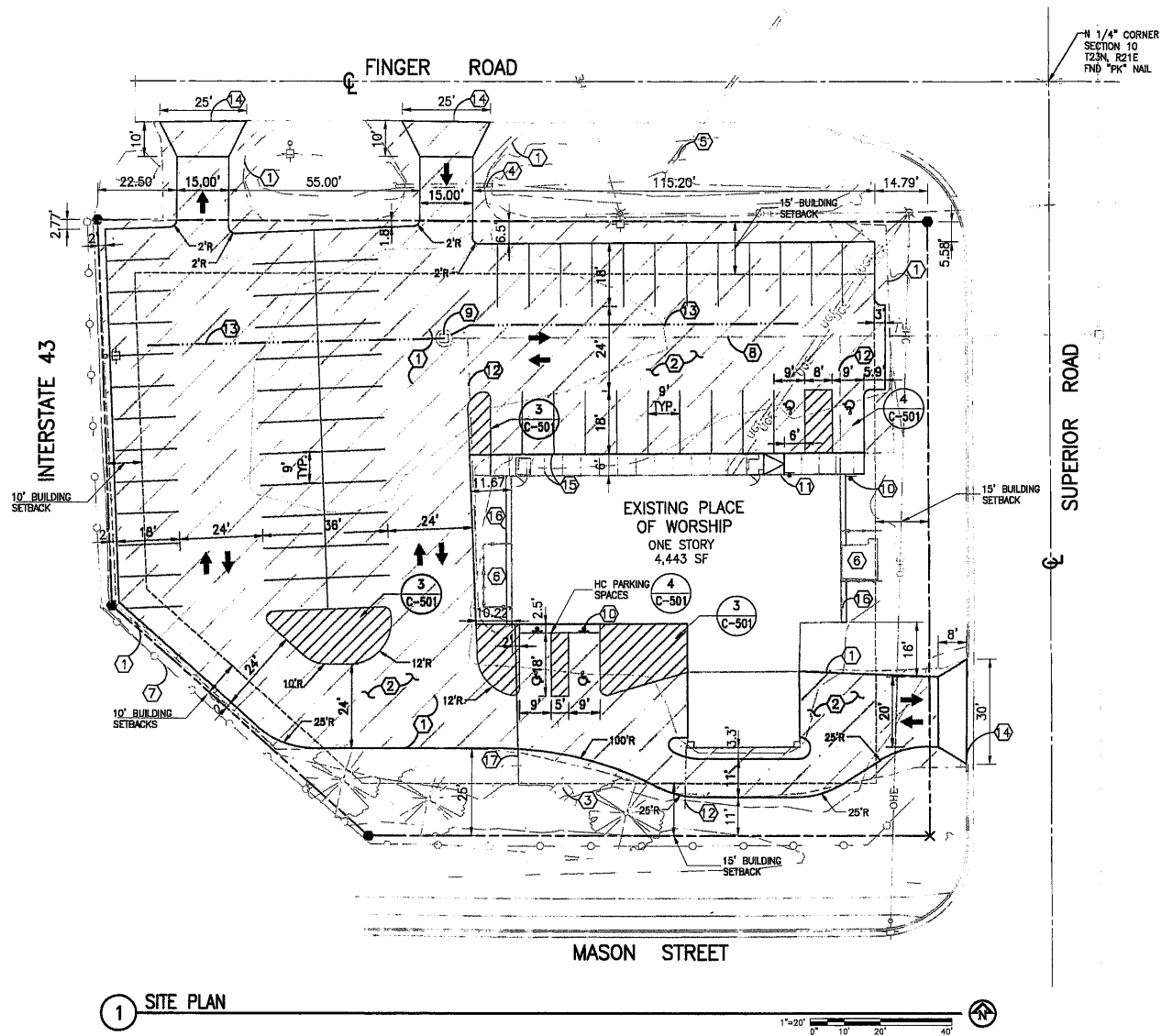
OWNER:
GREEN BAY CONGREGATION of JEHOVAH'S WITNESSES
2895 E. MASON STREET
GREEN BAY, WI 54311

PROJECT TITLE:
GREEN BAY KINGDOM HALL
2895 E. MASON STREET
GREEN BAY, WI 54311

SHEET TITLE:
BOUNDARY AND TOPOGRAPHIC SURVEY

PROJECT No.
20850

SHEET No.
VS101



LEGEND

	EXISTING	PROPOSED
PROPERTY BOUNDARY	---	---
BUILDING OUTLINE	---	---
EDGE OF PAVEMENT	---	---
EDGE OF PAVEMENT TO BE DEMO'D	---	---
ASPHALT PAVEMENT	---	---
ACCESSIBLE PARKING SIGN	---	---
ACCESSIBLE PARKING	---	---
UTILITY POLE	---	---
OVERHEAD ELECTRIC LINE	---	---
STORM MANHOLE	---	---
DRAIN LINE	---	---
CULVERT	---	---
5' CONTOUR LINE	---	---
1' CONTOUR LINE	---	---
CHAIN LINK FENCE	---	---
TRAFFIC DIRECTION ARROW	---	---

GENERAL NOTES

- REFER TO C-001 COVER SHEET FOR GENERAL NOTES REFERRING SURVEY INFORMATION, DATUMS, GENERAL PROJECT AND CONSTRUCTION INFORMATION.
- CONTRACTOR SHALL PROVIDE AND INSTALL TRAFFIC CONTROL DEVICES IN CONFORMANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MOST RECENT EDITION AS REVISED) AND AS REQUIRED BY ADA REQUIREMENTS DURING CONSTRUCTION WITHIN THE PUBLIC R.O.W. CONTRACTOR SHALL BE RESPONSIBLE FOR TRAFFIC CONTROL IN THE PROJECT AREA.
- REQUIRED SIGNAGE AND STRIPING OF FIRE ZONES OR ACCESS LANES SHALL BE AS REQUIRED BY FIRE OFFICIAL.
- PAINT ALL PARKING STALLS, STOP BARS, CROSSWALKS AND HANDICAP ACCESSIBLE SPACES. APPLY MPM97, WATER BASED, LATEX MARKING PAINT AT A RATE OF ONE GALLON PER 300-400 LF OF FOUR INCH WIDE STRIPES OR TO MANUFACTURER'S SPECIFICATION TO A MINIMUM THICKNESS OF 15 MILS. APPLY STRIPES STRAIGHT AND EVEN WHEN TEMPERATURES ARE BETWEEN 50°F AND 85°F. ADA SPACES TO BE PAINTED IN ACCORDANCE WITH LOCAL REGULATIONS. ALLOW PAVING TO AGE 30 DAYS BEFORE APPLYING MARKINGS.
- DIMENSIONS SHOWN ON PLANS ARE TO EDGE OF PAVEMENT OR FACE OF CURB UNLESS OTHERWISE NOTED.

SHEET KEYNOTES

- EXISTING ASPHALT PARKING LOT PAVEMENT TO BE REMOVED PER GENERAL SCOPE OF WORK FOUND ON SHEET C-001.
- NEW ASPHALT PARKING LOT PAVEMENT INSTALLED PER GENERAL SCOPE OF WORK FOUND ON SHEET C-001.
- EXISTING MONUMENT SIGN AND LANDSCAPING, TO REMAIN UNDISTURBED.
- EXISTING 12" CMP CULVERT.
- EXISTING 12" RCP CULVERT.
- EXISTING HVAC EQUIPMENT ENCLOSURES, TO REMAIN UNDISTURBED.
- EXISTING R/W FENCING, TO REMAIN UNDISTURBED.
- EXISTING STORM DRAIN PIPE, DO NOT DISTURB DURING CONSTRUCTION ACTIVITIES.
- EXISTING STORM DRAIN MANHOLE, TO REMAIN UNDISTURBED.
- NEW HANDICAP PARKING SIGN, 4 REQUIRED. ATTACH ONE SIGN TO THE BUILDING.
- NEW 6' LONG HANDICAP RAMP, MAX. SLOPE = 5%.
- EXISTING DOWNSPOUT DRAIN LINE, PROTECT DURING CONSTRUCTION ACTIVITIES.
- NEW 4" PERFORATED STORM DRAIN PIPE IN SOCK, SEE SHEET C0101.
- MATCH EXISTING ASPHALT PAVEMENT, TRIM, TACK AND JOIN.
- NEW CONCRETE SIDEWALK WITH 5" TURNDOWN INTEGRATED CURB.
- 1.5' WIDE BY 3" THICK BORDER AT BUILDING WITH 1.5" WASHED STONE OVER 20-YEAR COMMERCIAL GRADE LANDSCAPE FILTER FABRIC.
- EXISTING ELECTRIC POWER TO SIGN, DO NOT DISTURB DURING CONSTRUCTION ACTIVITIES.

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21 NOV 18 STAMPED APP GET
23 OCT 19 SHARED REVIEW
24 JUL 18 INTERNAL/SHARED REVIEW

MARK: DATE: DESCRIPTION:

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PROJECT TITLE:
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KINGDOM HALL**
2895 E. MASON STREET
GREEN BAY, WI 54311

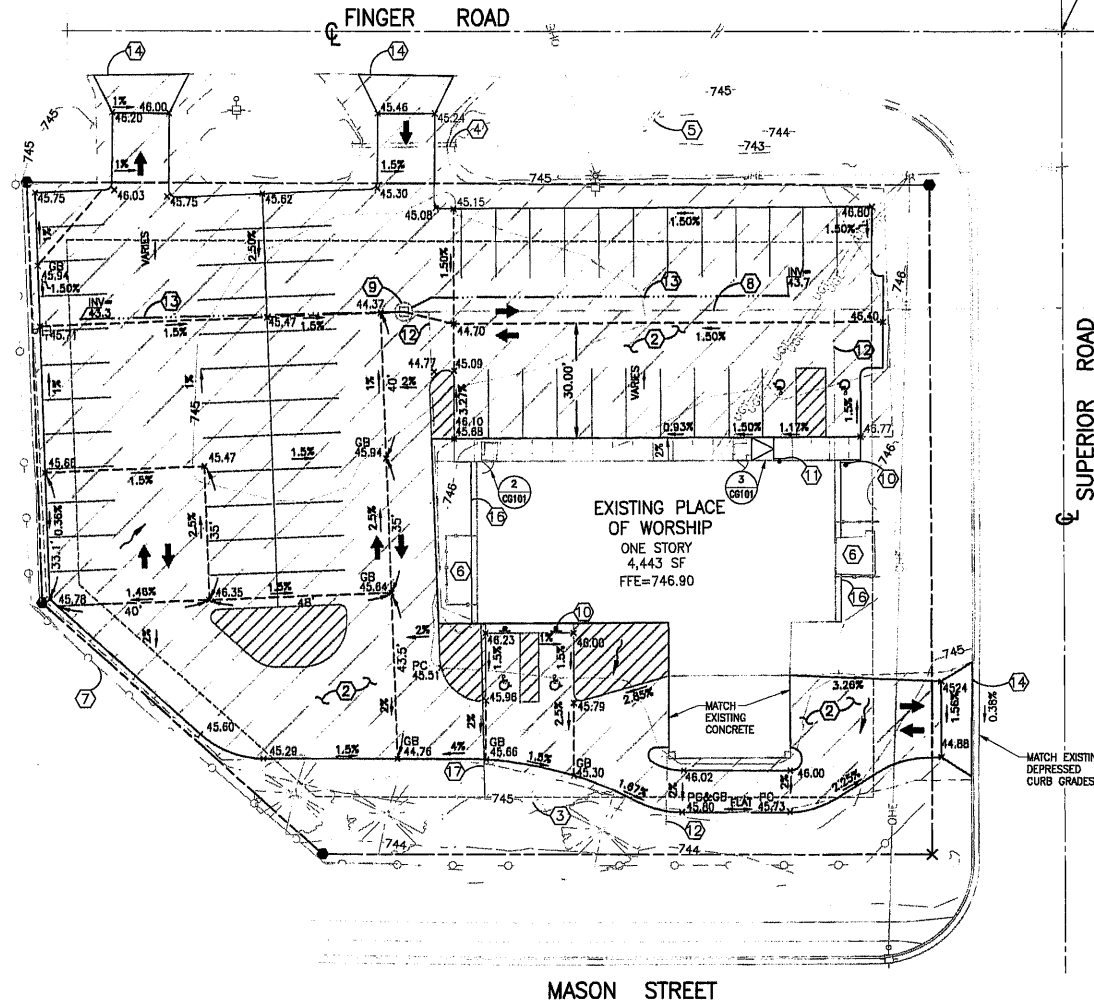
SHEET TITLE:
SITE PLAN

PROJECT No.
20850

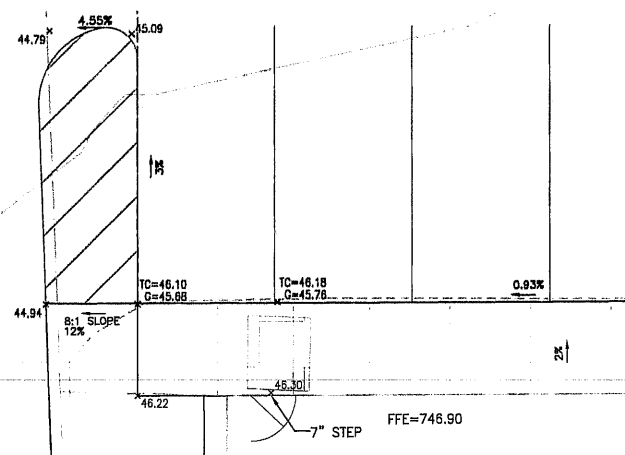
SHEET No.
CS101

PLOT DATE: 23 Oct 19
PLOTTER: RY Arden
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INTERSTATE 43

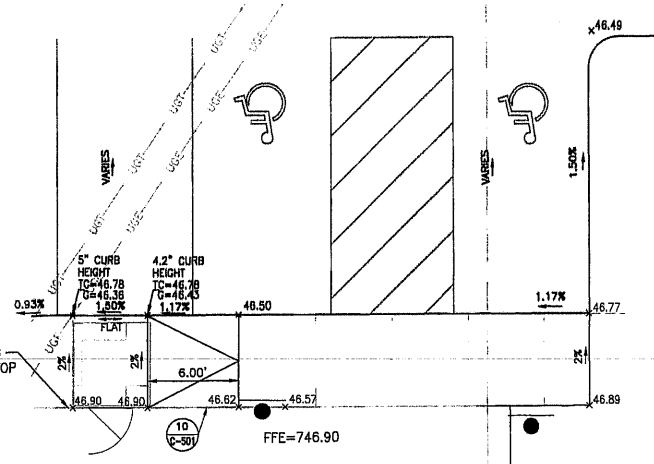


1 GRADING AND DRAINAGE PLAN



2 GRADING DETAIL

VERIFY THAT EXISTING FLASHING IS ABOVE TOP OF SIDEWALK



3 NORTH HANDICAP PARKING GRADING DETAIL

SHEET KEYNOTES

- NEW ASPHALT PARKING LOT PAVEMENT TO BE INSTALLED PER GENERAL SCOPE OF WORK FOUND ON SHEET C-001.
- EXISTING MONUMENT SIGN AND LANDSCAPING, TO REMAIN UNDISTURBED.
- EXISTING 12" CMP CULVERT.
- EXISTING 12" RCP CULVERT.
- EXISTING HVAC EQUIPMENT ENCLOSURES, TO REMAIN UNDISTURBED.
- EXISTING R/W FENCING, TO REMAIN UNDISTURBED.
- EXISTING STORM DRAIN PIPE, DO NOT DISTURB DURING CONSTRUCTION ACTIVITIES.
- EXISTING STORM DRAIN MANHOLE, TO REMAIN UNDISTURBED. EXISTING STORM GRATE ELEVATION = 44.28, INV 8" PVC = 42.49.
- NEW HANDICAP PARKING SIGN, 4 REQUIRED. INSTALL ONE SIGN TO BUILDING.
- NEW 6" LONG HANDICAP RAMP.
- EXISTING DOWNSPOUT DRAIN LINE, PROTECT DURING CONSTRUCTION ACTIVITIES.
- NEW 4" PERFORATED STORM DRAIN PIPE IN SOCK, SEE GENERAL SCOPE OF WORK FOUND ON SHEET C-001 AND STORM DRAIN GENERAL NOTES THIS SHEET. INSTALL AT A MINIMUM SLOPE OF 1%.
- MATCH EXISTING ASPHALT PAVEMENT, TRIM, TACK AND JOIN.
- NEW CONCRETE SIDEWALK WITH 5" TURNDOWN INTEGRATED CURB.
- 1.5" WIDE X 3" THICK BORDER AT BUILDING WITH 1.5" WASHED STONE OVER LANDSCAPE FILTER FABRIC.
- EXISTING ELECTRIC POWER TO SIGN, DO NOT DISTURB DURING CONSTRUCTION ACTIVITIES.

STORM DRAIN GENERAL NOTES

- CATCH BASIN RIM = 44.28, 4" PIPE = 42.30±, DETERMINE INVERT OF EXISTING STORM DRAIN BEFORE INSTALLING NEW 4" PIPE.
- NEW 4" PIPE TO BE MINIMUM OF 6" ABOVE INVERT OF EXISTING STORM DRAIN PIPE.
- INSTALL 4" PIPE AT MINIMUM 1% SLOPE.

BENCHMARK

- FINISH FLOOR OF BUILDING = 746.90
- PK NAIL AT FINGER ROAD AND SUPERIOR ROAD, ELEVATION = 746.15

GENERAL GRADING NOTES

- REFER TO C-001 COVER SHEET FOR GENERAL NOTES REFERENCING SURVEY INFORMATION, DATUMS, GENERAL PROJECT AND CONSTRUCTION INFORMATION.
- CONTRACTOR SHALL MAINTAIN ADEQUATE DRAINAGE AT ALL TIMES DURING CONSTRUCTION OF THE PROJECT.
- YARD AREAS, SIDEWALKS AND PAVEMENT SHALL BE GRADED TO DRAIN AWAY FROM THE BUILDINGS. FINISHED SURFACES SUCH AS ALL PAVING, SIDEWALKS AND RAMP IN ACCESSIBLE AREAS SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT. ACCESSIBLE ROUTES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ARCHITECTURAL DRAWINGS AND WITH THE FOLLOWING:
 - PARKING AND LOADING AREAS - MAXIMUM SLOPE OF 1:50 (2%) IN ALL DIRECTIONS IN ACCESSIBLE PARKING SPACES AND AISLES.
 - ACCESSIBLE ROUTES - MAXIMUM SLOPE OF 1:20 (5%) IN THE DIRECTION OF TRAVEL. MAXIMUM CROSS SLOPE OF 1:50 (2%).
 - BUILDING ENTRANCES AND EXITS - AT ALL LOCATIONS 5'x5' (MINIMUM) ACCESSIBLE, CONCRETE WALK WITH A MAXIMUM SLOPE OF 1:50 (2%) IN ALL DIRECTIONS.
- CONTRACTOR SHALL GRADE THE SITE TO MATCH EXISTING GROUND AT THE LIMITS OF THE PROJECT SITE. ALL DRAINAGE ENTERING THE PROJECT AREA SHALL BE INTERCEPTED IN THE FINAL GRADING. TRANSITIONS TO EXISTING GROUND THAT ARE DIFFERENT FROM THE PLANS SHALL BE COORDINATED PRIOR TO FINAL GRADING. LAWN AREAS TO BE MOWED SHOULD NOT EXCEED A SLOPE OF 4:1.
- ALL AREAS WITHIN THE PROJECT SITE SHALL BE GRADED TO DRAIN TO ON-SITE STORM SEWERS OR TO THE PUBLIC R.O.W. THE DEVELOPMENT SHALL NOT HAVE ANY ADVERSE IMPACTS TO SURROUNDING PROPERTIES.

GENERAL EARTHWORK NOTES

- FOR ADDITIONAL INFORMATION ABOUT SITE-SPECIFIC SOILS AND ENGINEERING RECOMMENDATIONS, PLEASE REFER TO REPORT PREPARED BY RIVER VALLEY TESTING CORP., DATED SEPT. 1, 2016 1280 PARKVIEW ROAD GREEN BAY WI 54304 OFFICE 920/247-9040. IN CASE A NOTE ON THESE PLANS CONFLICTS WITH THE GEOTECHNICAL REPORT RECOMMENDATIONS, THE MORE STRINGENT OF THE TWO SHALL APPLY.
- PRIOR TO COMMENCEMENT OF GRADING OR FILL PLACEMENT, ANY MISCELLANEOUS TRASH, DEBRIS, OR OTHER UNSUITABLE MATERIALS SHOULD BE REMOVED FROM THE SITE. CLEARING AND GRUBBING OF ALL TREES (INCLUDING REMOVAL OF ANY ASSOCIATED ROOT SYSTEMS) AND VEGETATION DESIGNATED FOR REMOVAL, SHOULD BE PERFORMED.
- ANY EXISTING PAVEMENT AND CONCRETE WALKWAYS THAT ARE NOT PART OF THE FINAL DESIGN LAYOUT SHOULD BE DEMOLISHED IN THEIR ENTIRETY.
- ALL CLEARING AND STRIPPING ACTIVITIES SHOULD BE PERFORMED IN STRICT ACCORDANCE WITH THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLANS. ALL SITE DEMOLITION AND SITE PREPARATION WORK SHOULD BE PERFORMED IN ACCORDANCE WITH ANY ENVIRONMENTAL REGULATIONS.
- ALL WORK SHOULD BE PERFORMED SO AS TO NOT ADVERSELY IMPACT THE EXISTING AND NEIGHBORING BUILDINGS, OFFSITE STRUCTURES, ROADWAYS, OR UTILITIES.
- CONSULT WITH THE GEOTECHNICAL ENGINEER BEFORE ADJUSTING RECOMMENDATIONS AS MAY BE NEEDED BASED ON ACTUAL CONDITIONS ENCOUNTERED ONSITE THAT MAY DIFFER FROM WHAT WAS ENCOUNTERED DURING THE INVESTIGATION.

PAVEMENT SUBGRADE PREPARATION NOTES

- EXISTING FILL AND POSSIBLE FILL HAVING LESS THAN 5% ORGANICS COULD REMAIN IN PLACE WHERE PROOF-ROLLING OPERATIONS DURING CONSTRUCTION INDICATE NO RUTTING OR DEFLECTIONS IN EXCESS OF 1", OR THE FILL CONTAINS MORE THAN 5% ORGANICS, REMOVE AND REPLACE AS MUCH AS 2' OF THIS MATERIAL.
- IF THE CONSTRUCTION ENCOUNTERS HIGHLY FROST SUSCEPTIBLE SOILS (VERY SILTY SAND) WITHIN 3' OF FINAL GRADE, WE RECOMMEND REMOVAL AND REPLACEMENT WITH NON-FROST SUSCEPTIBLE SUB-BASE FILL. HOWEVER, WE ANTICIPATE THAT MODERATELY FROST SUSCEPTIBLE SOIL WILL REMAIN IN PLACE BELOW THE PAVEMENT SECTION PROVIDED IT HAS SUITABLE STRENGTH.
- ALL OVER-EXCAVATED MATERIAL SHOULD BE REPLACED WITH COMPACTED SUB-BASE FILL AS NOTED IN THE "PAVEMENTS" AND REPORT "SUB-BASE FILL AND BACKFILL" SECTIONS OF THE SOILS REPORT.

STORM DRAINAGE CONSTRUCTION NOTES

- CONTRACTOR SHALL VERIFY ALL FLOWLINE OR INVERT ELEVATIONS 48 HOURS PRIOR TO COMMENCING ANY SEWER CONSTRUCTION. IF A DISCREPANCY IS DISCOVERED, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY.

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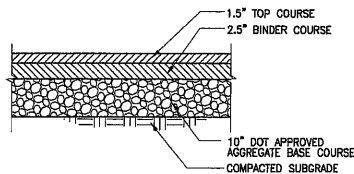
PROJECT TITLE:
**GREEN BAY
KINGDOM HALL**
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GREEN BAY, WI 54311

SHEET TITLE:
**GRADING AND DRAINAGE
PLAN**

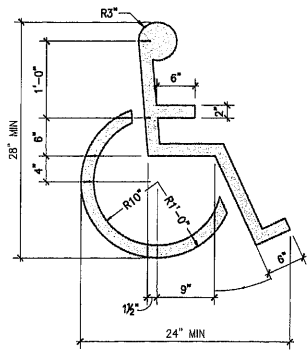
PROJECT No.
20850

SHEET No.
CG101

NOTE: CONTRACTOR TO FIELD VERIFY DEPTH OF EXISTING ASPHALT PAVEMENT BASE AT SEVERAL LOCATIONS AND ENSURE THAT 10" OF ABC IS PROVIDED.

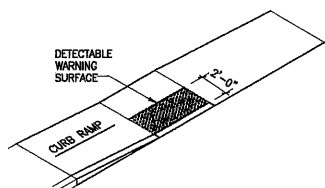


1 DETAIL - ASPHALT PAVEMENT

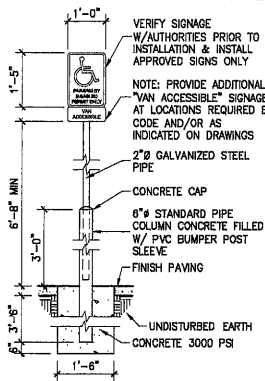


5 ISA MARKING (TYP)

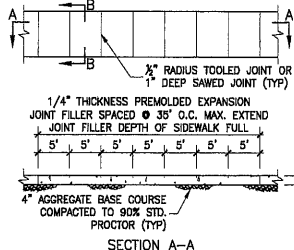
- NOTES:
1. THE CROSS SLOPE OF A CURB RAMP SHOULD BE AS FLAT AS POSSIBLE, NOT TO EXCEED 2%.
 2. RAMP TRANSITIONS BETWEEN WALKS, LANDINGS, AND GUTTERS SHALL BE FLUSH AND FREE OF ABRUPT VERTICAL CHANGES (1/4" MAX).
 3. THE MAXIMUM LONGITUDINAL SLOPE ON CURB RAMP IS 0.33% (EX. PREFERRED).
 4. WHERE A PEDESTRIAN WALKWAY CROSSES THE CURB RAMP, THE SIDE FLARES SHOULD NOT EXCEED A SLOPE OF 10% MEASURED PARALLEL TO THE CURB LINE.
 5. ALL CURB RAMP SURFACES SHALL HAVE A DETECTABLE WARNING SURFACE AS SHOWN. THE REMAINDER OF THE RAMP SHALL HAVE A SLIP RESISTANT SURFACE - A COARSE BROOM FINISH RUNNING PERPENDICULAR TO THE SLOPE.
 6. THE SIZE OF THE DETECTABLE FIELD SHALL BE 2'-0" IN THE DIRECTION OF TRAVEL AND SHALL EXTEND THE FULL WIDTH OF THE CURB RAMP OR FLUSH SURFACE, EXCLUDING SIDE FLARES.
 7. THE ROWS OF DOMES ON DETECTABLE WARNING SURFACE SHALL BE ALIGNED TO BE PERPENDICULAR TO THE GRADE BREAK BETWEEN THE CURB RAMP AND THE ROAD.
 8. DETECTABLE WARNING SURFACES SHALL CONTRAST VISUALLY WITH ADJACENT GUTTER, ROAD, OR WALKWAY SURFACES, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT. CONTRAST MAY BE PROVIDED ON THE FULL RAMP SURFACE BUT SHOULD NOT EXTEND TO THE FLARED SIDES.



10 DETAIL - SIDEWALK RAMPS



2 ACCESSIBLE PARKING SIGN

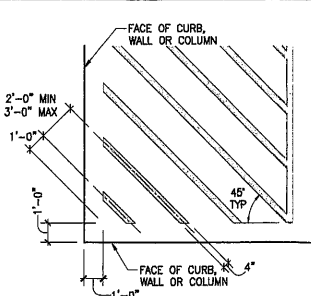


- NOTES:
1. WHERE REQUIRED REINFORCEMENT WILL BE NO. 3 BARS 24" O.C. EACH WAY MAX. SPACING, OR 6 x 6 - W1.4 WWF.
 2. PROVIDE 1/2" EXPANSION JOINT BETWEEN SIDEWALK AND ALL FIXED OBJECTS.
 3. IN COLDER CLIMATES USE 4"-5" AIR ENTRAINMENT.
 4. CONCRETE SHALL BE 4,000 PSI.
 5. SIDEWALKS MEETING EXISTING SIDEWALKS SHALL MATCH PATTERN, FINISH AND COLOR OF EXISTING SIDEWALKS.

6 CONCRETE SIDEWALK

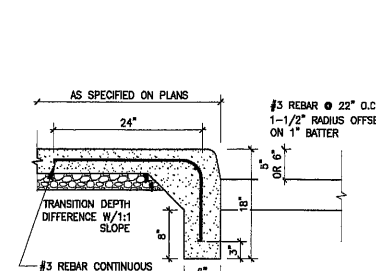
- NOTES:
1. A PRE-INSTALLATION CONFERENCE SHOULD BE HELD AT THE PROJECT SITE TO REVIEW METHODS AND PROCEDURES RELATED TO HOT-MIX ASPHALT PAVING INCLUDING BUT NOT LIMITED TO:
 - a. REVIEW PROPOSED SOURCES OF PAVING MATERIALS, INCLUDING CAPABILITIES AND LOCATION OF PLANT THAT WILL MANUFACTURE HOT-MIX ASPHALT.
 - b. REVIEW REQUIREMENT FOR PROTECTING PAVING WORK, INCLUDING RESTRICTION OF TRAFFIC DURING INSTALLATION PERIOD AND FOR REMAINDER OF CONSTRUCTION PERIOD.
 2. SUBMIT PRODUCT SUBMITTALS FOR EACH TYPE OF PRODUCT. INCLUDE TECHNICAL DATA AND TESTED PHYSICAL AND PERFORMANCE PROPERTIES. INCLUDE JOB MIX DESIGN FOR EACH JOB MIX PROPOSED FOR THE PROJECT.
 3. ENVIRONMENTAL LIMITATIONS: DO NOT APPLY ASPHALT MATERIALS IF SUBGRADE IS WET OR EXCESSIVELY DAMP; IF RAIN IS IMMINENT OR EXPECTED BEFORE TIME REQUIRED FOR ADEQUATE CURE, OR IF THE FOLLOWING CONDITIONS ARE MET:
 - a. TACK COAT: MINIMUM SURFACE TEMPERATURE OF 40 DEG F (4.4 DEG C)
 - b. ASPHALT BASE COURSE: MINIMUM SURFACE TEMPERATURE OF 50 DEG F (10 DEG C) AND RISING AT TIME OF PLACEMENT
 - c. ASPHALT SURFACE COURSE: MINIMUM SURFACE TEMPERATURE OF 50 DEG F (10 DEG C) AT TIME OF PLACEMENT
 4. AGGREGATES USE MATERIALS AND GRADATIONS THAT HAVE PERFORMED SATISFACTORILY IN PREVIOUS INSTALLATIONS. AGGREGATES USED SHALL COMPLY WITH THE FOLLOWING SPECIFICATIONS:
 - a. COURSE AGGREGATE: ASTM D692/D692M, SOUND; ANGULAR, CRUSHED STONE, CRUSHED GRAVEL, OR CURED, CRUSHED BLAST-FURNACE SLAG.
 - b. FINE AGGREGATE: ASTM D1073, SHARP-EDGED NATURAL SAND OR SAND PREPARED FROM STONE, GRAVEL, CURED BLAST-FURNACE SLAG, OR COMBINATIONS THEREOF.
 - c. MINERAL FILLER: ASTM D242/D242M, ROCK OR SLAG DUST, HYDRAULIC CEMENT OR OTHER INERT MATERIAL.
 5. ASPHALT MATERIALS ASPHALT MATERIALS USED SHALL COMPLY WITH THE FOLLOWING SPECIFICATIONS:
 - a. ASPHALT BINDER: AASHTO M320, [PG 64-22] [PG 58-28] [PG 70-22].
 - b. ASPHALT CEMENT: ASTM D3381/D3381M FOR VISCOSITY-GRADED MATERIAL.
 - c. TACK COAT: ASTM D677, EMULSIFIED ASPHALT, SLOW SETTING, DILUTED IN WATER, OF SUITABLE GRADE AND CONSISTENCY FOR APPLICATION.
 6. AUXILIARY MATERIALS AUXILIARY MATERIALS USED SHALL COMPLY WITH THE FOLLOWING SPECIFICATIONS:
 - a. HERBICIDE: COMMERCIAL CHEMICAL FOR WEED CONTROL, REGISTERED BY THE EPA, AND NOT CLASSIFIED AS "RESTRICTED USE" FOR LOCATIONS AND CONDITIONS OF APPLICATION. PROVIDE IN GRANULAR, LIQUID, OR WETTABLE POWDER FORM.
 - b. SAND: ASTM D1073, GRADE NO. 2 OR NO. 3
 - c. PAVING GEOTEXTILE: AASHTO M288 PAVING FABRIC; NONWOVEN POLYPROPYLENE; RESISTANT TO CHEMICAL ATTACK, ROT, MILDEN; AND SPECIFICALLY DESIGNED FOR PAVING APPLICATIONS.
 - d. JOINT SEALANT: ASTM D6690, TYPE I, TYPE II OR III, OR TYPE IV AS APPROPRIATE.

11 ASPHALT PAVING NOTES



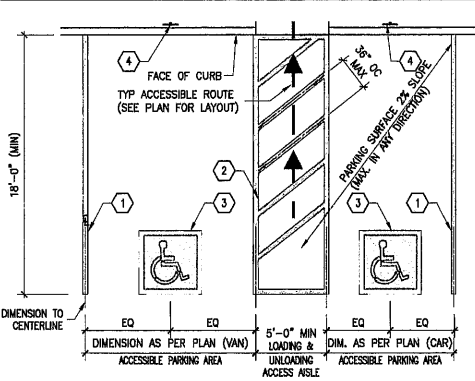
- NOTES:
1. PAINT DIAGONAL STRIPING WITH YELLOW TRAFFIC PAINT, TYP. 2 COATS, 15 MILS THICK EACH COAT.

3 DIAGONAL STRIPING (TYP)

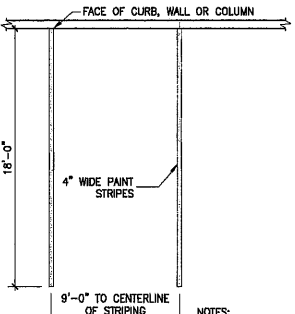


7 SIDEWALK TURNDOWN WITH INTEGRATED CURB

- FOR THE LOCAL CLIMATE WHERE THE PROJECT IS LOCATED, HOT-APPLIED, SINGLE-COMPONENT, POLYMER-MODIFIED BITUMINOUS SEALANT.
7. PAVING MIXES PAVING MIXES USED SHALL COMPLY WITH THE FOLLOWING SPECIFICATIONS:
 - a. PROVIDE MIXES WITH A HISTORY OF SATISFACTORY PERFORMANCE IN GEOGRAPHICAL AREA WHERE THE PROJECT IS LOCATED.
 - b. BASE COURSE: HMA 12MM
 - c. SURFACE COURSE: HMA 9.5MM
 1. EXECUTION
 - a. VERIFY THAT SUBGRADE IS DRY AND IN SUITABLE CONDITION TO BEGIN PAVING. PROCEED WITH PAVING ONLY AFTER UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. PROVIDE MIXES WITH A HISTORY OF SATISFACTORY PERFORMANCE IN GEOGRAPHICAL AREA WHERE THE PROJECT IS LOCATED.
 - b. APPLY HERBICIDE ACCORDING TO MANUFACTURER'S RECOMMENDED RATES AND WRITTEN APPLICATION INSTRUCTIONS. APPLY TO DRY, PREPARED SUBGRADE OR SURFACE OF COMPACTED-AGGREGATE BASE BEFORE APPLYING PAVING MATERIALS.
 - c. TACK COAT: APPLY UNIFORMLY TO SURFACES OF EXISTING PAVEMENT AT A RATE OF 0.05 TO 0.15 GAL/SQ. YD. (0.2 TO 0.7 L/SQ. M). ALLOW TACK COAT TO CURE UNDISTURBED BEFORE APPLYING HOT-MIX ASPHALT PAVING. AVOID SMEARING OR SPREADING ADJOINING SURFACES, APPURTENANCES, AND SURROUNDINGS. REMOVE SPILLAGES AND CLEAN AFFECTED SURFACES. A TACK COAT IS NOT NEEDED IF SURFACE COURSE IS APPLIED OVER BASE ASPHALT COURSE WITHIN 24 HRS.
 - d. WHEN PLACING HOT-MIX ASPHALT, SPREAD MIX AT A MINIMUM TEMPERATURE OF 250 DEG F (121 DEG C).
 - e. CONSTRUCT JOINTS TO ENSURE A CONTINUOUS BOND ADJOINING PAVING SECTIONS. CONSTRUCT JOINTS FREE OF DEPRESSIONS, WITH SAME TEXTURE AND SMOOTHNESS AS OTHER SECTIONS OF HOT-MIX ASPHALT COURSE.
 - f. CLEAN CONTACT SURFACES AND APPLY TACK COAT TO JOINTS.
 - g. OFFSET LONGITUDINAL JOINTS, IN SUCCESSIVE COURSES, A MINIMUM OF 6 INCHES (150 MM).
 - h. OFFSET TRANSVERSE JOINTS, IN SUCCESSIVE COURSES, A MINIMUM OF 24 INCHES (600 MM).
 - i. CONSTRUCT TRANSVERSE JOINTS AT EACH POINT WHERE PAVEMENT ENDS A DAY'S WORK AND RESUMES WORK AT A SUBSEQUENT TIME. CONSTRUCT THESE JOINTS USING EITHER "BULKHEAD" OR "TAPERED" METHOD ACCORDING TO AI MS-22, FOR BOTH "ENDING A LANE" AND "RESUMPTIONS OF PAVING OPERATIONS".
 1. COMPACTION
 - a. REFER TO SUBGRADE PREPARATION NOTES ON THE PLANS OR IN THE GEOTECHNICAL REPORT FOR SUBGRADE COMPACTION SPECIFICATIONS.
 - b. COMPACT HOT-MIX PAVING WITH HOT, HAND TAMPERS OR WITH VIBRATORY-PLATE COMPACTORS IN AREAS INACCESSIBLE TO ROLLERS.
 - c. COMPLETE COMPACTION BEFORE MIX TEMPERATURE COOLS TO 185 DEG F (85 DEG C).



4 ACCESSIBLE PARKING STRIPING

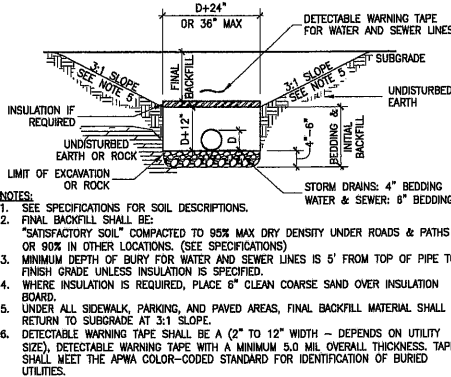


8 PARKING STRIPING AND WHEEL STOP

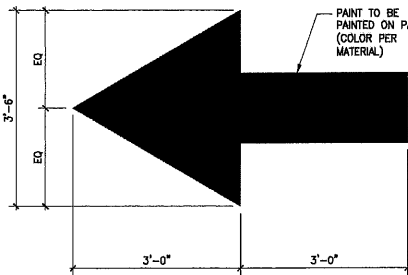
- ONLY USE WHEEL STOPS WHERE REQUIRED BY AHJ
- a. ROLLING SHOULD CONTINUE UNTIL HOT-MIX ASPHALT COURSE HAS BEEN UNIFORMLY COMPACTED TO THE FOLLOWING DENSITY:
 - i. AVERAGE DENSITY: 92 PERCENT OF REFERENCE MAXIMUM THEORETICAL DENSITY ACCORDING TO ASTM D2041, BUT NOT LESS THAN 90 PERCENT OR GREATER THAN 96 PERCENT.
 - i. FIELD DENSITY OF IN-PLACE COMPACTED PAVEMENT SHALL BE DETERMINED BY NUCLEAR METHOD ACCORDING TO ASTM D 2041.
 - g. AFTER FINAL ROLLING, DO NOT PERMIT VEHICULAR TRAFFIC ON PAVEMENT UNTIL IT HAS COOLED OR HARDENED.
1. INSTALLATION TOLERANCES
- a. PAVEMENT THICKNESS SHOULD FOLLOW:
 - i. BASE COURSE SHOULD BE INSTALLED PLUS OR MINUS 1/2 INCH (13 MM)
 - i. SURFACE COURSE SHOULD BE INSTALLED PLUS 1/4 INCH (6 MM), NO MINUS
 - i. SMOOTHNESS SHOULD BE CONFIRMED USING A 10-FOOT (3M) STRAIGHTEDGE APPLIED TRANSVERSELY OR LONGITUDINALLY TO PAVED AREAS
 - i. SUBGRADE SHOULD BE INSTALLED PLUS OR MINUS 1/2 INCH (13 MM)
 - i. AGGREGATE BASE SHOULD BE INSTALLED PLUS OR MINUS 3/8 INCH (10 MM)

DETAIL KEYNOTES

- THIS DETAIL CONTAINS TYPICAL SPECIFICATIONS, CONSULT PLAN FOR ACTUAL LAYOUT.
1. PARKING AREA SHALL BE MARKED BY 4" WIDE BORDER. COLOR SHALL BE PER LOCAL AHJ REQUIREMENTS. APPLIES TO BOTH SIDES OF ACCESS AISLE AT DOUBLE PARKING STALLS.
 2. ACCESS AISLE SHALL BE MARKED BY 4" WIDE BORDER. WITHIN BORDER, HATCHED LINES 3/8" O.C. MAY SHALL BE PAINTED COLOR CONTRASTING WITH PARKING SURFACE PER LOCAL AHJ REQUIREMENTS.
 3. ISA PAVEMENT MARKING. SEE SEPARATE DETAIL THIS SHEET.
 4. ACCESSIBLE PARKING SIGN. SEE SEPARATE DETAIL.

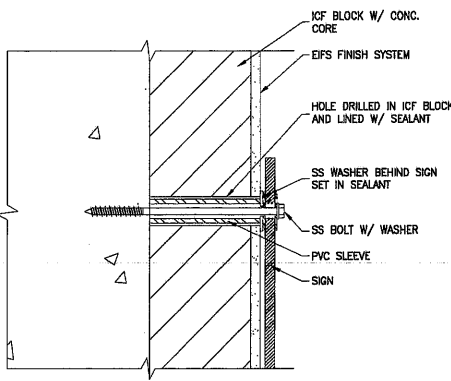


9 WATER/SEWER/STORM DRAIN PIPE TRENCH



12 DIRECTIONAL ARROW

ONLY USE IF REQUIRED BY AHJ



13 DETAIL - EXTERIOR SIGN ATTACHMENT

JAMES R. WEISS
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NOT FOR CONSTRUCTION
THIS DRAWING PROVIDED ONLY FOR
REVIEW AND APPROVAL

DATE	DESCRIPTION
11 NOV 18	STAMPED APP SET
23 OCT 18	SHARED REVIEW
24 JUL 18	INTERNAL/SHARED REVIEW

DRAWN BY:
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PROJECT TITLE:
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SHEET TITLE:
SITE DETAILS

PROJECT No.:
20850

SHEET No.:
C-501