



# **AGENDA OF THE ZONING & PLANNING BOARD OF APPEALS**

**MONDAY, MAY 18, 2020, 5:30 PM**

**Telephonic Meeting**

**public may also view at**

**[www.youtube.com/CityOfGreenBay](http://www.youtube.com/CityOfGreenBay)**

## **A. Virtual Meeting Information**

- I. This item contains a document which provides information to join this meeting via Zoom along with instructions.

## **B. Roll Call.**

- I. Members: Don Carlson - Chair, Gregory Babcock - Vice Chair, Tommy Everman, Noel Halvorsen and Jim Hutchison

Does anyone need to abstain from voting? Was anyone out to any of the properties?  
Did you speak to anyone regarding this variance request?

## **C. Approval of the Agenda.**

- I. Approval of the agenda for the May 18, 2020, meeting of the Zoning & Planning Board of Appeals.

## **D. Approval of Minutes.**

- I. Approval of the minutes from the April 20, 2020, meeting of the Zoning & Planning Board of Appeals.

## **E. Regular Business.**

- I. (Appeal 20-002) Tim Philipps, property owner, proposes to construct a 12 ft. x 20 ft. driveway expansion within a corner side yard setback located in a Low Density Residential (RI) District at 2089 Fern Lane. The applicant requests to deviate from the following requirements in Chapter 13, Green Bay Zoning Code, Section 13-604, Table 6-2, corner side yard setback (Ald. A. Nicholson, District 3).

2. (Appeal 20-009) Perry Lasee, property owner, proposes to retain an existing driveway in a Low Density Residential (RI) District at 1825 Burns Avenue. The applicant requests to deviate from the following requirement in Chapter 13, Green Bay Zoning Code, Section 13-1716(b)(3)(c), Parking for single and two-family uses (Ald. J. VanderLeest, District 11).
3. (Appeal 20-011) Joel Ehrfurth, Mach IV Engineering & Surveying, LLC, on behalf of Mike and Teresa Bray, property owners, propose a single-family residence and site alterations within the AE District of the 100-year floodplain and Low Density Residential (RI) District at 3445 Nicolet Drive. The applicants request to deviate from the following requirement in Chapter 13, Green Bay Zoning Code, Section 13-1330(a)(1) fill area (Ald. B. Dorff, District 1).
4. (Appeal 20-012) Nancy Quirk, Green Bay Water Utility, City of Green Bay, property owner, proposes an expanded parking area located in a Public/Institutional (PI) District at 631 South Adams Street. The applicant requests to deviate from the following requirements in Chapter 13, Green Bay Zoning Code, Section 13-1003, Table 10-2, Dimensional Standards, front and corner side yard setbacks and impervious coverage (Ald. B. Galvin, District 4).

**F. Informational.**

1. Date of next meeting: May 18, 2020.

**G. Adjournment.**

- 1) THIS MEETING IS RECORDED: THE VIDEO OF THIS MEETING AND MINUTES ARE AVAILABLE ONLINE AT [www.greenbaywi.gov](http://www.greenbaywi.gov)
- 2) ACCESSIBILITY: Any person wishing to attend who requires special accommodation because of a disability, should contact the City Safety Manager at 920-448-3125 at least 48 hours before the scheduled meeting time so that arrangements can be made.
- 3) QUORUM: Please take notice that a majority or quorum of the Common Council will attend this Zoning & Planning Board of Appeals meeting and will constitute a meeting of the Common Council for purposes of discussion and information gathering relative to this agenda.
- 4) REPRESENTATION: The party requesting the communication, or their representative, should be present at this meeting.

# Virtual Meeting Instructions

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## Board of Appeals for 5-18-20

### Zoom Meeting Information

City Of Green Bay is inviting you to a scheduled Zoom meeting.

Join Zoom Meeting

<https://us02web.zoom.us/j/88416185338?pwd=dHlkM0Q4czY1Y2pjUWlpVU8vUi9EZz09>

**Meeting ID: 884 1618 5338**

**Password: 646181**

One tap mobile

+19292056099,,88416185338#,,1#,646181# US (New York)

+13017158592,,88416185338#,,1#,646181# US (Germantown)

### Dial by your location

+1 929 205 6099 US (New York)

+1 301 715 8592 US (Germantown)

+1 312 626 6799 US (Chicago)

+1 669 900 6833 US (San Jose)

+1 253 215 8782 US (Tacoma)

+1 346 248 7799 US (Houston)

Meeting ID: 884 1618 5338

Password: 646181

Find your local number: <https://us02web.zoom.us/j/kcY1UimAk8>

## Additional Information

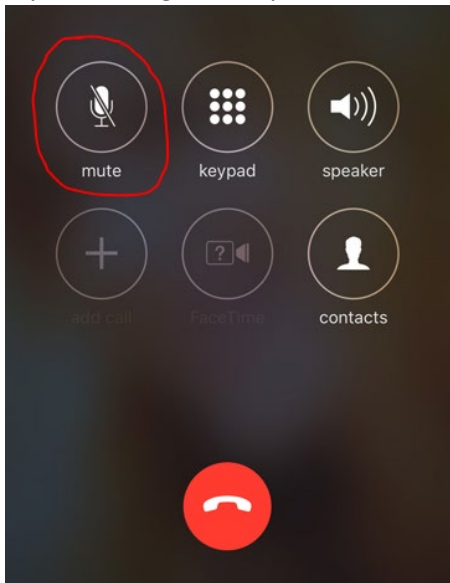
1. Wisconsin Open Meetings Law still applies
  - a. Persons interested in speaking to an item must give their name and address
  - b. Committee/Commission/Board members will still follow *Roberts Rules of Order*
2. All zoom meetings will have a password in the instructions. Please enter when prompted.
3. Please log into the Zoom meeting 10 minutes before the meeting starts to ensure proper technology is working.
  - a. If you are a Board Member, please log into [CivicClerk](#) with a computer, laptop, or tablet device.
4. Once you are in the meeting please mute yourselves.
  - a. You may unmute yourself when you are called upon to speak.
5. Waiting room
  - a. When you call in, all callers/participants will be placed in a “waiting room.”
  - b. Persons on the agenda will be admitted to the meeting, and then once the item is concluded, the host will permanently mute you from the meeting (you can still hear the meeting).
6. Using Zoom with a tablet or computer
  - a. Tablet—you will be asked to sign in. Download the app either with the Apple Store or the Play Store
  - b. Computer—you will be asked to sign in. You may download the app or click on the link to open Zoom in your browser.
7. Registering
  - a. The host may ask you to register for the meeting. A registration link will be sent to you along with the invite. You’ll receive another email confirming that you’re registered for the meeting.
  - b. If you’re using a phone, your registration will still be tied to an email.
8. Raising your hand
  - a. Committee members—you can either use CivicClerk and request to speak or you can “raise your hand” in the zoom meeting (you’d need to use a computer or tablet) to let the host know you’d like to speak. You can also un-mute yourselves and start speaking.
  - b. Persons on the agenda—you can “raise your hand” but you’d need to use a computer. You will be allowed to speak, per Wisconsin Open Meetings Rules, once the committee has “opened the floor for interested parties to speak.” Once the committee is finished with your agenda item, the host will mute you permanently, unless the committee opens the floor again.
9. What devices should I use?
  - a. Smart phone (please see more detailed instructions on page 3)
  - b. Land line
  - c. Tablet—well in advance of the meeting, please download the Zoom Meeting app before you join a meeting by using either the Apple Store or the Play Store. You will be asked to input your name, thus identifying you for the meeting. You’ll also be asked to verify your email.
  - d. Computer—well in advance of the meeting, please download the Zoom Meeting app, but you can also click on a link to open the Zoom Meeting in your browser. You will be asked to input your name, thus identifying you for the meeting.
  - e. For tablet and computer users—if you download the app you will be asked to verify your email.
10. Zoom etiquette
  - a. Muting yourselves when you’re not talking will prevent your background noise from interfering with others’ ability to listen to and participate in the meeting.
  - b. If you’re using a telephone, please identify yourself with your phone number and name before you speak. Zoom meeting hosts can see only your telephone number and will ask you to identify yourselves.
11. Closed session
  - a. Persons in the Zoom meeting will be put into a waiting room while the committee meets in Closed Session. Participants will be admitted back into the Zoom meeting once the committee reconvenes in Open Session.
  - b. Persons watching live on YouTube will see a gray screen with the City logo during closed session.
12. Persons interested in listening to the meeting can go to [www.youtube.com/CityofGreenBay](https://www.youtube.com/CityofGreenBay)

## Calling into the Zoom meeting using a smartphone

1. Dial the phone number listed at the beginning of this document.
2. When prompted, enter the Meeting ID number followed by #
  - a. If you're using a smartphone, you can access the keypad by clicking "Keypad" on your screen



3. Once you are in the meeting, notify the meeting host that you are in and state your name.
4. If you do not need to talk, please make sure your phone is on **Mute**
  - a. If you're using a smartphone, look at your screen and click the Mute button



- b. If you're using a computer, you should see a Mute button in the Zoom application





# **MINUTES OF THE ZONING & PLANNING BOARD OF APPEALS**

**MONDAY, APRIL 20, 2020, 5:30 PM**

**Telephonic Meeting**

**public may also view at**

**[www.youtube.com/CityOfGreenBay](http://www.youtube.com/CityOfGreenBay)**

## **A. GOTO MEETING INFORMATION**

I. Please find information to join this meeting via "GoTo Meeting" along with instructions.

## **B. ROLL CALL.**

I. Members: Don Carlson - Chair, Gregory Babcock - Vice Chair, Tommy Everman, Noel Halvorsen and Jim Hutchison

Does anyone need to abstain from voting? Was anyone out to an of the the properties? Did you speak to anyone regarding this variance request?

Present: Tommy Everman, Noel Halvorsen, Jim Hutchison, Gregory Babcock, Don Carlson,  
Excused:

Chair Don Carlson asked if anyone need to abstain from voting, went out to any of the properties or spoke to anyone regarding the variance requests? All stated no.

Others present: Ald. Barb Dorf

### **C. APPROVAL OF THE AGENDA.**

I. Approval of the agenda for the April 20, 2020, meeting of the Zoning & Planning Board of Appeals.

Chair Don Carlson asked if there were any objections or changes to the agenda presented tonight. All stated no.

### **D. APPROVAL OF MINUTES.**

I. Approval of the minutes from the February 17, 2020, meeting of the Zoning & Planning Board of Appeals.

Moved by Tommy Everman, seconded by Jim Hutchison to approve the minutes. Motion carried.  
Yes- Don Carlson, Gregory Babcock, Tommy Everman, Noel Halvorsen, Jim Hutchison, No- None, Abstain- None

### **E. REGULAR BUSINESS.**

Moved by Tommy Everman, seconded by Jim Hutchison to open the floor for discussion for the duration of the meeting. Motion carried.

Yes- Don Carlson, Gregory Babcock, Tommy Everman, Noel Halvorsen, Jim Hutchison, No- None, Abstain- None

I. (Appeal 20-008) Jean Challe, Jones Sign, on behalf of the Green Bay School District, property owner, proposes to install an Electronic Message Center (EMC) to an existing monument sign in a Public Institutional (PI) District at 2130 Basten Street. The applicant requests to deviate from the following requirement in Chapter 13, Green Bay Zoning Code, Section 13-2015(j)(2) size of electronic signage (Ald. C. Stevens, District 5).

Moved by Gregory Babcock, seconded by Noel Halvorsen to grant the variance as requested. Motion carried.

Yes- Don Carlson, Gregory Babcock, Tommy Everman, Noel Halvorsen, Jim Hutchison, No- None, Abstain- None

2. (Appeal 20-009) Perry Lasee, property owner, proposes to retain an existing driveway in a Low Density Residential (R1) District at 1825 Burns Avenue. The applicant requests to deviate from the following requirement in Chapter 13, Green Bay Zoning Code, Section 13-1716(b)(3)(c), Parking for single and two family uses (Ald. J. VanderLeest, District 11).

Moved by Gregory Babcock, seconded by Jim Hutchison to deny the variance as requested. Motion carried.

Yes- Don Carlson, Gregory Babcock, Tommy Everman, Noel Halvorsen, Jim Hutchison, No- None, Abstain- None

3. (Appeal 20-010) Brian D. Smith, SmitCo Eateries, Inc., on behalf of GFC Realty II LLC., property owner, proposes to construct a new restaurant building and parking lot in a Highway Commercial (C2) District at 1860 West Mason Street. The applicant requests to deviate from the following requirement in Chapter 13, Green Bay Zoning Code, Section 13-810, Table 8-2, Floor Area Ratio (FAR) (Ald. J. VanderLeest, District 11).

Moved by Tommy Everman, seconded by Noel Halvorsen to grant the variance as requested. Motion carried.

Yes- Don Carlson, Gregory Babcock, Tommy Everman, Noel Halvorsen, Jim Hutchison, No- None, Abstain- None

## **F. INFORMATIONAL.**

1. Discussion revisions to process and application to the Board of Appeals.

This item will be discussed at a future meeting.

2. Date of next meeting: May 18, 2020.

## **G. ADJOURNMENT.**

Moved by Jim Hutchison, seconded by Noel Halvorsen to close the floor for discussion. Motion carried.

Yes- Don Carlson, Gregory Babcock, Tommy Everman, Noel Halvorsen, Jim Hutchison, No- None, Abstain- None

Moved by Tommy Everman, seconded by Jim Hutchison to adjourn. Motion carried.

Yes- Don Carlson, Gregory Babcock, Tommy Everman, Noel Halvorsen, Jim Hutchison, No- None, Abstain- None



# Zoning & Planning Board of Appeals

## VARIANCE APPLICATION

Department of Community  
and Economic Development  
100 N. Jefferson Street, Rm 608  
Green Bay, WI 54301-5026  
(920) 448-3300 - phone  
(920) 448-3426 - fax

**Application Deadline: First Tuesday of the Month at 12 Noon.**

Date: 1/8/2020 Project Address: 2089 Fern Ln. Project #: 99695 Appeal #: 20-002

| PROPERTY OWNER   |                             | APPLICANT INFORMATION |                             |
|------------------|-----------------------------|-----------------------|-----------------------------|
| Name:            | <u>Tim Philipps</u>         | Name:                 | <u>Tim Philipps</u>         |
| Address:         | <u>2089 Fern Ln</u>         | Address:              | <u>2089 Fern Ln</u>         |
| City, State, Zip | <u>Green Bay WI 54302</u>   | City, State, Zip      | <u>Green Bay WI 54302</u>   |
| Phone:           | <u>920-360-4790</u>         | Phone:                | <u>920-360-4790</u>         |
| Email:           | <u>tphilipps@new.rr.com</u> | Email:                | <u>tphilipps@new.rr.com</u> |

### Describe proposed plan:

I would like to add a concrete parking pad along side my Garage approx 12'x20' - To park a work trailer

### List variances required to implement the proposed plan (include ordinance numbers and short explanation of each):

### Describe what hardships are imposed by zoning ordinances listed in section above making conformity unfeasible or unnecessarily burdensome:

I would like to keep my work trailer on the side so I can park my car in the Garage. Also being on a busy corner hook up the Trailer creates a hazard as it is necessary to be partially in the road. This would solve that hazard. I don't believe that I would obstruct any views either

### Describe what unique physical characteristics affect this property which prevent you from complying with the zoning ordinance:

I believe I have room for at least part of this pad within the setbacks I just need a little more.

### Describe how granting this variance will neither harm public interest nor undermine the purpose of the ordinance:

This won't obstruct views as my Garage is lower than the street and neighboring houses. Next door there is an existing privacy fence that already blocks any view I might obstruct

Prepare and submit a copy of a site plan (NO LARGER THAN 11X17) detailing your request completely and any additional information which will support your variance request.

Signature of Applicant

Date

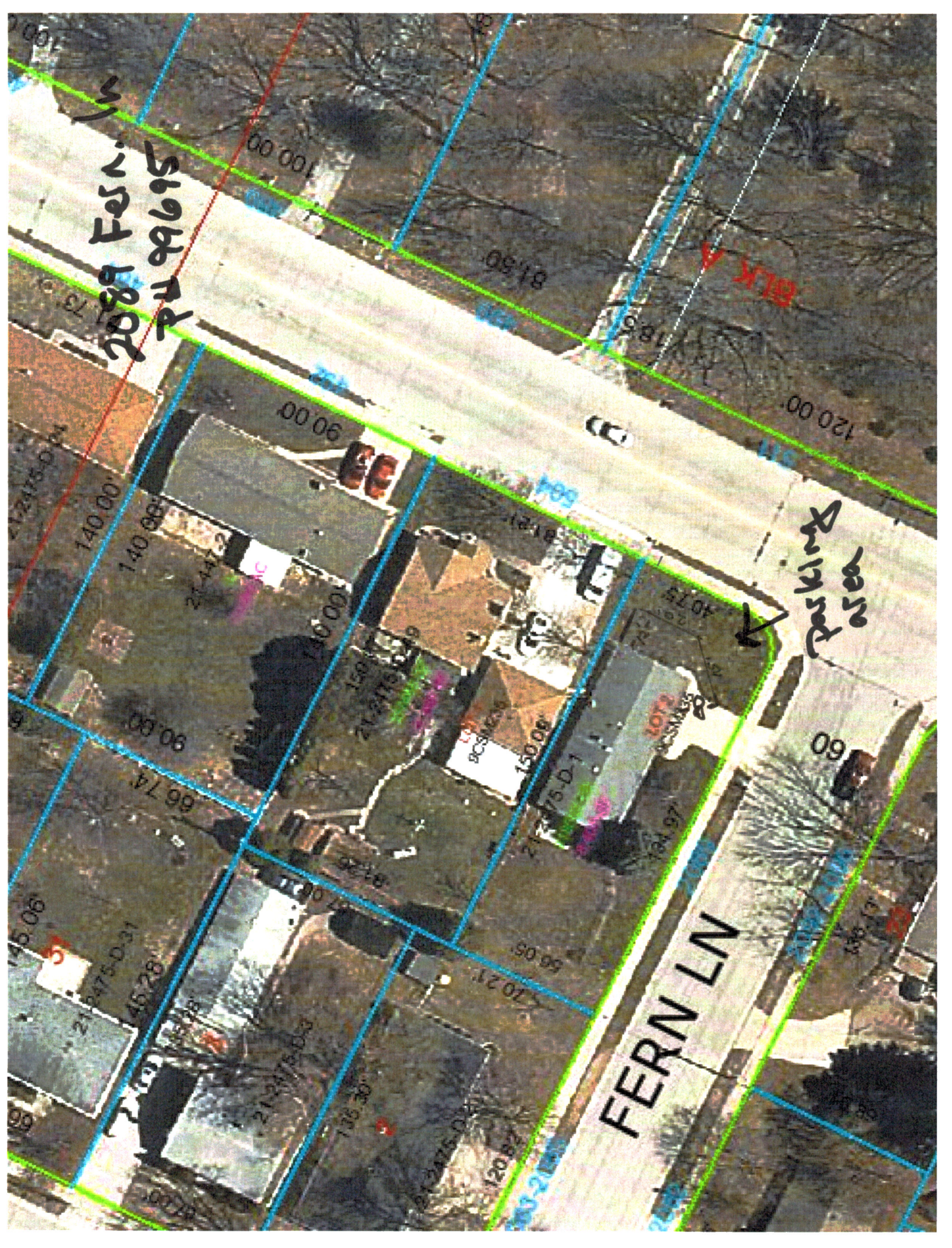
1/8/2020

|                  |                            |                                                      |                                           |
|------------------|----------------------------|------------------------------------------------------|-------------------------------------------|
| OFFICE USE ONLY: | Parcel# <u>21-2475-D-1</u> | Residential \$75 <input checked="" type="checkbox"/> | Commercial \$150 <input type="checkbox"/> |
| District:        | Zoning:                    | Meeting Date:                                        | Receipt #: <u>2755241-2</u>               |

2089 Fern Ln.  
PU 99695

FERN LN

part  
split





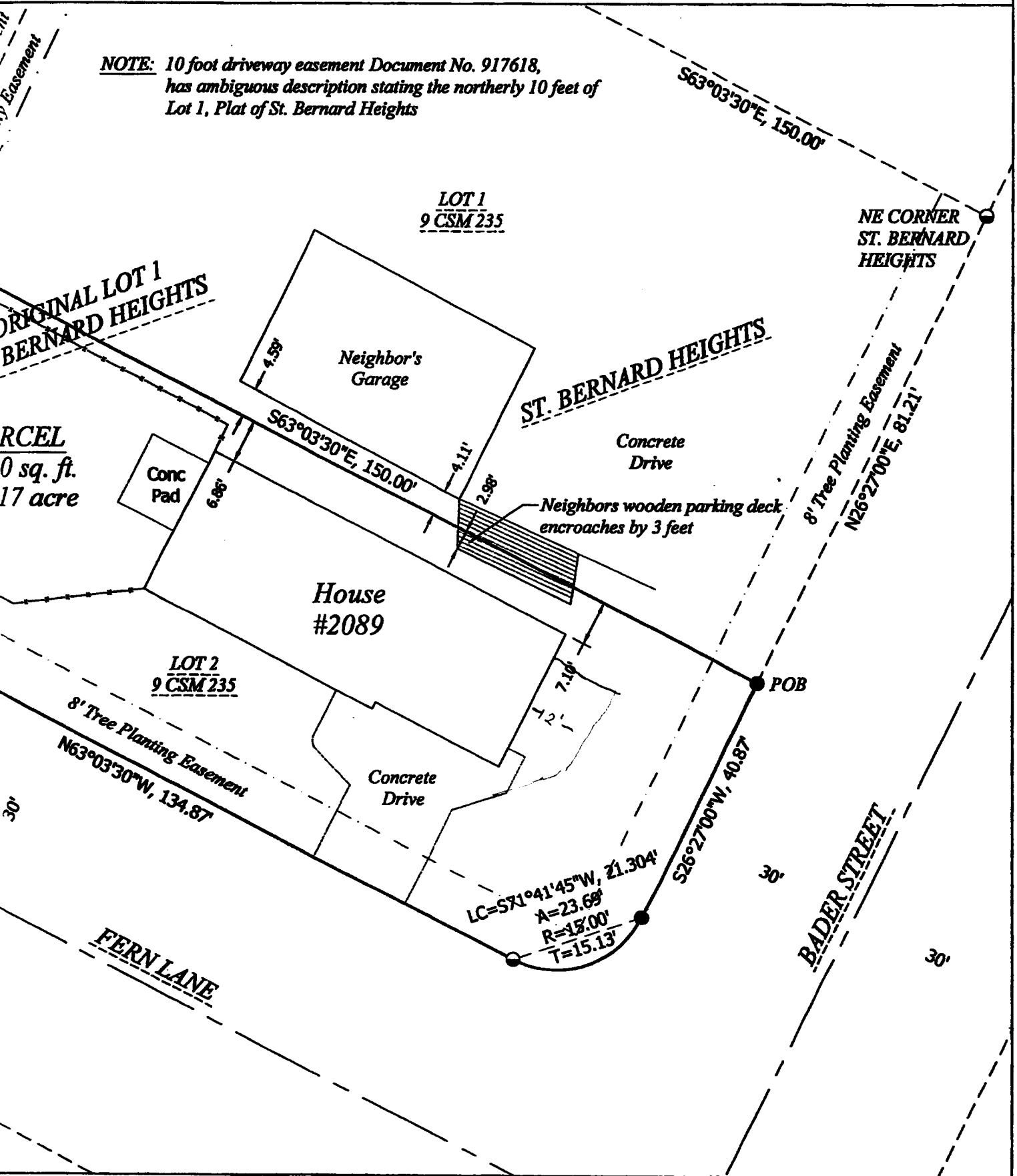




# PLAT OF SURVEY

**1 of land, being all of Lot 2, in Volume 9 of Certified Survey Maps, Page 235, Map No. 2122,  
part of Lot 1, according to the recorded Plat of St. Bernard Heights, in the City of Green Bay,  
Side of the Fox River, Brown County, Wisconsin, as described in Document No. 2834610**

**NOTE:** 10 foot driveway easement Document No. 917618,  
has ambiguous description stating the northerly 10 feet of  
Lot 1, Plat of St. Bernard Heights





Zoning & Planning Board of Appeals

**VARIANCE  
APPLICATION**

Department of Community  
and Economic Development  
100 N. Jefferson Street, Rm 608  
Green Bay, WI 54301-5026  
(920) 448-3300 - phone  
(920) 448-3426 - fax

Application Deadline: First Tuesday of the Month at 12 Noon.

Date: 3-30-2020 Project Address: 1825 Burns Ave Project #: 100483 Appeal #:

| PROPERTY OWNER   |                                | APPLICANT INFORMATION |             |
|------------------|--------------------------------|-----------------------|-------------|
| Name:            | <u>Perry Lacey</u>             | Name:                 | <u>Same</u> |
| Address:         | <u>1825 Burns Ave</u>          | Address:              |             |
| City, State, Zip | <u>Green Bay WI 54303-2380</u> | City, State, Zip      |             |
| Phone:           | <u>920 634 4421</u>            | Phone:                |             |
| Email:           | <u>N/A</u>                     | Email:                |             |

Describe proposed plan: To add concrete to existing side of driveway for another stall to be used.

List variances required to implement the proposed plan (include ordinance numbers and short explanation of each):  
Rep & Res 60 (4-11) Recreational Vehicle Parking

Describe what hardships are imposed by zoning ordinances listed in section above making conformity unfeasible or unnecessarily burdensome:  
Special control for neighbor property / Not able to use full use of garage.

Describe what unique physical characteristics affect this property which prevent you from complying with the zoning ordinance:  
To be able to park extra trailer for side of garage. to be able to get out of main drive

Describe how granting this variance will neither harm public interest nor undermine the purpose of the ordinance:  
It will actually help my neighbor & look a lot better for the neighbors lot

Prepare and submit a copy of a site plan (NO LARGER THAN 11X17) detailing your request completely and any additional information which will support your variance request.

Perry Lacey  
Signature of Applicant

\_\_\_\_\_  
Date

|                                       |                       |                           |                        |
|---------------------------------------|-----------------------|---------------------------|------------------------|
| OFFICE USE ONLY:                      | Parcel# <u>6-2006</u> | Residential \$75 <u>X</u> | Commercial \$150 _____ |
| District: <u>11</u> Zoning: <u>R1</u> | Meeting Date:         | Receipt #:                |                        |

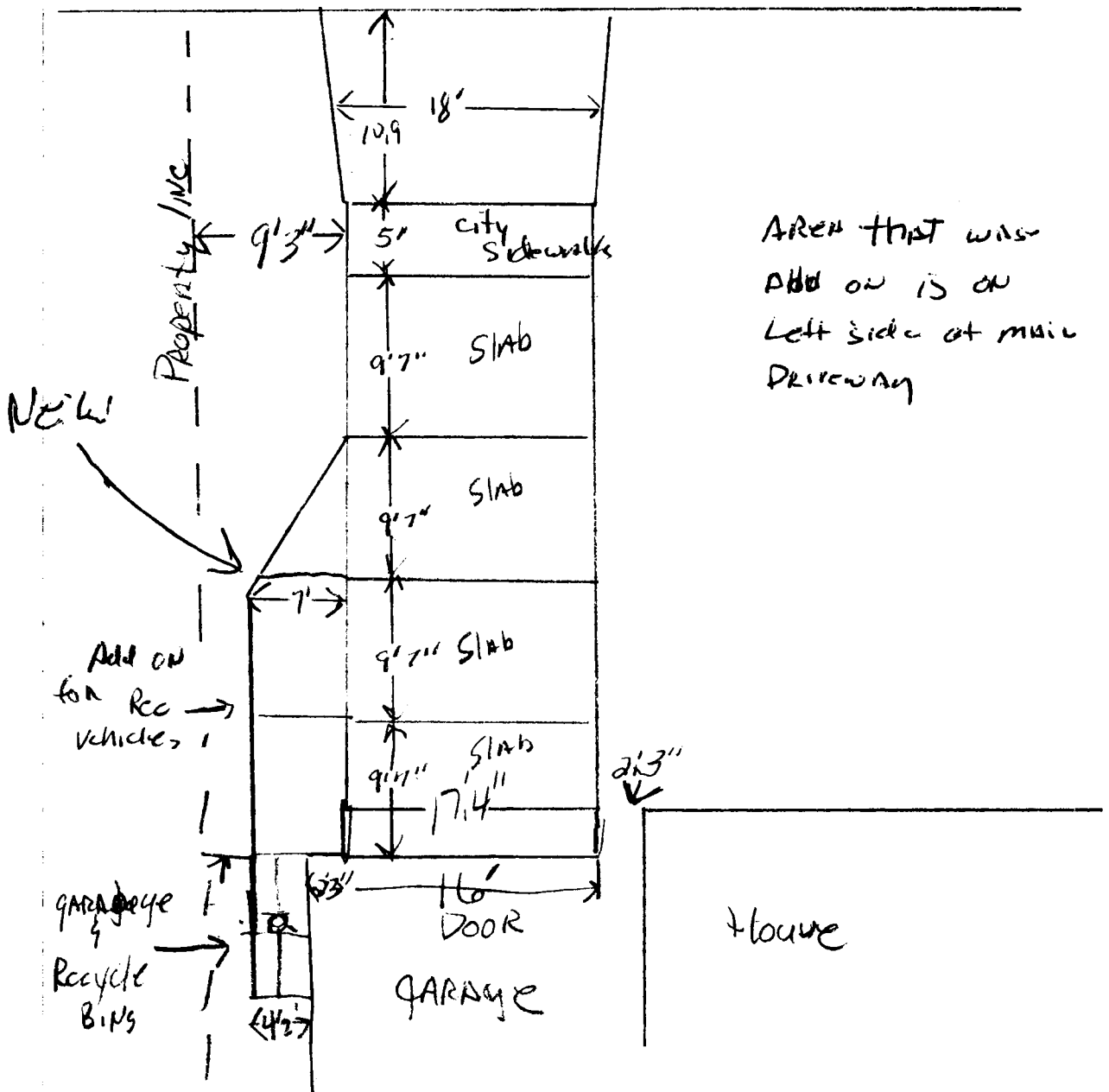
PERRY LASEC  
1825 Burns Ave 54303

PH# 920 634 4421

*Perry Lasec*

PINE  
TERR

BURNS AVE





# Zoning & Planning Board of Appeals

## VARIANCE APPLICATION

Department of Community  
and Economic Development  
100 N. Jefferson Street, Rm 608  
Green Bay, WI 54301-5026  
(920) 448-3300 - phone  
(920) 448-3426 - fax  
[www.greenbaywi.gov](http://www.greenbaywi.gov)

**Application Deadline: First Tuesday of the Month at 12 Noon.**

|                       |                  |                              |           |
|-----------------------|------------------|------------------------------|-----------|
| Date:                 | Project Address: | Project #:                   | Appeal #: |
| <b>PROPERTY OWNER</b> |                  | <b>APPLICANT INFORMATION</b> |           |
| Name:                 |                  | Name:                        |           |
| Address:              |                  | Address:                     |           |
| City, State, Zip      |                  | City, State, Zip             |           |
| Phone:                |                  | Phone:                       |           |
| Email:                |                  | Email:                       |           |

Describe proposed plan:

List variances required to implement the proposed plan (include ordinance numbers and short explanation of each):

Describe what hardships are imposed by zoning ordinances listed in section above making conformity unfeasible or unnecessarily burdensome:

Describe what unique physical characteristics affect this property which prevent you from complying with the zoning ordinance:

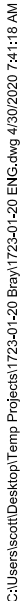
Describe how granting this variance will neither harm public interest nor undermine the purpose of the ordinance:

**Prepare and submit a copy of a site plan (NO LARGER THAN 11X17) detailing your request completely and any additional information which will support your variance request.**

Signature of Applicant

Date

|                  |         |                       |                       |
|------------------|---------|-----------------------|-----------------------|
| OFFICE USE ONLY: | Parcel# | Residential \$75 ____ | Commercial \$150 ____ |
| District:        | Zoning: | Meeting Date:         | Receipt #:            |



Project:

Michael & Teresa Bray

3445 Nicolet Drive-Green Bay, WI

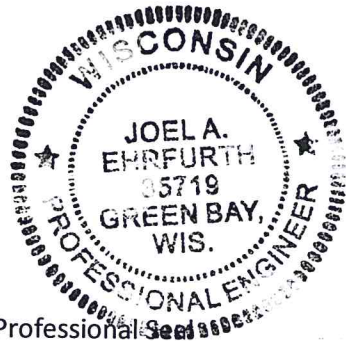
I, Joel Ehrfurth, certify that the design for the aforementioned development is reasonably safe from flooding in accordance with the guidance provided within FEMA's Technical Bulletin 10-01 related to ensuring that structures are reasonably safe from flooding and in accordance with accepted professional practices.

Joel Ehrfurth 07.23.20  
Signature Date

PRINCIPAL ENGINEER  
Title

PE 35719  
Type of License License #

07/2020  
License Expiration Date



Professional Seal

Mach IV Engineering & Surveying, LLC  
2260 Salscheider Court  
Green Bay, WI 54313  
Ph. (920) 712-2324

DEPARTMENT OF HOMELAND SECURITY - FEDERAL EMERGENCY MANAGEMENT AGENCY  
PROPERTY INFORMATION FORM

O.M.B. NO. 1660-0015  
Expires February 28, 2014

PAPERWORK BURDEN DISCLOSURE NOTICE

Public reporting burden for this data collection is estimated to average 1.63 hours per response. The burden estimate includes the time for reviewing instructions, searching existing data sources, gathering and maintaining the needed data, and completing and submitting the form. This collection is required to obtain or retain benefits. You are not required to respond to this collection of information unless a valid OMB control number is displayed on this form. Send comments regarding the accuracy of the burden estimate and any suggestions for reducing this burden to: Information Collections Management, Department of Homeland Security, Federal Emergency Management Agency, 1800 South Bell Street, Arlington, VA 20598-3005, Paperwork Reduction Project (1660-0015). **NOTE: Do not send your completed form to this address.**

This form may be completed by the property owner, property owner's agent, licensed land surveyor, or registered professional engineer to support a request for a Letter of Map Amendment (LOMA), Conditional Letter of Map Amendment (CLOMA), Letter of Map Revision Based on Fill (LOMR-F), or Conditional Letter of Map Revision Based on Fill (CLOMR-F) for existing or proposed, single or multiple lots/structures. In order to process your request, all information on this form must be completed **in its entirety**, unless stated as optional. **Incomplete submissions will result in processing delays.** Please check the item below that describes your request:

|                                            |                                                                                                                                                                                                                                                    |
|--------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <input type="checkbox"/> LOMA              | A letter from DHS-FEMA stating that an existing structure or parcel of land that has not been elevated by fill (natural grade) would not be inundated by the base flood.                                                                           |
| <input type="checkbox"/> CLOMA             | A letter from DHS-FEMA stating that a proposed structure that is not to be elevated by fill (natural grade) would not be inundated by the base flood if built as proposed.                                                                         |
| <input checked="" type="checkbox"/> LOMR-F | A letter from DHS-FEMA stating that an <b>existing</b> structure or parcel of land that has been <b>elevated by fill</b> would not be inundated by the base flood.                                                                                 |
| <input type="checkbox"/> CLOMR-F           | A letter from DHS-FEMA stating that a parcel of land or <b>proposed</b> structure that will be <b>elevated by fill</b> would not be inundated by the base flood if fill is placed on the parcel as proposed or the structure is built as proposed. |

**Fill** is defined as material from any source (including the subject property) placed that raises the ground to or above the Base Flood Elevation (BFE). The common construction practice of removing unsuitable existing material (topsoil) and backfilling with select structural material is not considered the placement of fill if the practice does not alter the existing (natural grade) elevation, which is at or above the BFE. **Fill that is placed before the date of the first National Flood Insurance Program (NFIP) map showing the area in a Special Flood Hazard Area (SFHA) is considered natural grade.**

Has fill been placed on your property to raise ground that was previously below the BFE?

☐ Yes ☒ No

If yes, when was fill placed?

/  
month/year

Will fill be placed on your property to raise ground that is below the BFE?

☒ Yes\* ☐ No

If yes, when will fill be placed?

4/16/20  
month/year

\* If yes, Endangered Species Act (ESA) compliance must be documented to FEMA prior to issuance of the CLOMR-F determination (please refer page 4 to the MT-1 instructions).

- Street Address of the Property (if request is for multiple structures or units, please attach additional sheet referencing each address and enter street names below):  
3445 Nicolet Drive
- Legal description of Property (Lot, Block, Subdivision or abbreviated description from the Deed):  
Part of Gov't Lot 1 of Section 12, T24N-R21E, City of Green Bay, Brown County WI as described in Document #2848021, Brown County Register of Deeds.
- Are you requesting that a flood zone determination be completed for (check one):
  - ☐ Structures on the property? What are the dates of construction? \_\_\_\_\_ (MM/YYYY)
  - ☒ A portion of land within the bounds of the property? (A certified metes and bounds description and map of the area to be removed, certified by a licensed land surveyor or registered professional engineer, are **required**. For the preferred format of metes and bounds descriptions, please refer to the MT-1 Form 1 Instructions.)
  - ☐ The entire legally recorded property?
- Is this request for a (check one):
  - ☐ Single structure
  - ☒ Single lot
  - ☐ Multiple structures (How many structures are involved in your request? List the number: \_\_\_\_\_)
  - ☐ Multiple lots (How many lots are involved in your request? List the number: \_\_\_\_\_)

In addition to this form (MT-1 Form 1), please complete the checklist below. ALL requests must include one copy of the following:

- ☒ Copy of the effective FIRM panel on which the structure and/or property location has been accurately plotted (property inadvertently located in the NFIP regulatory floodway will require Section B of MT-1 Form 3)
- ☐ Copy of the Subdivision Plat Map for the property (with recordation data and stamp of the Recorder's Office)
- OR
- ☒ Copy of the Property Deed (with recordation data and stamp of the Recorder's Office), accompanied by a tax assessor's map or other certified map showing the surveyed location of the property relative to local streets and watercourses. The map should include at least one street intersection that is shown on the FIRM panel.
- ☒ Form 2 – Elevation Form. If the request is to remove the structure, and an Elevation Certificate has already been completed for this property, it may be submitted in lieu of Form 2. If the request is to remove the entire legally recorded property, or a portion thereof, the lowest lot elevation must be provided on Form 2.
- ☒ Please include a map scale and North arrow on all maps submitted.

For LOMR-Fs and CLOMR-Fs, the following must be submitted in addition to the items listed above:

- ☒ Form 3 – Community Acknowledgment Form

For CLOMR-Fs, the following must be submitted in addition to the items listed above:

- ☐ Documented ESA compliance, which may include a copy of an Incidental Take Permit, an Incidental Take Statement, a "not likely to adversely affect" determination from the National Marine Fisheries Service (NMFS) or the U.S. Fish and Wildlife Service (USFWS), or an official letter from NMFS or USFWS concurring that the project has "No Effect" on proposed or listed species or designated critical habitat. Please refer to the MT-1 instructions for additional information.

Please do **not** submit original documents. Please retain a copy of all submitted documents for your records.

DHS-FEMA encourages the submission of all required data in a digital format (e.g. scanned documents and images on Compact Disc [CD]). Digital submissions help to further DHS-FEMA's Digital Vision and also may facilitate the processing of your request.

Incomplete submissions will result in processing delays. For additional information regarding this form, including where to obtain the supporting documents listed above, please refer to the MT-1 Form Instructions located at [http://www.fema.gov/plan/prevent/fhm/dl\\_mt-1.shtm](http://www.fema.gov/plan/prevent/fhm/dl_mt-1.shtm).

**Processing Fee** (see instructions for appropriate mailing address; or visit [http://www.fema.gov/fhm/frm\\_fees.shtm](http://www.fema.gov/fhm/frm_fees.shtm) for the most current fee schedule)

Revised fee schedules are published periodically, but no more than once annually, as noted in the **Federal Register**. Please note: single/multiple lot(s)/structure(s) LOMAs are fee exempt. The current review and processing fees are listed below:

Check the fee that applies to your request:

- ☐ \$325 (single lot/structure LOMR-F following a CLOMR-F)
- ☒ \$425 (single lot/structure LOMR-F)
- ☐ \$500 (single lot/structure CLOMA or CLOMR-F)
- ☐ \$700 (multiple lot/structure LOMR-F following a CLOMR-F, or multiple lot/structure CLOMA)
- ☐ \$800 (multiple lot/structure LOMR-F or CLOMR-F)

Please submit the Payment Information Form for remittance of applicable fees. Please make your check or money order payable to:

**National Flood Insurance Program.**

All documents submitted in support of this request are correct to the best of my knowledge. I understand that any false statement may be punishable by fine or imprisonment under Title 18 of the United States Code, Section 1001.

Applicant's Name (required): Randall Oettinger

Mailing Address (required): 2260 Salscheider Ct.

E-Mail Address (optional): ☒ By checking here you may receive correspondence electronically at the email address provided:

roettinger@mach-iv.com

Date (required) 4/20/20

Company (if applicable): Mach IV Engineering & Surveying

Daytime Telephone No. (required): 920 712-2324

Fax No. (optional):

  
Randall J. Oettinger

Signature of Applicant (required)



DEPARTMENT OF HOMELAND SECURITY - FEDERAL EMERGENCY MANAGEMENT AGENCY  
ELEVATION FORM

O.M.B. NO. 1660-0015  
Expires February 28, 2014

PAPERWORK BURDEN DISCLOSURE NOTICE

Public reporting burden for this data collection is estimated to average 1.25 hours per response. The burden estimate includes the time for reviewing instructions, searching existing data sources, gathering and maintaining the needed data, and completing and submitting the form. This collection is required to obtain or retain benefits. You are not required to respond to this collection of information unless a valid OMB control number is displayed on this form. Send comments regarding the accuracy of the burden estimate and any suggestions for reducing this burden to: Information Collections Management, Department of Homeland Security, Federal Emergency Management Agency, 1800 South Bell Street, Arlington, VA 20598-3005, Paperwork Reduction Project (1660-0015). **NOTE: Do not send your completed form to this address.**

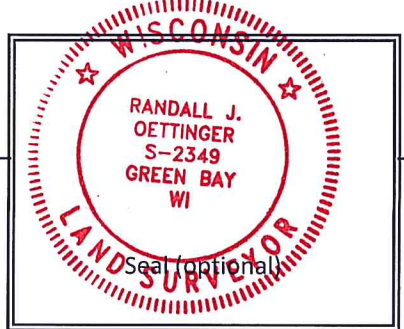
This form must be completed for requests and must be completed and signed by a registered professional engineer or licensed land surveyor. A DHS - FEMA National Flood Insurance Program (NFIP) Elevation Certificate may be submitted in lieu of this form for single structure requests.

For requests to remove a structure on natural grade OR on engineered fill from the Special Flood Hazard Area (SFHA), submit the lowest adjacent grade (the lowest ground touching the structure), **including an attached deck or garage**. For requests to remove an entire parcel of land from the SFHA, provide the lowest lot elevation; or, if the request involves an area described by metes and bounds, provide the lowest elevation within the metes and bounds description. All measurements are to be rounded to nearest tenth of a foot. In order to process your request, all information on this form must be completed **in its entirety**. Incomplete submissions will result in processing delays.

1. NFIP Community Number: 550022 Property Name or Address: 3445 Nicolet Drive, Green Bay, WI
2. Are the elevations listed below based on ☒ **existing** or ☐ **proposed** conditions? (Check one)
3. For the existing or proposed structures listed below, what are the types of construction? (check all that apply)  
☐ crawl space ☐ slab on grade ☒ basement/enclosure ☐ other (explain)
4. Has DHS - FEMA identified this area as subject to land subsidence or uplift? (see instructions) ☐ Yes ☒ No  
If yes, what is the date of the current re-leveling? / (month/year)
5. What is the elevation datum? ☐ NGVD 29 ☒ NAVD 88 ☐ Other (explain)  
If any of the elevations listed below were computed using a datum different than the datum used for the effective Flood Insurance Rate Map (FIRM) (e.g., NGVD 29 or NAVD 88), what was the conversion factor?  
Local Elevation +/- ft. = FIRM Datum
6. Please provide the Latitude and Longitude of the most upstream edge of the **structure** (in decimal degrees to the nearest fifth decimal place):  
Indicate Datum: ☐ WGS84 ☒ NAD83 ☐ NAD27 Lat. 44 . 56914 Long. -87 . 90096  
Please provide the Latitude and Longitude of the most upstream edge of the **property** (in decimal degrees to the nearest fifth decimal place):  
Indicate Datum: ☐ WGS84 ☒ NAD83 ☐ NAD27 Lat. 44 . 56913 Long. -87 . 90063

| Address            | Lot Number | Block Number | Lowest Lot Elevation* | Lowest Adjacent Grade To Structure | Base Flood Elevation | BFE Source |
|--------------------|------------|--------------|-----------------------|------------------------------------|----------------------|------------|
| 3445 Nicolet Drive |            |              | 590.1                 |                                    | 588.2                | Green Bay  |

This certification is to be signed and sealed by a licensed land surveyor, registered professional engineer, or architect authorized by law to certify elevation information. All documents submitted in support of this request are correct to the best of my knowledge. I understand that any false statement may be punishable by fine or imprisonment under Title 18 of the United States Code, Section 1001.

|                                                                                                |                             |                                                                                       |
|------------------------------------------------------------------------------------------------|-----------------------------|---------------------------------------------------------------------------------------|
| Certifier's Name: Randall Oettinger                                                            | License No.: PLS-2349       | Expiration Date: 1/31/22                                                              |
| Company Name: Mach IV Engineering & Surveying                                                  | Telephone No.: 920 712-2324 |  |
| Email: roettinger@mach-iv.com                                                                  | Fax No.                     |                                                                                       |
| Signature:  | Date: 4/20/20               |                                                                                       |

\* For requests involving a portion of property, include the lowest ground elevation within the metes and bounds description.  
Please note: If the Lowest Adjacent Grade to Structure is the only elevation provided, a determination will be issued for the structure only.

[illegible]

|                                                                                                   |                             |                                                                                       |
|---------------------------------------------------------------------------------------------------|-----------------------------|---------------------------------------------------------------------------------------|
| Certifier's Name: Randall Oettinger                                                               | License No.: PLS-2349       | Expiration Date: 1/31/22                                                              |
| Company Name: Mach IV Engineering & Surveying                                                     | Telephone No.: 920 712-2324 |  |
| Email: roettinger@mach-iv.com                                                                     | Fax No.                     |                                                                                       |
| <br>Signature: | Date: 4/20/20               |                                                                                       |

DEPARTMENT OF HOMELAND SECURITY - FEDERAL EMERGENCY MANAGEMENT AGENCY  
**COMMUNITY ACKNOWLEDGMENT FORM**

O.M.B. NO. 1660-0015  
Expires February 28, 2014

**PAPERWORK BURDEN DISCLOSURE NOTICE**

Public reporting burden for this data collection is estimated to average 1.38 hours per response. The burden estimate includes the time for reviewing instructions, searching existing data sources, gathering and maintaining the needed data, and completing and submitting the form. This collection is required to obtain or retain benefits. You are not required to respond to this collection of information unless a valid OMB control number is displayed on this form. Send comments regarding the accuracy of the burden estimate and any suggestions for reducing this burden to: Information Collections Management, Department of Homeland Security, Federal Emergency Management Agency, 1800 South Bell Street, Arlington, VA 20598-3005, Paperwork Reduction Project (1660-0015). NOTE: Do not send your completed form to this address.

This form must be completed for requests involving the existing or proposed placement of fill (complete Section A) **OR** to provide acknowledgment of this request to remove a property from the SFHA which was previously located within the regulatory floodway (complete Section B).

This form must be completed and signed by the official responsible for floodplain management in the community. The six digit NFIP community number and the subject property address must appear in the spaces provided below. Incomplete submissions will result in processing delays. Please refer to the MT-1 instructions for additional information about this form.

Community Number: 550022

Property Name or Address: 3445 Nicolet Drive Green Bay, WI

**A. REQUESTS INVOLVING THE PLACEMENT OF FILL**

As the community official responsible for floodplain management, I hereby acknowledge that we have received and reviewed this Letter of Map Revision Based on Fill (LOMR-F) or Conditional LOMR-F request. Based upon the community's review, we find the completed or proposed project meets or is designed to meet all of the community floodplain management requirements, including the requirement that no fill be placed in the regulatory floodway, and that all necessary Federal, State, and local permits have been, or in the case of a Conditional LOMR-F, will be obtained. For Conditional LOMR-F requests, the applicant has or will document Endangered Species Act (ESA) compliance to FEMA prior to issuance of the Conditional LOMR-F determination. For LOMR-F requests, I acknowledge that compliance with Sections 9 and 10 of the ESA has been achieved independently of FEMA's process. Section 9 of the ESA prohibits anyone from "taking" or harming an endangered species. If an action might harm an endangered species, a permit is required from U.S. Fish and Wildlife Service or National Marine Fisheries Service under Section 10 of the ESA. For actions authorized, funded, or being carried out by Federal or State agencies, documentation from the agency showing its compliance with Section 7(a)(2) of the ESA will be submitted. In addition, we have determined that the land and any existing or proposed structures to be removed from the SFHA are or will be reasonably safe from flooding as defined in 44CFR 65.2(c), and that we have available upon request by DHS-FEMA, all analyses and documentation used to make this determination. For LOMR-F requests, we understand that this request is being forwarded to DHS-FEMA for a possible map revision.

Community Comments:

Community Official's Name and Title: (Please Print or Type)  
Paul Neumeyer- Zoning Administrator

Telephone No.:  
(920) 448-3405

Community Name:  
Green Bay

Community Official's Signature: (required)

Date:  
4-29-20

**B. PROPERTY LOCATED WITHIN THE REGULATORY FLOODWAY**

As the community official responsible for floodplain management, I hereby acknowledge that we have received and reviewed this request for a LOMA. We understand that this request is being forwarded to DHS-FEMA to determine if this property has been inadvertently included in the regulatory floodway. We acknowledge that no fill on this property has been or will be placed within the designated regulatory floodway. We find that the completed or proposed project meets or is designed to meet all of the community floodplain management requirements.

Community Comments:

Community Official's Name and Title: (Please Print or Type)  
Paul Neumeyer-Zoning Administrator

Telephone No.:  
(920) 448-3405

Community Name:  
City of Green Bay

Community Official's Signature (required):

Date:

FEDERAL EMERGENCY MANAGEMENT AGENCY  
PAYMENT INFORMATION FORM

Community Name: 550022

Project Identifier: #1723-01-20 Michael & Teresa Bray Removal

THIS FORM MUST BE MAILED, ALONG WITH THE APPROPRIATE FEE, TO THE ADDRESS BELOW OR FAXED TO THE FAX NUMBER BELOW.

Please make check or money order payable to the National Flood Insurance Program.

Type of Request:

☒ MT-1 application }  
☐ MT-2 application }

LOMC Clearinghouse  
847 South Pickett Street  
Alexandria, VA 22304-4605  
Attn.: LOMC Manager

☐ EDR application }

FEMA Project Library  
847 South Pickett Street  
Alexandria, VA 22304-4605  
FAX (703) 212-4090



Request No. (if known): \_\_\_\_\_

Check No.: 7470

Amount: \$425

☐ INITIAL FEE\* ☒ FINAL FEE ☐ FEE BALANCE\*\* ☐ MASTER CARD ☐ VISA ☒ CHECK ☐ MONEY ORDER

\*Note: Check only for EDR and/or Alluvial Fan requests (as appropriate).

\*\*Note: Check only if submitting a corrected fee for an ongoing request.

COMPLETE THIS SECTION ONLY IF PAYING BY CREDIT CARD

CARD NUMBER

EXP. DATE

|   |   |   |   |   |   |   |   |   |    |    |    |    |    |    |    |
|---|---|---|---|---|---|---|---|---|----|----|----|----|----|----|----|
| 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 | 16 |
|---|---|---|---|---|---|---|---|---|----|----|----|----|----|----|----|

|       |      |
|-------|------|
| Month | Year |
|-------|------|

Date \_\_\_\_\_

Signature \_\_\_\_\_

NAME (AS IT APPEARS ON CARD): \_\_\_\_\_  
(please print or type)

ADDRESS: \_\_\_\_\_  
(for your credit card receipt-please print or type)

DAYTIME PHONE: \_\_\_\_\_



## Zoning & Planning Board of Appeals

# VARIANCE APPLICATION

Department of Community  
and Economic Development  
100 N. Jefferson Street, Rm 608  
Green Bay, WI 54301-5026  
(920) 448-3300 - phone  
(920) 448-3426 - fax  
[www.greenbaywi.gov](http://www.greenbaywi.gov)

**Application Deadline: First Tuesday of the Month at 12 Noon.**

Date: 5/5/2020 Project Address: 631 S. Adams Street Project #: \_\_\_\_\_ Appeal #: \_\_\_\_\_

| PROPERTY OWNER                              | APPLICANT INFORMATION                       |
|---------------------------------------------|---------------------------------------------|
| <b>Name:</b> City of Green Bay              | <b>Name:</b> Green Bay Water Utility        |
| <b>Address:</b> 100 N. Jefferson Street     | <b>Address:</b> 631 S. Adams Street         |
| <b>City, State, Zip:</b> Green Bay WI 54301 | <b>City, State, Zip:</b> Green Bay WI 54305 |
| <b>Phone:</b> 920.448-3010                  | <b>Phone:</b> 920.448-3480                  |
| <b>Email:</b> KrisTe@greenbaywi.gov         | <b>Email:</b> NancyQu@greenbaywi.gov        |

**Describe proposed plan:**

See attached

**List variances required to implement the proposed plan (include ordinance numbers and short explanation of each):**

See attached

**Describe what hardships are imposed by zoning ordinances listed in section above making conformity unfeasible or unnecessarily burdensome:**

See attached

**Describe what unique physical characteristics affect this property which prevent you from complying with the zoning ordinance:**

See attached

**Describe how granting this variance will neither harm public interest nor undermine the purpose of the ordinance:**

See attached

**Prepare and submit a copy of a site plan (NO LARGER THAN 11X17) detailing your request completely and any additional information which will support your variance request.**

Electronically signed by Nancy Quirk

**Signature of Applicant**

*Nancy Quirk*

5/5/2020

**Date**

|                                             |                            |                                                             |
|---------------------------------------------|----------------------------|-------------------------------------------------------------|
| <b>OFFICE USE ONLY:</b>                     | <b>Parcel#</b>             | <b>Residential \$75</b> _____ <b>Commercial \$150</b> _____ |
| <b>District:</b> _____ <b>Zoning:</b> _____ | <b>Meeting Date:</b> _____ | <b>Receipt #:</b> _____                                     |

**OWNER/SITE ADDRESS**  
GREEN BAY WATER UTILITY  
631 S. ADAMS ST.  
GREEN BAY, WI 54305  
(920)-448-3480  
KRISTINRO@GREENBAYWI.GOV

**ARCHITECT**  
SEH ARCHITECTS  
425 W. WATER ST.  
SUITE 300  
APPLETON, WI 54911

| LEGEND |                                                                      |
|--------|----------------------------------------------------------------------|
| ( )    | INDICATES RECORDED DIMENSION WHERE DIFFERENT FROM ACTUAL MEASUREMENT |
| OR     | SECTION OR 1/4 SECTION CORNER AS DESCRIBED                           |
| ○      | 1" DIA. IRON PIPE FOUND (UNLESS OTHERWISE NOTED)                     |
| ○      | 1" DIA. IRON PIPE, 18" LONG-SET (UNLESS OTHERWISE NOTED)             |
| ○      | SNOW POLE                                                            |
| ○      | SOIL BORING/MONITORING WELL                                          |
| ○      | FLAGPOLE                                                             |
| ○      | MAILBOX                                                              |
| ○      | SIGN                                                                 |
| ○      | BILLBOARD                                                            |
| ○      | CONTROL BOX                                                          |
| ○      | TRAFFIC SIGNAL                                                       |
| ○      | RAILROAD CROSSING SIGNAL                                             |
| ○      | CABLE PEDESTAL                                                       |
| ○      | POWER POLE                                                           |
| ○      | GUY POLE                                                             |
| ○      | GUY WIRE                                                             |
| ○      | LIGHT POLE                                                           |
| ○      | SPOT/YARD/PEDESTAL LIGHT                                             |
| ○      | HANDICAPPED PARKING                                                  |
| ○      | ELECTRIC MANHOLE                                                     |
| ○      | ELECTRIC PEDESTAL                                                    |
| ○      | ELECTRIC METER                                                       |
| ○      | TELEPHONE MANHOLE                                                    |
| ○      | TELEPHONE PEDESTAL                                                   |
| ○      | CONCRETE APRON ENDWALL                                               |
| ○      | APRON ENDWALL                                                        |
| ○      | GAS VALVE                                                            |
| ○      | GAS METER                                                            |
| ○      | GAS WARNING SIGN                                                     |
| ○      | STORM MANHOLE                                                        |
| ○      | ROUND INLET                                                          |
| ○      | SQUARE INLET                                                         |
| ○      | STORM SEWER END SECTION                                              |
| ○      | SANITARY MANHOLE                                                     |
| ○      | SANITARY CLEANOUT OR SEPTIC VENT                                     |
| ○      | SANITARY INTERCEPTOR MANHOLE                                         |
| ○      | MISCELLANEOUS MANHOLE                                                |
| ○      | WATER VALVE                                                          |
| ○      | HYDRANT                                                              |
| ○      | WATER SERVICE CURB STOP                                              |
| ○      | WATER MANHOLE                                                        |
| ○      | WELL                                                                 |
| ○      | WATER SURFACE                                                        |
| ○      | WETLANDS FLAG                                                        |
| ○      | MARSH                                                                |
| ○      | CONIFEROUS TREE                                                      |
| ○      | DECIDUOUS TREE                                                       |
| ○      | SHRUB                                                                |
| ○      | —EDGE OF TREES                                                       |
| ○      | —SANITARY SEWER                                                      |
| ○      | —STORM SEWER                                                         |
| ○      | —WATERMAIN                                                           |
| ○      | —MARKED GAS MAIN                                                     |
| ○      | —MARKED ELECTRIC                                                     |
| ○      | —OVERHEAD WIRES                                                      |
| ○      | —MARKED TELEPHONE                                                    |
| ○      | —MARKED CABLE TV LINE                                                |
| ○      | —MARKED FIBER OPTIC                                                  |
| ○      | INDICATES CONTOUR ELEVATION                                          |
| ○      | INDICATES SPOT ELEVATION                                             |

**WATER, SANITARY, STORM LOADS**

EXISTING 3" WATER SERVICE (SERVED FROM EXISTING 6" SERVICE TO METER TESTING ROOM): 110 GPM

EXISTING 6" SANITARY SEWER SERVING OFFICE: 125.5 DFUs

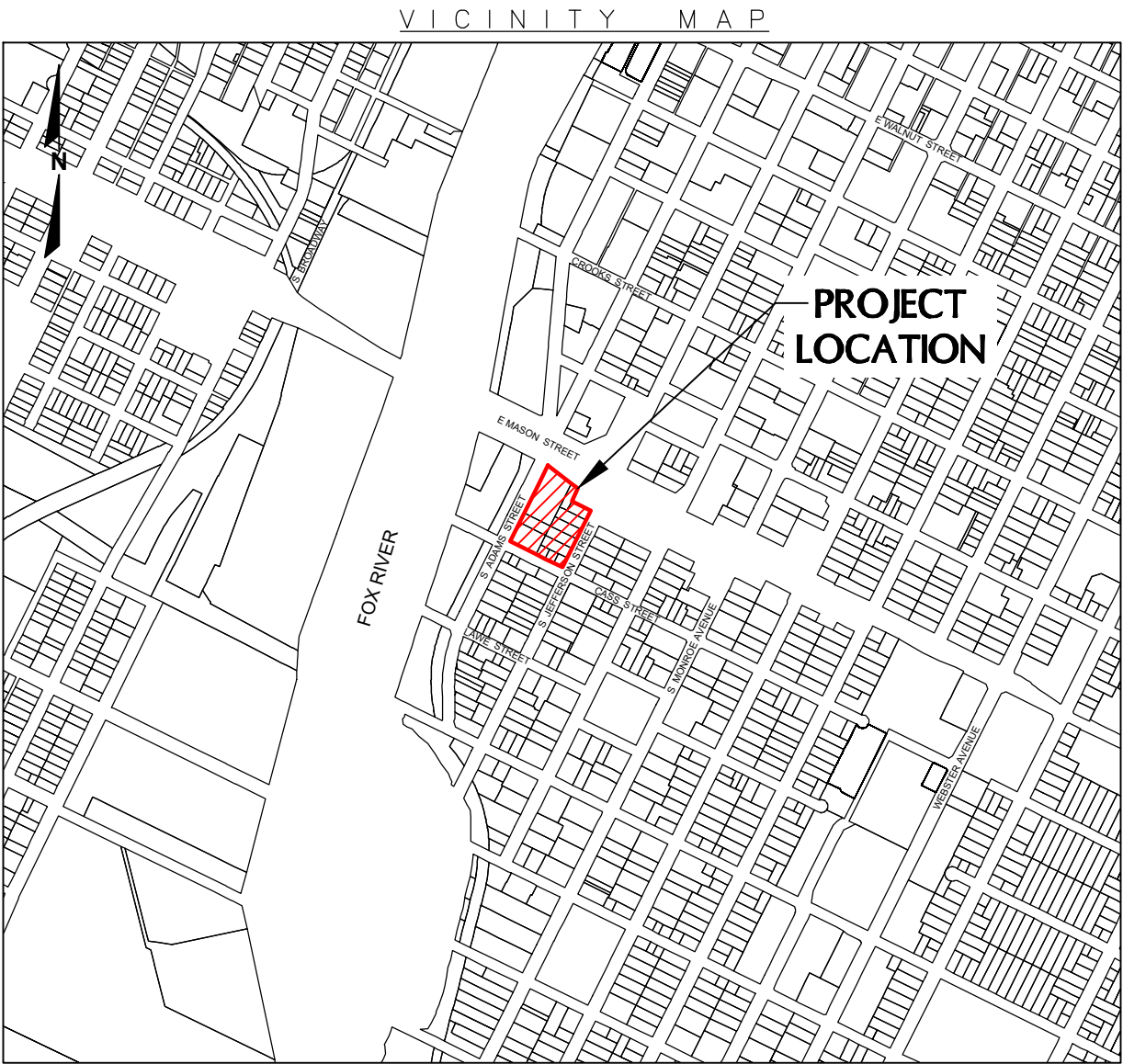
NEW 4" SANITARY SEWER FOR ADDITION: 87.5 DFUs

NEW 8" STORM DRAIN FOR NEW ADDITION: 412 GPM



# GREEN BAY WATER UTILITY ADDITION/RENOVATION

## CITY OF GREEN BAY BROWN COUNTY, WISCONSIN



100 West Lawrence Street, Suite 412  
Appleton, WI 54911-5754  
(920) 731-3499  
rasmith.com



Short Elliott Hendrickson Inc.  
425 West Water Street, Suite 300  
Appleton, WI 54911-6058  
920.380.2800 main | 888.908.8166 fax  
888.413.4214 toll free | www.sehinc.com

DESIGN  
DEVELOPMENT

| PLAN INDEX |                                |
|------------|--------------------------------|
| SHEET NO.  | DESCRIPTION                    |
| C000       | COVER SHEET                    |
| C100       | EXISTING CONDITIONS            |
| C101       | DEMOLITION PLAN                |
| C200       | SITE PLAN                      |
| C300       | UTILITY PLAN                   |
| C400-C401  | GRADING & EROSION CONTROL PLAN |
| C500       | LANDSCAPE PLAN                 |
| C600-C602  | DETAILS                        |

**BUILDING INFORMATION**

BUILDING A (OFFICE)  
TYPE II-B, MIXED USE NONSEPERATED GROUP B OCCUPANCY

BUILDING B (STORAGE)  
TYPE II-B, MIXED USE SEPERATE GROUPS A-3, S-1, AND S-2 OCCUPANCIES

ZONING DISTRICT = PI (PUBLIC/INSTITUTIONAL)

**SITE STATISTICS**

TOTAL DISTURBANCE AREA = 0.99 ACRES

EXISTING IMPERVIOUS AREA = 0.48 ACRES  
EXISTING PERVIOUS AREA = 0.51 ACRES

PROPOSED IMPERVIOUS AREA = 0.82 ACRES  
PROPOSED PERVIOUS AREA = 0.17 ACRES

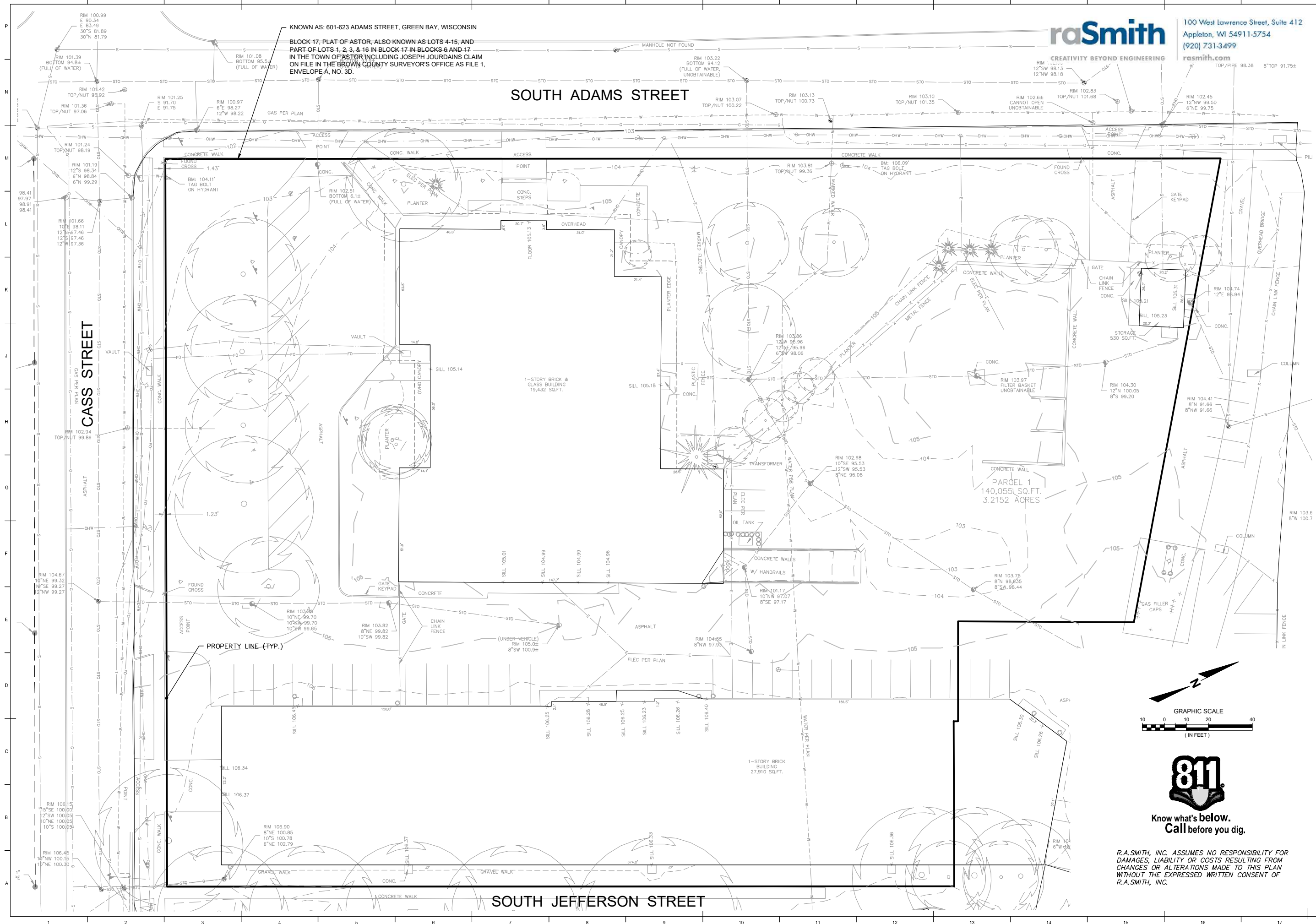
NET INCREASE IMPERVIOUS AREA = 0.34 ACRES

GREEN BAY WATER UTILITY  
ADDITION /  
RENOVATION  
GREEN BAY, WISCONSIN

SEH FILE NO. 12-20-19  
ISSUE DATE BH  
DESIGN BY BH  
DRAWN BY RMM  
PROJECT MGR BH  
© 2013 Short Elliott Hendrickson, Inc.

SHEET CONTENTS  
COVER SHEET

C000



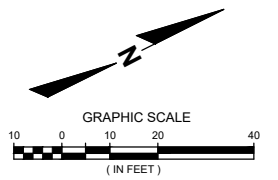
**raSmith**  
CREATIVITY BEYOND ENGINEERING  
100 West Lawrence Street, Suite 412  
Appleton, WI 54911-5754  
(920) 731-3499  
rasmith.com

KNOWN AS: 601-623 ADAMS STREET, GREEN BAY, WISCONSIN  
BLOCK 17, PLAT OF ASTOR; ALSO KNOWN AS LOTS 4-15; AND  
PART OF LOTS 1, 2, 3, & 16 IN BLOCK 17 IN BLOCKS 6 AND 17  
IN THE TOWN OF ASTOR INCLUDING JOSEPH JOURDAINS CLAIM  
ON FILE IN THE BROWN COUNTY SURVEYOR'S OFFICE AS FILE 1,  
ENVELOPE A, NO. 3D.

**SOUTH ADAMS STREET**

**CASS STREET**

**SOUTH JEFFERSON STREET**



R.A.SMITH, INC. ASSUMES NO RESPONSIBILITY FOR  
DAMAGES, LIABILITY OR COSTS RESULTING FROM  
CHANGES OR ALTERATIONS MADE TO THIS PLAN  
WITHOUT THE EXPRESSED WRITTEN CONSENT OF  
R.A.SMITH, INC.

**Short Elliott Hendrickson Inc.**  
425 West Water Street, Suite 300  
Appleton, WI 54911-6058  
920.380.2800 main | 988.908.8166 fax  
888.413.4214 toll free | www.sehinc.com

**DESIGN  
DEVELOPMENT**

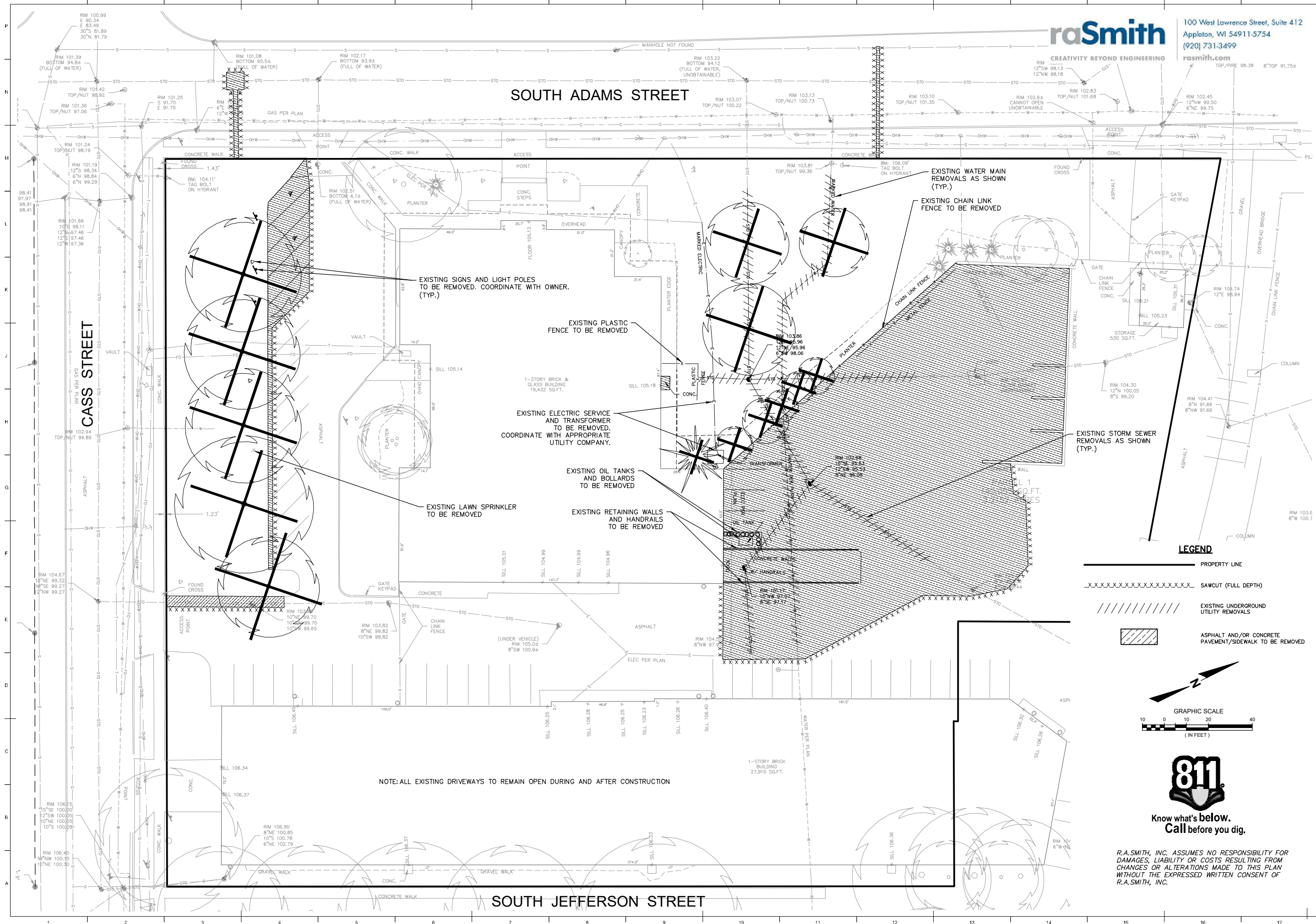
| MARK | DATE | DESCRIPTION |
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GREEN BAY WATER UTILITY  
**ADDITION /  
RENOVATION**  
GREEN BAY, WISCONSIN

SEH FILE NO. 12-20-19  
ISSUE DATE 12-20-19  
DESIGN BY BH  
DRAWN BY RMM  
PROJECT MGR BH  
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**EXISTING  
CONDITIONS**

**C100**



**raSmith**  
CREATIVITY BEYOND ENGINEERING  
raSmith.com

100 West Lawrence Street, Suite 412  
Appleton, WI 54911-5754  
(920) 731-3499



Short Elliott Hendrickson Inc.  
425 West Water Street, Suite 300  
Appleton, WI 54911-6058  
920.380.2800 main | 988.908.8166 fax  
888.413.4214 toll free | www.sehinc.com

**DESIGN  
DEVELOPMENT**

| MARK | DATE | DESCRIPTION |
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GREEN BAY WATER UTILITY  
**ADDITION /  
RENOVATION**  
GREEN BAY, WISCONSIN

SEH FILE NO. 12-20-19  
ISSUE DATE 12-20-19  
DESIGN BY BH  
DRAWN BY RMM  
PROJECT MGR BH  
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**DEMOLITION  
PLAN**

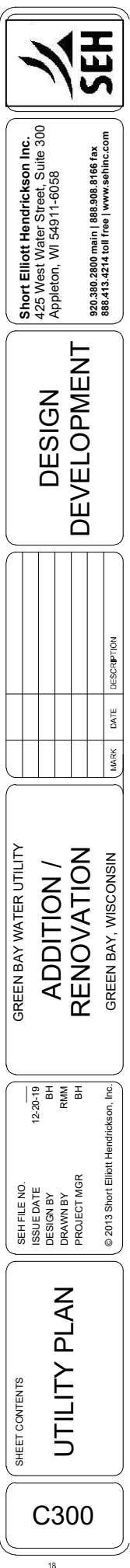
C101



Know what's below.  
Call before you dig.

R.A.SMITH, INC. ASSUMES NO RESPONSIBILITY FOR  
DAMAGES, LIABILITY OR COSTS RESULTING FROM  
CHANGES OR ALTERATIONS MADE TO THIS PLAN  
WITHOUT THE EXPRESSED WRITTEN CONSENT OF  
R.A.SMITH, INC.





LEGEND

- INDICATES EXISTING PROPERTY LINE
- SILT FENCE (SEE DETAIL)
- SURFACE WATER FLOW
- INLET PROTECTION TYPE D (SEE DETAIL)
- PROPOSED CONTOUR & SPOT GRADE
- EXISTING CONTOUR & SPOT GRADE
- EXISTING SPOT GRADE TO MATCH
- PROPOSED CURB & GUTTER FLANGE LINE OR FINISHED SPOT GRADE
- PROPOSED CURB & GUTTER FLANGE LINE HIGH POINT SPOT GRADE
- OVERLAND FLOW PATH

EROSION AND SEDIMENT CONTROL NARRATIVE:

CONSTRUCTION IS INTENDED TO TAKE PLACE FROM JUNE 2020 TO MARCH 2021. THE SITE WILL NOT REQUIRE ANY BMP'S. THE SITE WILL BE EXCAVATED TO THE REQUIRED SUBGRADE ELEVATIONS AND AGGREGATE BASE COURSE WILL BE PLACED AND COMPACTED FOR THE ASPHALT YARD/PARKING LOT AND BUILDING SLAB. THE SITE WILL BE GRADED TO ACHIEVE PROPER TOPOGRAPHY FOR DRAINAGE AND THE STORM SEWER CATCH BASINS AND MANHOLES, AND OTHER APPURTENANCES WILL BE CONSTRUCTED. THE BUILDING WILL BE CONSTRUCTED ONCE THE SITE IS GRADED. THE BITUMINOUS PAVEMENT PARKING AREA WILL BE PAVED ONCE THE BUILDING IS BUILT. DISTURBED PERVIOUS AREAS WILL BE PREPARED WITH TOPSOIL AND SEEDING WITH LAWN SEED AND MULCHED IN A REASONABLE MANNER TO REDUCE THE AMOUNT OF TIME OF EXPOSED BARE SOIL. IF ANY AREAS ARE TO BE INACTIVE FOR LONGER THAN FOURTEEN DAYS, TEMPORARY GRADING AND SEEDING IS REQUIRED. THE SITE SOIL CONSISTS OF KEWAUNEE SILT LOAM (40%) AND UDORTHENTS (60%). KEWAUNEE SOIL IS HYDROLOGIC SOIL GROUP C, UDORTHENTS IS HYDROLOGIC SOIL GROUP A.

THE FOLLOWING SITE EROSION AND SEDIMENT CONTROL STANDARDS ARE TO BE USED:

- MULCHING FOR CONSTRUCTION SITES - TECHNICAL STANDARD 1058
- SEEDING - TECHNICAL STANDARD 1059
- SILT FENCE - TECHNICAL STANDARD 1056
- GRADING PRACTICES FOR EROSION CONTROL - TEMPORARY - TECHNICAL STANDARD 1067 (IF NEEDED)
- STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITES - TECHNICAL STANDARD 1060

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CONSTRUCTION SCHEDULE (JUNE 2020 - MARCH 2021)

- INSTALL EROSION CONTROL DEVICES (SILT FENCE AND INLET PROTECTION)
- STRIP TOPSOIL WITHIN JOB LIMITS
- REMOVE PAVEMENT WITHIN JOB LIMITS
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- INSTALL STORMWATER SYSTEM
- INSTALL AGGREGATE BASE COURSE FOR BUILDING PAD AND PARKING/YARD AREA
- CONSTRUCT BUILDING
- GRADE, TOPSOIL, MULCH AND SEED NON-IMPERVIOUS AREAS
- INSTALL BITUMINOUS PARKING/YARD AREA
- REMOVE TEMPORARY EROSION AND SEDIMENT CONTROL

GENERAL NOTES:

- ALL SPOT GRADES ARE TO THE CURB FLANGE LINE OR FINISHED PAVEMENT GRADE UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL PROVIDE EROSION CONTROL FACILITIES IN ACCORDANCE WITH THE MUNICIPALITY EROSION CONTROL ORDINANCE AND THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS.
- ACCESSIBLE PARKING AREAS TO HAVE SLOPES NO GREATER THAN 2% IN ANY DIRECTION.
- CONTRACTOR SHALL PREPARE ALL SUBGRADE AREAS NOT COVERED BY BUILDING OR PAVEMENT TO AN ELEVATION OF 4" BELOW FINISHED GRADE. REFER TO LANDSCAPE SPECIFICATIONS FOR SUBGRADE PREPARATION WITHIN PLANTING AREAS.
- ANY SEDIMENT TRACKED ONTO A PUBLIC OR PRIVATE ROAD SHOULD BE REMOVED BY STREET CLEANING, NOT FLUSHING, BEFORE THE END OF EACH WORKING DAY.

raSmith  
CREATIVITY BEYOND ENGINEERING

100 West Lawrence Street, Suite 412  
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(920) 731-3499  
rasmith.com



Short Elliott Hendrickson Inc.  
425 West Water Street, Suite 300  
Appleton, WI 54911-6058  
920.380.2800 main | 888.908.8166 fax  
888.413.4214 toll free | www.sehinc.com

DESIGN  
DEVELOPMENT

GREEN BAY WATER UTILITY  
ADDITION /  
RENOVATION  
GREEN BAY, WISCONSIN

SEH FILE NO. 12-20-19  
ISSUE DATE 12-20-19  
DESIGN BY BH  
DRAWN BY RMM  
PROJECT MGR BH

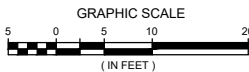
SHEET CONTENTS  
GRADING &  
EROSION  
CONTROL PLAN

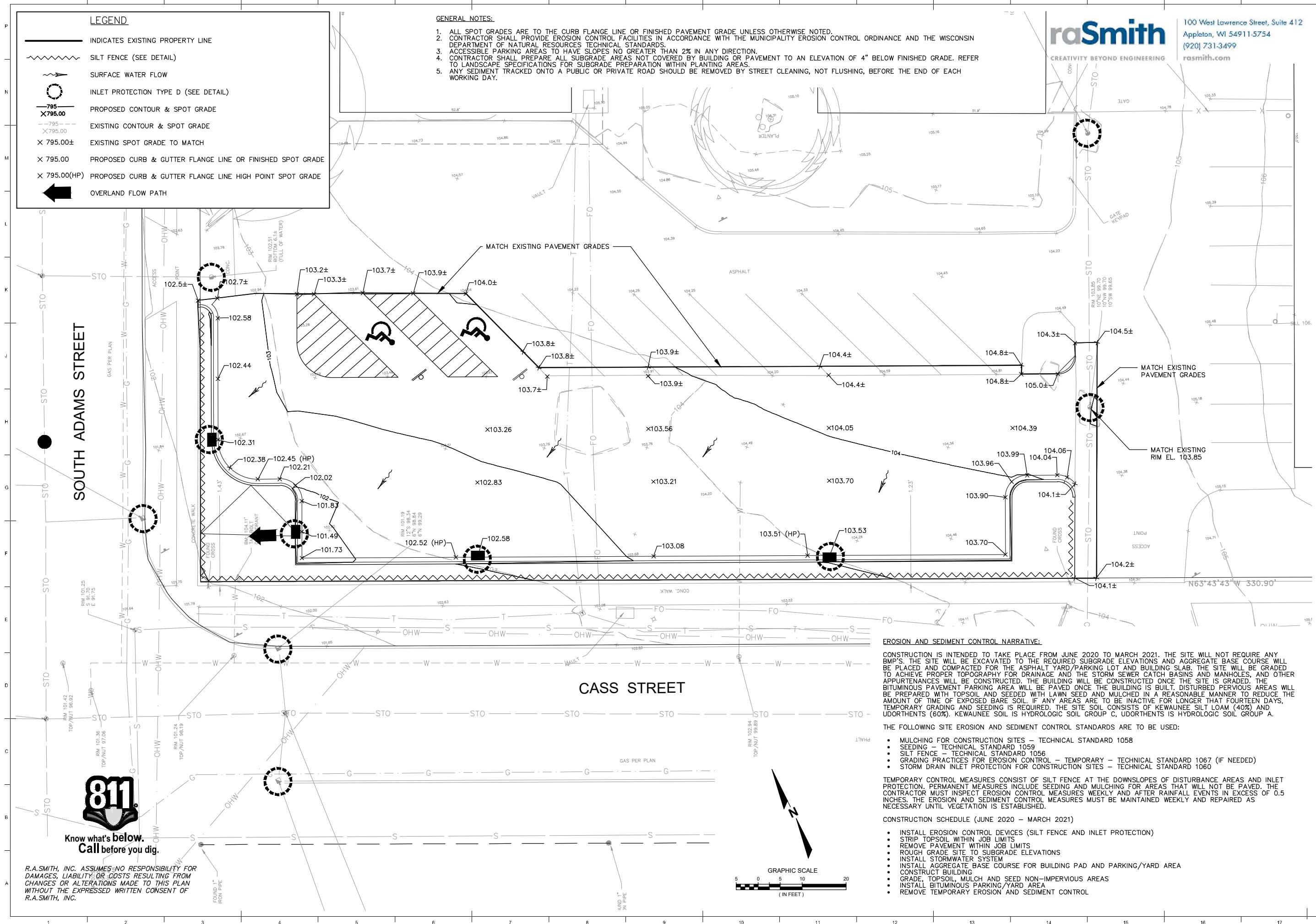
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LEGEND

- INDICATES EXISTING PROPERTY LINE
- SILT FENCE (SEE DETAIL)
- SURFACE WATER FLOW
- INLET PROTECTION TYPE D (SEE DETAIL)
- PROPOSED CONTOUR & SPOT GRADE
- EXISTING CONTOUR & SPOT GRADE
- EXISTING SPOT GRADE TO MATCH
- PROPOSED CURB & GUTTER FLANGE LINE OR FINISHED SPOT GRADE
- PROPOSED CURB & GUTTER FLANGE LINE HIGH POINT SPOT GRADE
- OVERLAND FLOW PATH

GENERAL NOTES:

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DESIGN DEVELOPMENT

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ADDITION / RENOVATION

| SEH FILE NO. | ISSUE DATE | 12-20-19 | BH |
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GRADING & EROSION CONTROL PLAN

C401

**EROSION AND SEDIMENT CONTROL NARRATIVE:**

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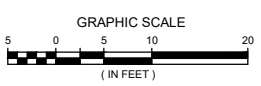
**THE FOLLOWING SITE EROSION AND SEDIMENT CONTROL STANDARDS ARE TO BE USED:**

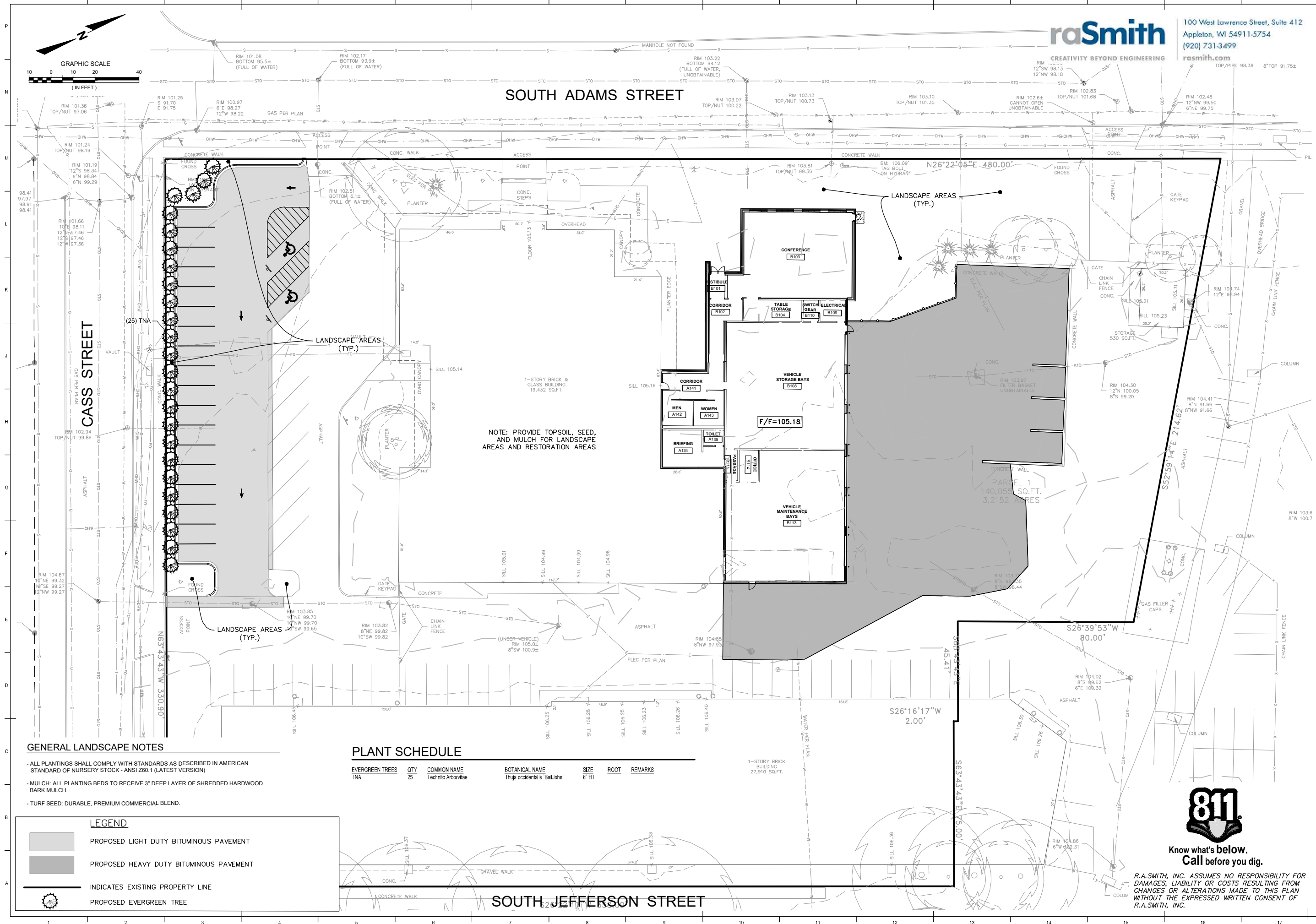
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**DESIGN  
DEVELOPMENT**

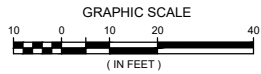
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GREEN BAY WATER UTILITY  
**ADDITION /  
RENOVATION**  
GREEN BAY, WISCONSIN

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| SEH FILE NO. | 12-20-16 |
| ISSUE DATE   | BH       |
| DESIGN BY    | RMM      |
| DRAWN BY     | BH       |
| PROJECT MGR  |          |

**LANDSCAPE  
PLAN**

**C500**



- GENERAL LANDSCAPE NOTES**
- ALL PLANTINGS SHALL COMPLY WITH STANDARDS AS DESCRIBED IN AMERICAN STANDARD OF NURSERY STOCK - ANSI Z60.1 (LATEST VERSION)
  - MULCH: ALL PLANTING BEDS TO RECEIVE 3" DEEP LAYER OF SHREDDED HARDWOOD BARK MULCH.
  - TURF SEED: DURABLE, PREMIUM COMMERCIAL BLEND.

**LEGEND**

- PROPOSED LIGHT DUTY BITUMINOUS PAVEMENT
- PROPOSED HEAVY DUTY BITUMINOUS PAVEMENT
- INDICATES EXISTING PROPERTY LINE
- PROPOSED EVERGREEN TREE

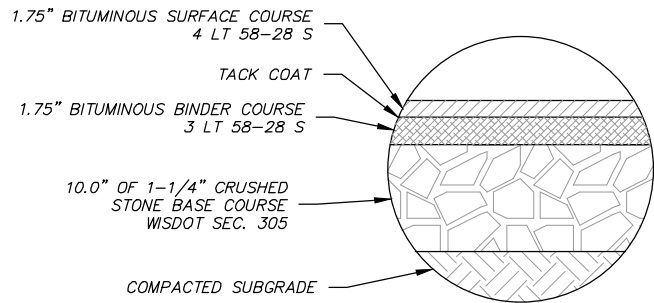
**PLANT SCHEDULE**

| EVERGREEN TREES | QTY | COMMON NAME        | BOTANICAL NAME              | SIZE  | ROOT | REMARKS |
|-----------------|-----|--------------------|-----------------------------|-------|------|---------|
| TNA             | 25  | Tectinio Arbovitae | Thuja occidentalis 'BaJohn' | 6' HT |      |         |

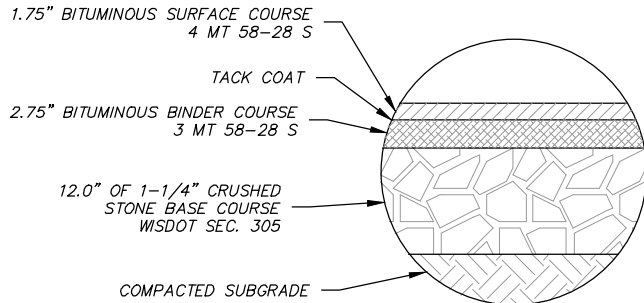
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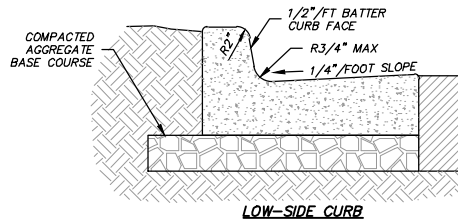




**BITUMINOUS PAVEMENT (LIGHT DUTY)**



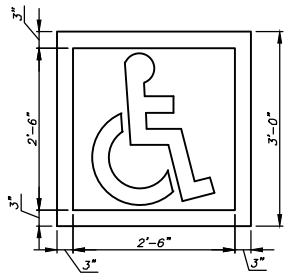
**BITUMINOUS PAVEMENT (HEAVY DUTY)**



**LOW-SIDE CURB**

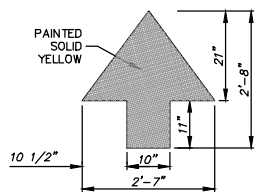
- NOTES:**  
 A) 3500 PSI CONCRETE SHALL BE USED IN CONSTRUCTION OF THE CURB & GUTTER.  
 B) THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE SLOPE OF THE GUTTER PAN.  
 C) FOR DEPRESSED CURB HEAD SLOPE, USE THE SAME SLOPE AS ADJACENT SIDEWALK.  
 D) THE BOTTOM OF THE CURB AND GUTTER MAY BE CONSTRUCTED EITHER LEVEL OR PARALLEL TO THE SLOPE OF THE SUBGRADE OR BASE AGGREGATE PROVIDE MINIMUM 6" GUTTER THICKNESS MAINTAINED. TRANSVERSE CONTRACTION JOINTS SHALL BE CUT OR SAWED AT MAXIMUM 20 FOOT INTERVALS.  
 E) 1/2" PREFORMED EXPANSION JOINT FILLER SHALL BE PLACED TRANSVERSELY IN THE CURB ABUTTING EXISTING CURB AND SIDEWALK, WALLS OR BUILDINGS, AND AT INTERVALS NOT TO EXCEED 300 FEET, WITH PREFERRED LOCATIONS BEING AT RADIUS POINTS OR ANGLE POINTS.

**CONCRETE CURB & GUTTER 18"**

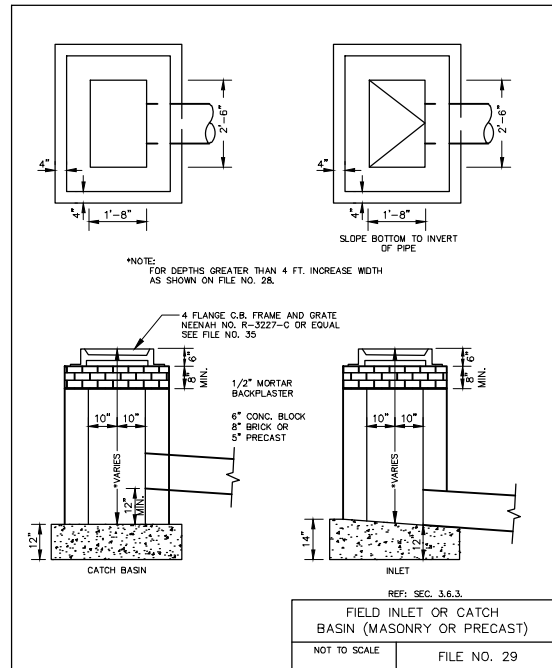
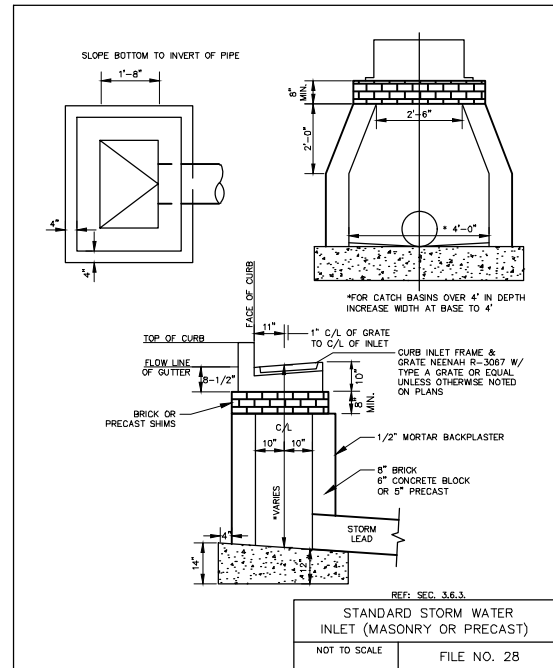
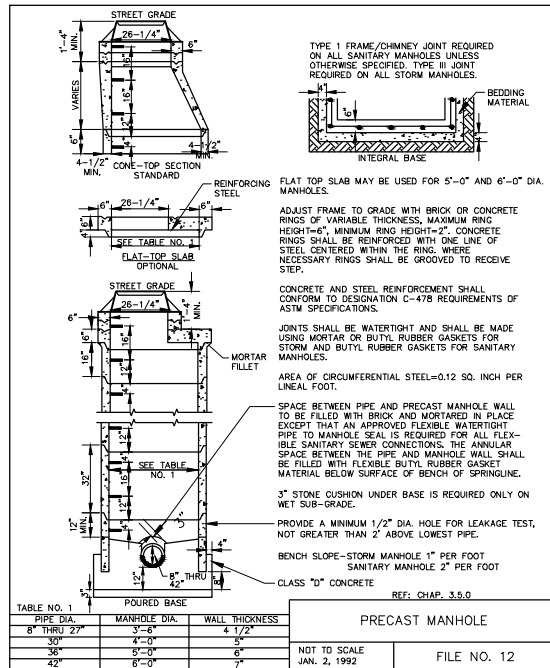


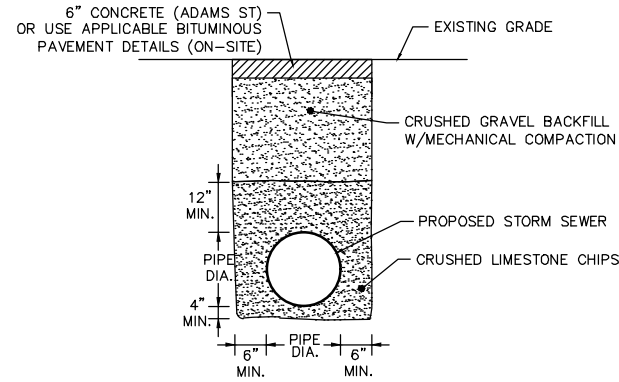
- ADA SYMBOL NOTES:**  
 A. ALL STROKES TO BE 3" WIDE.  
 B. PROVIDE TWO COATS OF PAINT MINIMUM.  
 C. BLUE BACKGROUND WITH WHITE SYMBOL.  
 D. LOCATE SYMBOL AT CENTER OF STALL WHERE SHOWN ON SITE PLAN.  
 E. ONE SYMBOL FOR EACH ADA PARKING SPACE.

**PAINTED SYMBOL**  
 FOR ALL ACCESSIBLE AND  
 VAN ACCESSIBLE SPACES

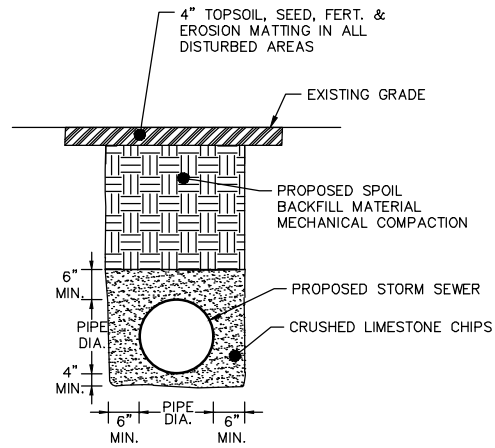


**PARKING LOT**  
**DIRECTIONAL ARROW**

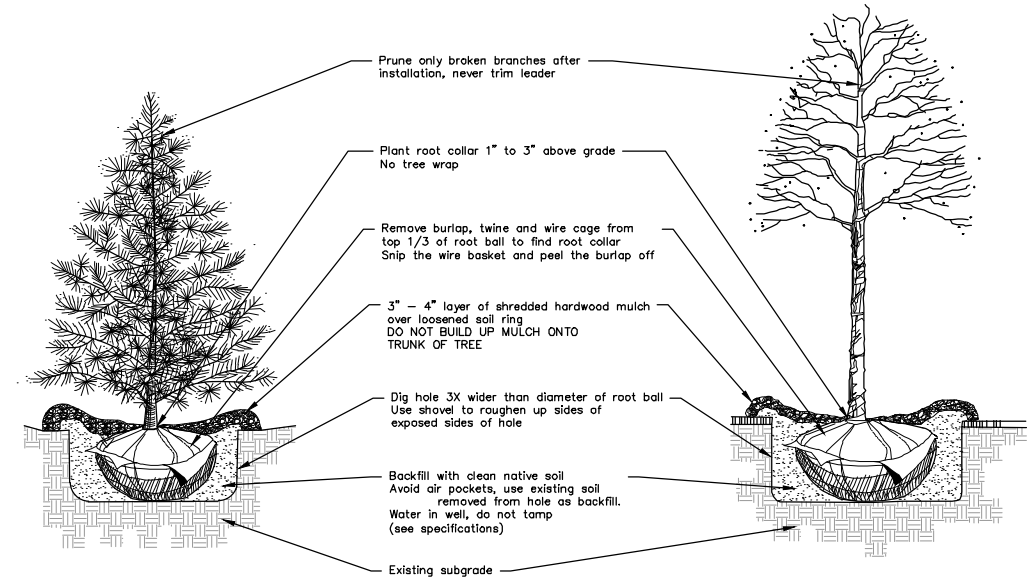




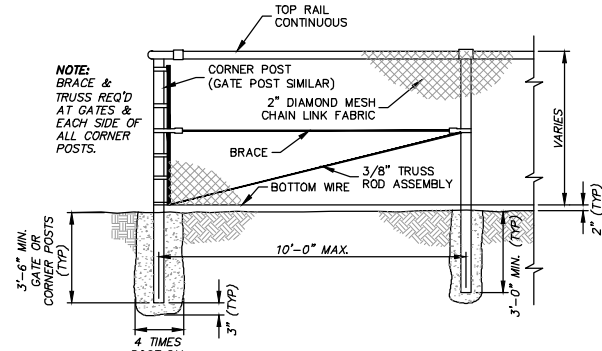
**UTILITY TRENCH DETAIL (PAVEMENT AREAS)**



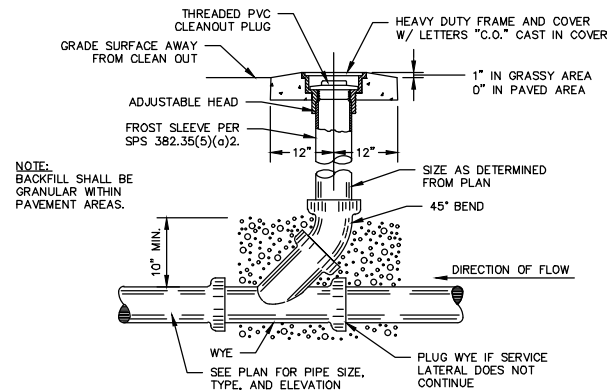
**UTILITY TRENCH DETAIL (NON-PAVEMENT AREAS)**



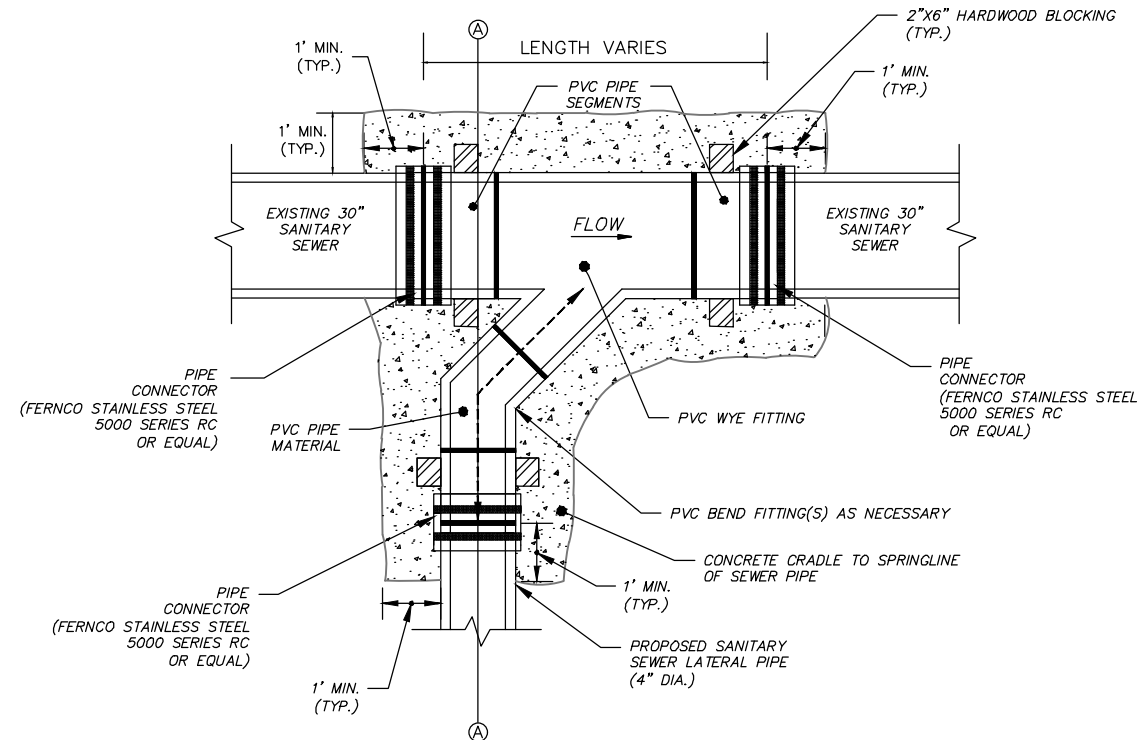
**TREE PLANTING DETAIL**



**CHAIN LINK FENCE**



**SANITARY SEWER CLEAN-OUT DETAIL**



**PROPOSED LATERAL CONNECTION AT EXISTING SANITARY SEWER**



# **Green Bay Water Utility**

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## **MEMORANDUM**

**To: Zoning and Planning Board of Appeals**

**From: Green Bay Water Utility**

**Date: 5/5/2020**

**Re: Variance Application, 631 S. Adams Street, Green Bay**

Please see the information included for the Variance Application for 631 S. Adams Street:

**Describe proposed plan:**

Green Bay Water Utility Building addition and parking lot expansion:

The proposed plan includes remodeling the existing office space, addition of fleet maintenance bays and vehicle storage bays, and a meeting space to meet the existing and growing demands of the utility's administrative, billing, operational, and maintenance functions for the City of Green Bay. The project involves reconstruction work necessary to tie into the surrounding site's pavements, utilities, and structures, as well as new storm water management features for peak flow reduction and TSS removal and expanded parking surfaces for employees, visitors, and customers.

**List variances required to implement the proposed plan (include ordinance numbers and short explanation of each):**

1. A variance to the 15' front and corner side yard building and pavement setback required per Chapter 13-1003, Table 10-2 Green Bay Zoning Code is required to allow expansion of the existing south parking lot that fronts both S. Adams Street and Cass Street.
2. A variance to the maximum impervious area of 80 percent required per Chapter 13-1003, Table 10-2, Green Bay Zoning Code is required to allow expansion of the existing south parking lot, as well as the building expansion.

**Describe what hardships are imposed by zoning ordinances listed in section above making conformity unfeasible or unnecessarily burdensome:**

The project site includes the central operation of Green Bay Water Utility, who treats and distributes water from Lake Michigan to City of Green Bay as well as to our wholesale municipalities. This facility houses a wide variety of functions necessary for daily and emergency operations of the utility: administration, Commission, billing services (water billing and fire protection and sewer utility billing), pumping and distribution maintenance, fleet maintenance, material storage, customer service, drive through payment window service, engineering, and one of our back-up municipal wells. On average, there are 57 staff members who operate daily out of this facility, plus we store and operate 87 fleet vehicles and equipment, including dump trucks, loaders, excavators, crew trucks, passenger vehicles, trailers. From this facility, we also provide 24/7 emergency maintenance response for our customers and community. Limiting the setback and impervious amount of this property will:

- 1) Limit the visitor and customer parking;



# Green Bay Water Utility

---

## MEMORANDUM

- 2) Increase the amount of daily employee on-street parking occurring in front of adjacent residential properties on Cass Street;
- 3) Reduce the quantity of material storage available for maintenance and emergency response;
- 4) Reduce the controlled climate vehicle/equipment storage to respond to cold-weather operations.

These effects collectively impact our ability to efficiently function in our different roles and respond to the needs of our customers and community.

The current parking lot east and north of the existing office building (inside the fenced area) has capacity for 41 vehicles. The current parking lot south of the existing building (outside the fenced area) has capacity for 22 vehicles, of which two are ADA only. On an average day, only one or two stalls are available within the lot for customer and visitors. All other visitors must use on-street parking on S. Adams. Given the future development planned on the west side of S. Adams Street, directly across from this building, preliminary discussions have included this on-street parking as unrestricted for the first floor commercial and upper floor residential use. We anticipate this development to impact the availability of our current on-street parking during business hours. The parking area east and north of the existing office building accommodates a combination of personal and fleet vehicles and equipment. Within the winter months, the usability of a portion of the parking is limited as plowing of the Mason Street roadways above has caused broken windshields and safety concerns for daily use of these available spots.

The site geometry limits expanding in other directions with Mason Street constructed to the north, Jefferson Street constructed to the east, and already fronting Adams Street to the west. Expanding parking in any other location adjacent to the site requires property acquisition and is not supportive of surrounding right-of-way needs, and would not be located in a position that is most advantageous to meet the existing traffic pattern of the customer and visitor parking that enters from the south and west. Any direction of parking lot expansion would increase the impervious percent above the code maximum.

**Describe what unique physical characteristics affect this property which prevents you from complying with the zoning ordinance:**

Since originally constructed in 1971, this existing facility and site has been remodeled and expanded to meet Water Utilities growing needs. The facility is again expanding in response to the growing needs of the City of Green Bay and its residents. The site is bordered by Jefferson, Cass and Adams Streets on three sides and Mason Street (along with associated off ramp) on the fourth side, leaving no room for expansion. In the interest of customer and employee safety, we feel our best option is to expand our existing, onsite south parking lot to provide the maximum amount of off-street parking possible.

The parking lot expansion along the south side of the building requires encroachment into the 15' setback along Cass Street. The distance between the south edge of the existing parking lot and the 15'



# Green Bay Water Utility

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## MEMORANDUM

setback line is approximately 29 feet, which is not adequate existing space to construct a drive aisle and parking spaces and still maintain the code compliant setback.

Additionally, the building addition and parking lot expansion along the south side of the building increases impervious area of the property from 74% to 85%. With the building addition alone, the impervious percentage increases from 74% to 79.7%, so any parking lot expansion that is required to meet the existing needs of the facility will exceed the maximum total impervious area allowed.

**Describe how granting this variance will neither harm public interest nor undermine the purpose of the ordinance:**

The function of the site and impact on the neighboring properties is expected to be limited. GBWU currently utilizes the existing south parking lot along Cass Street where we are proposing to expand. The parking lot activity by staff and visitors is typically concentrated to business hours 8:00am to 4:30pm. The existing curb cut locations on S. Adams and Cass Streets will remain the same, as well as the traffic flow with entry off S. Adams and exit onto Cass Street, to maintain safe vehicular movements.

The plan includes planting six feet tall evergreen trees (25 Arborvitae) between the south edge of the proposed parking lot expansion and the existing sidewalk along Cass Street to provide screening of the property. This visual screening would be greater than the existing screening provided from our existing parking area. The parking expansion will reduce the demand of the on-street parking by providing an additional 16 spaces contained on GBWU property.

The increase of impervious surfaces is 4% above the code maximum and is accounted for in the water quantity and quality calculations for the storm water management. The existing site already contains a high amount of impervious surface due to the amount of staff functions and equipment and maintenance work we perform from this site for the public. The increase of impervious surfaces was minimized during the project, and the parking lot expansion to the south was pursued only due to other limiting factors while still maintaining use of the existing site. There was no other option to construct on this site that would comply with the zoning ordinance.