



AGENDA OF THE GREEN BAY PLAN COMMISSION

MONDAY, MAY 24, 2021, 6:00 PM
Virtual Meeting. Public may join via Zoom.

A. Zoom Meeting Information.

1. This item contains documents which provide call in information and instructions for the Zoom meeting.

B. Roll Call.

1. Members: Lisa Hanson - Chair, Jacob Miller - Vice-Chair, Ald. Veronica Corpus-Dax, Sidney Bremer, Derius Daniels, Autumn Linsmeier and Ken Rovinski.

C. Approval of the Agenda.

1. Approval of the Agenda for the May 24, 2021, meeting of the Green Bay Plan Commission.

D. Approval of Minutes.

1. Approval of the minutes from the May 10, 2021, meeting of the Green Bay Plan Commission.

E. Regular Business.

1. (ZP 21-12) Consideration with possible action on a request to authorize a Conditional Use Permit (CUP) for an expansion of an existing substation in the 2040 Block Morrow Avenue, submitted by Robert Mach, Mach IV Engineering, on behalf of WPS, property owner (Ald. C. Stevens, District 5).
2. (ZP 21-13) Public Hearing on a request to authorize a Conditional Use Permit (CUP) for a limited production and processing use at 1778 Main Street, submitted by Michael Mileski and Tony Loucscher, applicants, Konop Vending Machines, property owner (Ald. L. Gerlach, District 3).
3. (ZP 21-13) Consideration with possible action on a request to authorize a Conditional Use Permit (CUP) for a limited production and processing use at 1778 Main Street, submitted by Michael Mileski and Tony Loucscher, applicants, Konop Vending Machines, property owner

(Ald. L. Gerlach, District 3).

F. Informational.

1. University of Wisconsin Senior Capstone Project Presentation - Central Yards Redevelopment Concept presented by author Martin Jensen Rose.
2. Director's Report.
3. Date of next meeting: June 7, 2021.

G. Adjournment.

- 1) THIS MEETING IS RECORDED: THE VIDEO OF THIS MEETING AND MINUTES ARE AVAILABLE ONLINE AT www.greenbaywi.gov
- 2) ACCESSIBILITY: Any person wishing to attend who requires special accommodation because of a disability, should contact the City Safety Manager at 920-448-3125 at least 48 hours before the scheduled meeting time so that arrangements can be made.
- 3) QUORUM: Please take notice that a majority or quorum of the Common Council will attend this Plan Commission meeting and will constitute a meeting of the Common Council for purposes of discussion and information gathering relative to this agenda.
- 4) REPRESENTATION: The party requesting the communication, or their representative, should be present at this meeting.

Virtual Meeting Instructions



Plan Commission

Zoom Meeting Information

Join Zoom Meeting

<https://us02web.zoom.us/j/84137675822?pwd=L2EyVlpDSlZGZ1FjcmlpWnZlOEVnUT09>

Meeting ID: 841 3767 5822

Password: 483400

One tap mobile

+1 312 626 6799,,841 3767 5822# US (Chicago)

+1 646 876 9923,,841 3767 5822# US (New York)

Dial by your location

+1 312 626 6799 US (Chicago)

+1 646 876 9923 US (New York)

+1 301 715 8592 US (Germantown)

+1 346 248 7799 US (Houston)

+1 408 638 0968 US (San Jose)

+1 669 900 6833 US (San Jose)

+1 253 215 8782 US (Tacoma)

Meeting ID: 841 3767 5822

Password: 483400

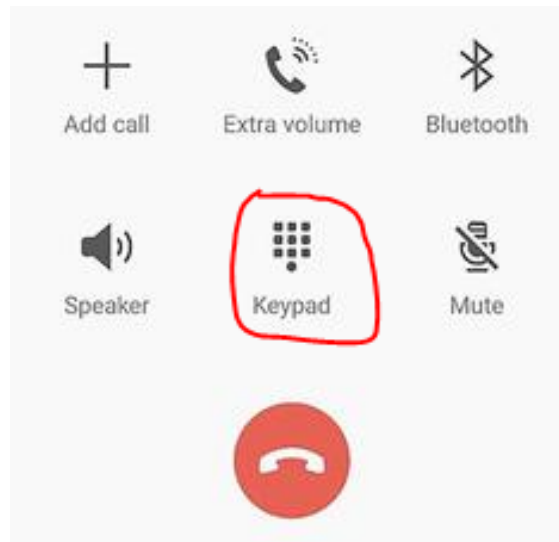
Find your local number: <https://us02web.zoom.us/j/84137675822?pwd=L2EyVlpDSlZGZ1FjcmlpWnZlOEVnUT09>

Additional Information

1. Wisconsin Open Meetings Law still applies
 - a. Persons interested in speaking to an item must give their name and address
 - b. Committee/Commission/Board members will still follow *Roberts Rules of Order*
2. All zoom meetings will have a password in the instructions. Please enter when prompted.
3. Please log into the Zoom meeting 10 minutes before the meeting starts to ensure proper technology is working.
 - a. If you are a Board Member, please log into [CivicClerk](#) with a computer, laptop, or tablet device.
4. Once you are in the meeting please mute yourselves.
 - a. You may unmute yourself when you are called upon to speak.
5. Waiting room
 - a. When you call in, all callers/participants will be placed in a “waiting room.”
 - b. Persons on the agenda will be admitted to the meeting, and then once the item is concluded, the host will permanently mute you from the meeting (you can still hear the meeting).
6. Using Zoom with a tablet or computer
 - a. Tablet—you will be asked to sign in. Download the app either with the Apple Store or the Play Store
 - b. Computer—you will be asked to sign in. You may download the app or click on the link to open Zoom in your browser.
7. Registering
 - a. The host may ask you to register for the meeting. A registration link will be sent to you along with the invite. You’ll receive another email confirming that you’re registered for the meeting.
 - b. If you’re using a phone, your registration will still be tied to an email.
8. Raising your hand
 - a. Committee members—you can either use CivicClerk and request to speak or you can “raise your hand” in the zoom meeting (you’d need to use a computer or tablet) to let the host know you’d like to speak. You can also un-mute yourselves and start speaking.
 - b. Persons on the agenda—you can “raise your hand” but you’d need to use a computer. You will be allowed to speak, per Wisconsin Open Meetings Rules, once the committee has “opened the floor for interested parties to speak.” Once the committee is finished with your agenda item, the host will mute you permanently, unless the committee opens the floor again.
9. What devices should I use?
 - a. Smart phone (please see more detailed instructions on page 3)
 - b. Land line
 - c. Tablet—well in advance of the meeting, please download the Zoom Meeting app before you join a meeting by using either the Apple Store or the Play Store. You will be asked to input your name, thus identifying you for the meeting. You’ll also be asked to verify your email.
 - d. Computer—well in advance of the meeting, please download the Zoom Meeting app, but you can also click on a link to open the Zoom Meeting in your browser. You will be asked to input your name, thus identifying you for the meeting.
 - e. For tablet and computer users—if you download the app you will be asked to verify your email.
10. Zoom etiquette
 - a. Muting yourselves when you’re not talking will prevent your background noise from interfering with others’ ability to listen to and participate in the meeting.
 - b. If you’re using a telephone, please identify yourself with your phone number and name before you speak. Zoom meeting hosts can see only your telephone number and will ask you to identify yourselves.
11. Closed session
 - a. Persons in the Zoom meeting will be put into a waiting room while the committee meets in Closed Session. Participants will be admitted back into the Zoom meeting once the committee reconvenes in Open Session.
 - b. Persons watching live on YouTube will see a gray screen with the City logo during closed session.
12. Persons interested in listening to the meeting can go to www.youtube.com/CityofGreenBay

Calling into the Zoom meeting using a smartphone

1. Dial the phone number listed at the beginning of this document.
2. When prompted, enter the Meeting ID number followed by #
 - a. If you're using a smartphone, you can access the keypad by clicking "Keypad" on your screen



3. Once you are in the meeting, notify the meeting host that you are in and state your name.
4. If you do not need to talk, please make sure your phone is on **Mute**
 - a. If you're using a smartphone, look at your screen and click the Mute button



- b. If you're using a computer, you should see a Mute button in the Zoom application





Report to the Green Bay Plan Commission

MEETING DATE

May 24, 2021

PREPARED BY

Stephanie Hummel, Staff

AGENDA ITEM # E.1

(ZP 21-12) Consideration with possible action on a request to authorize a Conditional Use Permit (CUP) for an expansion of an existing substation in the 2040 Block Morrow Avenue, submitted by Robert Mach, Mach IV Engineering, on behalf of WPS, property owner (Ald. C. Stevens, District 5).

BACKGROUND

Primary Address: 2040 Block Morrow Avenue.

Alderson/District: Ald. Craig Stevens / District 5

Reason for Request: To permit rebuilding and the expansion of an existing substation.

Surrounding Zoning and Land Uses:

SUBJECT Varied Density Residential (R3) Substation

NORTH Right-of-Way Morrow Street

SOUTH Planned Unit Development (PUD) Vacant Residential

EAST Varied Density Residential (R3) Single- and Two-Family Homes

WEST Right-of-Way Highland Park Avenue

Comprehensive Plan: The 2022 Smart Growth Plan designates the subject area for Medium/High Density Housing.

Consistency Analysis: While Ch. 66.1001 Wis. Stats. does not specifically require conditional uses to meet the consistency requirement, use of the subject property is compatible with and is not contradictory to the applicable recommended policy and the future land use map.

Report: The subject properties are located along Morrow Street and Highland Park Avenue. There are currently two parcels owned by Wisconsin Public Service Corp that make of this substation area. The expansion will use both parcels and will account for an expansion of the building, the fenced in area and the addition of a stormwater management facility. See attached site plan.

In the review of the Conditional Use Permit (CUP), the Zoning Ordinance Section 12-205(e) establishes seven standards for the Plan Commission to consider when reviewing a CUP:

1. *The establishment, maintenance, or operation of the conditional use will not be detrimental to or endanger the public health, safety, or general welfare.*
2. *The establishment of the conditional use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.*
3. *The conditional use, its exterior architectural design, and functional plan of any proposed structure will not be*

injurious to the use of other property in the immediate vicinity nor substantially diminish or impair property values within the surrounding neighborhood.

- 4. Adequate utilities, access roads, drainage, and/or necessary facilities have been or are being provided.*
- 5. Adequate measures have been or will be taken to provide ingress and egress and so designed as to minimize traffic congestion.*
- 6. The conditional use shall have adequate parking facilities as specified in subchapter 13-1700.*
- 7. The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located and all other applicable city ordinances.*

When considering the request in relation to the standards, planning staff believes these standards have been met. As this is an existing use, it will have no changes to impacts on the community or surrounding neighbors. The addition of a stormwater management facility will be a positive addition to this site.

Staff feels the proposed substation expansion is agreeable. Ald. Craig Stevens and adjacent property owners have been notified of the request. This item was heard at the May 10, 2021, and held with the direction for staff to review previous Plan Commission minutes and documents to verify if a landscaping berm was previously required as part of this development.

Attached is the original approval for the substation from October 12, 1987. No conditions of approval were included at this time aside from standard site plan approval. Berming was not required as part of landscaping at the time of approval. Staff reviewed Plan Commission minutes from 1998-2002, as there was an equipment upgrade at the substation in 2001. There was no Plan Commission action related to this. This either didn't require action under the code at the time or it wasn't considered an expansion of the use at the time. The neighboring property did have an action before the Plan Commission in 2001, but there was no mention of WPS or berming in the meeting minutes. WPS's Real Estate Department has also completed title searches and researched this parcel through project records and has no evidence of a berming agreement. An attached letter from their legal counsel details this. Also attached is the letter presented at the May 10, 2021, meeting. Staff has reviewed this and believes it is a civil matter and the City has no involvement. With this new information, Staff does not believe there was an additional landscaping or berming requirements placed on the parcel in the past.

Also attached are the Development Standards (Section 13.1608), detailing the design and site requirements for utility uses. Staff feels these standards are sufficient in landscaping and transitional yards and no additional landscaping is required. We retain our original recommendation of approval with the below conditions.

RECOMMENDATION

Approval of request, subject to:

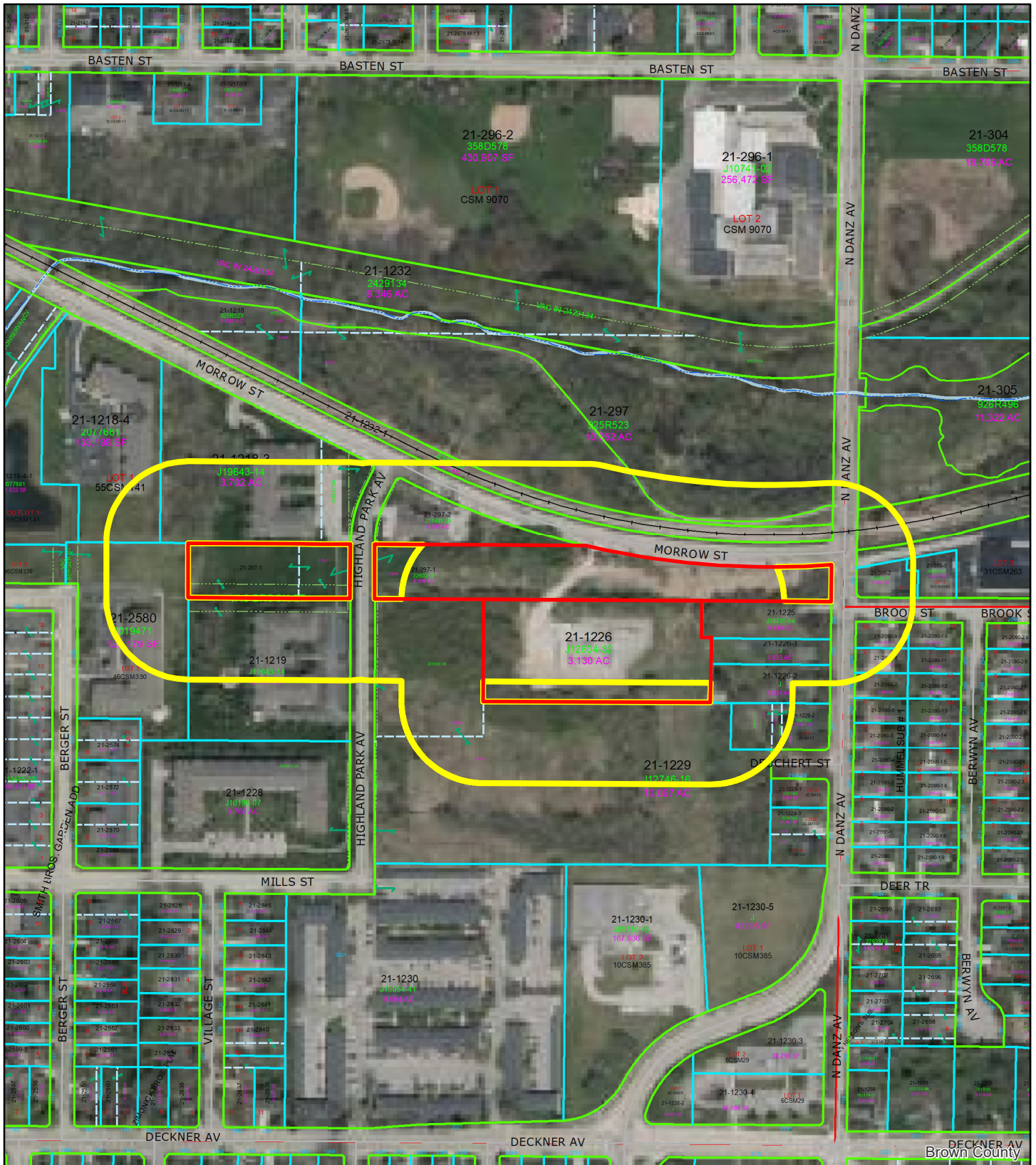
- a) The combination of parcels 21-1226 and 21-297-1 for better site cohesion and access from Morrow Street. Note parcel 21-297-1 extends between Highland Park Avenue and this will have to be split properly between the right-of-way.
- b) Compliance with all of the regulations of the Green Bay Municipal Code not covered under the Conditional Use Permit, including standard site plan review and approval

FISCAL IMPACT

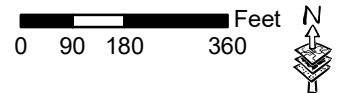
ATTACHMENTS

1. ZP 21-12 Map
2. ZP 21-12 Exhibits
3. ZP 21-12 Elevations

4. ZP 21-12 Fence Exhibit
5. PC Minutes for Substation, 10.12.1987
6. Section 13.1608, Utility Design Standards
7. 2021.05.20 Ltr to Green Bay Planner
8. Berm & Landscape Agreement Communications WPS & UFG



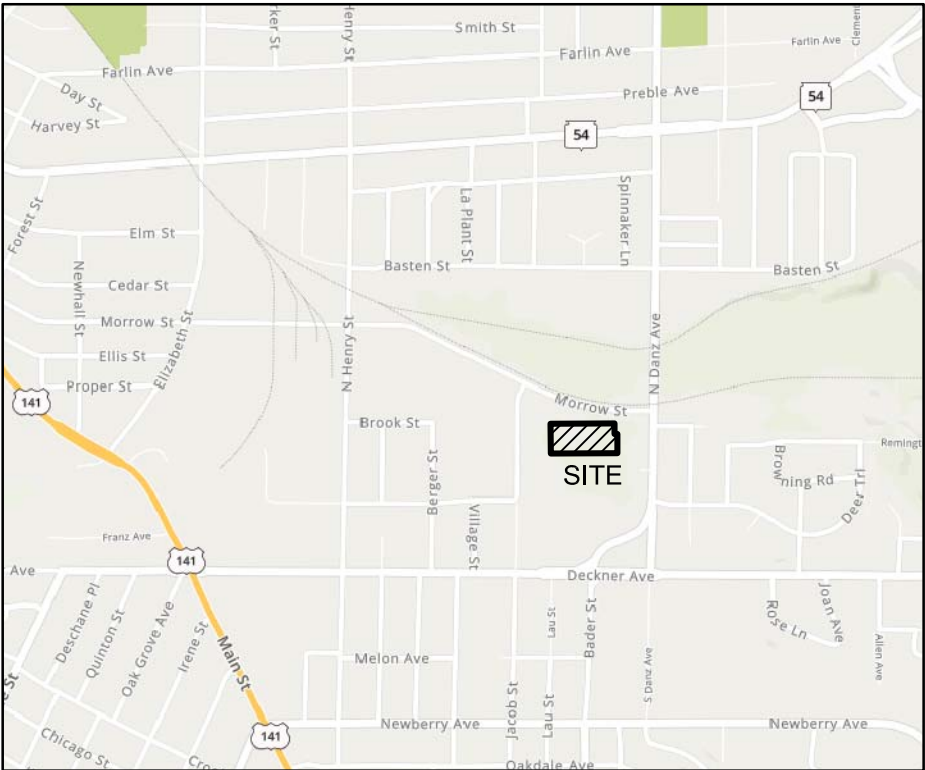
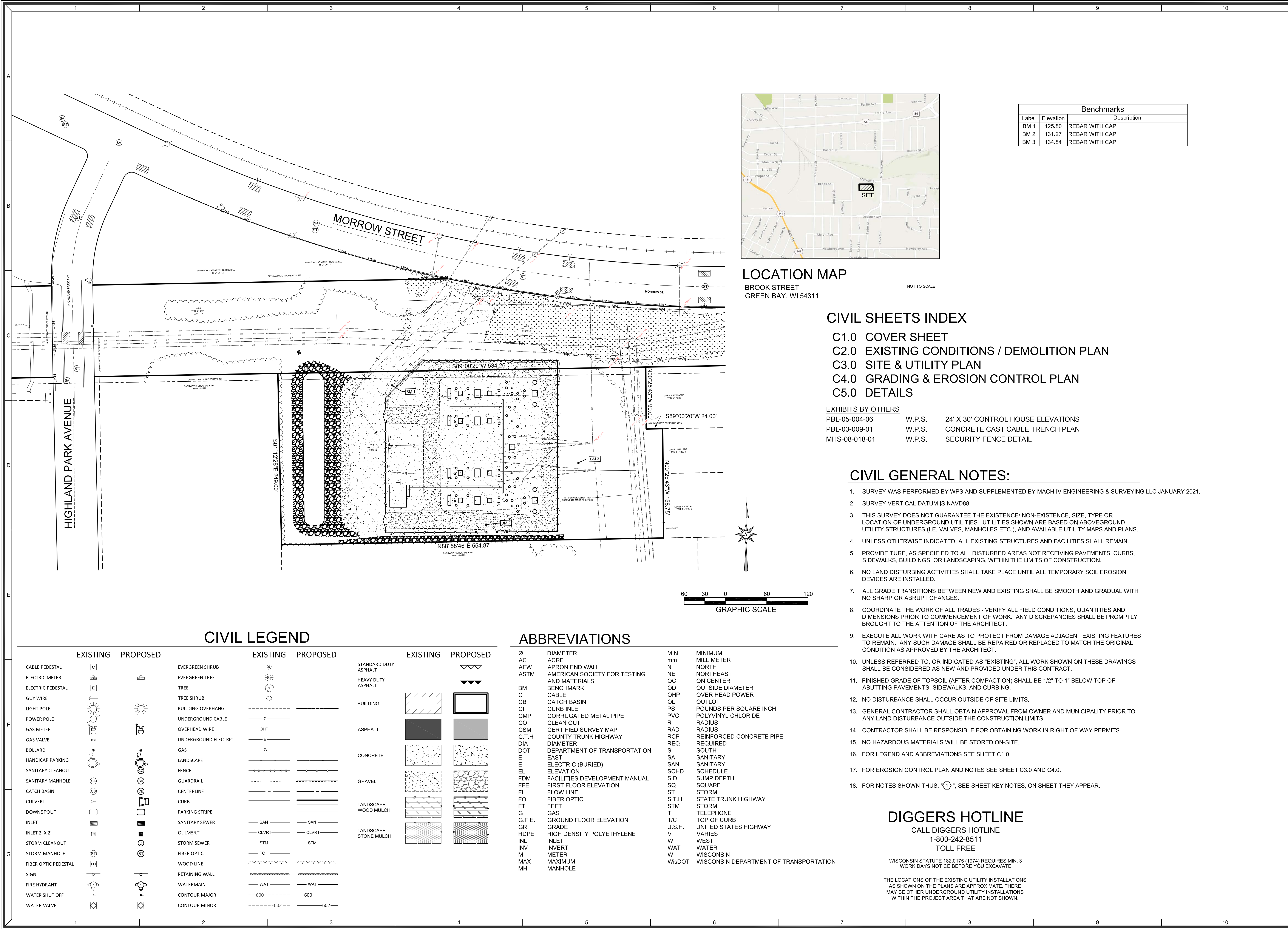
(ZP 21-12) Conditional Use Permit for Substation Expansion along 2040 Block Morrow Street



- Subject Parcel
- 200-ft. Notification Area

This is a compilation of records and data located in various City of Green Bay offices and is to be used for reference purposes only. The City of Green Bay is not responsible for any inaccuracies or unauthorized use of the information contained within. No warranties are implied. Map prepared by City of Green Bay Department of Community and Economic Development, E.R. 28 Apr 2021 | I:\DeptData\Planning\City\CityActions\Zoning_Petitions\ZoningPetitions2021\ZP 21-09 CUP for max number of stalls-800 Block S Huron Rd\ZP 21-09.mxd

R:\Jobs\1819-01-20 WPS Preble Substation\DRAWINGS\1819-01-20 Eng GB.dwg 4/15/2021 11:28:41 AM



Benchmarks		
Label	Elevation	Description
BM 1	125.80	REBAR WITH CAP
BM 2	131.27	REBAR WITH CAP
BM 3	134.84	REBAR WITH CAP

LOCATION MAP
BROOK STREET
GREEN BAY, WI 54311

CIVIL SHEETS INDEX

- C1.0 COVER SHEET
- C2.0 EXISTING CONDITIONS / DEMOLITION PLAN
- C3.0 SITE & UTILITY PLAN
- C4.0 GRADING & EROSION CONTROL PLAN
- C5.0 DETAILS

EXHIBITS BY OTHERS

PBL-05-004-06	W.P.S.	24' X 30' CONTROL HOUSE ELEVATIONS
PBL-03-009-01	W.P.S.	CONCRETE CAST CABLE TRENCH PLAN
MHS-08-018-01	W.P.S.	SECURITY FENCE DETAIL

CIVIL GENERAL NOTES:

- SURVEY WAS PERFORMED BY WPS AND SUPPLEMENTED BY MACH IV ENGINEERING & SURVEYING LLC JANUARY 2021.
- SURVEY VERTICAL DATUM IS NAVD88.
- THIS SURVEY DOES NOT GUARANTEE THE EXISTENCE/ NON-EXISTENCE, SIZE, TYPE OR LOCATION OF UNDERGROUND UTILITIES. UTILITIES SHOWN ARE BASED ON ABOVEGROUND UTILITY STRUCTURES (I.E. VALVES, MANHOLES ETC.), AND AVAILABLE UTILITY MAPS AND PLANS.
- UNLESS OTHERWISE INDICATED, ALL EXISTING STRUCTURES AND FACILITIES SHALL REMAIN.
- PROVIDE TURF, AS SPECIFIED TO ALL DISTURBED AREAS NOT RECEIVING PAVEMENTS, CURBS, SIDEWALKS, BUILDINGS, OR LANDSCAPING, WITHIN THE LIMITS OF CONSTRUCTION.
- NO LAND DISTURBING ACTIVITIES SHALL TAKE PLACE UNTIL ALL TEMPORARY SOIL EROSION DEVICES ARE INSTALLED.
- ALL GRADE TRANSITIONS BETWEEN NEW AND EXISTING SHALL BE SMOOTH AND GRADUAL WITH NO SHARP OR ABRUPT CHANGES.
- COORDINATE THE WORK OF ALL TRADES - VERIFY ALL FIELD CONDITIONS, QUANTITIES AND DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES SHALL BE PROMPTLY BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- EXECUTE ALL WORK WITH CARE AS TO PROTECT FROM DAMAGE ADJACENT EXISTING FEATURES TO REMAIN. ANY SUCH DAMAGE SHALL BE REPAIRED OR REPLACED TO MATCH THE ORIGINAL CONDITION AS APPROVED BY THE ARCHITECT.
- UNLESS REFERRED TO, OR INDICATED AS "EXISTING", ALL WORK SHOWN ON THESE DRAWINGS SHALL BE CONSIDERED AS NEW AND PROVIDED UNDER THIS CONTRACT.
- FINISHED GRADE OF TOPSOIL (AFTER COMPACTION) SHALL BE 1/2" TO 1" BELOW TOP OF ABUTTING PAVEMENTS, SIDEWALKS, AND CURBING.
- NO DISTURBANCE SHALL OCCUR OUTSIDE OF SITE LIMITS.
- GENERAL CONTRACTOR SHALL OBTAIN APPROVAL FROM OWNER AND MUNICIPALITY PRIOR TO ANY LAND DISTURBANCE OUTSIDE THE CONSTRUCTION LIMITS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING WORK IN RIGHT OF WAY PERMITS.
- NO HAZARDOUS MATERIALS WILL BE STORED ON-SITE.
- FOR LEGEND AND ABBREVIATIONS SEE SHEET C1.0.
- FOR EROSION CONTROL PLAN AND NOTES SEE SHEET C3.0 AND C4.0.
- FOR NOTES SHOWN THUS, (1)*, SEE SHEET KEY NOTES, ON SHEET THEY APPEAR.

DIGGERS HOTLINE
CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

WISCONSIN STATUTE 182.0175 (1974) REQUIRES MIN. 3
WORK DAYS NOTICE BEFORE YOU EXCAVATE

THE LOCATIONS OF THE EXISTING UTILITY INSTALLATIONS
AS SHOWN ON THE PLANS ARE APPROXIMATE. THERE
MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS
WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

CIVIL LEGEND

EXISTING	PROPOSED	EXISTING	PROPOSED	EXISTING	PROPOSED
CABLE PEDESTAL		EVERGREEN SHRUB		STANDARD DUTY ASPHALT	
ELECTRIC METER		EVERGREEN TREE		HEAVY DUTY ASPHALT	
ELECTRIC PEDESTAL		TREE		BUILDING	
GUY WIRE		TREE SHRUB		ASPHALT	
LIGHT POLE		BUILDING OVERHANG		CONCRETE	
POWER POLE		UNDERGROUND CABLE		LANDSCAPE WOOD MULCH	
GAS METER		OVERHEAD WIRE		LANDSCAPE STONE MULCH	
GAS VALVE		UNDERGROUND ELECTRIC			
BOLLARD		GAS			
HANDICAP PARKING		LANDSCAPE			
SANITARY CLEANOUT		FENCE			
SANITARY MANHOLE		GUARDRAIL			
CATCH BASIN		CENTERLINE			
CULVERT		CURB			
DOWNSPOUT		PARKING STRIPE			
INLET		SANITARY SEWER			
INLET 2' X 2'		CULVERT			
STORM CLEANOUT		STORM SEWER			
STORM MANHOLE		FIBER OPTIC			
FIBER OPTIC PEDESTAL		WOOD LINE			
SIGN		RETAINING WALL			
FIRE HYDRANT		WATERMAIN			
WATER SHUT OFF		CONTOUR MAJOR			
WATER VALVE		CONTOUR MINOR			

ABBREVIATIONS

Ø	DIAMETER	MIN	MINIMUM
AC	ACRE	mm	MILLIMETER
AEW	APRON END WALL	N	NORTH
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	NE	NORTHEAST
BM	BENCHMARK	OC	ON CENTER
C	CABLE	OD	OUTSIDE DIAMETER
CB	CATCH BASIN	OHP	OVER HEAD POWER
CI	CURB INLET	OL	OUTLOT
CMP	CORRUGATED METAL PIPE	PSI	POUNDS PER SQUARE INCH
CO	CLEAN OUT	PVC	POLYVINYL CHLORIDE
CSM	CERTIFIED SURVEY MAP	R	RADIUS
C.T.H	COUNTY TRUNK HIGHWAY	RAD	RADIUS
DIA	DIAMETER	ROP	REINFORCED CONCRETE PIPE
DOT	DEPARTMENT OF TRANSPORTATION	REQ	REQUIRED
E	EAST	S	SOUTH
E	ELECTRIC (BURIED)	SA	SANITARY
EL	ELEVATION	SAN	SANITARY
FDM	FACILITIES DEVELOPMENT MANUAL	SCHD	SCHEDULE
FFE	FIRST FLOOR ELEVATION	S.D.	SUMP DEPTH
FL	FLOW LINE	SQ	SQUARE
FO	FIBER OPTIC	ST	STORM
FT	FEET	S.T.H.	STATE TRUNK HIGHWAY
G	GAS	STM	STORM
G.F.E.	GROUND FLOOR ELEVATION	T	TELEPHONE
GR	GRADE	T/C	TOP OF CURB
HDPE	HIGH DENSITY POLYETHYLENE	U.S.H.	UNITED STATES HIGHWAY
INL	INLET	V	VARIES
INV	INVERT	W	WEST
M	METER	WAT	WATER
MAX	MAXIMUM	WI	WISCONSIN
MH	MANHOLE	WisDOT	WISCONSIN DEPARTMENT OF TRANSPORTATION

WISCONSIN PUBLIC SERVICE

WPS PREBLE SUBSTATION

COVER SHEET

REVISION DESCRIPTION

NO.

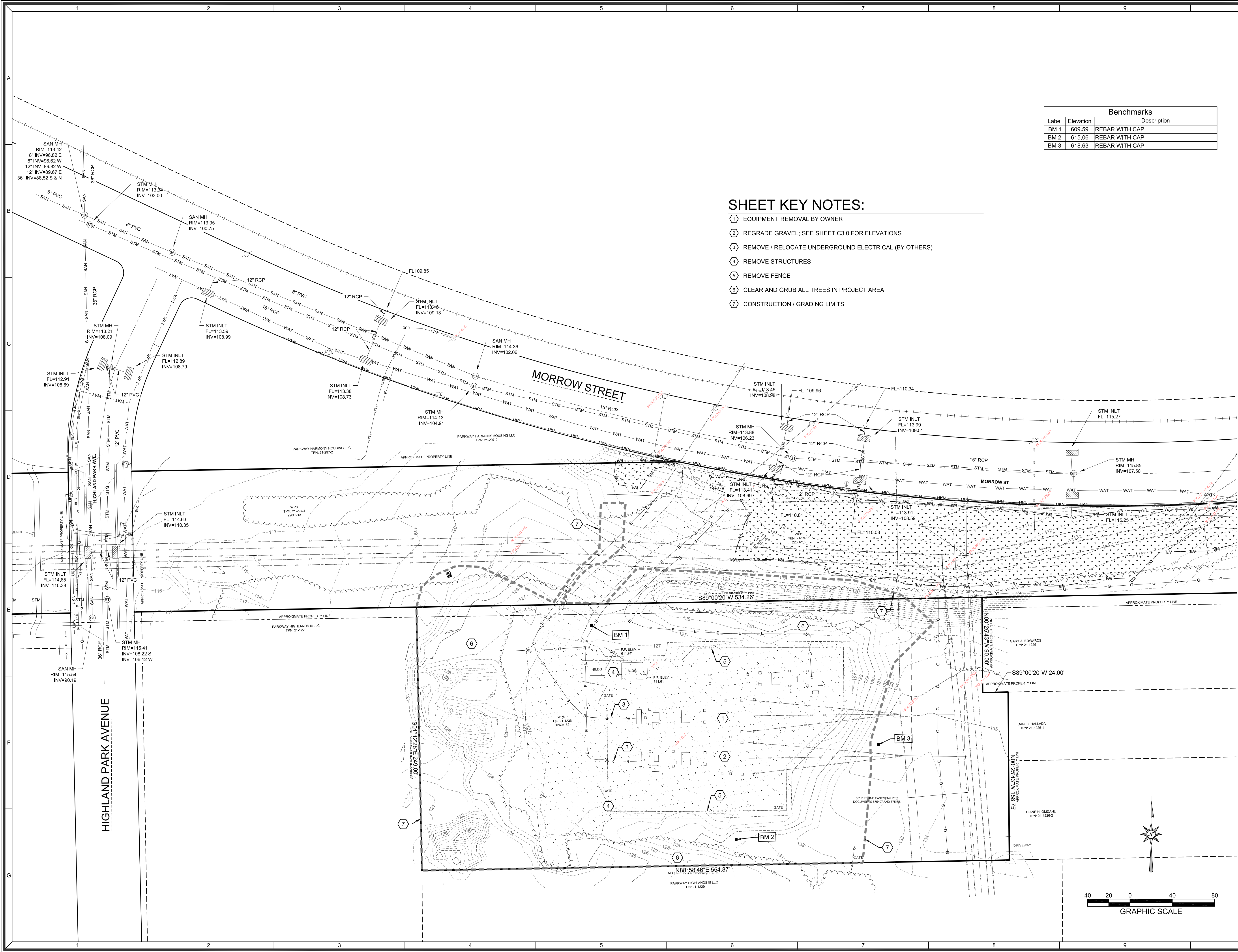
DATE: MARCH 31, 2021
DRAFTED BY: RPH
CHECKED BY:
PROJECT NO.: 1819-01-20
DRAWING NUMBER

SHEET NUMBER

C1.0

OF 1

R:\Jobs\1819-01-20 WPS Preble Substation\DRAWINGS\1819-01-20 Eng GB.dwg 4/15/2021 11:28:49 AM



Benchmarks		
Label	Elevation	Description
BM 1	609.59	REBAR WITH CAP
BM 2	615.06	REBAR WITH CAP
BM 3	618.63	REBAR WITH CAP

SHEET KEY NOTES:

- 1 EQUIPMENT REMOVAL BY OWNER
- 2 REGRADE GRAVEL; SEE SHEET C3.0 FOR ELEVATIONS
- 3 REMOVE / RELOCATE UNDERGROUND ELECTRICAL (BY OTHERS)
- 4 REMOVE STRUCTURES
- 5 REMOVE FENCE
- 6 CLEAR AND GRUB ALL TREES IN PROJECT AREA
- 7 CONSTRUCTION / GRADING LIMITS

REVISION DESCRIPTION		NO.
DATE: MARCH 31, 2021		
DRAFTED BY: RPH		
CHECKED BY:		
PROJECT NO.: 1819-01-20		
DRAWING NUMBER		
SHEET NUMBER		
C2.0		OF 1

WPS PREBLE SUBSTATION

SITE & UTILITY PLAN

REVISION DESCRIPTION

NO

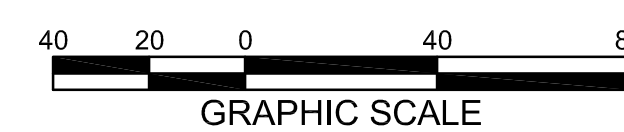
PROJECT NO.: 1819-01-20

SHEET NUMBER

OF

TOTAL DISTURBED AREA: 118,106 SF (2.71 AC.)

- ① RETAINING WALL; BY OTHERS
- ② BEGIN / END WALL RETAINING WALL
- ③ FENCE, FENCE ON SOUTH SIDE TO PROVIDE SCREENING; SEE WPS PLAN SHEET MHS-08-018-01
- ④ 72 LF HEAVY DUTY CONCRETE CABLE TRENCH; SEE SECTION A-A WPS PLAN SHEET PBL-03-009-01
- ⑤ 130 LF HEAVY DUTY CONCRETE CABLE TRENCH; SEE SECTION A-A WPS PLAN SHEET PBL-03-009-01
- ⑥ 136 LF CONCRETE CABLE TRENCH; SEE SECTION B-B WPS PLAN SHEET PBL-03-009-01
- ⑦ 4 LF CONCRETE CABLE TRENCH; SEE SECTION B-B WPS PLAN SHEET PBL-03-009-01
- ⑧ STEEP SLOPE WITH LIGHT RIP RAP
- ⑨ BEGIN / END STEEP SLOPE WITH RIP RAP
- ⑩ STORM WATER WET POND - WATER SURFACE EL=122.21, POND BOTTOM EL=117.21
SEE DETAIL D SHEET C5.0
- ⑪ STORM WATER WET POND OUTLET STRUCTURE; SEE DETAIL E SHEET C5.0
- ⑫ 20' WIDE EMERGENCY OVERFLOW WEIR - EL=123.71; SEE DETAIL F SHEET C5.0
- ⑬ WDOT LIGHT DUTY RIP RAP; SEE DETAIL D SHEET C5.0
- ⑭ GRAVEL PAD; SEE DETAIL G SHEET G SHEET C5.0
- ⑮ GRAVEL DRIVEWAY; SEE DETAIL H SHEET C5.0



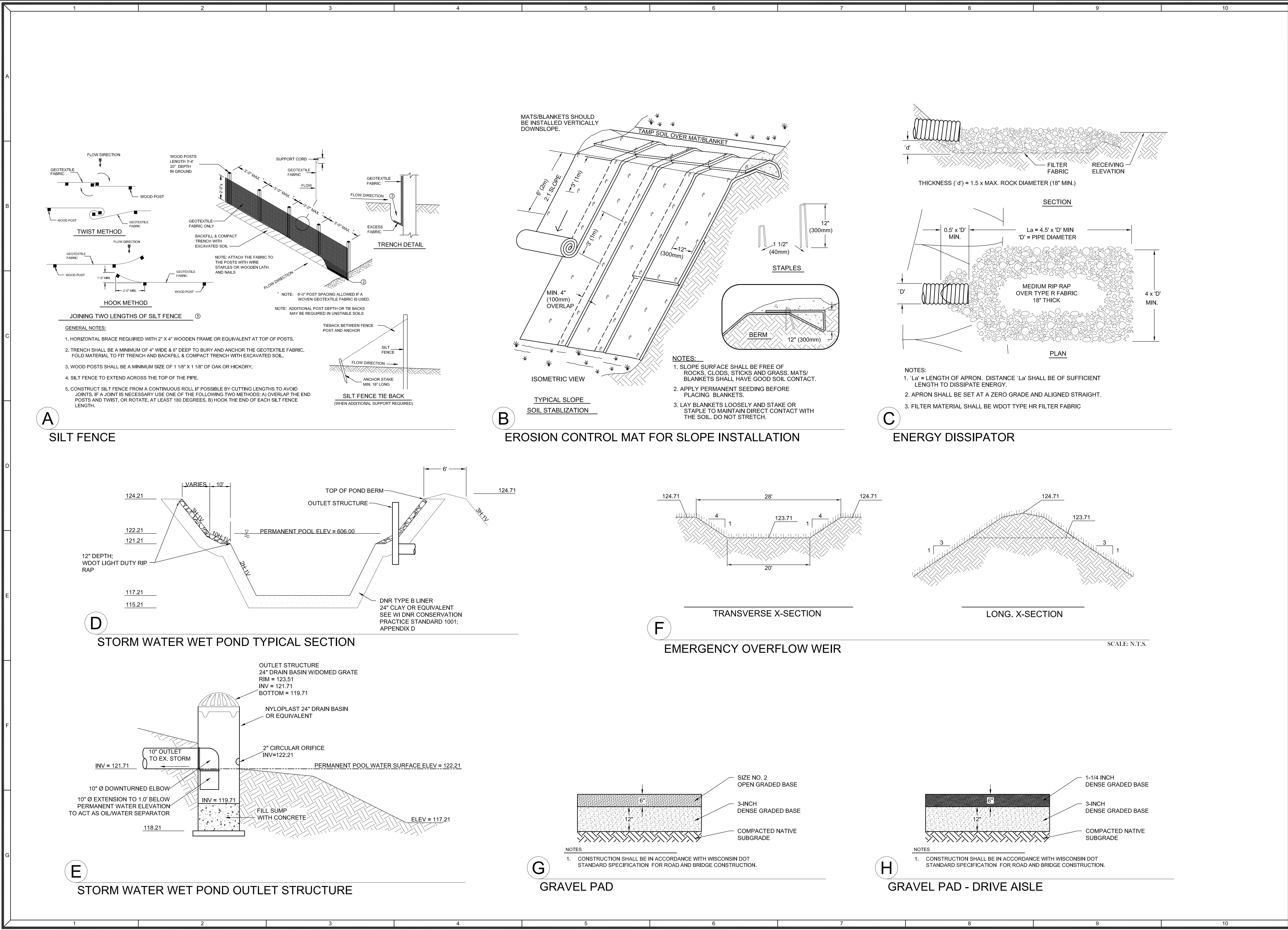
MACH**IV**
ENGINEERING • SURVEYING • ENVIRONMENTAL

2260 Salscheider Court Green Bay, WI 54313
PH: 920-569-5765; Fax: 920-569-5767
www.mach-iv.com

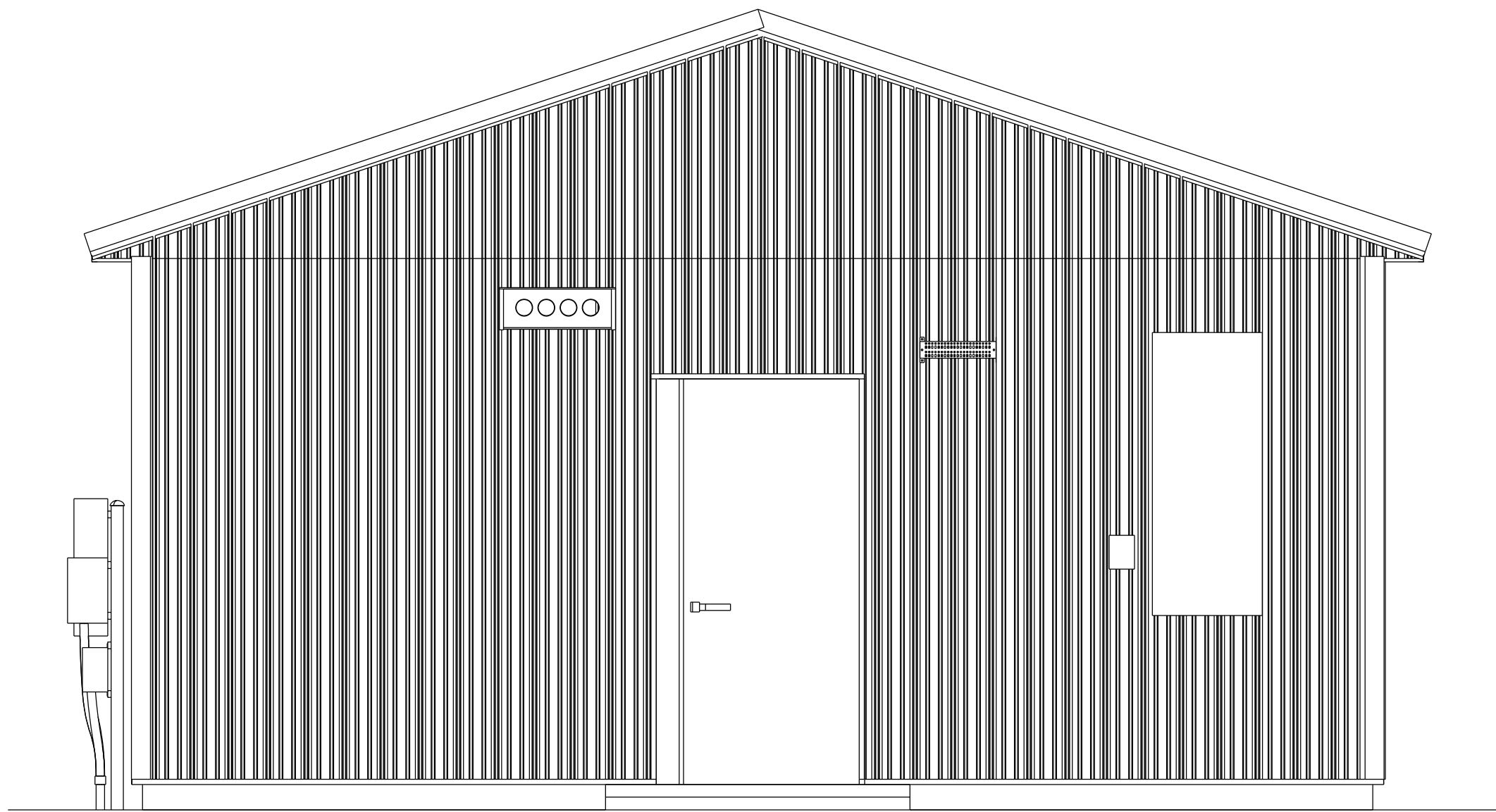
GRADING & EROSION CONTROL PLAN

									REVISION DESCRIPTION
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DRAWING NUMBER									
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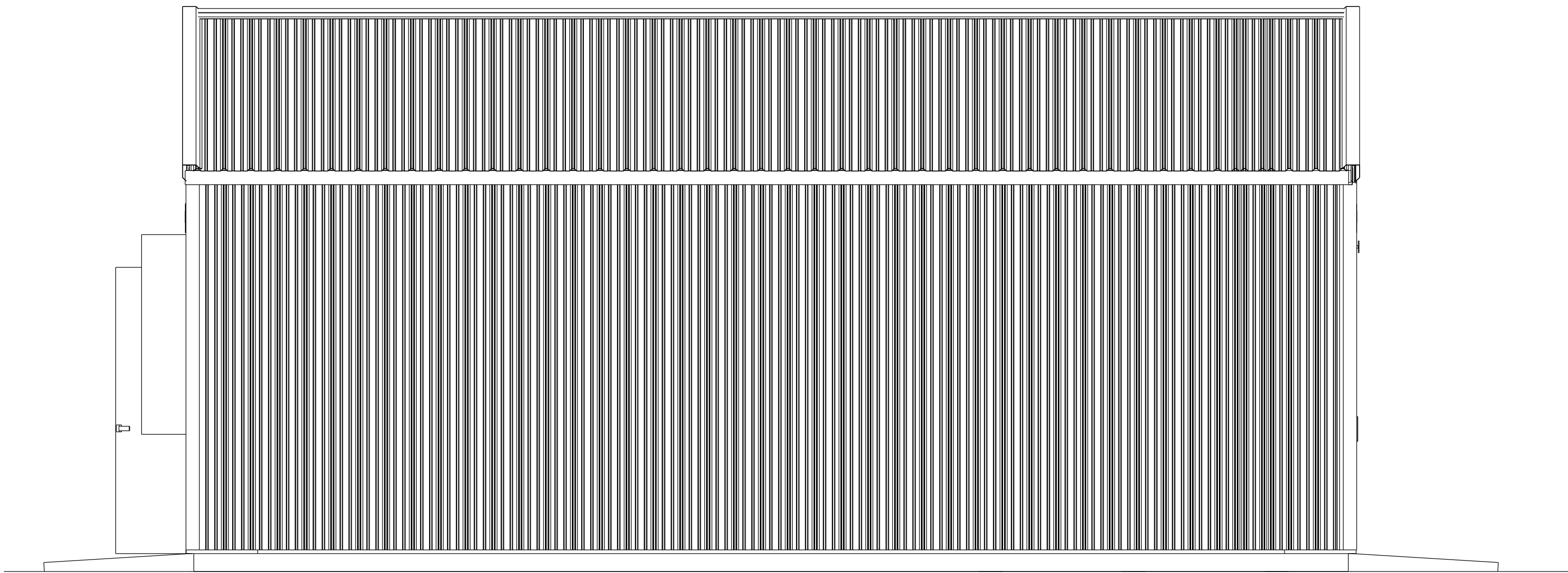
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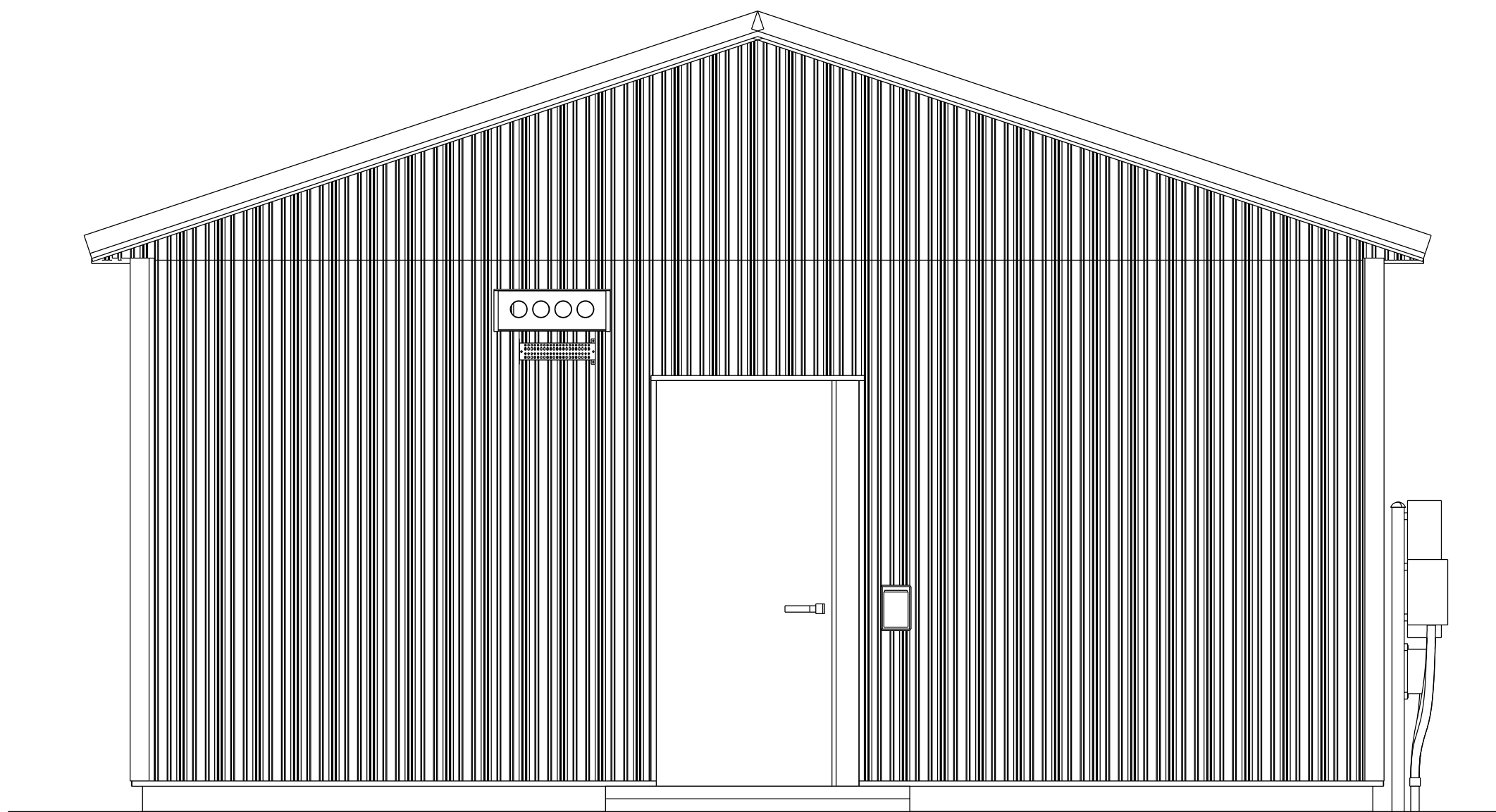
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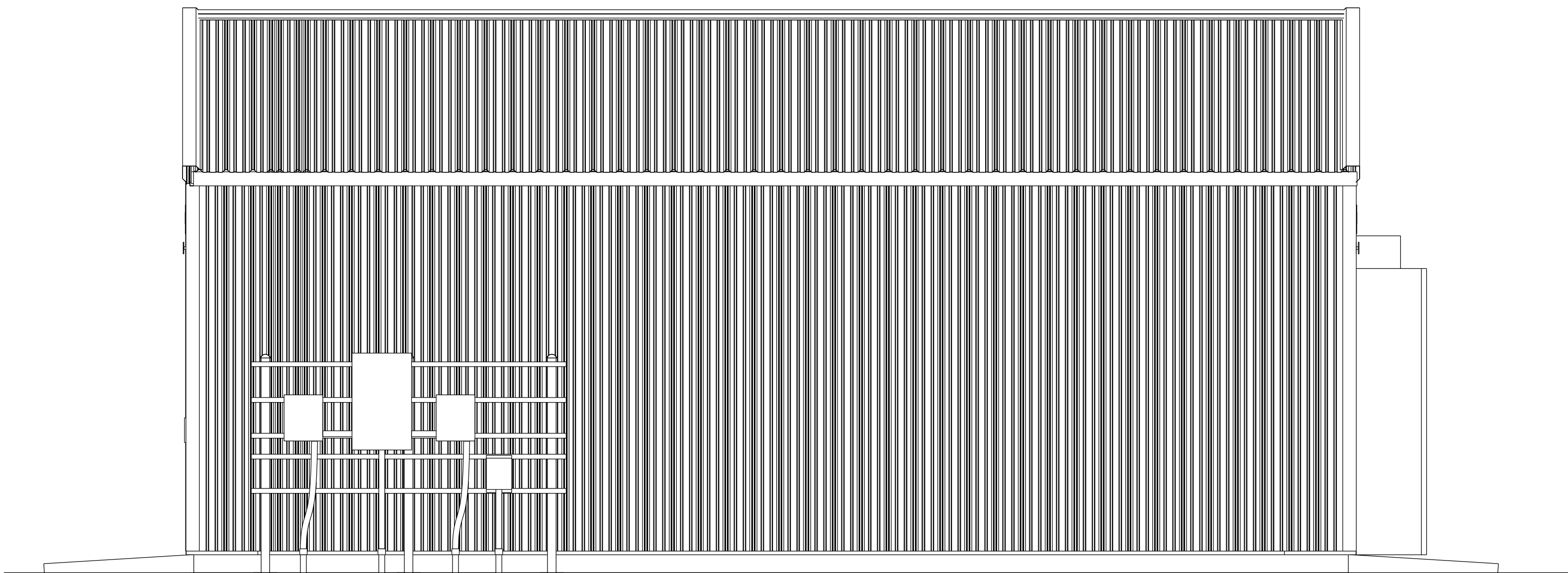
NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION

DRAWING APPROVAL
PLEASE CIRCULATE DRAWING(S)
IN ORDER SHOWN BELOW:

Comments are needed by : , / /

	Name	Initial	Code
PLN	_____	_____	_____
OPS	_____	_____	_____
PROT	_____	_____	_____
SCADA	_____	_____	_____
MAINT	_____	_____	_____
DE	_____	_____	_____
PM	_____	_____	_____
OTHER	_____	_____	_____

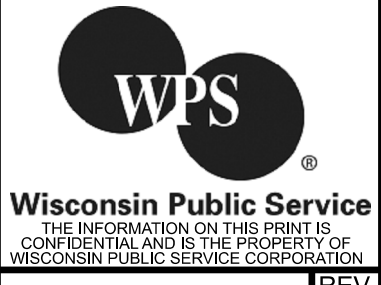
Codes: A = Approved for final
 B = Approved with comments
 C = Revise and resubmit

ISSUED BY WPS FOR			
REVIEW			
INITIAL	APP'D	REVISE	
DE	_____	☐	☐
PROT.	_____	☐	☐
COMM.	_____	☐	☐
DA	_____	☐	☐
IT	_____	☐	☐

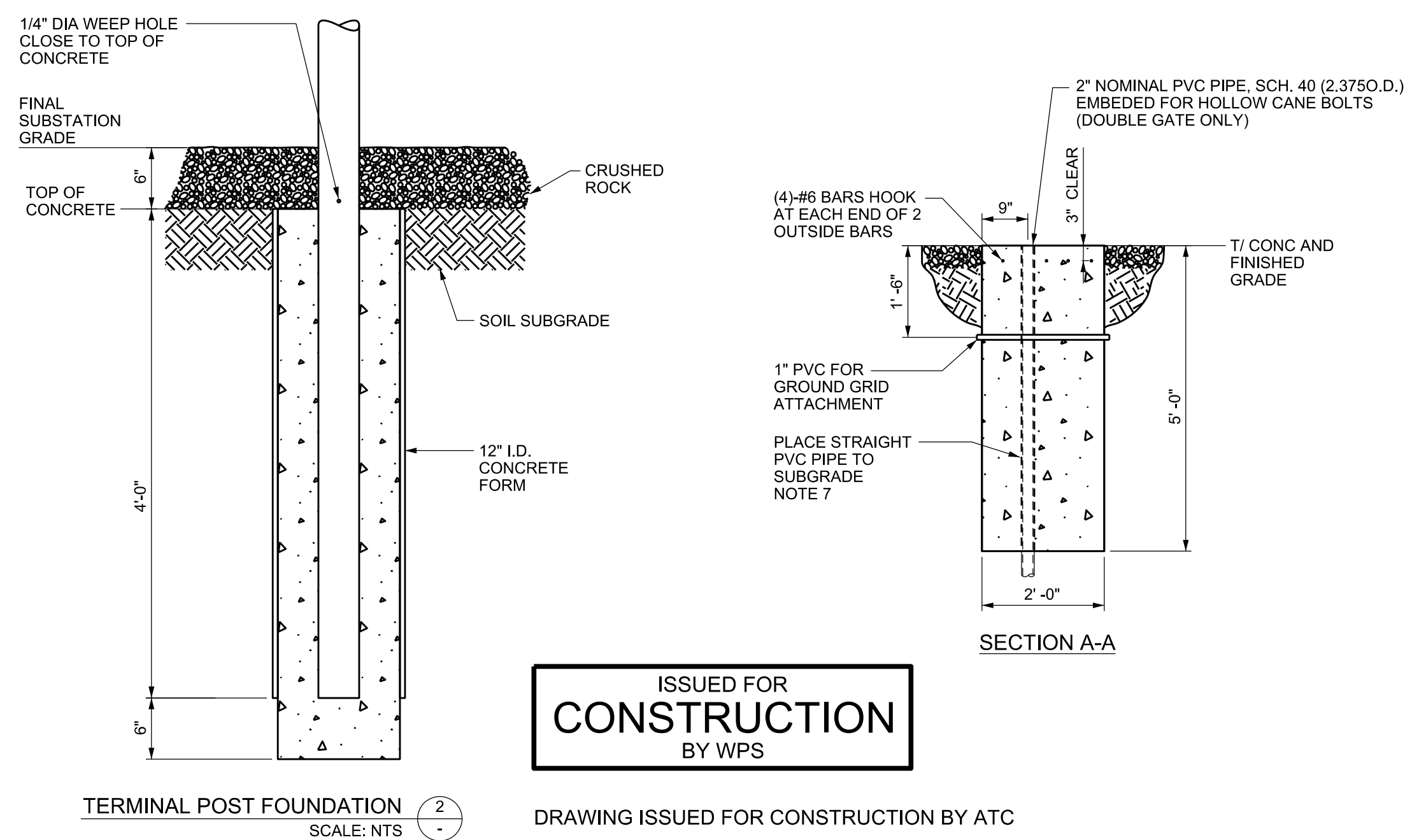
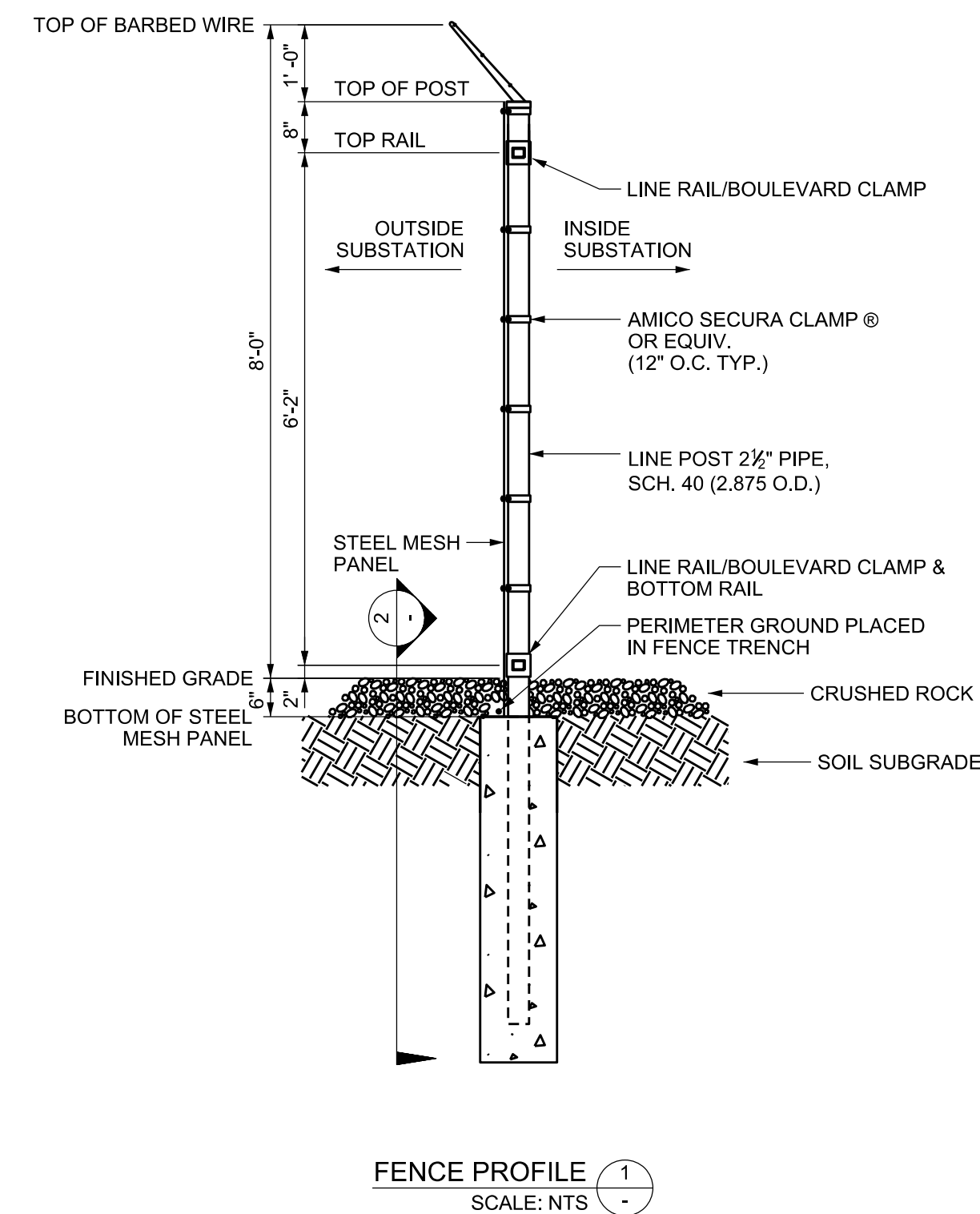
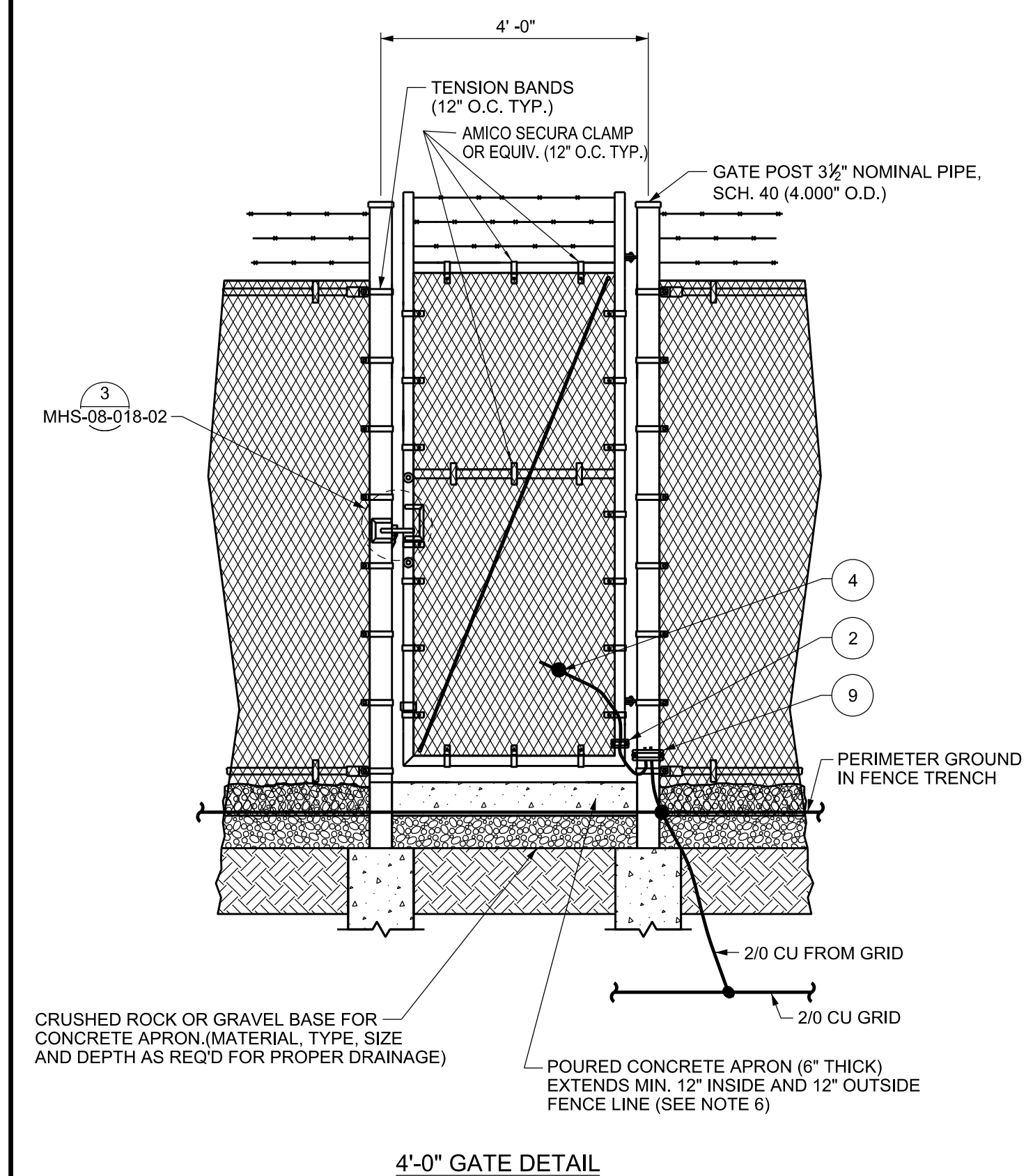
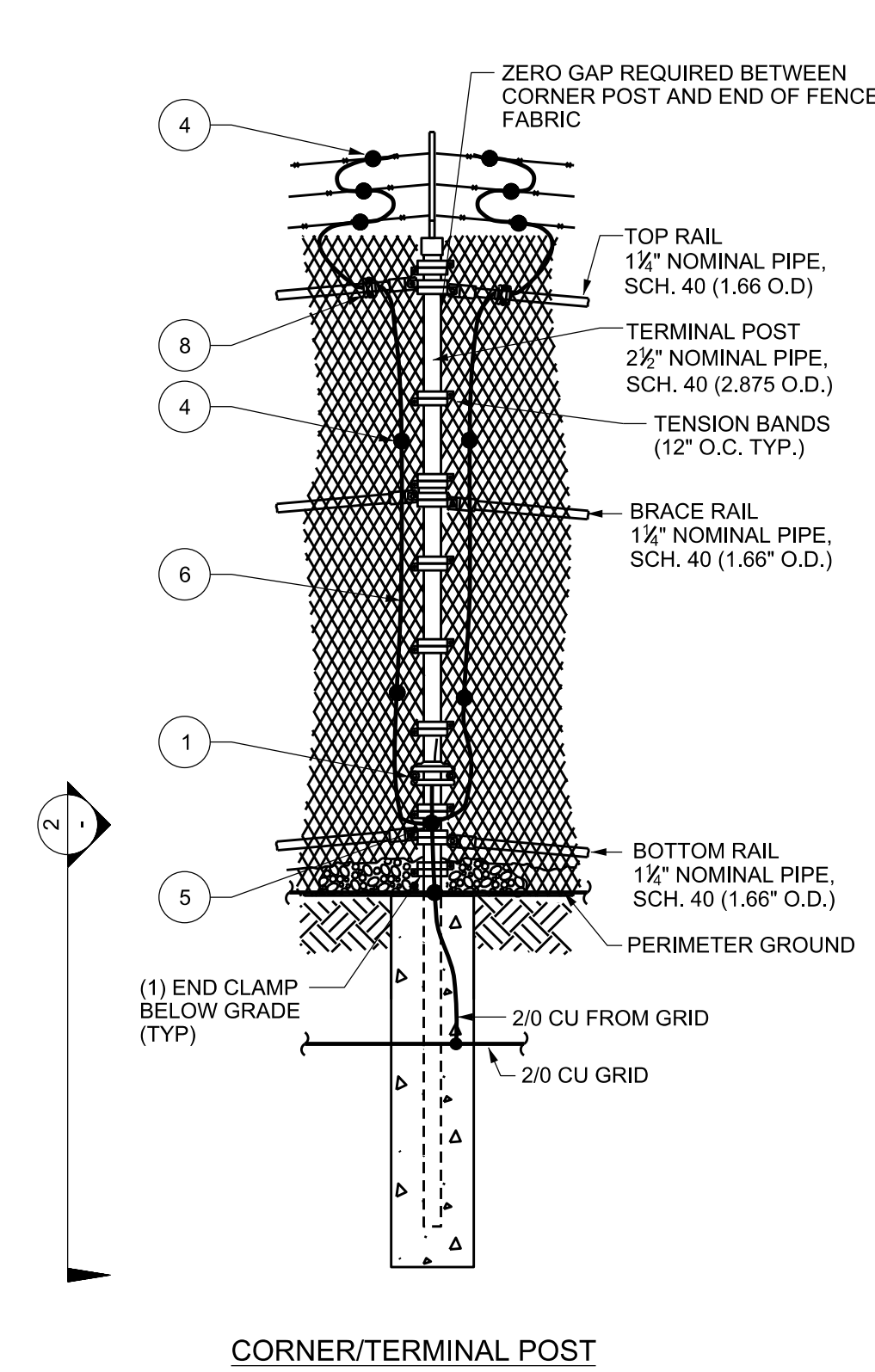
REVISIONS	
-	ATC W.O. # 603987 ATC ENG I/O # T1051740082 ATC CONST I/O # T1051740083 REBUILD SUBSTATION.
WPS CAP I/O # 6001910 REBUILD SUBSTATION.	
DATE: 03-24-21 DESIGNED BY: AMH REVIEWED BY: DEW ENGINEER: DEW	

ENGINEERING STAMP	
ENGINEER: DEW	DATE: 03-24-21
REVIEWED BY: DEW	SCALE: 3/8"=1'-0"
DESIGNED BY: AMH	

24' x 30' CONTROL HOUSE
ELEVATIONS
PREBLE SUBSTATION



THE INFORMATION ON THIS PRINT IS
CONFIDENTIAL AND IS THE PROPERTY OF
WISCONSIN PUBLIC SERVICE CORPORATION



1. FENCE CONTRACTOR TO INSTALL WPS SUPPLIED GROUND CLAMP AT SPECIFIED LOCATIONS AS FENCE MESH FABRIC IS BEING APPLIED (SEE APPROPRIATE DETAILS.) WPS FIELD PERSONAL WILL ASSIST IN LOCATION INTERVALS FOR ITEM'S 1 & 8 LOCATION ALONG FENCE LINE. (SEE DETAIL LINE POST DETAIL).
2. FENCE CONTRACTOR NOT RESPONSIBLE FOR GROUNDING DESIGN OR MATERIAL.
3. WHERE SPACE FOR CLAMPS IS LIMITED, SECURE STEEL MESH TO GATE FRAME WITH TAMPER RESISTANT SCREW TYPE FASTENERS.
4. INSTALL SHARP EDGE PROTECTION TO CUT EDGE OF STEEL MESH AROUND GATE LATCH AREAS.
5. SEE MHS-08-018-02 FOR ADDITIONAL FENCE FABRICATION DETAILS.
6. FENCE CONTRACTOR TO DRILL 1/4" WEEP HOLES & COLD GALVANIZE AFTER. (SEE DETAIL TERMINAL POST FDN. 2)
7. PVC PIPE SHALL BE IN POCKET OF LOOSE GRAVEL TO MINIMIZE FREEZING.
8. FABRIC SHALL BE CUT/FABRICATED SO NO SHARP EDGES ARE EXPOSED.

1. ELEVATIONS SHOWN AS VIEWED FROM OUTSIDE SUBSTATION FENCE. GROUNDING SHOWN AS VIEWED FROM INSIDE THE SUBSTATION.
2. FIELD CREW TO SUPPLY HIGH SECURITY FENCE GATE LOCKS, EITHER LARGE SHACKLE – WPS CODE T1420001 OR SMALL SHACKLE – WPS CODE T1420002.
3. SEE SS-403-15 FOR SIGN LOCATIONS AND SIGN ATTACHMENT METHOD ON FENCE AND GATES.
4. THIS DRAWING WAS CREATED FROM TEMPLATE WPS-08-016-01, REVISION 9.

1. TAKE APPROPRIATE PRECAUTIONS WHEN WORKING ON GROUNDING SYSTEM ELEMENTS IN A ENERGIZED SUBSTATION OR GROUNDING SYSTEM ELEMENTS ASSOCIATED WITH A NEARBY ENERGIZED LINE. REFER TO SAFETY RULE 719N. A POSSIBLE TOUCH VOLTAGE OR TRANSFERRED VOLTAGE. HAZARD MAY BE PRESENT WHEN GROUND SYSTEM CONNECTIONS ARE SEPARATED. GROUNDING SYSTEM ELEMENTS INCLUDE: GROUND GRID FENCE AND GATES. COUNTER-POISE. WATER MAIN LEADS, TRANSMISSION LINE SHIELD WIRES AND DISTRIBUTION LINE NEUTRALS.
2. LOOP FENCE GROUND FOR FROST EXPANSION
3. GROUND TANGENT FENCE POSTS PER FENCE AND GROUNDING PLAN. MAXIMUM DISTANCE IS 30 FT BETWEEN GROUND POINTS WITH AT LEAST ONE MIDPOINT GROUND ON SHORT OR RANDOM FENCE SECTIONS. ALL GROUND POINTS WILL BE FENCE POST GROUNDING ONLY, WITH PIPE GROUND CLAMPS TO SUBSTATION GROUND GRID (SEE DETAILS ON THIS DWG).
4. RUN NO. 6 WIRE ON INSIDE OF FENCE AND ATTACH EVERY 3'.
5. USE HEAT SHRINK ON BOTH ENDS OF ITEM #7
6. CONCRETE APRON SHOULD EXTEND TO THE OUTSIDE OF GATEPOSTS.

FENCE GROUNDING BILL OF MATERIAL					
ITEM	DESCRIPTION OF MATERIAL	MANUFACTURER	CATALOG #	WPS STOCK #	QUANTITY
1	CLAMP, GROUNDING, CABLE TO 2 1/2" NOM. PIPE	SEFCOR	GU1-6012	T1420532	40
2	CLAMP, GROUNDING, CABLE TO 1 1/2" NOM. PIPE	SEFCOR	GU1-5412	T1420534	7
3	CLAMP, GROUNDING, CABLE TO 6" NOM. PIPE	SEFCOR	GUR-6914	T1420538	2
4	CONNECTOR, SPLIT BOLT			T1416399	350
5	VERSITAP			T1342527	50
6	WIRE, NO. 6, BARE CU			T1330917	600 FT
7	2/0 CU WELDING CABLE			T1386611	50 FT
8	CLAMP, GROUNDING, CABLE TO 1 1/4" NOM. PIPE	SEFCOR	1-OC-2548	T1420533	40
9	CLAMP, GROUNDING, CABLE TO 3 1/2" NOM. PIPE	SEFCOR	GU1-6312	T1420539	2
10	6-1/2" GALVANIZED PULL HANDLE	NATIONAL HARDWARE	N118-731		4

INSTALLED BY FENCE CONTRACTOR (SEE NOTES)
INSTALLED BY FENCE CONTRACTOR (SEE NOTES)
INSTALLED BY FENCE CONTRACTOR (SEE NOTES)

October 12, 1987

PC minutes

are suggested, it shall be mandatory that white strobe lighting be used only during daylight hours and only the red light shall be utilized at night.

4. The requirements of Section 15.81 Green Bay Code of Ordinances be complied with, if they apply to this proposal.

7. Request of Wisconsin Public Service to construct an electrical substation southwest of Morrow Street and Danz Avenue, per 13.21.

Mr. Preston gave the staff report.

Mrs. Clifton asked how large the substation would be.

Mr. Ron Buttke and Mr. Tom Huetter, Wisconsin Public Service Corporation, stated that the fenced enclosure would be approximately 144 by 160 feet.

Mr. Huetter further explained the engineering aspects of the project and stated that there would not be a great impact to the neighborhood.

Mr. Preston said that some landscaping was proposed to him over the phone, however Mr. Huetter said at this time the plans for that had not been finalized.

Mr. Wayne Omdahl, 251 North Danz Avenue, questioned whether or not sewer, water or pavement assessments would be made on adjacent property owners.

Mr. Huetter stated no since Wisconsin Public Service street improvements do not affect Danz Avenue.

Mr. Albert Derpinghaus, 259 North Danz Avenue, was concerned with an increase of stray electricity.

Mr. Huetter stated that there would be no increase in stray voltage in the area, and that the electronic field is only in the immediate vicinity of the transformers.

Ms Donna VanBeauchel, representing Deckner Manor, property to the south, stated that her firm was in favor of the proposal.

Mr. Ohmdal requested a copy of the Commission minutes and said he was concerned about information regarding a cancer risk from the electronic magnetic field because of the facility. He was referring to a news article he had.

Mr. Flynn stated that Mr. Ohmdal could check the Federal Register to read transcripts of the hearings held on the subject.

Mrs. Clifton said he could also contact the professors listed in the article.

After further discussion, a motion was made by Mrs. Vickery, seconded by Mr. Tilkens and carried to recommend approval of the project to the Council subject to the site plan requirements of 13.41.

8. Request to vacate a portion of Peterson Road at Kathy Drive, submitted by Ald. Larry Adams.

Mr. Flynn gave the report.

A motion was made by Mrs. Thulin, seconded by Mrs. Vickery and carried to approve of this request subject to the retention of an easement for a gas main as required by the Wisconsin Public Service Corporation.

11. Request to review a utility easement discontinuance located on Regal Avenue (Lot 11, Regal Heights Subdivision), submitted by Gary Pieschek.

Mr. Flynn gave the staff report.

Mr. Lemens of the Department of Public Works was present and stated that his department requested that the property owner be notified that there was an existing private storm sewer located on the property as shown and that this sewer is needed to drain the area.

After further discussion, a motion was made by Mrs. Thulin, seconded by Mrs. Vickery and carried that the request be approved subject to the following conditions:

- a. The petitioner/property owner is notified of the private storm sewer, per the request of the Department of Public Works.
- b. The portion of the subject utility easement that is described as follows, be retained; the southerly six feet of the easterly six feet of the westerly twelve feet of Lot 11, Regal Heights Subdivision.

Sec. 13.1608. - Public service and utility uses.

(a) *Public safety/service facility.*

- (1) Must provide parking, as set forth in subchapter 13.1700, Off-street parking, drives, and loading.
- (2) Vehicular access to the site shall be from a collector or arterial street to ensure adequate traffic capacity.
- (3) Must provide pedestrian access to the site.
- (4) Transitional yards shall be required per subchapter 13.1800, Site plan review, wherein the nonresidential site is considered a "nonresidential district" for purposes of establishing minimum setback distances from opposite and adjacent residential zoning districts.
- (5) A site plan showing site layout and front, side, and rear elevation drawings of the proposed building, as well as location and design of external signage and lighting, shall be furnished with architectural features specified in order to determine compatibility with uses permitted in this district.

(b) *Wireless communication facilities and/or support structures.*

- (1) *Approval of proposal.* A proposal for new wireless communication facilities and/or support structures shall not be approved unless the city council finds that the telecommunications equipment planned for the proposed facilities cannot be accommodated on an existing or approved wireless communication support structure within a one-mile search radius due to one or more of the following reasons, as documented by a qualified and licensed professional engineer:
 - a. The planned equipment would exceed the structural capacity of the existing or approved wireless communication support structure, and it cannot be reinforced, modified, or replaced to accommodate equivalent equipment.
 - b. The planned equipment would cause interference affecting the usability of other existing or planned equipment at the wireless communication facilities and/or support structures.
 - c. Existing or approved wireless communication support structures within the search radius cannot accommodate the planned equipment at a height necessary to function reasonably.
- (2) *Accommodation of additional antennas.* Any proposed commercial wireless communication support structure shall be designed to accommodate both the applicant's antennas and comparable antennas for at least two additional users, as well as be designed to allow for future rearrangement of antennas and to accept antennas mounted at varying heights.
- (3) *Design.* Proposed or modified wireless communication facilities and/or support structures shall blend in with the surrounding environment, except as may be required by rules of the Federal Aviation Administration (FAA) and Federal Communications

Commission (FCC). Any associated utility buildings must also blend in with the character of the district in which it is located.

- (4) *Setbacks.* Wireless communication facilities and/or support structures shall conform to the setback requirements of the underlying zoning.
- (5) *Signage.* The use of any portion of a wireless communication facilities and/or support structures for signs other than warning or equipment signs is prohibited.
- (6) *Lighting.* Wireless communication facilities and/or support structures shall not be illuminated by artificial means and shall not display strobe lights unless such lighting is specifically required by the FAA or other federal or state authority for a particular wireless communication facilities and/or support structures.
- (7) *Security and landscaping.* Ground-mounted equipment and utility buildings shall be screened from view by suitable vegetation, except where a design of non-vegetative screening better reflects and complements the character of the surrounding neighborhood. The base of the wireless communication support structure shall be secured so that it is not accessible by the general public.
- (8) *Abandonment.*
 - a. All unused wireless communication facilities and/or support structures shall be removed within 12 months of the cessation of operations at the site unless a time extension is approved by the plan commission. If leased property, a copy of the signed lease which requires the applicant to remove the wireless communication facilities and/or support structures upon cessation of operations at the site shall be submitted at the time of application. In the event that a wireless communication facilities and/or support structures is not removed within 12 months of the cessation of operations at a site, the wireless communication facilities and/or support structures may be removed by the city and the costs assessed against the property.
 - b. Unused portions of wireless communication support structures above a manufactured connection shall be removed within six months of the time of antenna relocation. The replacement of portions of a wireless communication support structure previously removed requires the issuance of a new conditional use permit.
- (9) *Interference.* The wireless communication facilities and/or support structures shall be shielded, filtered, and grounded in a manner consistent with FCC and Electronic Industries Association guidelines so as to minimize the possibility of interference with locally-received transmissions. Additionally, the owner of said facilities shall execute an agreement holding the city harmless for any interference.
- (10) *Obstruction marking and airport zoning.* All wireless communication facilities and/or support structures shall comply with the "Obstruction Marking and Lighting" requirements of the FAA in cooperation with the FCC. Written verification from the FAA of its

obstruction marking requirements is required.

- (11) *Airport zone.* If applicable, written verification of compliance with the Austin Straubel International Airport Zoning Ordinance is required.
- (12) *Municipal sites.* The siting and design of wireless communication facilities and/or support structures on municipal property shall be consistent with the character of the area and other zoning requirements. Facilities shall not be located in conservancy areas but may be located in active recreation areas, major playfields, municipal parks, and maintenance facilities. Any application for a wireless communication facilities and/or support structures site within a park shall go before the park and recreation committee, and applications for other municipal property shall go before the improvement and services committee.
- (13) *Existing wireless communication facilities and/or support structures.* Any structural modification to an existing wireless communication facilities and/or support structures must meet the requirements set forth in this section.
- (14) *Data sharing.* The following data shall be submitted to the planning department and updated in a timely manner:
 - a. Parcel number and address where the wireless communication facilities and/or support structures are to be located.
 - b. Wireless communication support structure owners' and agents' contact information.
 - c. Number of tenants using wireless communication support structure and lease space available.
 - d. Wireless communication facilities and/or support structures elevations (in feet).
 - e. Wireless communication support structure type (monopole, lattice, etc.) and antenna technology on structure (cellular, PCS, etc.).



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Tampa
Tucson
Washington, D.C.

Writer's Direct Dial: 414.277.5155
E-Mail: eric.vanschyndle@quarles.com

May 20, 2021

VIA EMAIL

Stephanie Hummel
Planner II
City of Green Bay
Stephanie.Hummel@greenbaywi.gov

Re: ZP 21-12 - Conditional Use Permit 2040 Block Morrow Avenue

Dear Planner Hummel:

My firm represents Wisconsin Public Service Corporation ("WPSC"). I thank you for your time and effort thus far on this matter. As I understand it, at the May 10, 2021, Plan Commission meeting (the "Meeting") there was some confusion as to whether or not WPSC is obligated to place a berm on its property at 2040 Block Morrow Avenue (the "Property"). I write to unequivocally state that there is no such obligation. Thus, the Plan Commission can proceed with the mandate to grant the conditional use permit ("CUP") under Wis. Stat. § 62.23(7)(de)(2)(a).

Below we list out a timeline listing events relevant to the issues raised to date. However, only some of the events listed below are relevant to the CUP, yet are listed here for completeness:

- In 1987 the City of Green Bay (the "City") granted WPSC's request to construct the substation on the Property;
- In 2000, United Financial Group ("UFG") proposed a new senior housing community south of the Property (the "UFG Project");
- To prepare for its proposed development, UFG sent a letter on August 30, 2000, to WPSC asking for WPSC's support in facilitating the UFG Project;
- On August 30, 2000, UFG wrote asking for WPSC to consider seven different items, one of which included a landscaped berm on the Property, at UFG's cost;
- On October 9, 2000, WPSC responded to UFG, in effect not opposing UFG's requests, including UFG hypothetically building a berm on WSPC's property;
- On April 19, 2021, WPSC submitted its CUP application;
- May 10, 2021, (over twenty years after discussing the UFG Project) UFG has done nothing as to the UFG Project. Moreover, Green Bay's electrical needs have increased, and stormwater management requirements have tightened; and

- For the May 10, 2021 meeting packet, the City staff recommended approval of the Conditional Use Permit as the substation expansion was and is “agreeable.” That recommendation was after applying the seven standards listed in City Ordinance 13.205(e) and finding that the “standards have been met.”

The only facts noted above that are relevant to the current consideration are that no berm was required, nor agreed to, and the standards listed in the ordinance have been met. These two facts trigger Wis. Stat. § 62.23(7)(de)(2)(a). All other facts listed above are, at best, issues for further discussion between the two property owners, and should have no bearing on the Plan Commission’s decision or considerations.

In the end, the City and its residents have an increased need for electrical services necessitating an expansion of the substation. Further, the City has implemented stormwater management requirements that necessitates the plan which WPSC submitted to the Plan Commission, and eliminates the ability to have a berm on the Property - even if one had been agreed to (which it was not).

UFG’s desire to - at some point in the future - sell or develop their property cannot and should not hold back the citizens of Green Bay from receiving proper electrical services, or force Green Bay to lessen its stormwater management requirements. But, more to the point, UFG’s desires are also irrelevant to the application at hand. If there is any dispute at all, it is between private property owners which does not impact the Plan Commission’s authority or decision here.

WPSC’s CUP application complies with Ordinance 13.205. Thus, WPSC respectfully requests that the Plan Commission follow the recommendation of staff, and approve the CUP consistent with Wis. Stat. § 62.23(7)(de)(2)(a). If you have any questions at all as to the above please feel free to contact me at (414) 277-5155 or via email at eric.vanschyndle@quarles.com.

Very truly yours,

QUARLES & BRADY LLP

Electronically signed by Eric J. Van Schyndle

Eric J. Van Schyndle

August 30, 2000

Mr. Jerome O. Tews
Real Estate Department
Wisconsin Public Service Corporation
PO Box 19002
Green Bay, WI 54307-9002

RE: WPS land and substation south of Morrow Street adjacent to proposed new senior housing community

Dear Mr. Tews:

Thank you very much for your time spent this week during our telephone conversation discussing the planned senior housing community adjacent to your substation and land. As discussed, we are committing to a senior community size of 400 units on our 20 acres adjacent to the substation. Depending upon the interest and support from the city to revitalize the areas of Berger Street, our project could be expanded up to 600 units, which is comparable to our Appleton and Brookfield senior communities.

To summarize our telephone conversation, we are requesting WPS to review our site plan design that would require cooperation and approval from WPS, and for our firm and WPS to join efforts to improve the overall aesthetics of the neighborhood.

Enclosed is the full-size copy of the proposed site plan you requested and four (4) aerial photographs of the area. Also enclosed is a reduced copy of the site plan numbered to correspond with the following items we discussed today:

1. We have submitted a written request to the City of Green Bay to improve Zimonick Street from Mills Street to Morrow Street during 2001. It is our plan to begin construction on Buildings A and C during spring 2001. While Zimonick Street is necessary to serve the senior community, proposed Brook Street may not be. We are requesting cooperation from WPS to support a vacation of the right-of-way for Brook Street from Berger Street to Zimonick Street. This vacation equates to savings of approximately \$70,950 to WPS.
2. Consideration from WPS to grant a 100' easement along the WPS south property line between Berger Street and Zimonick Street for two private drives to the underground parking garages in Buildings A and B. This would include the 33' WPS will acquire from the vacation, plus an additional 67' of land now owned by WPS. We will need this easement to support the vacation of Brook Street, which will save WPS the estimated \$70,000 assessment for ½ of the Brook Street costs.
3. Consideration from WPS to grant a 100' easement the width of the WPS property at the far west side of Berger Street for a paved surface parking area for our residents.
4. United would agree to landscape and maintain the landscape improvements on the WPS land between our buildings. WPS would retain authorization to approve any landscape improvements. We would reserve the right to terminate our responsibility to maintain the area in the future.
5. Consideration from WPS to upgrade the wooden poles between Zimonick Street and Berger Street.

*Will meet today
ask us to pay
for*

6. Consideration from WPS to support a variance request for a zero lot line setback for the 8-unit two-story townhome Building C. The side wall height for this 8-unit building is 18'.

To improve the overall aesthetics of the neighborhood, we are interested in a cooperative effort with WPS to landscape and buffer the substation, which we believe WPS committed to do back when they acquired and built the substation. United acquired the vacant land south of the substation prior to WPS acquisition. Jon McMurtrie of our office attended the public hearing where representations were made by WPS to landscape and screen the substation from our planned apartment community. United is willing to engineer, design and build a landscape berm on the WPS property along the south and west sides of the substation. The berm design would include United hiring a landscape architect to select the planting materials. WPS would provide and plant the selected plantings for natural screening.

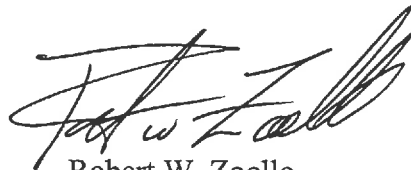
While our future residents will certainly benefit from WPS approving these proposed site plan accommodations, this may also be an opportunity for WPS to receive some positive recognition within the community for their willingness to work with their residential neighbors to soften the aesthetic impact of the substation. WPS will also benefit from the utility services from the 400-600 unit project.

It is our understanding that you will be reviewing our requests with your engineering department and that we can anticipate receiving a response from WPS by September 15, 2000. In the meantime, please feel free to call either one of us at (920) 738-0077 if you have any questions or concerns. Thank you very much for your attention and consideration to our request.

Sincerely,



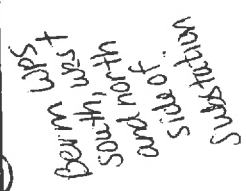
Judy Husar
Vice President
(Ext. 15)



Robert W. Zoelle
Vice President-Construction
(Ext. 12)

P. 01

SCHULER AND ASSOCIATES 7344610





RECEIVED
OCT 10 2000



Jerome O. Tews
Director - Real Estate

Wisconsin Public Service Corporation
(a subsidiary of WPS Resources Corporation)
700 N. Adams Street
P.O. Box 19002
Green Bay, WI 54307-9002
920-433-1389
920-431-4815 fax
1-800-321-5771 toll free
920-826-5754 home
jtews@wpsr.com e-mail

October 9, 2000

Judy Husar
United Financial Group Inc.
125 East First Avenue
Appleton, WI 54911-1305

RE: WPSC land and substation south of Morrow Street – Green Bay

Dear Ms. Husar:

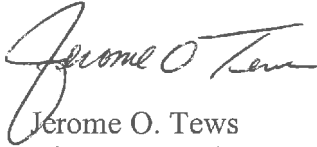
Thank you for the full size site plan and aerial photos, they were most helpful when conveying your proposal to the appropriate internal departments. In response to your letter of August 30, 2000 Wisconsin Public Service Corporation offers the following comments and conclusions.

1. We will support your request to improve Zimonick Street and to vacate Brook Street from Berger Street to Zimonick Street. Although this was not stated in your letter, we understand that there will be an assessment levied against Wisconsin Public Service Corporation for the improvement to Zimonick Street.
2. We will grant you a Lease for the private drives. The Lease will require an annual payment based on 10 percent of current market value for the land encumbered. It is estimated that market value is approximately \$40,000.00 per acre. The Lease will be long term and will escalate every 5 years base on the CPI. Although we will support your request to vacate a portion of Brook Street, we are not concerned if Brook Street was to be extended and we were faced with the assessment of \$70,000.00 plus dollars. These dollars would easily be recaptured because the street improvement would add value to our land if and when we were to remove the electric transmission line facilities.
3. We will also grant you a Lease for the parking lot under the same terms and conditions stated in number 2.
4. We will permit you to landscape and maintain the same, provide electrical codes are not violated. We do question reserving a right to terminate this responsibility.
5. We are will to work with you on upgrades to the wooden structures, associated costs would be passed on to you.
6. We will not oppose you propose zero lot request to support construction of Building C.

OK: JH
CC: JH
132

We are willing to cooperate to improve the aesthetics with regard to our substation. It's our understanding that you will supply the dirt and construct the berm with input from us so that electrical codes are not violated. This will be done at not cost to Wisconsin Public Service Corporation. We will provide the appropriate plantings at our cost. We will also improve our substation service road with blacktop and install a more aesthetically pleasing gate at our cost.

Sincerely,

A handwritten signature in black ink, appearing to read "Jerome O. Tews". The signature is fluid and cursive, with the first name "Jerome" being more prominent.

Jerome O. Tews
Director - Real Estate
(920) 433-1389

cc D M Quinn – A2



Report to the Green Bay Plan Commission

MEETING DATE

May 24, 2021

PREPARED BY

David Buck, Staff

AGENDA ITEM # E.2

(ZP 21-13) Public Hearing on a request to authorize a Conditional Use Permit (CUP) for a limited production and processing use at 1778 Main Street, submitted by Michael Mileski and Tony Loucscher, applicants, Konop Vending Machines, property owner (Ald. L. Gerlach, District 3).

BACKGROUND

RECOMMENDATION

FISCAL IMPACT

ATTACHMENTS

- I. ZP 21-13 Class 2 Pub PC Mtg

For Official Notice:

**Public Notification
Proposed Conditional Use Permit (CUP)
1778 Main Street
(ZP 21-13)**

The Green Bay Plan Commission will hold a public hearing on **Monday, May 24, 2021**, at 6:00 p.m. If you wish to participate in a public hearing, you may access the meeting by the internet or telephone using the access code below.

Join Zoom Meeting

<https://us02web.zoom.us/j/84137675822?pwd=L2EyVlpDSIZGZ1FjcmlpWnZIOEVnUT09>

Meeting ID: 841 3767 5822

Passcode: 483400

One tap mobile

+13126266799,,84137675822# US (Chicago)

+16468769923,,84137675822# US (New York)

Dial by your location

+1 312 626 6799 US (Chicago)

+1 646 876 9923 US (New York)

+1 301 715 8592 US (Washington D.C)

+1 408 638 0968 US (San Jose)

+1 669 900 6833 US (San Jose)

+1 253 215 8782 US (Tacoma)

+1 346 248 7799 US (Houston)

Meeting ID: 841 3767 5822

Find your local number: <https://us02web.zoom.us/j/84137675822?pwd=L2EyVlpDSIZGZ1FjcmlpWnZIOEVnUT09>

The hearing is regarding the following:

A request to authorize a Conditional Use Permit (CUP) for a limited production and processing use at 1778 Main Street, submitted by Michael Mileski and Tony Loucscher-applicant, Konop Vending Machines-property owner (Ald. L. Gerlach, District 3).

Public comments will be invited at the public hearing or can be sent in writing to:

City of Green Bay

Department of Community and Economic Development

Attn: David Buck

100 N. Jefferson St., Rm. 608

Green Bay, WI 54301

For additional information, contact David Buck at (920) 448-3411 or david.buck@greenbaywi.gov.

Publication Dates: May 10, 2021 and May 17, 2021



Report to the Green Bay Plan Commission

MEETING DATE

May 24, 2021

PREPARED BY

David Buck, Staff

AGENDA ITEM # E.3

(ZP 21-13) Consideration with possible action on a request to authorize a Conditional Use Permit (CUP) for a limited production and processing use at 1778 Main Street, submitted by Michael Mileski and Tony Loucscher, applicants, Konop Vending Machines, property owner (Ald. L. Gerlach, District 3).

BACKGROUND

Primary Address: 1778 Main Street

Aldersperson / District: Ald. Lynn Gerlach / 3

Reason for Request: To permit Limited Production & Processing Use to manufacture guitars in a General Commercial Zoning District.

Surrounding Zoning and Land Uses:

SUBJECT General Commercial (C1) Vacant commercial retail and warehousing

NORTH General Commercial (C1) Commercial retail and office

SOUTH Highway Commercial (C2) Single-family residential

EAST General Commercial (C1) Commercial automobile service station

WEST General Commercial (C1) & Low Density Residential (R1) Commercial office & single-family residential

Comprehensive Plan: The 2022 Smart Growth Plan designates this area for commercial land uses.

Consistency Analysis: While Ch. 66.1001 Wis. Stats. does not specifically require conditional uses to meet the consistency requirement, the proposed conditional use permit is consistent with the comprehensive plan. The proposed use of the subject property is compatible with and is not contradictory to the applicable recommended policy and the future land use map.

Report: The requested Limited Production & Processing Use is to be located at 1778 Main Street. The subject property has a General Commercial (C1) zoning which allows the Limited Production & Processing Use (defined in the Zoning Ordinance as a small-scale activities that are compatible with retail sales and services. These uses produce minimal off-site impacts due to their limited nature and scale) by Conditional Use Permit.

The subject site is located on two adjacent parcels on the south side of Main Street between Laura Street and Schoen Street. The two lots equate to approximately 64,000 sq. ft. or 1.5 acres of land area and includes both the buildings at 1778 Main Street and Gene's Deep Rock automobile service station at 1786 Main Street. Property lines related to these two lots are atypical in that sometime between 1978-1992 expansions took place on 1778 Main Street that crossed over and straddle the property line creating a nonconforming building and lot situation. Staff looked at potential ways to clear this up through reconfiguration of property lines but are unable to ascertain how it can be done without adding

nonconformity. We are therefore treating it as a nonconforming situation until such time that redevelopment occurs. However, staff wants to point out that there could possibly be unforeseen issues with State Building Codes depending on extent of remodeling. This CUP request is only for the buildings currently addressed as 1778 Main Street, even though they are located on both properties and this report will focus exclusively on 1778 Main Street.

The site currently contains a single-story 11,000 sq. ft. building that is three (3) attached structures built between the early 1950s and the late 1970s as well as a small parking area along Main Street and a service/loading/parking area at the southern lot line. The property is currently vacant but has most recently been occupied by a pet supply store and grooming business. The petitioner plans to occupy the building with a retail and service establishment including musical instrument sales and repair in the northern half of the building and the manufacture of specialty guitars in the southern portion of the structure. The limited production and processing business includes medium intensity wood and metal working and assembly, all of which will be conducted inside the building generating little to no impact to the exterior.

Planning Staff is recommending approval of the request as the applicants intended production business matches the code definition precisely. The establishment of Limited Production & Processing Use on this limited scale will not be detrimental to or endanger the public health, safety or general welfare; will not impede the normal and orderly development and improvement of the surrounding property; will not be injurious to the use of other property in the immediate vicinity nor substantially diminish or impair property values within the surrounding neighborhood; adequate utilities, access roads, drainage, and/or necessary facilities are in place; adequate parking facilities are provided and will not be detrimental to the neighborhood.

Ald. Lynn Gerlach, the Oak Grove Neighborhood Association, and adjacent property owners within 200+ ft. of the property have been notified of the request and a zoning action sign has been placed on the property. As of the drafting of this report, staff has not received any calls regarding the request.

RECOMMENDATION

Approval of the request for a Conditional Use Permit for Limited Production & Processing Use to manufacture guitars, as proposed with the following conditions:

- a. Compliance with all of the regulations of the Green Bay Municipal Code not covered under the Conditional Use Permit (CUP), including standard site plan review and approval;
- b. The CUP is exclusive to the building primarily located on 1778 Main Steet (Parcel 21-1303-1); and
- c. Outdoor storage of material is prohibited.

FISCAL IMPACT

ATTACHMENTS

1. ZP 21-13 CUP - Application
2. ZP 21-13 Location Map_color



REQUEST FOR CITY ACTION PLAN COMMISSION

Department of Community,
and Economic Development
100 N. Jefferson Street, Rm 608
Green Bay, WI 54301-5026
(920) 448-3400 - phone
(920) 448-3426 - fax

Petitioner(s): Michael Mileski, Tony Loucsher Date: April 27, 2021
Email: sprucemach@aol.com Phone Number: 920-362-8402
Address: 4516 State Hwy, 29 City: Green bay State: WI Zip Code: 54311
Property Owner: Konop Vending Machines Phone Number: (920) 468-8517
Parcel Numbers (required): 21-1303-1 and 21-2508
Location of Property: 1778 Main Street

Attach maps and legal descriptions (required) and submit to the Dept. of Community and Economic Development, Room 608, City Hall

To: Honorable Mayor and Common Council, c/o City Clerk

I, Michael Mileski, respectfully request that the City of Green Bay take the following action:

Attach Zoning Petition Form with first three items.

- ☐ Rezone Property (\$300.00 Review Fee)
- ☒ Conditional Use and CUP Amendment, including Single Lot Duplexes (\$300.00 Review Fee)
- ☐ PUD and PUD Amendments (\$350.00 Review Fee)
- ☐ Approve Preliminary City/Extraterritorial Subdivision Plat (\$150.00 plus \$35.00 per Lot/Outlot Review Fee)
- ☐ Approve Preliminary City/Extraterritorial Certified Survey Map (\$150.00 Review Fee)
- ☐ Approve Final City/Extraterritorial Subdivision Plat (\$100.00 Review Fee)
- ☐ Grant a City/Extraterritorial Subdivision/CSM Variance (\$150.00 Review Fee)
- ☐ Grant a Postponement of Development Fees (\$100.00 Review Fee) [Review by I&S and/or Park Committees]
- ☐ Development District Map Amendment (\$200.00 Administration Fee)
- ☐ Official Map Amendment (\$200.00 Administration Fee)
- ☐ Plat of Right-of-Way (\$200.00 Administration Fee)
- ☐ Discontinue a Public Utility Easement (\$200.00 Administration Fee)
- ☐ Street Name Change (\$200.00 Administration Fee)
- ☐ Declare City Property "City Surplus" (\$200.00 Administration Fee)
- ☐ Vacate a Street/Alley/Pedestrian Way (\$200.00 Administration Fee)
- ☐ Other (\$200.00 Administration Fee): _____

Petitioner Signature(s): Michael Mileski

Review Fee: \$300.- Receipt No.: 2758207-11

Zoning Petition No.: 21-13

Briefly describe action desired, noting the property affected and all other pertinent information.

Attach maps and legal descriptions (required).

CUP to allow Spruce Machine, Inc. to occupy the 2205sf space for light manufacturing in support of Japsper
Guitar and Luthier's Workshop which will occupy the 2660sf and 1201sf spaces for retail sales and service.
Activities will include machining small parts, hardware and wood bodies.

Please contact the Dept. of Community and Economic Development, Room 608, City Hall,
(920) 448-3400, if you have any questions.

April, 29, 2021

To whom it may concern,

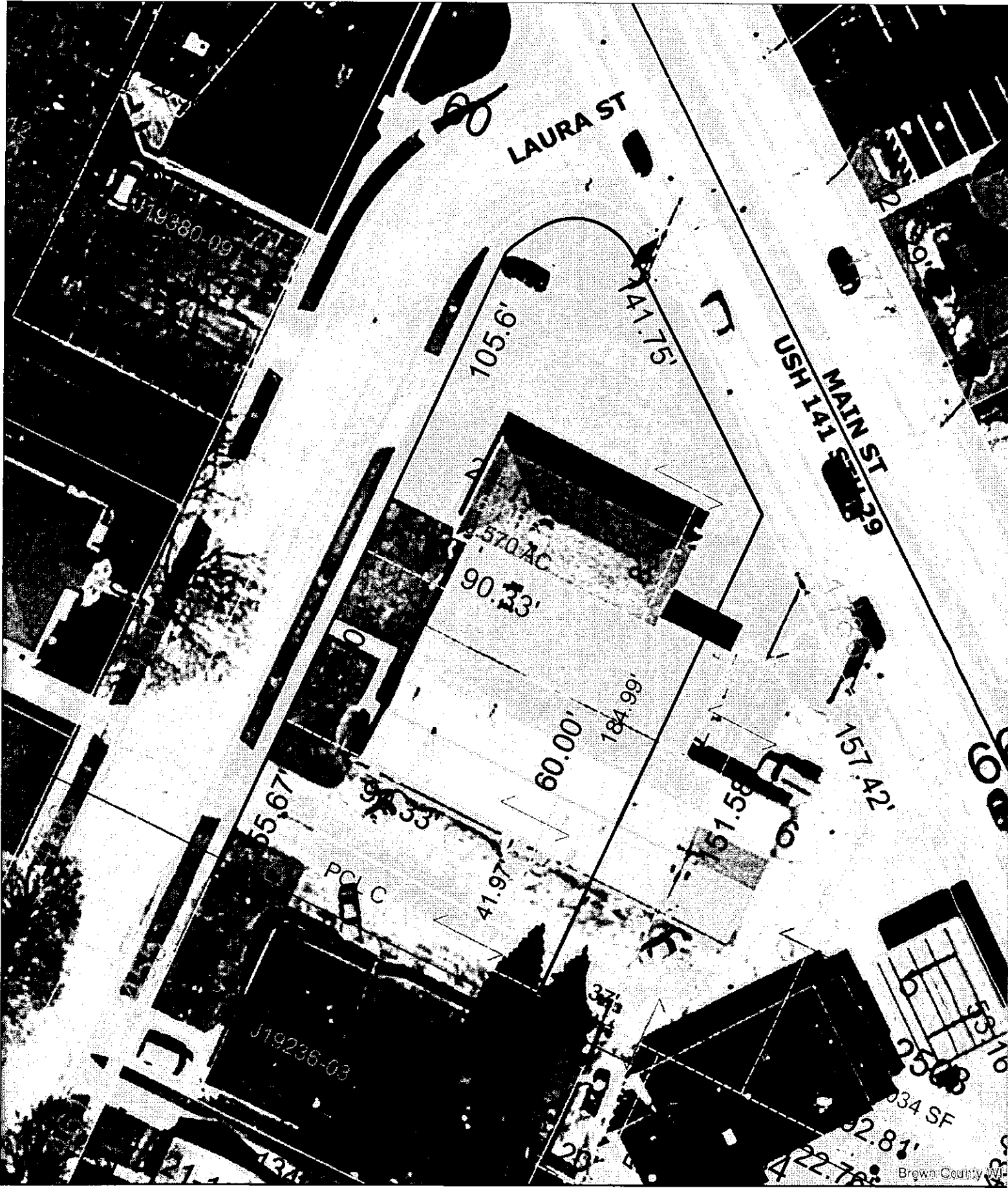
The desire of our companies is to use a portion of this building to perform light manufacturing of guitars. We would use medium-duty woodworking and metalworking equipment to create guitar body blanks and hardware. We would perform sanding of said guitar bodies, apply a finish to them, and finally, assemble them to complete the process.

We also desire to utilize the front portion of the building for a retail operation, where we would sell our manufactured guitars along with other brands of guitars and assorted music related products. Some of this space would be dedicated to our office and administrative functions. Light repair of guitars would be done in the retail portion of the building as well.

Kind regards,

Tony Louscher
Owner/Operator Jasper Guitar Company and Luthier's Workshop

Michael Mileski
President, Spruce Machine, Inc.



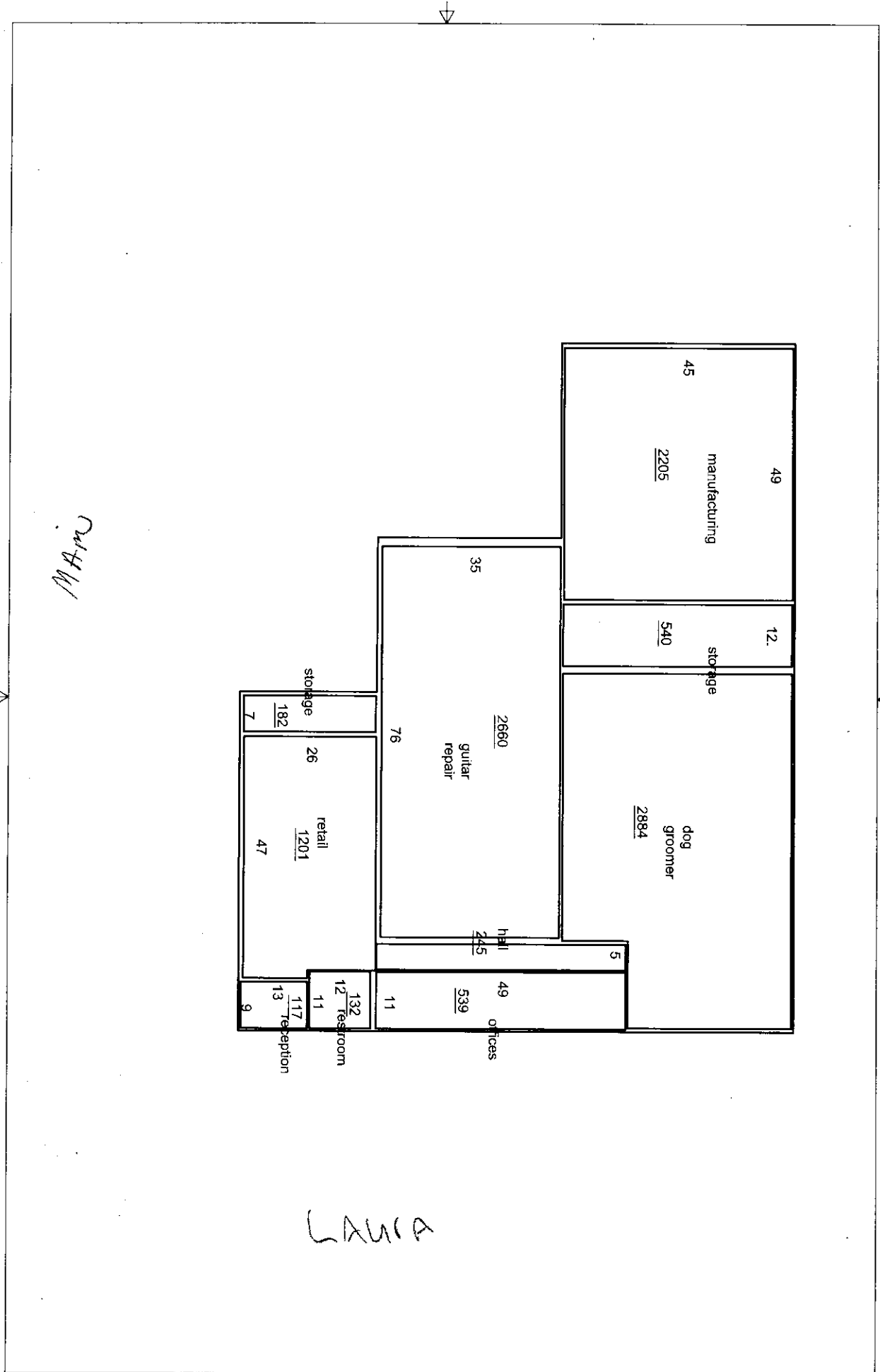
Parcel 21-1303-1 1778 Main Street

This map is provided by the City of Green Bay for reference and display purposes only.
The City makes no claims regarding the accuracy or completeness of the image or data presented.



1 in = 40 ft









Report to the Green Bay Plan Commission

MEETING DATE

May 24, 2021

PREPARED BY

David Buck, Staff

AGENDA ITEM # F.1

University of Wisconsin Senior Capstone Project Presentation - Central Yards Redevelopment Concept presented by author Martin Jensen Rose.

BACKGROUND

Senior Capstone Project for the redevelopment of the former railroad yard at the 1000 Block S. Ashland Avenue. Property goes under Ashland Avenue, located south of 5th Street, north of 7th Street, running from W. Mason Street on the west to S. Broadway on the east.

RECOMMENDATION

FISCAL IMPACT

ATTACHMENTS

- I. map

THE RAIL YARD

