



AGENDA OF THE ZONING & PLANNING BOARD OF APPEALS

MONDAY, DECEMBER 20, 2021, 5:30 PM
Virtual Meeting. Public may join via Zoom.

A. Zoom Meeting Information.

1. This item contains documents which provide call in information and instructions for the Zoom meeting.

B. Roll Call.

1. Members: Tommy Everman - Chair, Noel Halvorsen - Vice Chair, Don Carlson, Jim Hutchison, and Tom Hoy
Alternate: Vacant
2. Does anyone need to abstain from voting? Was anyone out to see any of the properties? Did you speak to anyone regarding this variance request?

C. Approval of the Agenda.

1. Approval of the Agenda for the December 20, 2021, meeting of the Zoning & Planning Board of Appeals.

D. Approval of Minutes.

1. Approval of the Minutes from the November 15, 2021, meeting of the Zoning & Planning Board of Appeals.

E. Regular Business.

1. (Appeal 21-040) Jim Anderson, Anderson Basement Repair, Inc., on behalf of Michelle Kumbalek, property owner, proposes to install an egress window in a Low Density Residential (RI) at 508 Victoria Street. The applicant requests to deviate from the following requirement in Chapter 44, Green Bay Zoning Code, Section 44-554, Table 44-2, front yard setback (Ald. B. Galvin, District 4).
2. (Appeal 21-041) Jon LeRoy, Mau & Associates, on behalf of Neufeld Enterprises II, LLC,

property owner, proposes to construct a new Arby's restaurant building and parking lot in a General Commercial (C1) District at 1640 West Mason Street. The applicant requests to deviate from the following requirement in Chapter 44, Green Bay Zoning Code, Section 44-720, Table 44-9, Floor Area Ratio (FAR) (Ald. J. VanderLeest, District 11).

3. (Appeal 21-042) Jon LeRoy, Mau & Associates, on behalf of Neufeld Enterprises II, LLC, property owner, proposes to construct a new Scooter's restaurant building and parking lot in a General Commercial (C1) District at 1640 West Mason Street. The applicant requests to deviate from the following requirement in Chapter 44, Green Bay Zoning Code, Section 44-720, Table 44-9, Floor Area Ratio (FAR) (Ald. J. VanderLeest, District 11).

F. Adjournment.

1. Discussion on procedural items related to the Board of Appeals.
2. Next Meeting Date: January 17, 2022

- 1) THIS MEETING IS RECORDED: THE VIDEO OF THIS MEETING AND MINUTES ARE AVAILABLE ONLINE AT www.greenbaywi.gov
- 2) ACCESSIBILITY: Any person wishing to attend who requires special accommodation because of a disability, should contact the City Safety Manager at 920-448-3125 at least 48 hours before the scheduled meeting time so that arrangements can be made.
- 3) QUORUM: Please take notice that a majority or quorum of the Common Council will attend this Zoning & Planning Board of Appeals meeting and will constitute a meeting of the Common Council for purposes of discussion and information gathering relative to this agenda.
- 4) REPRESENTATION: The party requesting the communication, or their representative, should be present at this meeting.

Virtual Meeting Instructions



Plan Commission

Zoom Meeting Information

Join Zoom Meeting

<https://us02web.zoom.us/j/84137675822?pwd=L2EyVlpDSIZGZ1FjcmlpWnZIOEVnUT09>

Meeting ID: 841 3767 5822

Password: 483400

One tap mobile

+1 312 626 6799,,841 3767 5822# US (Chicago)

+1 646 876 9923,,841 3767 5822# US (New York)

Dial by your location

+1 312 626 6799 US (Chicago)

+1 646 876 9923 US (New York)

+1 301 715 8592 US (Germantown)

+1 346 248 7799 US (Houston)

+1 408 638 0968 US (San Jose)

+1 669 900 6833 US (San Jose)

+1 253 215 8782 US (Tacoma)

Meeting ID: 841 3767 5822

Password: 483400

Find your local number: <https://us02web.zoom.us/j/kcTM6PWdqR>

Additional Information

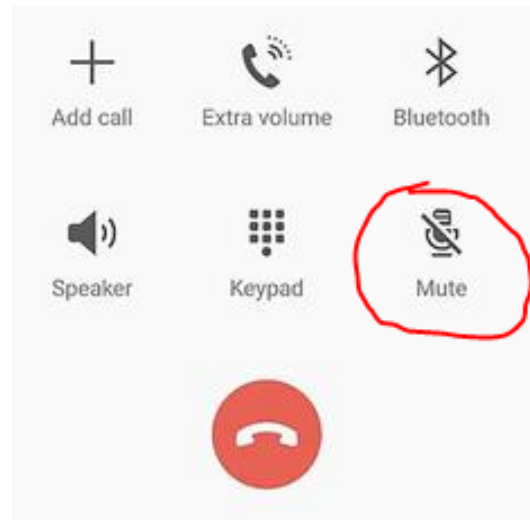
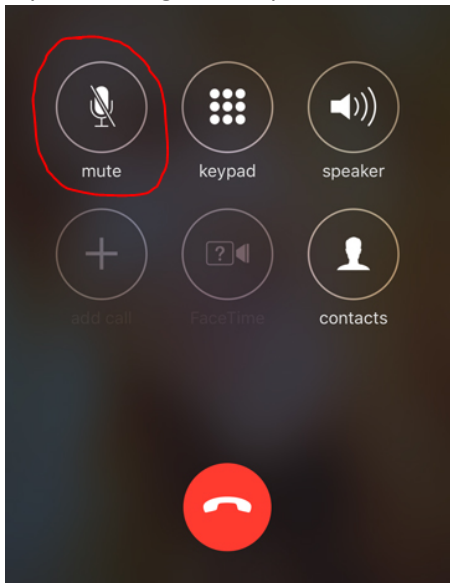
1. Wisconsin Open Meetings Law still applies
 - a. Persons interested in speaking to an item must give their name and address
 - b. Committee/Commission/Board members will still follow *Roberts Rules of Order*
2. All zoom meetings will have a password in the instructions. Please enter when prompted.
3. Please log into the Zoom meeting 10 minutes before the meeting starts to ensure proper technology is working.
 - a. If you are a Board Member, please log into [CivicClerk](#) with a computer, laptop, or tablet device.
4. Once you are in the meeting please mute yourselves.
 - a. You may unmute yourself when you are called upon to speak.
5. Waiting room
 - a. When you call in, all callers/participants will be placed in a “waiting room.”
 - b. Persons on the agenda will be admitted to the meeting, and then once the item is concluded, the host will permanently mute you from the meeting (you can still hear the meeting).
6. Using Zoom with a tablet or computer
 - a. Tablet—you will be asked to sign in. Download the app either with the Apple Store or the Play Store
 - b. Computer—you will be asked to sign in. You may download the app or click on the link to open Zoom in your browser.
7. Registering
 - a. The host may ask you to register for the meeting. A registration link will be sent to you along with the invite. You’ll receive another email confirming that you’re registered for the meeting.
 - b. If you’re using a phone, your registration will still be tied to an email.
8. Raising your hand
 - a. Committee members—you can either use CivicClerk and request to speak or you can “raise your hand” in the zoom meeting (you’d need to use a computer or tablet) to let the host know you’d like to speak. You can also un-mute yourselves and start speaking.
 - b. Persons on the agenda—you can “raise your hand” but you’d need to use a computer. You will be allowed to speak, per Wisconsin Open Meetings Rules, once the committee has “opened the floor for interested parties to speak.” Once the committee is finished with your agenda item, the host will mute you permanently, unless the committee opens the floor again.
9. What devices should I use?
 - a. Smart phone (please see more detailed instructions on page 3)
 - b. Land line
 - c. Tablet—well in advance of the meeting, please download the Zoom Meeting app before you join a meeting by using either the Apple Store or the Play Store. You will be asked to input your name, thus identifying you for the meeting. You’ll also be asked to verify your email.
 - d. Computer—well in advance of the meeting, please download the Zoom Meeting app, but you can also click on a link to open the Zoom Meeting in your browser. You will be asked to input your name, thus identifying you for the meeting.
 - e. For tablet and computer users—if you download the app you will be asked to verify your email.
10. Zoom etiquette
 - a. Muting yourselves when you’re not talking will prevent your background noise from interfering with others’ ability to listen to and participate in the meeting.
 - b. If you’re using a telephone, please identify yourself with your phone number and name before you speak. Zoom meeting hosts can see only your telephone number and will ask you to identify yourselves.
11. Closed session
 - a. Persons in the Zoom meeting will be put into a waiting room while the committee meets in Closed Session. Participants will be admitted back into the Zoom meeting once the committee reconvenes in Open Session.
 - b. Persons watching live on YouTube will see a gray screen with the City logo during closed session.
12. Persons interested in listening to the meeting can go to www.youtube.com/CityofGreenBay

Calling into the Zoom meeting using a smartphone

1. Dial the phone number listed at the beginning of this document.
2. When prompted, enter the Meeting ID number followed by #
 - a. If you're using a smartphone, you can access the keypad by clicking "Keypad" on your screen



3. Once you are in the meeting, notify the meeting host that you are in and state your name.
4. If you do not need to talk, please make sure your phone is on **Mute**
 - a. If you're using a smartphone, look at your screen and click the Mute button



- b. If you're using a computer, you should see a Mute button in the Zoom application





Report to the
Zoning & Planning Board of Appeals
of the City of Green Bay

MEETING DATE

December 20, 2021

PREPARED BY

Paul Neumeyer, Staff

AGENDA ITEM # E.1

(Appeal 21-040) Jim Anderson, Anderson Basement Repair, Inc., on behalf of Michelle Kumbalek, property owner, proposes to install an egress window in a Low Density Residential (R1) at 508 Victoria Street. The applicant requests to deviate from the following requirement in Chapter 44, Green Bay Zoning Code, Section 44-554, Table 44-2, front yard setback (Ald. B. Galvin, District 4).

BACKGROUND**RECOMMENDATION****FISCAL IMPACT****ATTACHMENTS**

- I. 508 Victoria St

ZONING & PLANNING BOARD OF APPEALS VARIANCE APPLICATION

APPLICATION DEADLINE: FIRST TUESDAY OF THE MONTH AT 12 NOON.

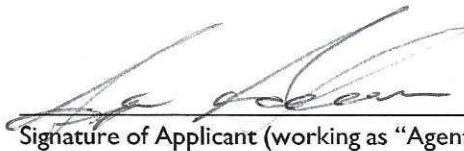
[illegible]

List ordinance(s) (number and description) the variance will be impacting (staff will assist with this).
Chapter 44, Green Bay Zoning Code, Section 44-358(3) setback encroachment.
ALTERNATIVES:
Describe alternatives to your proposal, to include other locations, designs, construction techniques, etc.
WEST WALL IS PLUMBING WALL
NORTH WALL IS DRIVEWAY
SOUTH WALL NOT ENOUGH ROOM FROM PROPERTY LINE
Alternatives that you considered that comply with existing regulations:
I DID NOT KNOW ABOUT FRONT WALL INSTALLATION.
I HAVE INSTALLED 100'S OF WINDOWS THREW OUT
THE AREA BUT DID NOT KNOW ON FRONT WALL
Reasons for not pursuing the alternative(s) listed above: DIDN'T KNOW
THREE STEP TEST - To qualify for a variance, the applicant must demonstrate that their property meets the following three (3) requirements:
Does unique physical characteristics of your property prevent the compliance with the ordinance? Explain

Would granting the variance be contrary to the public interest? Explain.
THE WINDOW
INSTALLATION IS HARD TO NOTICE FROM
STREET
Why would not getting the variance unreasonably prevent you from using the property for a permitted purpose (leaving the property owner without any use that is permitted for the property) or would render conformity with such restrictions unnecessarily burdensome?

I HEREBY CERTIFY THAT I HAVE READ AND FULLY UNDERSTAND THE VARIANCE PROCEDURE AND FAILURE TO COMPLY WITH CITY REQUIREMENTS WILL RESULT IN THIS APPLICATION BEING WITHHELD FROM CONSIDERATION BY THE ZONING BOARD OF APPEALS.

Signature of the Property Owner


Signature of Applicant (working as "Agent" for owner)

MICHELLE KUMBALK
Print Name:

JIM ANDERSEN
Print Name:

Date

12-4-21
Date

OFFICE USE ONLY:	Parcel# 21-2442	Residential \$75 _____ Commercial \$150 _____
District: 4 Zoning: R1	Meeting Date: 12/20/2021	Receipt #:
Submittal Date: 12/06/2021	Staff Signature:	



(//)

Stone Egress Well - Sandstone

- Part Number - 82123006S
- 52 in. D X 75 in. W X 64 in. H
- IRC Code compliant.
- Accommodates 3-5 ft casement or slider windows.
- Maintenance-free polyethylene construction.
- Looks and feels like real stone.
- Built-in stairs provide easy escape in case of emergency.
- Heavy duty dual-walled design for superior sturdiness and strength.
- UV protected to maintain color.
- Optional polycarbonate cover (sold separately) helps prevent children, small animals, rainwater, and debris from falling into the well.

Romotech's Sandstone Egress Well is an elegant, low maintenance way to add natural light, ventilation, and an emergency escape to any basement living space. Built from sturdy dual-walled polyethylene, the well provides the look and feel of real stone and will never rust, erode, or collapse. It's also UV protected to maintain its color for years to come. Built-in steps make it easy to climb out of the well in case of emergency.

The egress well is easy to install and never needs maintenance. It's designed to fit 3 - 5 ft slider or casement windows and meets IRC code requirements for below grade living areas. A polycarbonate cover (part number 82123108) is also available to prevent children, small animals, rain water, and debris from accidentally falling into the well.



PROJECT #106890



DRIVEWAY

N

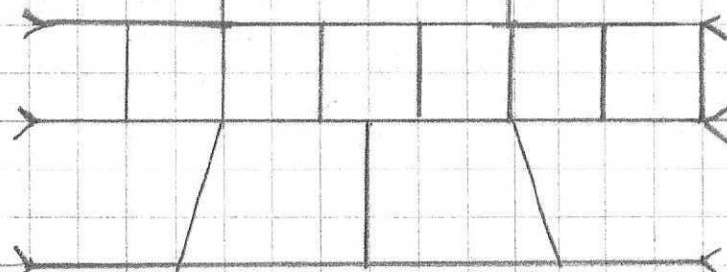
508 VICTORIA ST.

WINDOW

HEIGHT FROM FLOOR 24"

HEADER - $1\frac{1}{2}$ " X 3" TUBULAR STEEL $\frac{1}{4}$ " WALL
ENCLOSED WITH 2 X 8 TREATED

WINDOW - 30" X 48" CASEMENT





Report to the
Zoning & Planning Board of Appeals
of the City of Green Bay

MEETING DATE

December 20, 2021

PREPARED BY

Paul Neumeyer, Staff

AGENDA ITEM # E.2

(Appeal 21-041) Jon LeRoy, Mau & Associates, on behalf of Neufeld Enterprises II, LLC, property owner, proposes to construct a new Arby's restaurant building and parking lot in a General Commercial (C1) District at 1640 West Mason Street. The applicant requests to deviate from the following requirement in Chapter 44, Green Bay Zoning Code, Section 44-720, Table 44-9, Floor Area Ratio (FAR) (Ald. J. VanderLeest, District 11).

BACKGROUND**RECOMMENDATION****FISCAL IMPACT****ATTACHMENTS**

1. Arby's Variance Application
2. New Variance Request Arby's

[illegible]

List ordinance(s) (number and description) the variance will be impacting (staff will assist with this).
Request relief for building floor area ratio minimum for lot from 0.1 to 0.07 to accommodate the construction of a 2597 square foot building at the parcel located in the existing out parking along W Mason Street.
ORD CH 13 Sec. 13.810 (Table) Floor Area Ratio - Minimum
ALTERNATIVES:
Describe alternatives to your proposal, to include other locations, designs, construction techniques, etc.
See Attached Text
Alternatives that you considered that comply with existing regulations:
See Attached Text
Reasons for not pursuing the alternative(s) listed above:
See Attached Text
THREE STEP TEST - To qualify for a variance, the applicant must demonstrate that their property meets the following three (3) requirements:
Does unique physical characteristics of your property prevent the compliance with the ordinance? Explain
See Attached Text

Would granting the variance be contrary to the public interest? Explain.
See Attached Text
Why would not getting the variance unreasonably prevent you from using the property for a permitted purpose (leaving the property owner without any use that is permitted for the property) or would render conformity with such restrictions unnecessarily burdensome?
See Attached Text

I HEREBY CERTIFY THAT I HAVE READ AND FULLY UNDERSTAND THE VARIANCE PROCEDURE AND FAILURE TO COMPLY WITH CITY REQUIREMENTS WILL RESULT IN THIS APPLICATION BEING WITHHELD FROM CONSIDERATION BY THE ZONING BOARD OF APPEALS.

Newfeld Enterprises II, LLC

Signature of the Property Owner

Jonathon LeRoy
Signature of Applicant (working as "Agent" for owner)

Edward N. Martin - Member

Print Name:

Jonathon LeRoy
Print Name:

December 17, 2021
Date

12/6/21
Date

OFFICE USE ONLY:	Parcel# 6-150-1	Residential \$75 _____ Commercial \$150 <u>X</u>
District: 11 Zoning: C1	Meeting Date: 12/20/2021	Receipt #:
Submittal Date:	Staff Signature:	

Arby's

Variance Request



Part of 1640 W Mason Street

December 7, 2021

Describe Reason for Variance

Please find the following written narrative and supporting documents as a request for a variance request at part of the existing parcel at 6-150-1, 1640 West Mason Street purpose of constructing and operating a drive-thru Arby's restaurant.

Arby's is seeking to develop the underused parking lot site at 1640 West Mason Street to create a fast food drive through and dine in restaurant at future Lot 3 of a new certified survey map. Property encompasses some 0.85 acres with a building that will take up 2597 square feet.

The site is currently apart of an underused parking lot owned by Neufeld Enterprises II LLC. An attached certified survey map has met approvals and awaiting recording to create three lots out of the existing lot housing Planet Fitness, surface parking, and greenspace along West Mason. This will create two new lots along West Mason to create a Scooter's Coffee and Arby's. This will continue the redevelopment investment up along West Mason Street for addition of smaller businesses situated along the street like the recent development with Cellcom and North Shore Bank east of Mitchell Street.

Neufeld Enterprises II LLC will continue to be the property owner for all three lots in existing lot.

Arby's is looking to create an approximately 2597 square foot building footprint to serve customers. With the lot size being 37079 square feet, this leads to a 0.07 FAR. Existing zoning for the site is C1. A conditional use permit will also be applied for to meet zoning code to allow for drive-through use.

The following items have been attached

Future CSM

Site Plan for Plan Commission

Elevations

List ordinances the variance will be impacting

- (1)** Request relief for building floor area ratio minimum for lot from 0.1 to 0.07 to accommodate the construction of a 2597 square foot drive through/dine in restaurant.
ORD. CH. 13 Sec. 13.810 (Table) Floor Area Ratio-Minimum

ALTERNATIVES

Describe alternatives to your proposal

The FAR requirement to fit the proposed building would require a lot size of 25970 square feet or create a building which is about 1100 square feet larger than the proposed 2597 square foot building. If the building were to be enlarged, the building would not meet the expected market demands with an oversized dining room and or kitchen.

Alternatives that you considered that comply with existing regulations

The site is being created by using a fairly common practice of taking extraordinarily underused surface parking for a legacy big box development and placing out building up along the thoroughfare of Mason Street.

Setbacks:

Property lines could be shifted around to create a 'gerrymandered' effect on the property to reduce the amount of property shared with existing development and drive lanes. This could reduce the overall size of the lot to where the FAR would approach the 0.1 threshold, but would not fully make up this number without losing parking stalls. The building fits in well with setbacks for the property with the building at the center of the property and drive through lanes around the building

Safety:

The placement of Arby's (and adjacent Scooter's) is placed in an area which utilizes a void space between four drive lanes.

- Mason Street
- North/South traffic off Mitchell Street
- North/South traffic off driveway entrance between the Goodwill Store and Planet Fitness
- East/West traffic down an established drive lane connecting Goodwill, Planet Fitness, and businesses established east of Mitchell Street.

Size of developed area fits in well with the established drive lanes for all businesses. A decrease or increase in lot size to the north and south would create uneven traffic queues in the area. Traffic from West Mason safely enters the overall block and then can queue in a line around the west and southern sides of the building. Ordering occurs past the front of building on the east side. Pick up occurs on the north side of building. Additional parking and landscaping exists on the west, south, and east sides of the property.

Building Size:

Development team looked at creating a larger building, but the additional size needed simply to meet FAR standards would not meet the business model warranted for typical Arby's drive throughs. Even before COVID, customers utilizing an interior dining room were in decline. A dining room is present, but it is not warranted to expand by some 1100 square feet to meet an arbitrary number. A larger building size would also make the task for creating needed parking, drive through lane, and green space requirements impossible within the limits of the 4 drives/streets surrounding the property.

Reasons for not pursuing the alternatives listed above

To ensure setbacks, green space standards, and general form/fit of the commercial businesses in relation to the overall parking lot for the stores along Mason Street, development team believes this fit works best. This size and fit will also ensure adequate space for parking for employees and dining room customers and adequate length for drive through queues.

THREE STEP TEST

Does unique physical characteristics of your property prevent the compliance with the ordinance?

Yes. The site is hemmed in by established drive lanes for the overall shopping complex FAR. Requiring the building to be larger would be an arbitrary standard which would not bring additional functionality to the building itself. The overall site works well within the confines of the

established corridor hemmed between West Mason and three drive lanes which encapsulate the property.

Would granting the variance be contrary to the public interest?

Granting will allow a full site design which can ensure safe queuing of automobiles free from Mason Street and traffic build up in the driveway lanes. Additionally, this request will allow for the CUP request and combination CSM to become feasible. These steps will allow the site to continue redevelopment and growth along the underused parking lot corridor at West Mason/Military.

Why would not getting the variance unreasonably prevent you from using the property for permitted use?

To continue continuity within the commercial block, the drive lanes have become established and work well with the functions of the existing commercial store fronts to the north and east. A business like an Arby's has been a good fit continue commercial redevelopment along the Mason Street corridor.

SCOOTER'S AND ARBY'S

1640 W. MASON

CITY OF GREEN BAY

PRELIMINARY

PROJECT INFORMATION

OWNER(S):	NEUFELD ENTERPRISES II LLC
PROJECT NAME:	SCOOTER'S AND ARBY'S AT 1640 W. MASON
PROJECT DESCRIPTION:	SCOOTER'S COFFEE AND ARBY'S WITH STORMWATER MANAGEMENT
PROJECT LOCATION:	1640 W. MASON
PARCEL NUMBER(S):	6-150-1

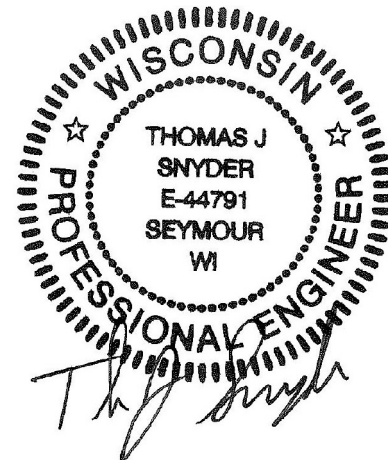
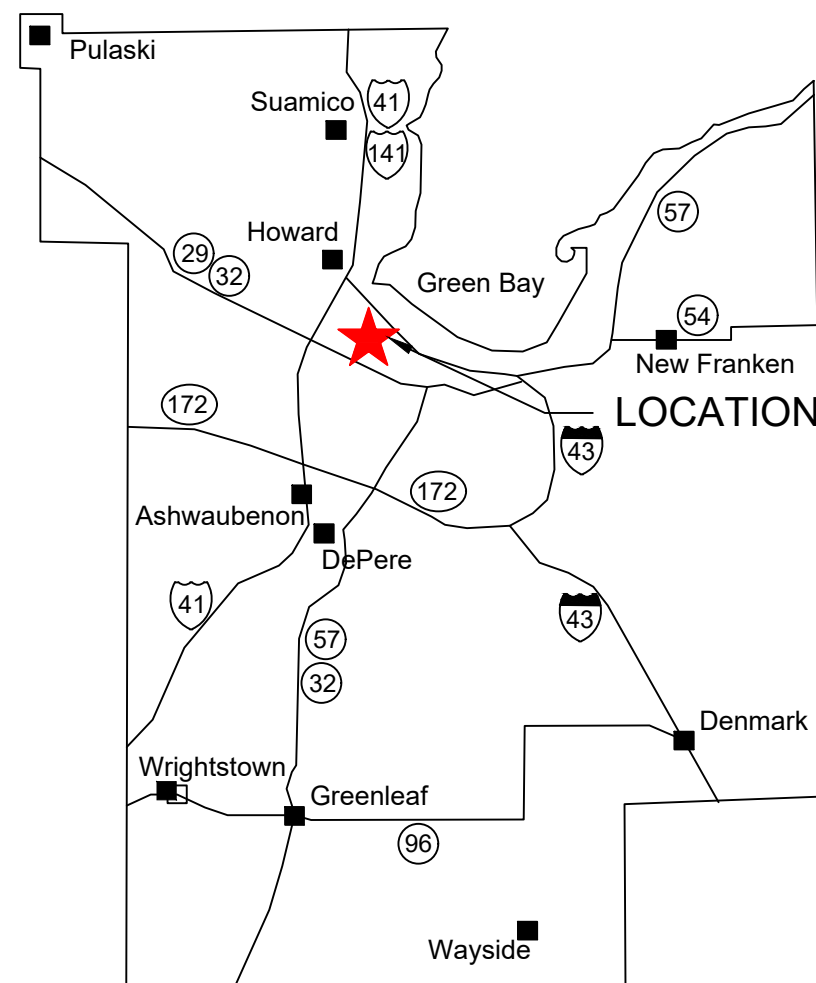
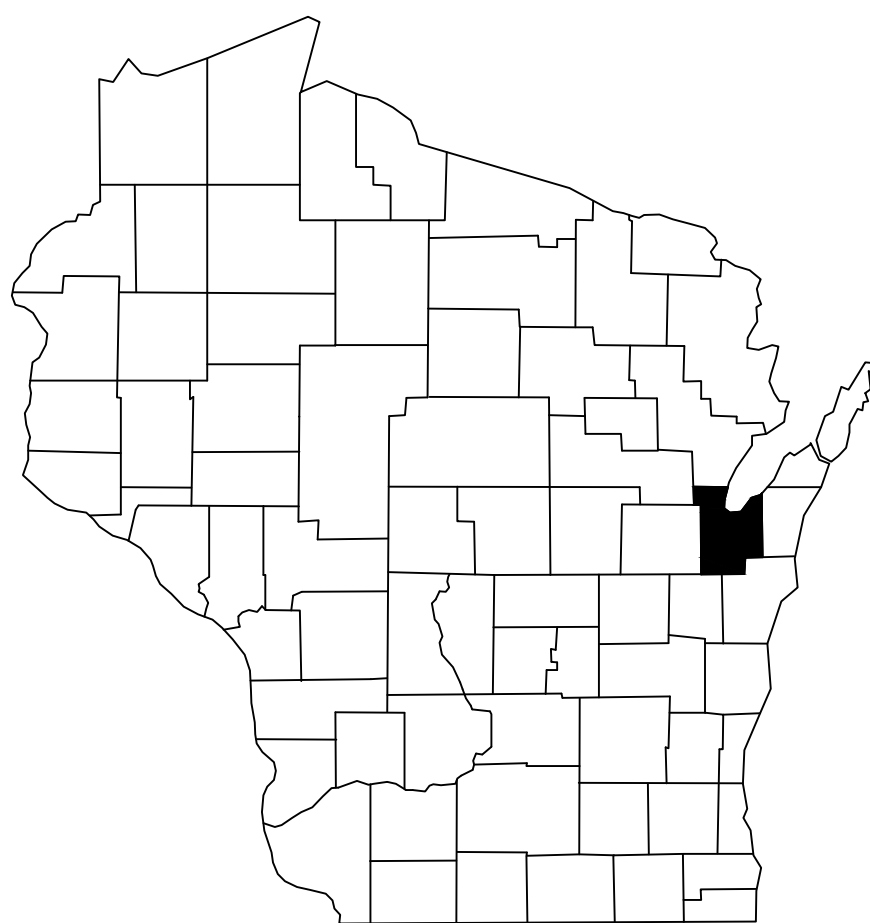
LEGAL DESCRIPTION
Part of Lot 2, Volume 13, Certified Survey Maps, Page 139, Map Number 2691, Document Number 1024520, Brown County Records, being located in part of Lot 14 of "Tank's Subdivision of Private Claims 2-9, West Side of the Fox River", in the City of Green Bay, Brown County, Wisconsin.

CONTACT INFORMATION

OWNER(S):	DAVID MARTIN 320 W. MILITARY AVE GREEN BAY, WI 54303 PH.: 920-490-3104 david@hjmartin.com
ENGINEER:	MAU & ASSOCIATES, LLP CONTACT: TOM SNYDER, P.E. 400 SECURITY BLVD. GREEN BAY, WI 54313 PH.: 920-434-9670

SHEET INDEX:	
C1.0	TITLE SHEET
C2.0	NOTES
C3.0	EXISTING CONDITIONS AND DEMO PLAN
C4.0-4.2	SITE & LANDSCAPE PLAN
C5.0-5.1	EROSION CONTROL PLAN
C6.0-6.2	GRADING PLAN
C7.0-7.2	UTILITY PLAN
C8.0-8.1	DETAILS

DATE:	12/01/21
PROJECT NO.	M-712
SHEET NO.	C1.0
DRAWING NO.	S-3513



12/01/21



Vicinity Map
(not to scale)

Mau & Associates
LAND SURVEYING & PLANNING
CIVIL & WATER RESOURCE ENGINEERING
Phone: 920-434-9670 Fax: 920-434-9672

RESPONSE ACTIONS IN THE EVENT OF A SPILL OR RELEASE

IMMEDIATELY TAKE THE FOLLOWING MEASURES TO KEEP THE SPILL FROM ENTERING SEWER OR STORM DRAINS, SPREADING OFF SITE, OR AFFECTING HUMAN HEALTH.

STOP, CONTAIN, AND CLEAN UP CHEMICAL SPILL IF:

- THE SPILLED CHEMICAL AND ITS HAZARDOUS PROPERTIES HAVE BEEN IDENTIFIED
- THE SPILL IS SMALL AND EASILY CONTAINED
- RESPONDER IS AWARE OF THE CHEMICALS' HAZARDOUS PROPERTIES

IF SPILL OR RELEASE CANNOT BE CONTROLLED OR INJURIES HAVE OCCURRED DUE TO THE RELEASE THE FOLLOWING PROCEDURES SHOULD BE IMPLEMENTED:

- SUMMON HELP OR ALERT OTHERS OF THE RELEASE
- EVACUATE IMMEDIATE AREA, PROVIDE CARE TO INJURED, CALL 911
- IF POTENTIAL FOR FIRE OR EXPLOSION - CALL 911
- RESPOND DEFENSIVELY TO ANY UNCONTROLLED SPILLS
 - USE PROTECTIVE EQUIPMENT
 - ATTEMPT TO STOP SOURCE OF RELEASE (IF SAFE TO DO SO)
 - PROTECT DRAINS BY USE OF ABSORBENT, BOOMS OR DRAIN COVERS (IF SAFE TO DO SO)
- NOTIFY ONSITE EMERGENCY CONTACT(S)
- COORDINATE RESPONSE ACTIVITIES WITH LOCAL EMERGENCY PERSONNEL
- BE PREPARED TO PROVIDE MSDS INFORMATION TO EMERGENCY PERSONNEL
- NOTIFY APPROPRIATE AGENCY IF RELEASE HAS ENTERED THE ENVIRONMENT.

SPILL PREVENTION AND EMERGENCY RESPONSE PLAN:

EMERGENCY CONTACTS

Bill Rosnow, HJ Martin
(920) 371-1332

EMERGENCY RESPONSE CONTACTS

FIRE/PARAMEDICS/POLICE 911
FIRE NON-EMERGENCY LINE (920) 434-4666
COUNTY HEALTH DEPARTMENT(920) 448-6400
DNR SPILL HOTLINE 1-800-943-0003

LOCAL EMERGENCY MEDICAL FACILITY

ST. MARY'S HOSPITAL
1726 SHAWANO AVE
GREEN BAY, WI 54303
(920) 498-4200

SPILL PREVENTION

HAZARDOUS SUBSTANCE MANAGEMENT:
ALL HAZARDOUS SUBSTANCES, INCLUDING CHEMICAL WASTES, ARE TO BE MANAGED IN A WAY THAT PREVENTS RELEASE.

CONSTRUCTION SITE EROSION CONTROL

THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES. ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS AND IF NO STANDARD EXISTS THE WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK (CURRENT EDITION) SHALL BE REFERENCED. EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN PLACE PRIOR TO DISTURBING THE SITE. CONTRACTORS SHALL MINIMIZE THE DURATION AND SIZE OF DISTURBED AREAS TO THE MAXIMUM EXTENT PRACTICABLE. EROSION AND SEDIMENT CONTROL PRACTICES PROPOSED FOR THIS PROJECT ARE DESCRIBED AS FOLLOWS:

SEDIMENT TRACKING FROM CONSTRUCTION SITE:

- STONE TRACKING PAD(S) - TECHNICAL STANDARD 1057
STONE TRACKING PADS WILL BE INSTALLED AT ENTRANCES SHOWN ON THE SITE. TRACKING PADS SHALL BE IN PLACE PRIOR TO LAND DISTURBING ACTIVITIES.
WASH WATER FROM VEHICLE AND WHEEL WASHING SHALL BE TREATED BEFORE ENTERING WATERS OF THE STATE.
- STREET SWEEPING/CLEANING
SEDIMENT TRACKED FROM THE CONSTRUCTION SITE SHALL BE CLEANED UP AT THE END OF EACH WORK DAY UNLESS THE SEDIMENT PRESENTS A HAZARD. SEDIMENT PRESENTING A HAZARD MUST BE CLEANED UP IMMEDIATELY.

SEDIMENT CARRIED OFF-SITE BY OVERLAND FLOW OR RUNOFF:

- SILT FENCE - TECHNICAL STANDARD 1056
SILT FENCE WILL BE INSTALLED DOWN-SLOPE OF ALL DISTURBED AREAS OF THE SITE. THE FENCE SHALL BE INSTALLED ALONG THE CONTOURS AND BE IN-PLACE PRIOR TO LAND DISTURBING ACTIVITIES.
- SEEDING - TECHNICAL STANDARD 1059; MULCHING - TECHNICAL STANDARD 1058
DISTURBED AREAS OF THE SITE SHALL BE SEEDED AND MULCHED AS SOON AS THEY ARE BROUGHT TO FINISHED GRADE. IN ADDITION, ANY STOCK PILES IN PLACE FOR 7 DAYS OR MORE SHALL BE SEEDED AND MULCHED.
- NON-CHANNEL EROSION MAT - TECHNICAL STANDARD 1052
EROSION CONTROL MAT SHALL BE PLACED AS SHOWN ON THE PLANS, AND/OR AS DETERMINED IN THE FIELD, TO PROTECT THE DISTURBED SLOPES FROM EROSION. NON-CHANNEL EROSION MAT SHALL BE INSTALLED AS SOON AS THE SLOPE HAS BEEN BROUGHT TO FINISHED GRADE.
- CONSTRUCTION SITE DIVERSION - TECHNICAL STANDARD 1066
WHERE POSSIBLE, THE SITE WILL BE GRADED SUCH THE RUNOFF FROM UNDISTURBED AREAS IS ROUTED AROUND DISTURBED AREAS OF THE SITE.

SEDIMENT CARRIED OFF-SITE BY DEWATERING OPERATIONS:

- DEWATERING - TECHNICAL STANDARD 1061
DEWATERING IS NOT ANTICIPATED FOR THIS PROJECT. IF IT IS REQUIRED, DEWATERING SHALL BE IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD. ANY NECESSARY PERMITS SHALL BE OBTAINED PRIOR TO DEWATERING OPERATIONS TAKE PLACE.

SEDIMENT ENTERING STORM DRAIN INLETS:

- STORM DRAIN INLET PROTECTION - TECHNICAL STANDARD 1060
ALL INLETS, PROPOSED AND EXISTING, ACCEPTING RUNOFF FROM DISTURBED AREAS OF THE SITE SHALL HAVE INLET PROTECTION INSTALLED PRIOR TO LAND DISTURBING ACTIVITY WITHIN THE AREA DISCHARGING TO THE INLET.

SEDIMENT BEING CARRIED OFF-SITE BY WIND:

- DUST CONTROL - TECHNICAL STANDARD 1068
WHEN REQUIRED, DUST CONTROL MEASURES SHALL BE EMPLOYED TO PREVENT DUST FROM BLOWING OFF-SITE.

CONCRETE WASHOUT

- CONCRETE WASHOUT SHALL BE COLLECTED AND RETAINED, BOTH WATER AND CONCRETE, IN LEAK PROOF CONTAINERS. WASHOUT CAN BE RECYCLED OR REUSED. SEE <http://water.epa.gov/polwaste/npdes/swbmp/upload/concretewashout.pdf> FOR DETAILS.

GENERAL NOTES:

1. ALL CLEARING, GRADING, GRAVELING, PAVING, AND RESTORATION SHALL BE DONE IN ACCORDANCE WITH THE WISCONSIN DOT STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, CURRENT EDITION.

2. A COPY OF THE EROSION CONTROL PLAN SHALL BE KEPT ON SITE AT ALL TIMES.

3. EROSION CONTROL METHODS SHALL BE IMPLEMENTED, AS DIRECTED BY THE ENGINEER, PRIOR TO AND DURING CONSTRUCTION, TO CONTROL WATER POLLUTION, EROSION, AND SILTATION. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE WIDNR TECHNICAL STANDARDS.

4. CONTRACTOR IS RESPONSIBLE FOR CONTACTING DIGGERS HOTLINE FOR THE LOCATION OF THE UTILITIES.

5. CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL STUMPS.

6. EXCESS TOPSOIL SHALL BE STOCKPILED ON THE SITE WITH THE PROPER EROSION CONTROL AT A LOCATION ACCEPTABLE TO THE OWNER.

7. CONTRACTOR SHALL DISPOSE OF ALL WASTE AND EXCESS MATERIAL AT AN APPROVED LOCATION.

8. CONTRACTOR SHALL PROTECT ALL PROPERTY IRONS. A LICENSED LAND SURVEYOR, AT THE CONTRACTORS EXPENSE, SHALL REPLACE ANY PROPERTY IRONS REMOVED DURING CONSTRUCTION.

INSPECTION AND MAINTENANCE

THE CONTRACTOR IS RESPONSIBLE FOR INSPECTION AND MAINTENANCE OF EROSION AND SEDIMENT CONTROLS UNTIL THE CONSTRUCTION SITE IS PERMANENTLY STABILIZED WITH A DENSE GRASS COVER. THE CONTRACTOR SHALL INSPECT EROSION AND SEDIMENT CONTROLS WEEKLY AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. THE CONTRACTOR SHALL INSPECT EROSION AND SEDIMENT CONTROLS FOR STRUCTURAL DAMAGE, SEDIMENT ACCUMULATION, OR ANY OTHER UNDESIRABLE CONDITION. THE CONTRACTOR SHALL REPAIR DAMAGED STRUCTURES PRIOR TO THE END OF EACH WORKING DAY. SEDIMENT SHALL BE REMOVED FROM THE STRUCTURE WHEN THE DEPTH OF SEDIMENT HAS ACCUMULATED TO ONE HALF THE HEIGHT OF THE DEVICE OR AS REQUIRED BY THE APPLICABLE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARD (CURRENT EDITION).

THE CONTRACTOR SHALL SUMMARIZE WEEKLY INSPECTION AND MAINTENANCE ACTIVITIES ON A WEEKLY INSPECTION REPORT THAT IS AVAILABLE THROUGH THE WDNR.

THE WEEKLY INSPECTION REPORT SHALL INCLUDE THE FOLLOWING MINIMUM INFORMATION:

NAME OF INDIVIDUAL PERFORMING INSPECTION;

DATE, TIME, AND PLACE OF INSPECTION;

A DESCRIPTION OF THE CONSTRUCTION PHASE;

A DESCRIPTION OF EROSION AND SEDIMENT CONTROL INSTALLATIONS;

A DESCRIPTION OF EROSION AND SEDIMENT CONTROL MAINTENANCE ACTIVITIES;

AND AN ASSESSMENT OF EROSION AND SEDIMENT CONTROL CONDITIONS.

THE CONTRACTOR SHALL PROMPTLY FURNISH THE ORIGINAL WEEKLY INSPECTION REPORTS TO THE OWNER, OWNER'S REPRESENTATIVE, OR WISCONSIN DEPARTMENT OF NATURAL RESOURCES WHEN REQUESTED. THE CONTRACTOR SHALL KEEP A COPY OF THE APPROVED EROSION & SEDIMENT CONTROL PLAN, PERMITS, AND WEEKLY INSPECTION REPORTS ON-SITE AT ALL TIMES.

ALL WASTE FROM THE CONSTRUCTION SITE SHALL BE PROPERLY DISPOSED OF AND NOT BE ALLOWED TO ENTER THE STORM SEWER SYSTEM, DRAINAGE SYSTEM, OR OTHER ENVIRONMENTALLY SENSITIVE AREAS LOCATED WITHIN THE CONSTRUCTION SITE.

SEQUENCE OF CONSTRUCTION

MARCH 2022

- INSTALL TRACKOUT PROTECTION, SILT FENCE, AND INLET PROTECTION AS SOON AS PRACTICABLE. PERFORM STREET SWEEPING AS NEEDED.
- CONTACT THE CITY OF GREEN BAY 3 DAYS BEFORE SITE GRADING BEGINS.
- CLEAR AND GRUB EXISTING DRY POND.
- REGRADE POND. MODIFY INLET PIPE. PERMANENTLY STABILIZE POND AREA WITH TOPSOIL, SEED, FERTILIZE, MULCH OR EROSION MATT AS SOON AS PRACTICABLE AFTER FINAL GRADING OF POND AREA.

APRIL 2022

- REMOVE AND DISPOSE OF PAVEMENT AT SCOOTER'S & ARBY'S SITE. STRIP AND STOCKPILE TOPSOIL.
- INSTALL SANITARY SEWER, WATER, AND STORM SEWER
- INSTALL BUILDING FOUNDATIONS
- GRADE AND CONSTRUCT DRIVE-THRU, DRIVEWAY, & PARKING. USE EXISTING PARKING LOT AS CONSTRUCTION STAGING AREA
- SALVAGE SUITABLE MATERIAL FOR FILL MATERIAL. DISPOSE OF NON-SUITABLE OR EXCESS SOILS AT A PERMITTED OFF-SITE LOCATION.
- PERFORM STREET SWEEPING AND TEMPORARY MULCHING/SEEDING AS NEEDED AND REQUIRED.

MAY 2022

- INSTALL CURB & GUTTER.
- CONSTRUCT BUILDINGS.
- COMPLETE FINE GRADING AND LANDSCAPING. PERMANENTLY STABILIZE EACH AREA OF THE CONSTRUCTION SITE WITH TOPSOIL. SEED, FERTILIZE, AND MULCH AS SOON AS PRACTICABLE AFTER FINAL GRADING.
- INSTALL CONCRETE PAVEMENT, STRIPING.

JULY 2022

REMOVE AND DISPOSE OF EROSION AND SEDIMENT CONTROL MEASURES WITHIN 30 DAYS OF FINAL SITE STABILIZATION (I.E. SILT FENCE). VEGETATION SHALL ACHIEVE 70% GROWTH TO BE CONSIDERED STABILIZED.

Legend

○ 1.32" (O.D.) X 18" IRON PIPE WITH CAP WEIGHING 1.68 LBS/LIN FT SET	● POWER POLE
● 1" IRON PIPE FOUND	← ANCHOR WIRE
⊙ COMPUTED POINT	—OK— OVERHEAD WIRES
⊙ PK NAIL FOUND	==== CONCRETE CURB & GUTTER LINE
△ PK NAIL SET	■ EXISTING ASPHALT
⊗ CUT + FOUND	■ PROPOSED ASPHALT
⊙ 3/4" IRON PIPE FOUND	▨ EXISTING BUILDING
● 2" IRON PIPE FOUND	▨ PROPOSED BUILDING
● BROWN COUNTY MONUMENT - TYPE NOTED	■ CONCRETE
() RECORDED AS BEARING / DISTANCE	■ GRAVEL
..... NO ACCESS	■ WETLAND AREA
⊙ CB ROUND CATCH BASIN	▨ FLOODPLAIN LIMITS
⊙ ST STORM SEWER MANHOLE	▨ FLOODWAY
▨ CURB INLET	—○— SILT FENCE
—Stn— STORM SEWER LINE	▨ INLET PROTECTION
⊙ SC SANITARY CLEANOUT	▨ SLOPE EROSION MAT WSDOT CLASS 1 TYPE A
⊙ SA SANITARY SEWER MANHOLE	▨ CHANNEL EROSION MAT WSDOT CLASS 1 TYPE B
—San— SANITARY SEWER LINE	■ RIP RAP SIZE AND QUANTITY PER PLAN
⊙ WM WATER MANHOLE	■ TRACKING PAD
⊙ HYDRANT	--- EXISTING CONTOUR LINE
—Wat— WATERMAIN	--- PROPOSED CONTOUR LINE
⊙ WV WATER VALVE	×176.41 EXISTING GROUND GRADE
⊙ WV WATER VALVE - CURB STOP	×174.88 PROPOSED GROUND GRADE
⊙ GV GAS VALVE	2.33% DRAINAGE ARROW
—Gas— UNDERGROUND GAS LINE	—○— FENCE LINE
⊙ GM GAS METER	—○— GUARD RAIL
—Tel— UNDERGROUND TELEPHONE LINE	□ GUARD POST
⊙ TP TELEPHONE PEDESTAL	▨ FLAG POLE
⊙ TM TELEPHONE MANHOLE	▨ SIGN
—Elec— UNDERGROUND ELECTRIC LINE	▨ DECIDUOUS TREE
⊙ AC AIR CONDITIONER	▨ CONIFEROUS TREE
⊙ TR ELECTRIC TRANSFORMER	▨ TRAFFIC LIGHT
⊙ E ELECTRIC PEDESTAL	▨ MAILBOX
⊙ EM ELECTRIC MANHOLE	▨ HANDICAP PARKING SPACE
—Ca—Ca— UNDERGROUND CABLE TV LINE	▨ MONITORING WELL
⊙ HB HANDHOLE BOX	▨ ROCK WALL
⊙ CB CABLE TV PEDESTAL	▨ WELL
—Fib— UNDERGROUND FIBER OPTIC LINE	▨ SHRUB
⊙ F FIBER OPTIC PEDESTAL	
⊙ FM FIBER OPTIC MANHOLE	
⊙ GL GROUND LIGHT	
⊙ LP LIGHT POLE	
- - - - - CONSTRUCTION LIMITS	

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Comments

Date

Number

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NOTES

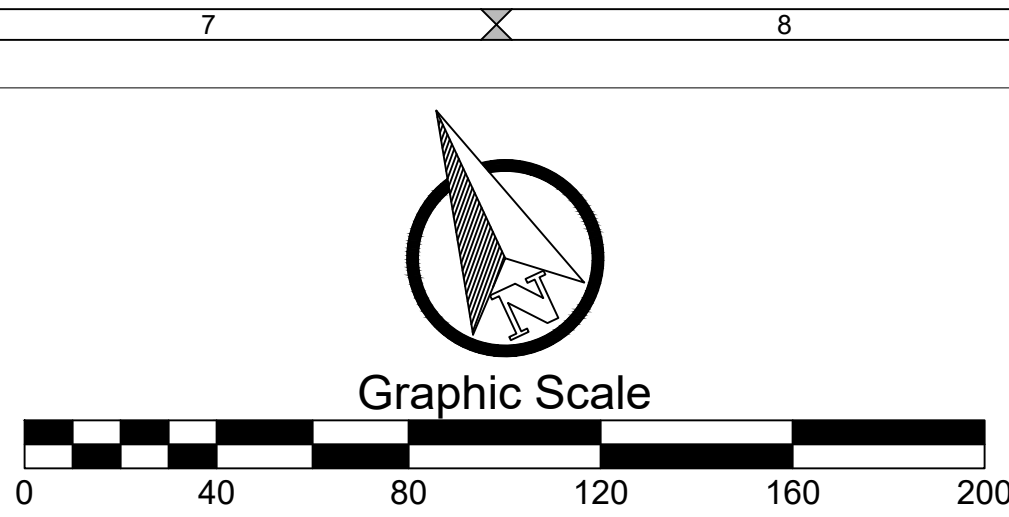
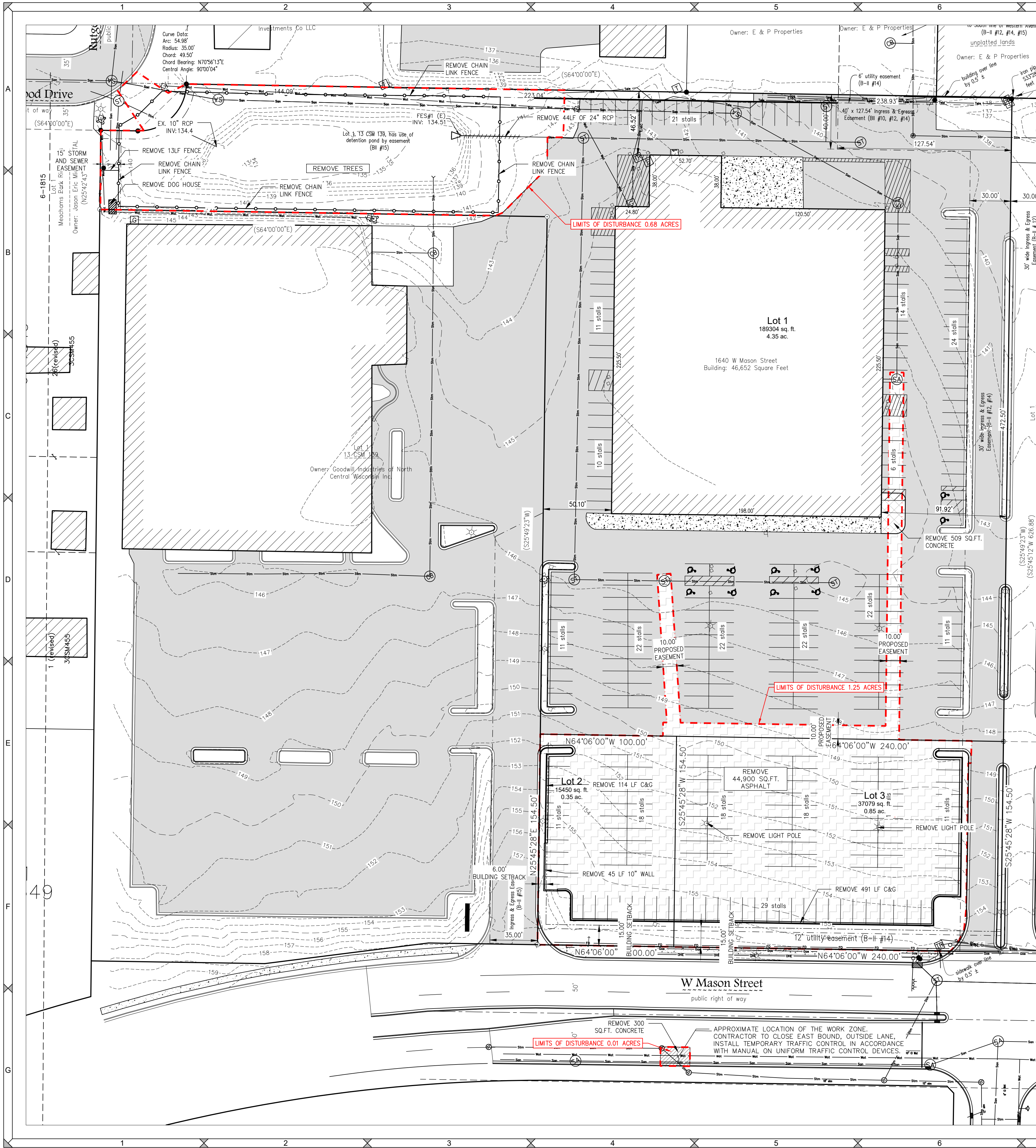
SCOOTER'S AND ARBY'S

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C2.0

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S-3513

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- LEGEND
- REMOVE BUILDING
 - REMOVE CONCRETE
 - REMOVE ASPHALT
 - LIMITS OF CONSTRUCTION

SITE DEMOLITION GENERAL NOTES:

1. ALL SITE DEMOLITION AND DISPOSAL DEBRIS SHALL COMPLY WITH THE CONTRACT SPECIFICATIONS AND APPLICABLE LOCAL, STATE, AND FEDERAL STANDARDS AND REGULATIONS. DEBRIS AND FILL MATERIAL EXCAVATED FROM THE SITE SHALL BE HAULED TO AN APPROVED DISPOSAL SITE. CONTRACTOR WILL BE REQUIRED TO PROVIDE PROOF THE PROPOSED DUMP SITE IS PERMITTED.
2. THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY ALL SITE CONDITIONS ILLUSTRATED TO BE DEMOLISHED AND IF THERE ARE PRE-BID QUESTIONS OR PERCEIVED & REAL CONFLICTS REGARDING CONSTRUCTION DOCUMENTS COMPARED TO ACTUAL FIELD CONDITIONS, SAID CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD OR OWNER PRIOR TO BIDDING. IF CONFLICTS EXIST APPROPRIATE REVISIONS WILL BE MADE TO THE BIDDING DOCUMENTS VIA AN ADDENDUM.
3. THE CONTRACTOR SHALL NOT INTERRUPT EXISTING UTILITIES SERVICING FACILITIES OCCUPIED AND USED DURING THE DEMOLITION OF SITE IMPROVEMENTS. IF A UTILITY INTERRUPTION IS REQUIRED THE CONTRACTOR SHALL COORDINATE THE INTERRUPTION WITH THE OWNER AND PROPER NOTIFICATIONS WILL BE ISSUED TO THOSE AFFECTED. NOTIFICATIONS ARE THE RESPONSIBILITY OF THE CONTRACTOR.
4. THE CONTRACTOR SHALL RESTORE ANY STRUCTURES, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS, ETC WITHIN THE LIMITS OF THE SITE OR ADJOINING PROPERTIES DISTURBED OR DAMAGED DURING DEMOLITION ACTIVITIES.
5. AS NEEDED, THE CONTRACTOR SHALL BE RESPONSIBLE TO INSTALL AND MAINTAIN TRAFFIC CONTROL DEVICES FOR PROTECTION OF PEDESTRIANS AND VEHICULAR TRAFFIC. CONTROLS MAY CONSIST OF, BUT NOT BE LIMITED TO: FLAGGERS, DRUMS, BARRIERS, SIGNS, LIGHTS, AND FENCING. COST OF TRAFFIC CONTROL SHALL BE BORNE BY THE CONTRACTOR.
6. SITE UTILITIES ILLUSTRATED ON THE CONTRACT DRAWINGS ARE APPROXIMATE AND SHALL NOT BE CONSTRUED AS 100% ACCURATE. THE UTILITIES WERE PLOTTED ON THE DRAWINGS USING DIGGER'S HOTLINE. THE CONTRACTOR SHALL FIELD LOCATE DEPTH AND LOCATION OF ALL UTILITIES LOCATED WITHIN THE LIMITS OF SITE EXCAVATION. CONTRACTOR SHALL PLACE A DIGGER'S HOTLINE CALL PRIOR TO EXCAVATING AND LOCAL UTILITIES SHALL BE MARKED OR CLEARED BY UTILITY COMPANY PRIOR TO EXCAVATING.
7. CONTRACTOR SHALL FULLY EVALUATE CONSTRUCTION MEANS AND MEASURES WHEN DETERMINING THE REMOVAL LIMITS OF THE DEMOLITION ITEMS TO ACCOMMODATE CONSTRUCTION OF ILLUSTRATED AND SPECIFIED IMPROVEMENTS AND SAID WORK SHALL BE FACTORED INTO THE BID.
8. CONTRACTOR SHALL COORDINATE SITE DRAWINGS WITH THE ARCHITECTURAL DRAWINGS WHERE NECESSARY.

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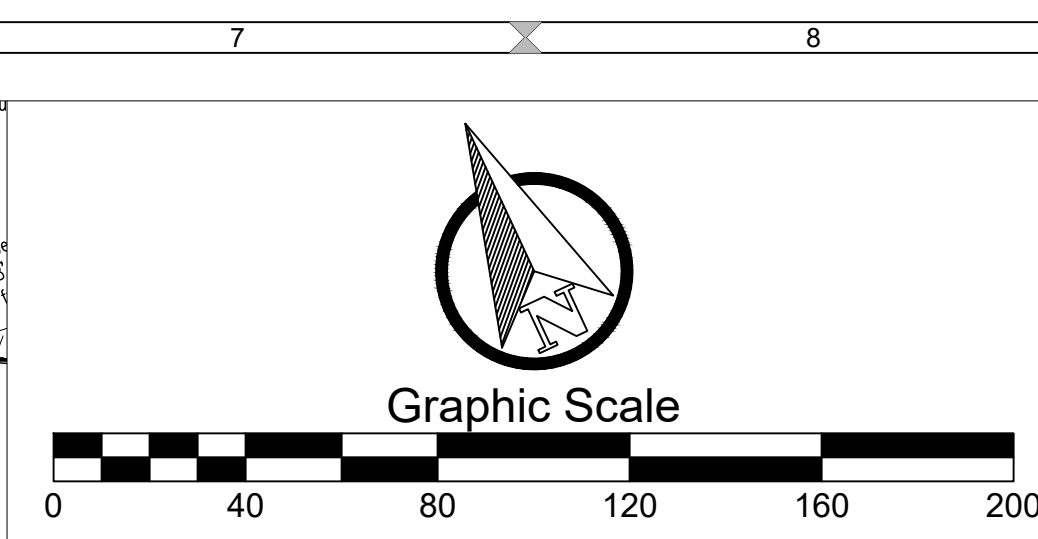
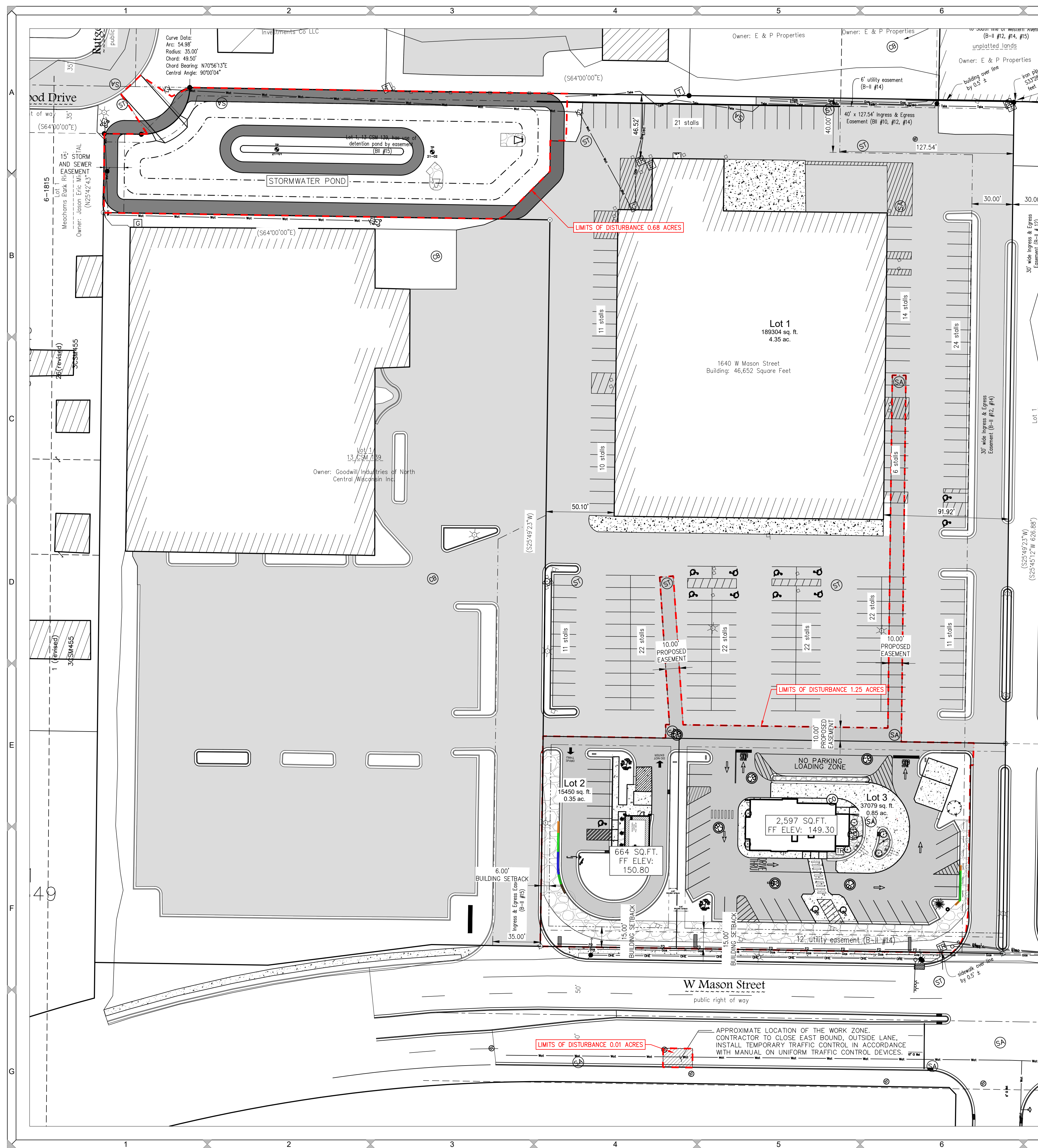
**DEMO & EXISTING
CONDITIONS PLAN**
SCOOTER'S AND ARBY'S

PROJECT NO.
M-712

SHEET NO.
C3.0

DRAWING NO.
S-3513

File: M-712ENG 070821.DWG



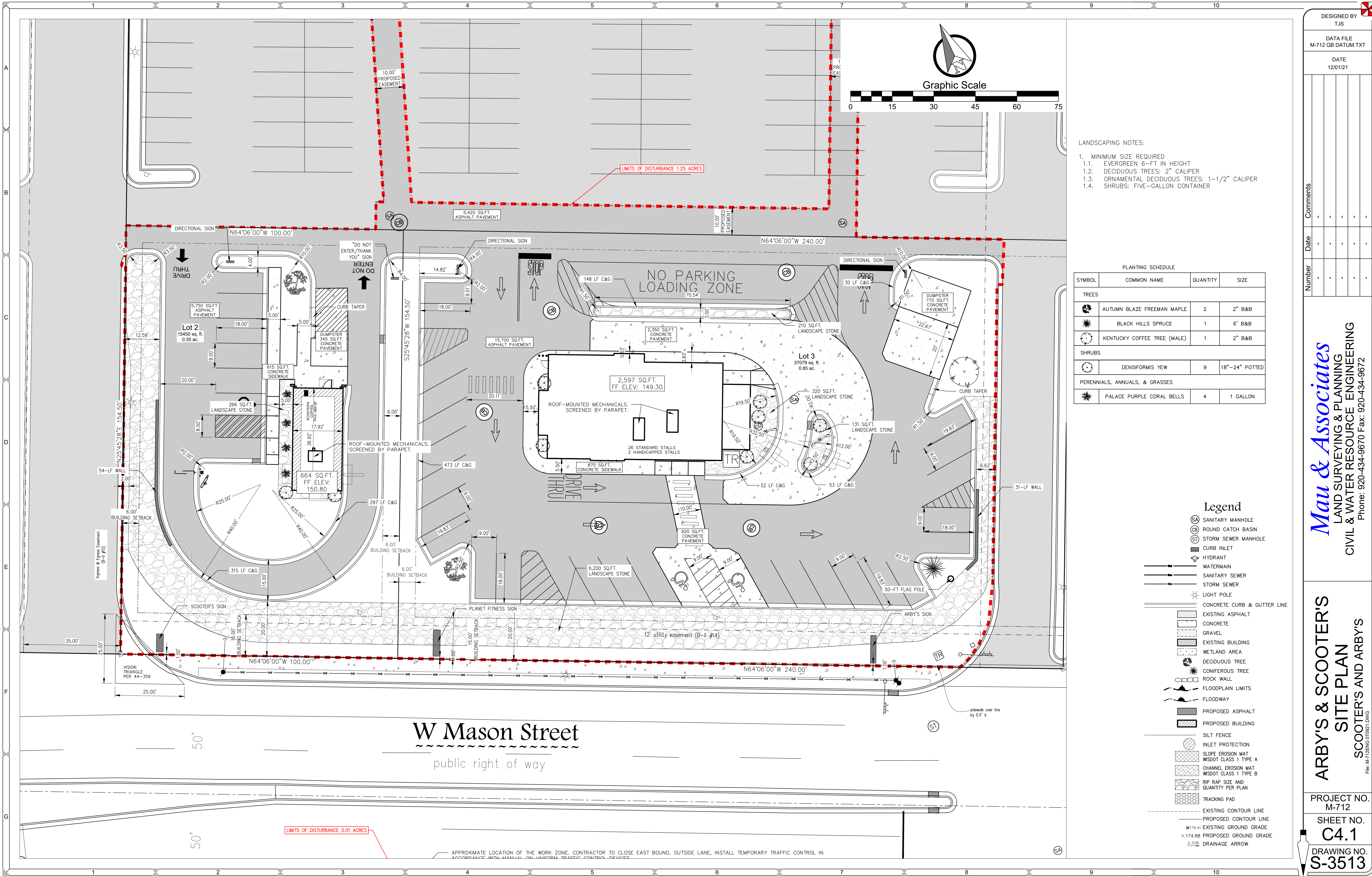
<u>SITE STATISTICS LOT 1</u>	<u>SITE STATISTICS LOT 2</u>	<u>SITE STATISTICS LOT 3</u>
BEFORE CONSTRUCTION	BEFORE CONSTRUCTION	BEFORE CONSTRUCTION
SITE AREA - 4.35 Acres	SITE AREA - 0.35 Acres	SITE AREA - 0.85 Acres
PAVEMENT 2.50 Acres (57.5%)	PAVEMENT 0.29 Acres (83%)	PAVEMENT 0.73 Acres (86%)
BUILDINGS 1.07 Acres (24.6%)	BUILDINGS 0.00 Acres (0%)	BUILDINGS 0.00 Acres (0%)
PERVIOUS 0.78 Acres (17.9%)	PERVIOUS 0.06 Acres (17%)	PERVIOUS 0.12 Acres (14%)
AFTER CONSTRUCTION	AFTER CONSTRUCTION	AFTER CONSTRUCTION
SITE AREA - 4.35 Acres	SITE AREA - 0.35 Acres	SITE AREA - 0.85 Acres
PAVEMENT 2.50 Acres (57.5%)	PAVEMENT 0.18 Acres (51%)	PAVEMENT 0.59 Acres (69%)
BUILDINGS 1.07 Acres (24.6%)	BUILDINGS 0.02 Acres (6%)	BUILDINGS 0.06 Acres (7%)
PERVIOUS 0.78 Acres (17.9%)	PERVIOUS 0.15 Acres (43%)	PERVIOUS 0.20 Acres (24%)

- LOT 1 NOTES:
1. ZONING IS C1 COMMERCIAL ONE.
 2. PLANET FITNESS IS CONSIDERED A FITNESS CENTER.
44-1726 REQUIRES 1 PARKING STALL PER 500 SQ.FT.
PLANET FITNESS OCCUPIES 21,375 SQ.FT. THEREFORE A MINIMUM OF 43 STALLS ARE REQUIRED.
 3. FOR VACANT PORTION OF BUILDING, 24,050 SQ.FT.
ASSUMED 1 STALL FOR EVERY 300 SQ.FT. SO A MINIMUM OF 81 STALLS ARE REQUIRED.
 4. TOTAL REQUIRED STALLS ARE $81+43 = 124$ STALLS.
 5. POST CONSTRUCTION STALLS ON LOT 1 IS 186 STANDARD STALLS AND 2 HANDICAPPED STALLS.
- LOT 2 NOTES:
1. ZONING IS C1 COMMERCIAL ONE. A CONDITIONAL USE PERMIT IS REQUIRED FOR THE OPERATION OF A DRIVE-THROUGH
 2. 44-1726 REQUIRES 1 PARKING STALL PER 300 SQ.FT. OF BUILDING AND 500 SQ.FT. OF EXTERIOR SEATING, SO A MINIMUM OF 3 PARKING STALLS.
 3. POST CONSTRUCTION STALLS ON LOT 2 IS 6 STANDARD STALLS AND 1 HANDICAPPED STALL.
 4. THE BUILDING CLASS OF CONSTRUCTION AS DEFINED BY THE COMMERCIAL INTERNATIONAL BUILDING CODE, CHAPTER 6 IS VB.
 5. THE OCCUPANCY TYPE AS DEFINED BY THE COMMERCIAL INTERNATIONAL BUILDING CODE, CHAPTER 3 IS B.
- LOT 3 NOTES:
1. ZONING IS C1 COMMERCIAL ONE. A CONDITIONAL USE PERMIT IS REQUIRED FOR THE OPERATION OF A DRIVE-THROUGH
 2. 44-1726 REQUIRES 1 PARKING STALL PER 300 SQ.FT. OF BUILDING AND 500 SQ.FT. OF EXTERIOR SEATING, SO A MINIMUM OF 9 PARKING STALLS.
 3. POST CONSTRUCTION STALLS ON LOT 2 IS 26 STANDARD STALLS AND 2 HANDICAPPED STALLS.
 4. THE BUILDING CLASS OF CONSTRUCTION AS DEFINED BY THE COMMERCIAL INTERNATIONAL BUILDING CODE, CHAPTER 6 IS VB.
 5. THE OCCUPANCY TYPE AS DEFINED BY THE COMMERCIAL INTERNATIONAL BUILDING CODE, CHAPTER 3 IS B.

Legend

	SANITARY MANHOLE
	ROUND CATCH BASIN
	STORM SEWER MANHOLE
	CURB INLET
	HYDRANT
	WATERMAIN
	SANITARY SEWER
	STORM SEWER
	LIGHT POLE
	CONCRETE CURB & GUTTER LINE
	EXISTING ASPHALT
	CONCRETE
	GRAVEL
	EXISTING BUILDING
	WETLAND AREA
	DECIDUOUS TREE
	CONIFEROUS TREE
	ROCK WALL
	FLOODPLAIN LIMITS
	FLOODWAY
	PROPOSED ASPHALT
	PROPOSED BUILDING
	SILT FENCE
	INLET PROTECTION
	SLOPE EROSION MAT WSdot CLASS 1 TYPE A
	CHANNEL EROSION MAT WSdot CLASS 1 TYPE B
	RIP RAP SIZE AND QUANTITY PER PLAN
	TRACKING PAD
	EXISTING CONTOUR LINE
	PROPOSED CONTOUR LINE
	× 176.41 EXISTING GROUND GRADE
	× 174.88 PROPOSED GROUND GRADE
	2.33% DRAINAGE ARROW

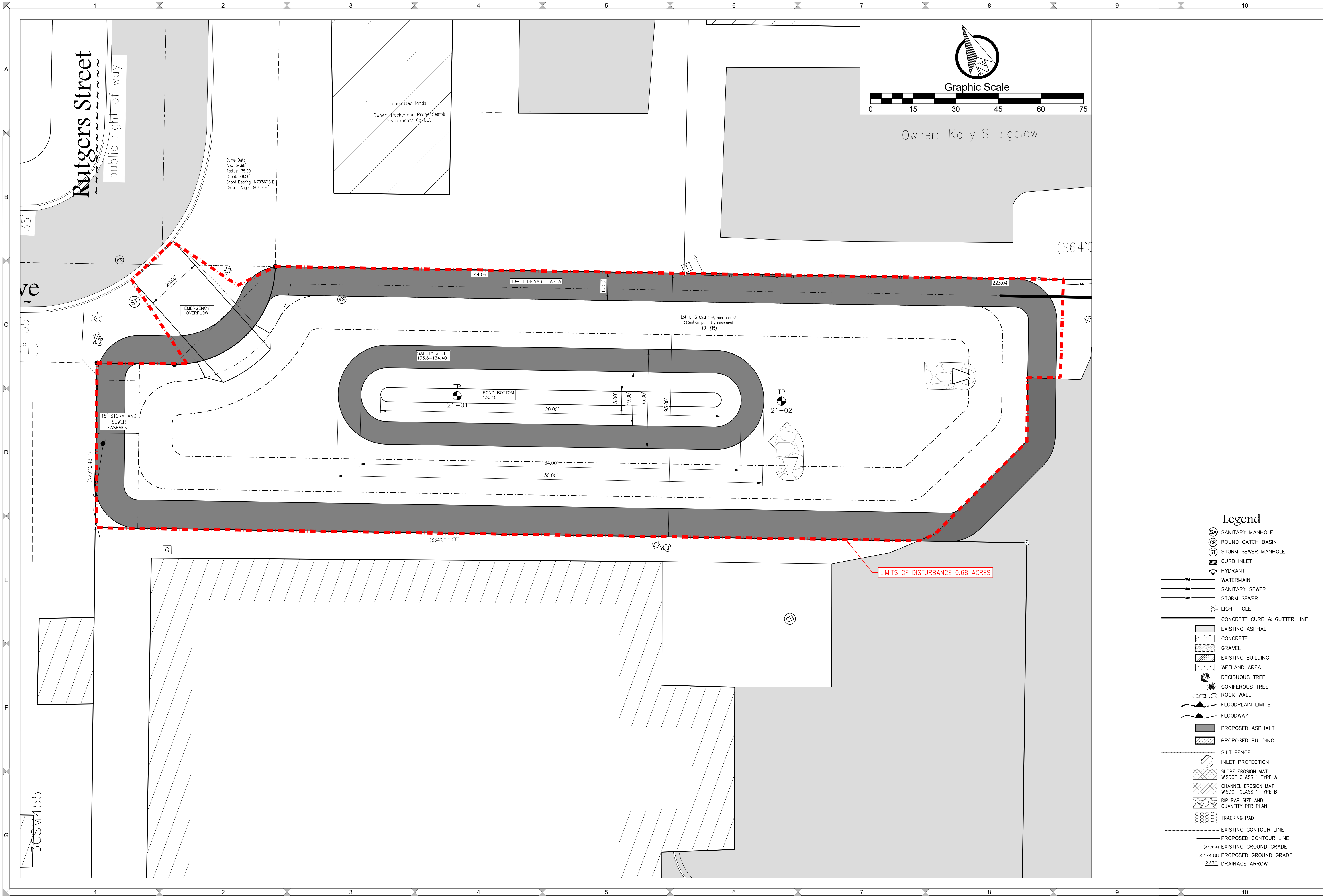
OVERALL SITE PLAN SCOOTER'S AND ARBY'S File: M-712BNG-0719921.DWG		<i>Mau & Associates</i> LAND SURVEYING & PLANNING CIVIL & WATER RESOURCE ENGINEERING Phone: 920-434-9670 Fax: 920-434-9672		DESIGNED BY TJS	
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ARBY'S & SCOOTER'S
SITE PLAN
SCOOTER'S AND ARBY'S

PROJECT NO.
M-712
SHEET NO.
C4.1
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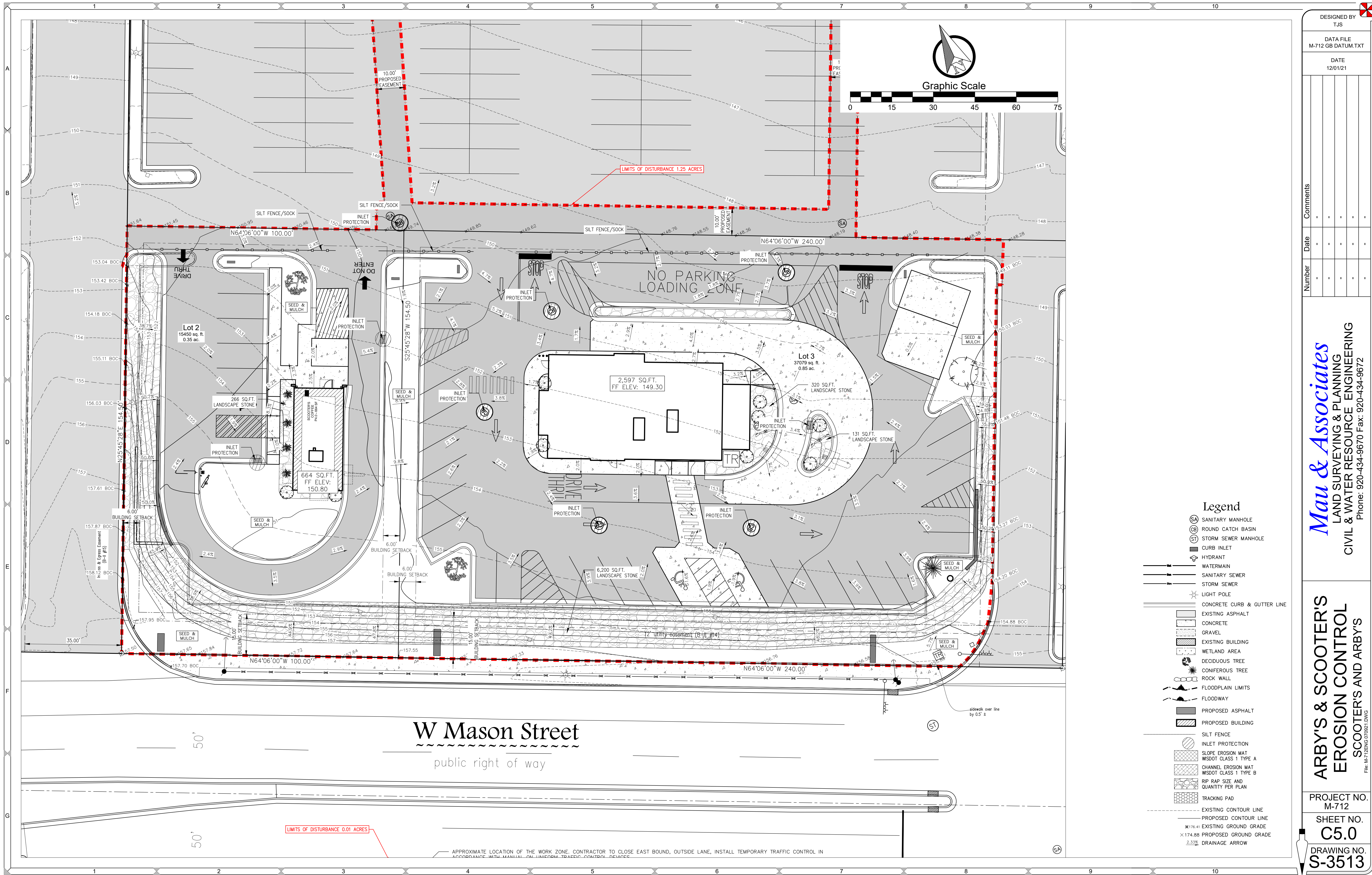
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WET POND SITE PLAN
SCOOTER'S AND ARBY'S

PROJECT NO.
M-712

SHEET NO.
C4.2

DRAWING NO.
S-3513



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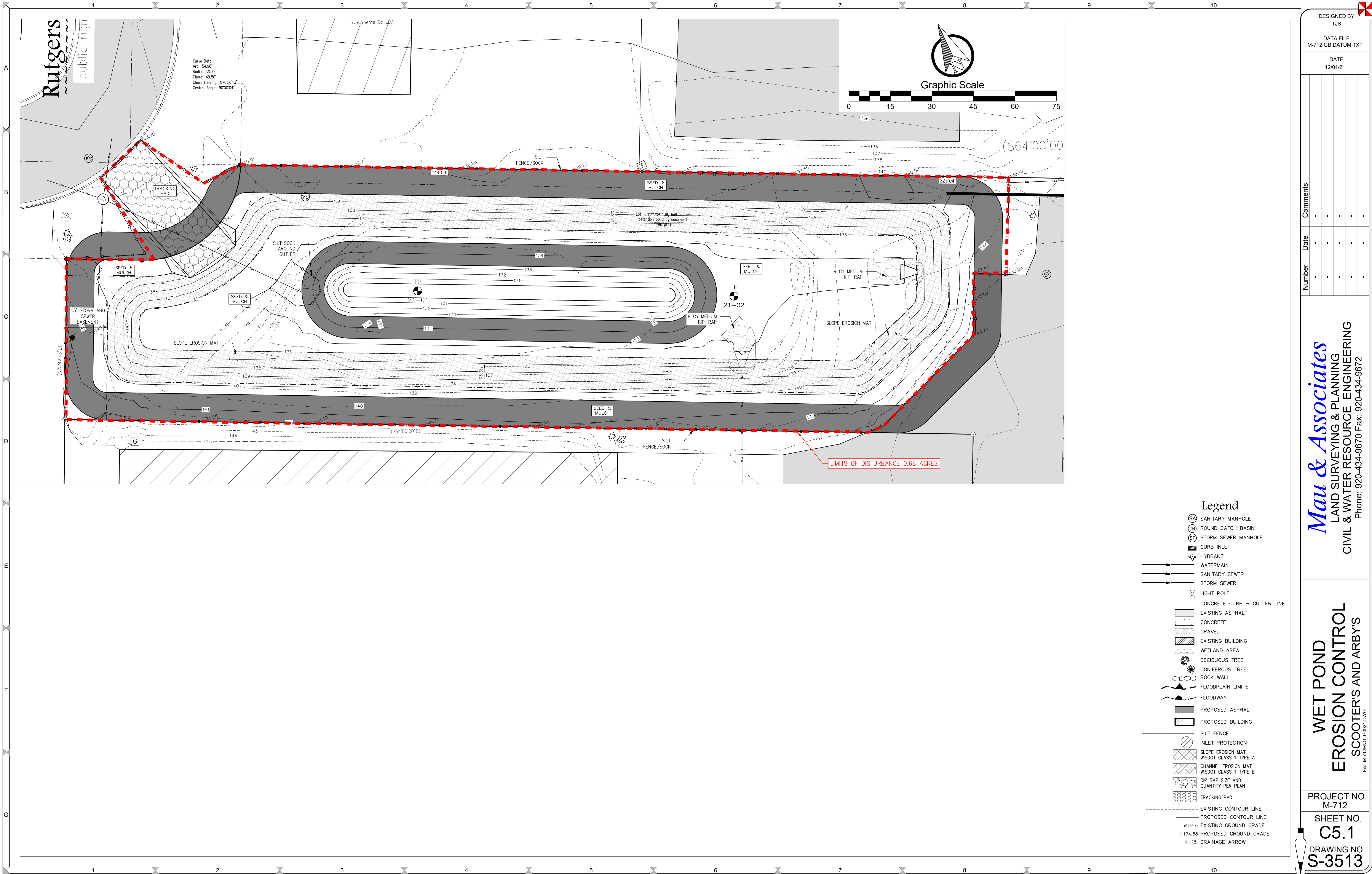
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ARBY'S & SCOOTER'S
EROSION CONTROL
SCOOTER'S AND ARBY'S
File: M-712ENG 070821.DWG

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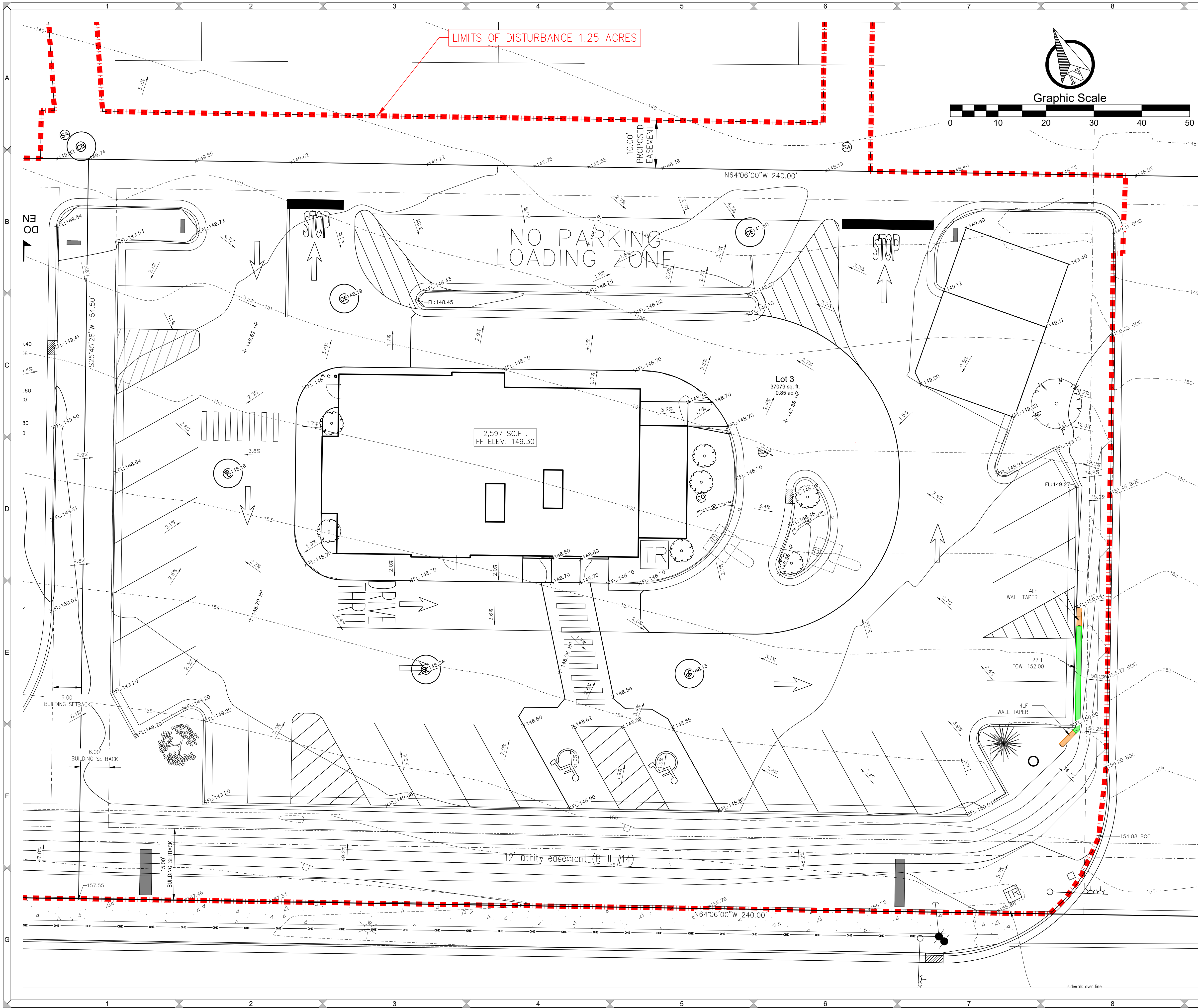
**WET POND
EROSION CONTROL**
SCOOTER'S AND ARBY'S

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SHEET NO.
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NOTE:

- The City of Green Bay Dept. of Public Works must be notified (3) working days before the start of any street construction within a Public right-of-way or easement. Contact Matt Woicek, ph. (920) 448-3100.
- The City of Green Bay Dept. of Public Works must be notified (3) working days before the start of any sanitary sewer or storm sewer construction within a Public right-of-way. Contact Matthew Heckenlaible ph. (920) 448-3100.
- The City of Green Bay Water Dept. must be notified (3) working days before the start of any water main construction within a Public right-of-way or easement. Contact Brian Powell ph. (920) 448-3480.

LANDSCAPE STONE

20'YR WEED SHIELD

VARIES: 150.0-152.0

APPROX. 150.0

WALL SECTION NTS

DESIGNED BY
TJS

DATA FILE
M-712 GB DATUM.TXT

DATE
12/01/21

Number	Date	Comments
-	-	-
-	-	-
-	-	-
-	-	-

Mau & Associates
LAND SURVEYING & PLANNING
CIVIL & WATER RESOURCE ENGINEERING
Phone: 920-434-9670 Fax: 920-434-9672

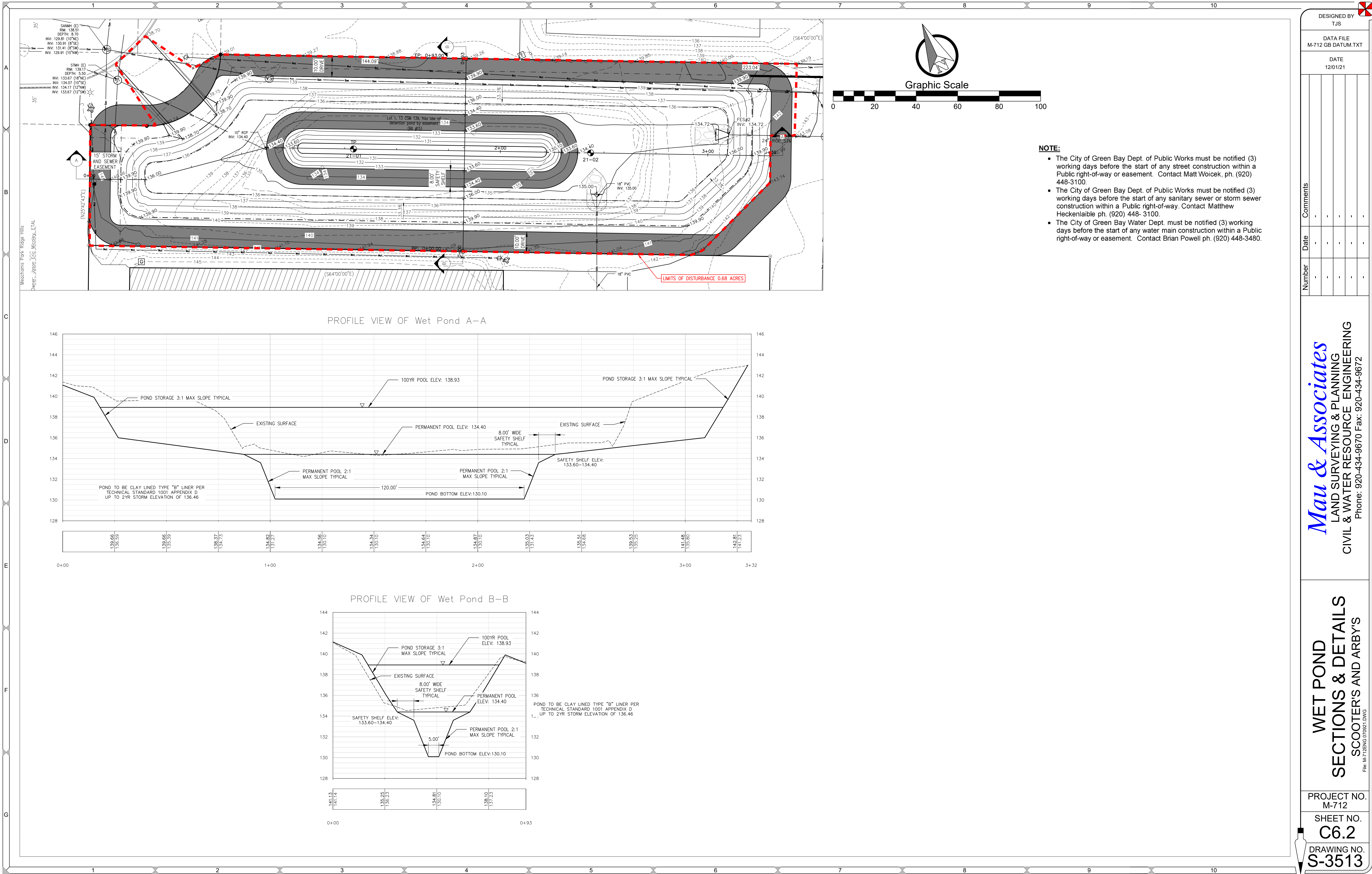
**GRADING PLAN
ARBY'S SITE
SCOOTER'S AND ARBY'S**

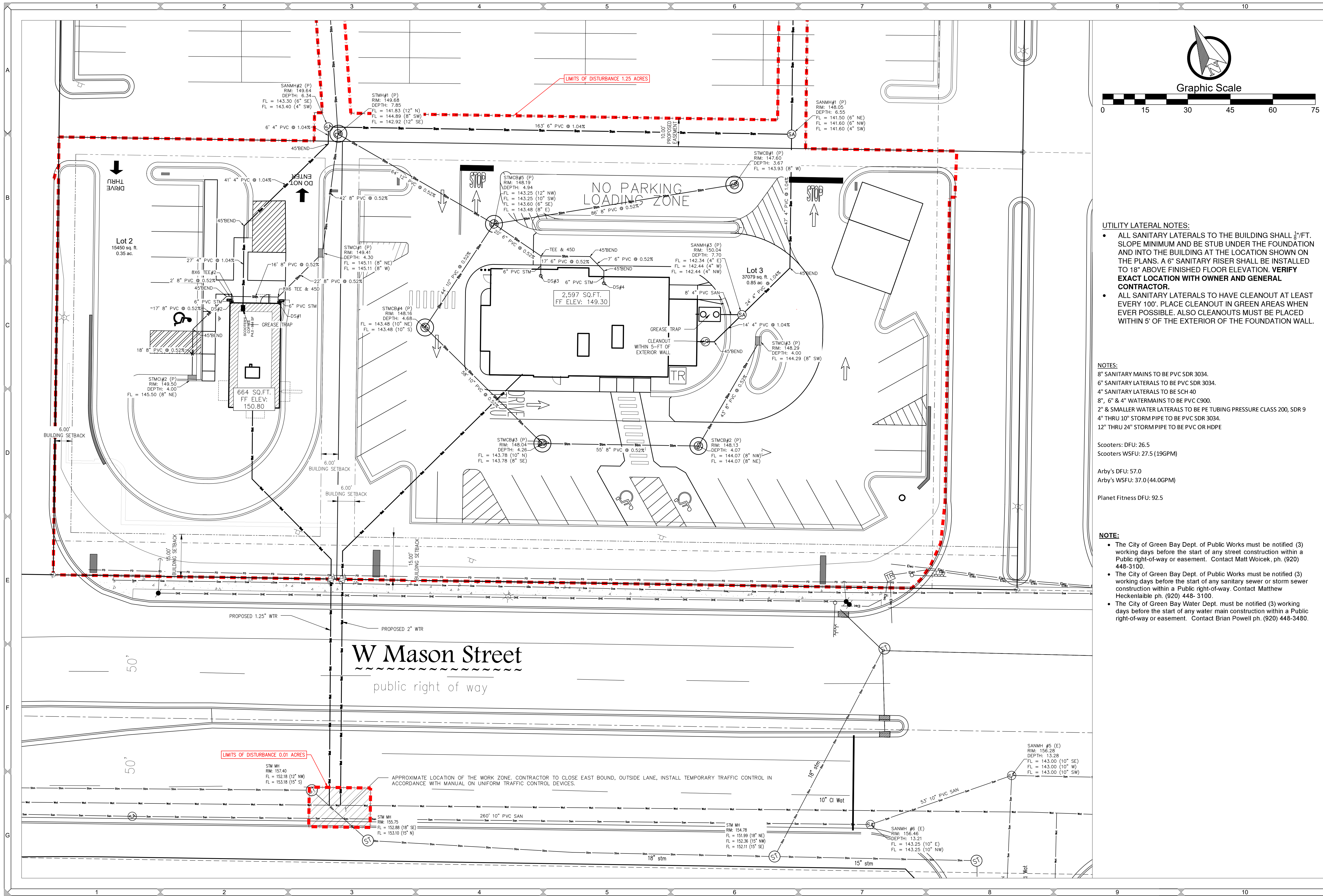
File: M-712ENG 070821.DWG

PROJECT NO.
M-712

SHEET NO.
C6.1

DRAWING NO.
S-3513





UTILITY LATERAL NOTES:

- ALL SANITARY LATERALS TO THE BUILDING SHALL $\frac{1}{8}$ "/FT. SLOPE MINIMUM AND BE STUB UNDER THE FOUNDATION AND INTO THE BUILDING AT THE LOCATION SHOWN ON THE PLANS. A 6" SANITARY RISER SHALL BE INSTALLED TO 18" ABOVE FINISHED FLOOR ELEVATION. **VERIFY EXACT LOCATION WITH OWNER AND GENERAL CONTRACTOR.**
- ALL SANITARY LATERALS TO HAVE CLEANOUT AT LEAST EVERY 100'. PLACE CLEANOUT IN GREEN AREAS WHEN EVER POSSIBLE. ALSO CLEANOUTS MUST BE PLACED WITHIN 5' OF THE EXTERIOR OF THE FOUNDATION WALL.

NOTES:

- 8" SANITARY MAINS TO BE PVC SDR 3034.
- 6" SANITARY LATERALS TO BE PVC SDR 3034.
- 4" SANITARY LATERALS TO BE SCH 40
- 8", 6" & 4" WATERMAINS TO BE PVC C900.
- 2" & SMALLER WATER LATERALS TO BE PE TUBING PRESSURE CLASS 200, SDR 9
- 4" THRU 10" STORM PIPE TO BE PVC SDR 3034.
- 12" THRU 24" STORM PIPE TO BE PVC OR HDPE

Scooters DFM: 26.5
Scooters WSFU: 27.5 (19GPM)

Arby's DFM: 57.0
Arby's WSFU: 37.0 (44.0GPM)

Planet Fitness DFM: 92.5

NOTE:

- The City of Green Bay Dept. of Public Works must be notified (3) working days before the start of any street construction within a Public right-of-way or easement. Contact Matt Woicek, ph. (920) 448-3100.
- The City of Green Bay Dept. of Public Works must be notified (3) working days before the start of any sanitary sewer or storm sewer construction within a Public right-of-way. Contact Matthew Heckenlaible ph. (920) 448- 3100.
- The City of Green Bay Water Dept. must be notified (3) working days before the start of any water main construction within a Public right-of-way or easement. Contact Brian Powell ph. (920) 448-3480.

DESIGNED BY
TJS

DATA FILE
M-712 GB DATUM.TXT

DATE
12/01/21

Number	Date	Comments

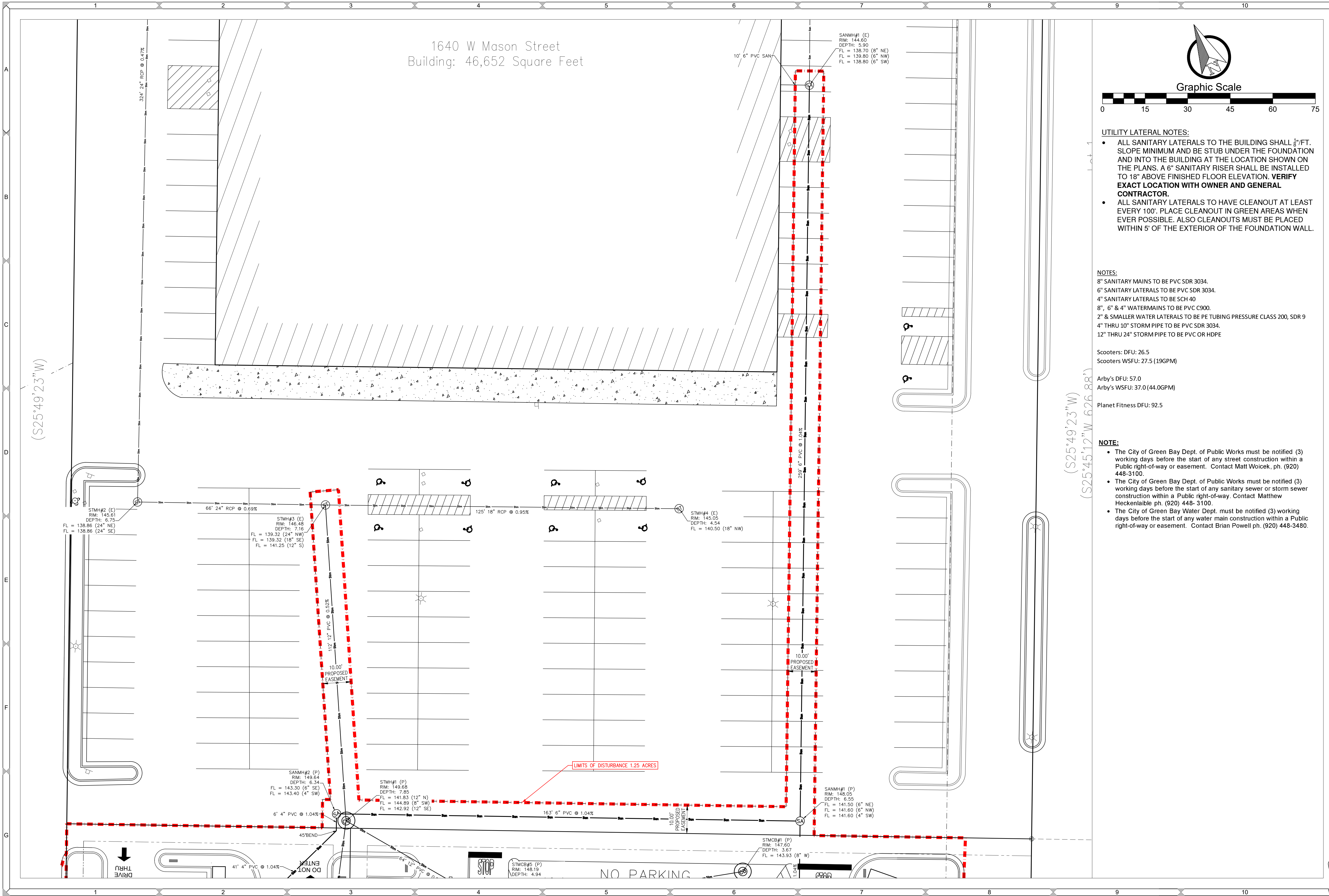
Mau & Associates
LAND SURVEYING & PLANNING
CIVIL & WATER RESOURCE ENGINEERING
Phone: 920-434-9670 Fax: 920-434-9672

UTILITY PLAN
SCOOTER'S AND ARBY'S

PROJECT NO.
M-712

SHEET NO.
C7.0

DRAWING NO.
S-3513



DESIGNED BY
TJS

DATA FILE
M-712 GB DATUM.TXT

DATE
12/01/21

Number	Date	Comments
-	-	-
-	-	-
-	-	-
-	-	-

Mau & Associates
LAND SURVEYING & PLANNING
CIVIL & WATER RESOURCE ENGINEERING
Phone: 920-434-9670 Fax: 920-434-9672

UTILITY PLAN
SCOOTER'S AND ARBY'S

PROJECT NO.
M-712

SHEET NO.
C7.1

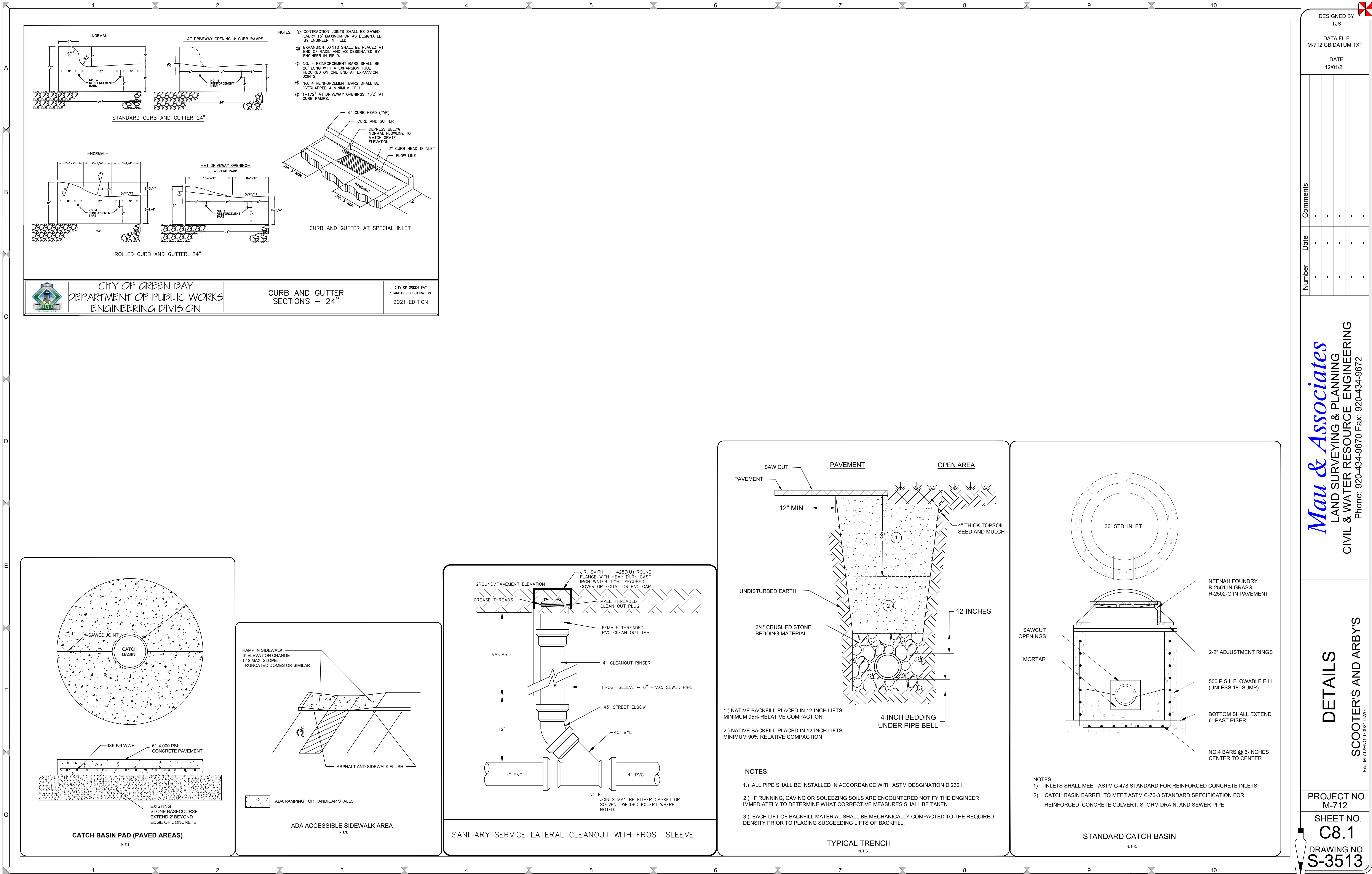
DRAWING NO.
S-3513



INLET PROTECTION TYPES A, B, & C



RIPRAP DETAIL
NTS



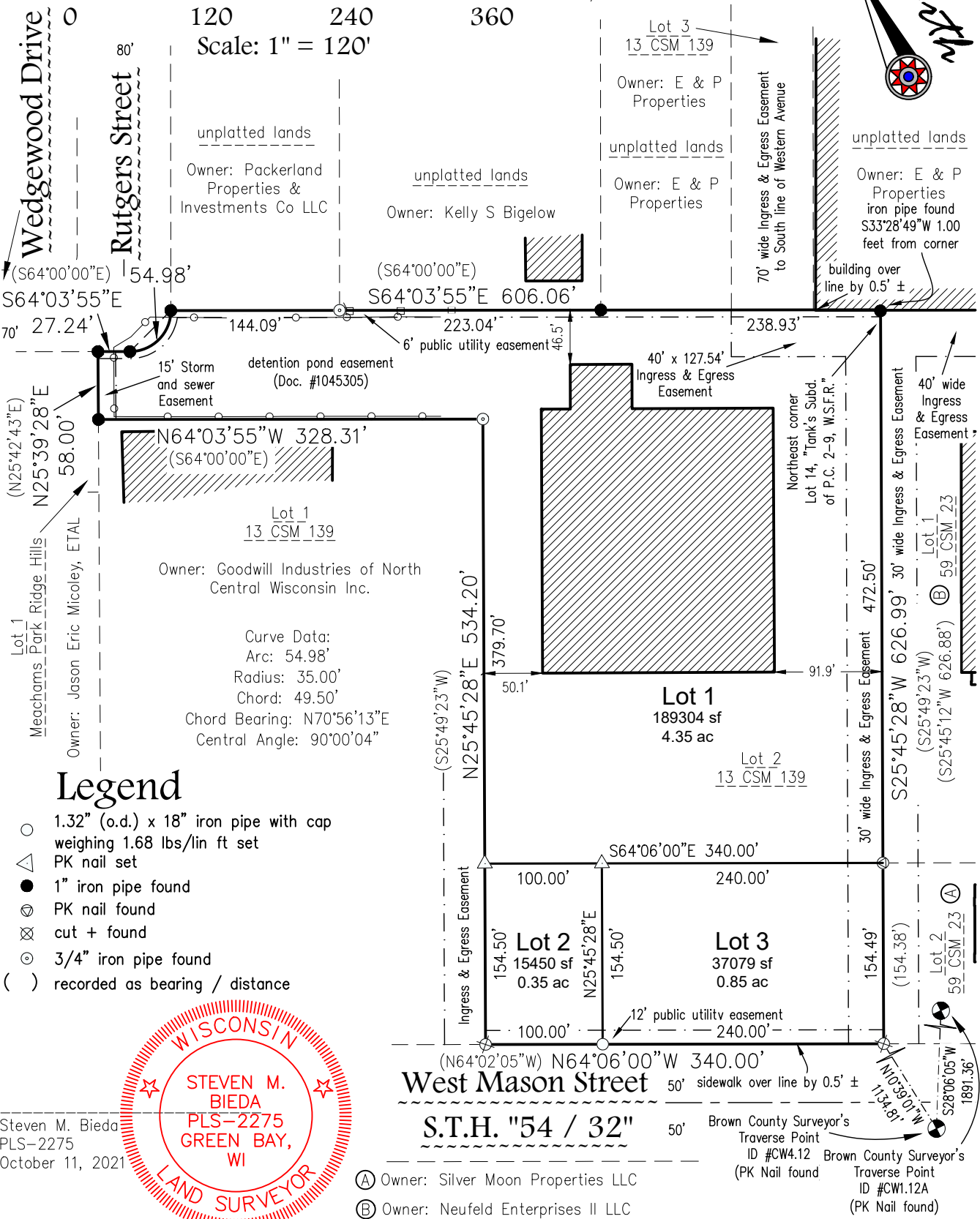
Certified Survey Map

Part of Lot 2, Volume 13, Certified Survey Maps, Page 139,
Map Number 2691, Document Number 1024520, Brown
County Records, being located in part of Lot 14 of "Tank's
Subdivision of Private Claims 2-9, West Side of the Fox River",
in the City of Green Bay, Brown County, Wisconsin.



Scale: 1" = 120'

Bearings referenced to the line
between Brown County Surveyor's
Traverse Point Numbers CW1.12A and
CW4.12, assumed to be S28°06'05"W.



Legend

- 1.32" (o.d.) x 18" iron pipe with cap weighing 1.68 lbs/lin ft set
- △ PK nail set
- 1" iron pipe found
- ⊗ PK nail found
- ⊗ cut + found
- ⊙ 3/4" iron pipe found
- () recorded as bearing / distance



Steven M. Bieda
PLS-2275
October 11, 2021

- (A) Owner: Silver Moon Properties LLC
 - (B) Owner: Neufeld Enterprises II LLC
- Brown County Surveyor's
Traverse Point
ID #CW4.12 Brown County Surveyor's
(PK Nail found) Traverse Point
ID #CW1.12A
(PK Nail found)

Client: Neufeld Enterprises II, LLC
Tax Parcel: 6-150-1
Drafted By: BAR
File: M-712CSM 100421.dwg
Data File: M-712.txt

Mau & Associates, LLP
LAND SURVEYING & PLANNING
CIVIL & WATER RESOURCE ENGINEERING
Phone: 920-434-9670 Website: www.mau-associates.com
400 Security Blvd Ste 1, Green Bay, WI 54313-9712

Sheet One of Four
Project No.: M-712
Drawing No.: L-11598
Fieldwork Completed: 11/29/2021



Certified Survey Map

Part of Lot 2, Volume 13, Certified Survey Maps, Page 139, Map Number 2691,
Document Number 1024520, Brown County Records, being located in part of Lot
14 of "Tank's Subdivision of Private Claims 2-9, West Side of the Fox River", in
the City of Green Bay, Brown County, Wisconsin.

SURVEYOR'S CERTIFICATE

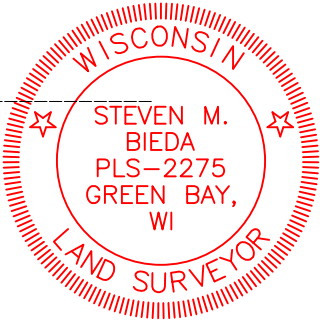
I, Steven M. Bieda, Professional Land Surveyor, PLS-2275, do hereby certify that I have surveyed, divided and mapped part of Lot 2, Volume 13, Certified Survey Maps, Page 139, Map Number 2691, Document Number 1024520, Brown County Records, being located in part of Lot 14 of "Tank's Subdivision of Private Claims 2-9, West Side of the Fox River", in the City of Green Bay, Brown County, Wisconsin, more fully described as follows:

Beginning at the Northeast corner of Lot 2, Volume 13, Certified Survey Maps, Page 139, Map Number 2691, Document Number 1024520, Brown County Records, also being the Northeast corner of Lot 14 of "Tank's Subdivision of Private Claims 2-9, West Side of the Fox River"; thence S25°45'28"W, 626.99 feet along the East line of said Lot 2 to the Northerly right of way of State Trunk Highway 54/32, also known as West Mason Street; thence N64°06'00"W, 340.00 feet along said right of way to the West line of said Lot 2; thence N25°45'28"E, 534.20 feet along said West line; thence N64°03'55"W, 328.31 feet along a South line of said Lot 2; thence N25°39'28"E, 58.00 feet along the West line of said Lot 2, also being the East line of Lot 1 of the recorded plat of "Meacham's Park Ridge Hills", to the Northeast corner thereof; thence S64°03'55"E, 27.24 feet along the Southerly right of way of Wedgewood Drive; thence 54.98 feet along said right of way being the arc of a 35.00 foot radius curve to the left whose long chord bears N70°56'13"E, 49.50 feet; thence S64°03'55"E, 606.06 feet along the North line of said Lot 2 to the point of beginning.

Parcel contains 241,832 square feet / 5.55 acres, more or less.
Parcel subject to easements and restrictions of record.

That such plat is a correct representation of all the exterior boundaries of the land survey and the division thereof. That I have made such a survey, land division and plat by the direction of the owners listed hereon. That I have fully complied with the provisions of Chapter 236, section 236.34 of the Wisconsin Statutes and the City of Green Bay code in surveying, dividing and mapping the same.

Steven M. Bieda
PLS-2275
October 11, 2021



CERTIFICATE OF THE CITY OF GREEN BAY

Approved by the City of Green Bay, as required by Wisconsin Statutes Chapter 236, and the City of Green Bay Municipal Code Chapter 36, Subdivision and Platting, on this _____ day of _____, 20__.

Neil Stechschalte
Director of Development

CERTIFICATE OF THE GREEN BAY CITY CLERK

As the duly appointed City Clerk for the City of Green Bay, I hereby certify that the records in my office show no unpaid taxes or special assessments affecting any of the lands included in the Certified Survey Map.

Celestine Jeffreys Date
Green Bay City Clerk





Certified Survey Map

Part of Lot 2, Volume 13, Certified Survey Maps, Page 139, Map Number 2691,
Document Number 1024520, Brown County Records, being located in part of Lot
14 of "Tank's Subdivision of Private Claims 2-9, West Side of the Fox River", in
the City of Green Bay, Brown County, Wisconsin.

CORPORATE OWNER'S CERTIFICATE

Neufeld Enterprises II, LLC a corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, does hereby certify that said corporation caused the land described on this Certified Survey Map to be surveyed, divided, mapped and dedicated as represented hereon. Neufeld Enterprises II, LLC, does further certify that this Certified Survey Map is required to be submitted to the Brown County Planning Commission and the City of Green Bay for approval or objection in accordance with current Land Subdivision Ordinances. Neufeld Enterprises II, LLC understands that the City will discontinue any public improvements upon discovery or notice of any other condition requiring abnormal public improvement costs. We further acknowledge that the City's action or inaction in this regard shall not be construed as an admission of liability for hazardous waste cleanup or burial site preservation costs.

In Witness Whereof, the said Neufeld Enterprises II, LLC, has caused these presents to be signed by _____, it's _____ on this _____ day of _____, 20____,

Personally came before me this _____ day of _____, 20____, the above named Owners, to me known to the persons who executed the foregoing instrument and acknowledged the same.

Notary Public My Commission Expires _____
Brown County, Wisconsin

STATE OF WISCONSIN]
] SS
COUNTY OF BROWN]

CERTIFICATE OF CORPORATE MORTGAGEE

_____, a corporation duly organized and existing under and by virtue of the laws of Wisconsin, mortgagee of the above described land, does hereby consent to the surveying, dividing, mapping and dedication of the land described on this Certified Survey Map and does hereby consent to the above certificate of Neufeld Enterprises II, LLC, Owner(s) of said lands.

IN WITNESS WHEREOF, _____ has caused these presents to be signed by _____, its _____ and countersigned by _____, its _____, at _____, Wisconsin, and its corporate seal to be hereunto affixed this _____ day of _____, 20____.

In the presence of: _____

President Date

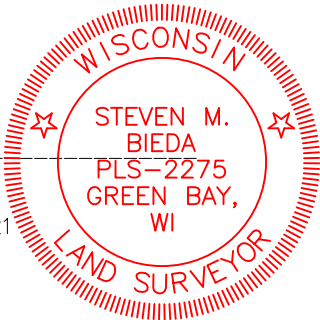
Secretary or Cashier Date

Personally came before me this _____ day of _____, _____, the above named officers of said corporation to me known to be the persons who executed the foregoing instrument and to me known to be such officers of said corporation, and acknowledged that they executed the foregoing instrument as such officers as the deed of said corporation, by its authority.

Notary Public My Commission Expires _____
Brown County, Wisconsin

STATE OF WISCONSIN]
] SS
COUNTY OF BROWN]

Steven M. Bieda
PLS-2275
October 11, 2021





Certified Survey Map

Part of Lot 2, Volume 13, Certified Survey Maps, Page 139, Map Number 2691,
Document Number 1024520, Brown County Records, being located in part of Lot
14 of "Tank's Subdivision of Private Claims 2-9, West Side of the Fox River", in
the City of Green Bay, Brown County, Wisconsin.

NOTES

The property owners, at the time of construction, shall implement the appropriate soil erosion control methods outlined in the Wisconsin Construction Site Erosion and Sediment Control Technical Standards (available from the Wisconsin Department of Natural Resources) to prevent soil erosion. However, if at the time of construction the City has adopted a soil erosion control ordinance, it shall govern over this requirement. This provision applies to any grading, construction, or installation-related activities.

This Certified Survey Map is contained wholly within the property described in Document Number 2899239. It is all of Tax Parcel 6-150-1. The current property owner of record is Neufeld Enterprises II, LLC.

City of Green Bay zoning and building approvals are required prior to commencing construction of buildings, structures, drives, or parking areas and may also be required prior to commencing grading, excavation, filling or other land disturbing activities.

Areas designated as Public Utility Easements shall be granted to all Public Utility Companies or Agencies that provide service directly to the public.

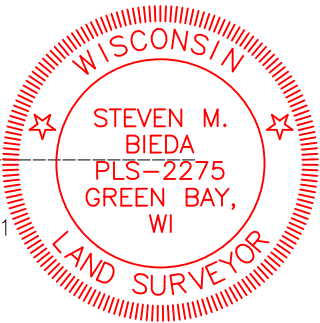
RESTRICTIVE COVENANTS

The land on all side and rear lot lines of all lots shall be graded by the lot owner and maintained by the abutting property owners to provide for adequate drainage of surface water.

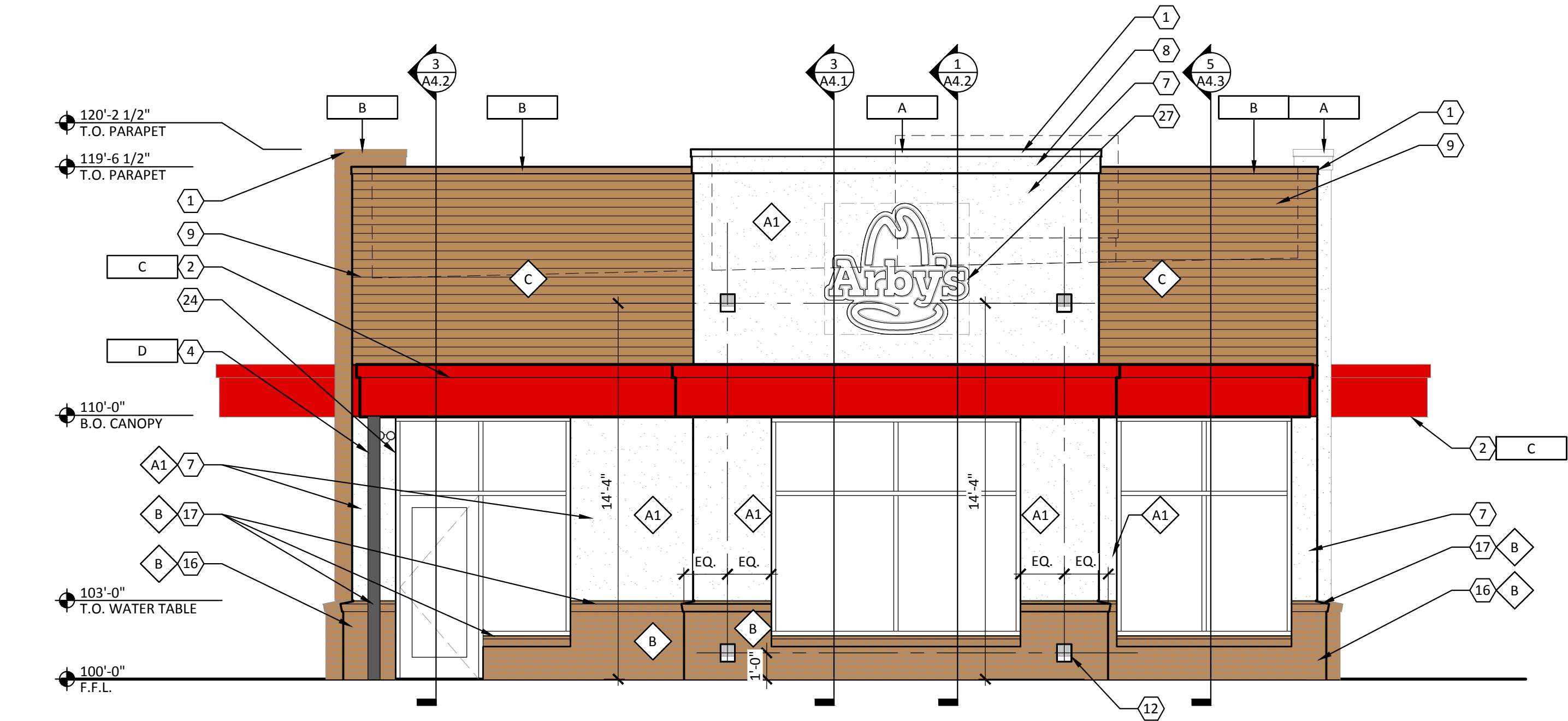
Each lot owner shall grade the property to conform to the adopted sidewalk grade elevation and maintain said elevation for future sidewalks.

No poles, pedestals or buried cable are to be placed so as to disturb any survey stake or obstruct vision along any lot lines or street line, a disturbance of a survey stake by anyone is a violation of section 236.32 of the Wisconsin Statutes.

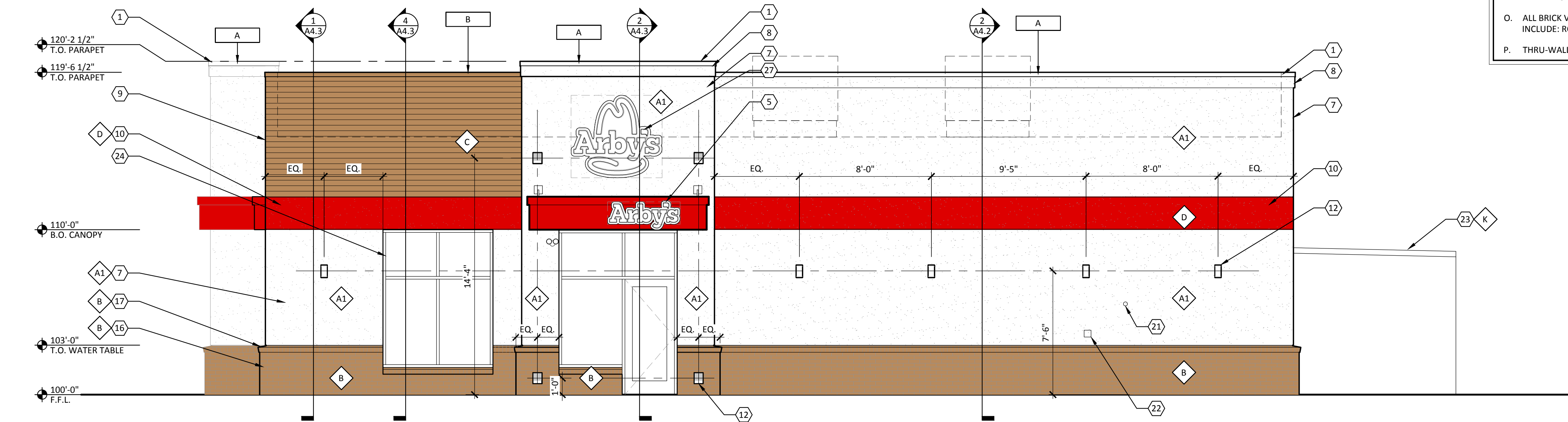
Steven M. Bieda
PLS-2275
October 11, 2021



11/16/2021 10:43 AM



1
A2.1
1/4" = 1'-0"



2
A2.1
1/4" = 1'-0"

CODED NOTES

(ALL CODED NOTES MAY NOT BE USED)

- PRE-FINISHED METAL COPING.
- PRE-FABRICATED METAL CANOPY/ACCENT BAND.
- CENTER DRIVE THRU CANOPY ON DRIVE THRU WINDOW.
- PRE-FABRICATED METAL POST FOR CANOPY.
- ARBY'S SIGNAGE, MOUNT ON CANOPY/ACCENT BAND. REFER TO SIGNAGE VENDOR DRAWINGS.
- PAINT DOOR AND FRAME.
- NEW EIFS WALL SYSTEM.
- EIFS CORNICE.
- EIFS WALL SYSTEM WITH 4" O.C. V-GROOVE REVEALS.
- PAINTED ACCENT BAND, ALIGN WITH METAL ACCENT BAND.
- DRIVE THRU WINDOW.
- WALL MOUNTED LIGHT FIXTURE.
- PAINT BOLLARD.
- NOT USED.
- ROOF LADDER, MOUNT DIRECTLY TO SHEATHING. PAINT "K"
- BRICK VENEER.
- BRICK ROWLOCK SILL. USE SOLID BRICK @ OUTSIDE CORNERS & JAMBS. REFER TO DETAIL 3/A2.1.
- NOT USED.
- ELECTRICAL EQUIPMENT.
- GAS METER.
- GREASE OUTLET.
- Co2 HOOKUP.
- COOLER/FREEZER. PRE-FINISHED TO MATCH PAINT "K".
- ALUMINUM STOREFRONT.
- PREFABRICATED SCUPPER. MATCH COLOR TO ADJACENT WALL COLOR. REFER TO DETAIL 7/A1.3.
- CONTINUE BRICK VENEER BEHIND ELECTRIC EQUIPMENT. COORDINATE SIZE WITH ELECTRICIAN. DO NOT INSTALL ROWLOCK BEHIND ELECTRICAL EQUIPMENT.
- ARBY'S HAT SIGNAGE. MOUNT ON BRICK WALL. REFER TO SIGNAGE VENDOR'S DRAWINGS.
- COORDINATE TURNBUCKLE LOCATION TO AVOID CLERESTORY WINDOW.

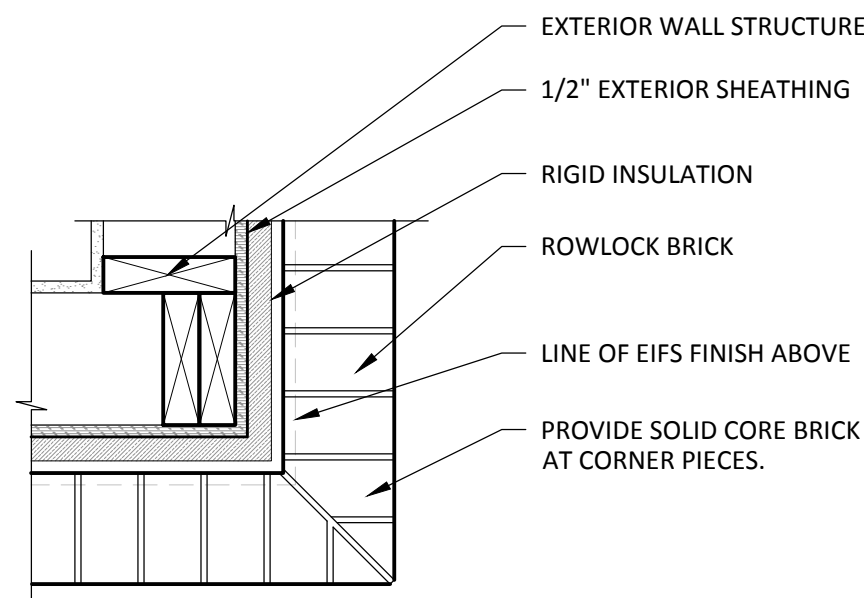
*DESIGN NOTE:
#29 IS ONLY USED IN HIGH PARAPET
OPTIONS. REVISE TO NOT USED IF REGULAR
PARAPET IS USED IN PROJECT.

FINISH SCHEDULE

MARK	MANUFACTURER	DESCRIPTION	NOTES
FINISHES			
A1	DRYVIT	EIFS WALL SYSTEM	COLOR: ARBY081030 TEXTURE: STANDARD
A2	NOT USED	---	---
B	BELDEN BRICK	8601 DARK	TEXTURE: SMOOTH GROUT: CEMEX 36-A MOCHA, TYPE N
C	DRYVIT	EIFS WALL SYSTEM WITH V-GROOVE REVEALS	COLOR: ARBY131030 TEXTURE: STANDARD
D	SHERWIN WILLIAMS	SW #6869 STOP	SATIN FINISH
E	NOT USED	---	---
F	NOT USED	---	---
G	SHERWIN WILLIAMS	SW #2808 ROOKWOOD DARK BROWN	SATIN FINISH
H	NOT USED	---	---
J	NOT USED	---	---
K	SHERWIN WILLIAMS	SW #7005 PURE WHITE	SATIN FINISH

A	EXCEPTIONAL METALS/ DURO-LAST	TWO-PIECE SNAP-ON METAL COPING BONE WHITE/ DURO-LAST #SR.70/TE.87	FOR USE WITH DURO-LAST ROOFING SYSTEM DETAIL FA3110
B	EXCEPTIONAL METALS/ DURO-LAST	TWO-PIECE SNAP-ON METAL COPING MIDNIGHT BRONZE/ DURO-LAST #SR.26/TE.87	FOR USE WITH DURO-LAST ROOFING SYSTEM DETAIL FA3110
C	PRE-FABRICATED CANOPY/BAND	PRODUCT CODE: 9940-30198R PRODUCT NAME: FC SD RAL 3000 FLAME RED	---
D	PRE-FABRICATED POST	PRODUCT CODE: 9840-80957R PRODUCT NAME: FC SD RAL 8017 CHOC. BROWN	---

- PAINT ALL EXPOSED GAS PIPE, ROOF ACCESS LADDER, ETC. TO MATCH ADJACENT EXTERIOR WALL SURFACE. DO NOT PAINT ELECTRIC OR GAS SERVICE EQUIPMENT.
- PROVIDE TEMPORARY MASKING OF EXPOSED STAINLESS STEEL DURING ACID WASHING OF MASONRY.
- PROVIDE SOLID MASONRY UNITS AT THE ENDS OF JAMBS, SILLS, ETC.
- TO HELP PREVENT EFFLORESCENCE ALL MASONRY UNITS ARE TO BE MANUFACTURED WITH INTEGRAL WATER REPELLANT. WATER REPELLANT ADMIXTURE IS TO BE MIXED IN AND PRE-WASHED SAND IS TO BE USED IN ALL MORTAR MIXES.
- MAKE SURE THAT WALL WEEPS AND FLASHING ARE INSTALLED CORRECTLY. DO NOT BLOCK WEEPS.
- REFER TO SHEET A8.2 FOR TEMPERED GLASS LOCATIONS.
- ALUMINUM STOREFRONT TO BE DARK BRONZE.
- ALL GLAZING TO BE 1" INSULATED GLAZING.
- BASIS OF DESIGN FOR THE EIFS WALL SYSTEM IS DRYVIT OUTSULATION PLUS MD. EIFS WALL SYSTEM IS 2" THICK UNLESS NOTED OTHERWISE. INSTALL EIFS PRODUCT IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND DETAILS.
- SIGNAGE IS SHOWN FOR REFERENCE ONLY. FINAL SIZE, LOCATION AND QUANTITY TO BE DETERMINED BY SIGNAGE VENDOR. SIGNAGE VENDER SHALL PERMIT ALL SIGNS UNDER SEPARATE COVER.
- REFER TO ELECTRICAL DRAWINGS FOR EXTERIOR LIGHTING SPECIFICATIONS.
- PAINT ALL EXPOSED BRICK LINTELS TO MATCH ADJACENT BRICK.
- ALL WALL MOUNTED LIGHT FIXTURES TO BE SET IN CONTINUOUS BED OF CAULK AND THEN SHALL BE SEALED TO WALL WITH SEPARATE BEAD OF CAULK. CAULK TO MATCH ADJACENT SURFACE.
- PAINT EIFS WALL BEHIND ACCENT BAND RED. EXPOSED EIFS EDGE BELOW ACCENT BAND TO MATCH METAL.
- ALL BRICK VENEER SHALL BE A RUNNING BOND, U.N.O. ALL BRICK SHALL BE INSTALLED FLUSH, U.N.O. (EXCEPTIONS INCLUDE: ROWLOCK SILL, SOLDIER COURSE HEADER AT DRIVE THRU WINDOW AND BRICK CORNICE)
- THRU-WALL FLASHING SHALL BE PRE-FINISHED TO MATCH STOREFRONT (DARK BRONZE).



3
A2.1
1 1/2" = 1'-0"



ARCHITECTURAL DESIGN
PO BOX 8763
GREEN BAY, WI
54302
920-606-0144



2637 Tulip Lane
Green Bay, WI 54301
Phone: (920) 469-9200
Fax: (920) 469-6809
E-mail: Info@IntegrityEngineering.biz

PROPOSED BUILDING FOR:
NEUFELD ENTERPRISES II, LLC
1640 WEST MASON STREET, GREEN BAY, WI. 54303

I.E.D. PROJECT MANAGER

T. BAUMGARTNER

ORIGINATION DATE:

NOV. 17, 2021

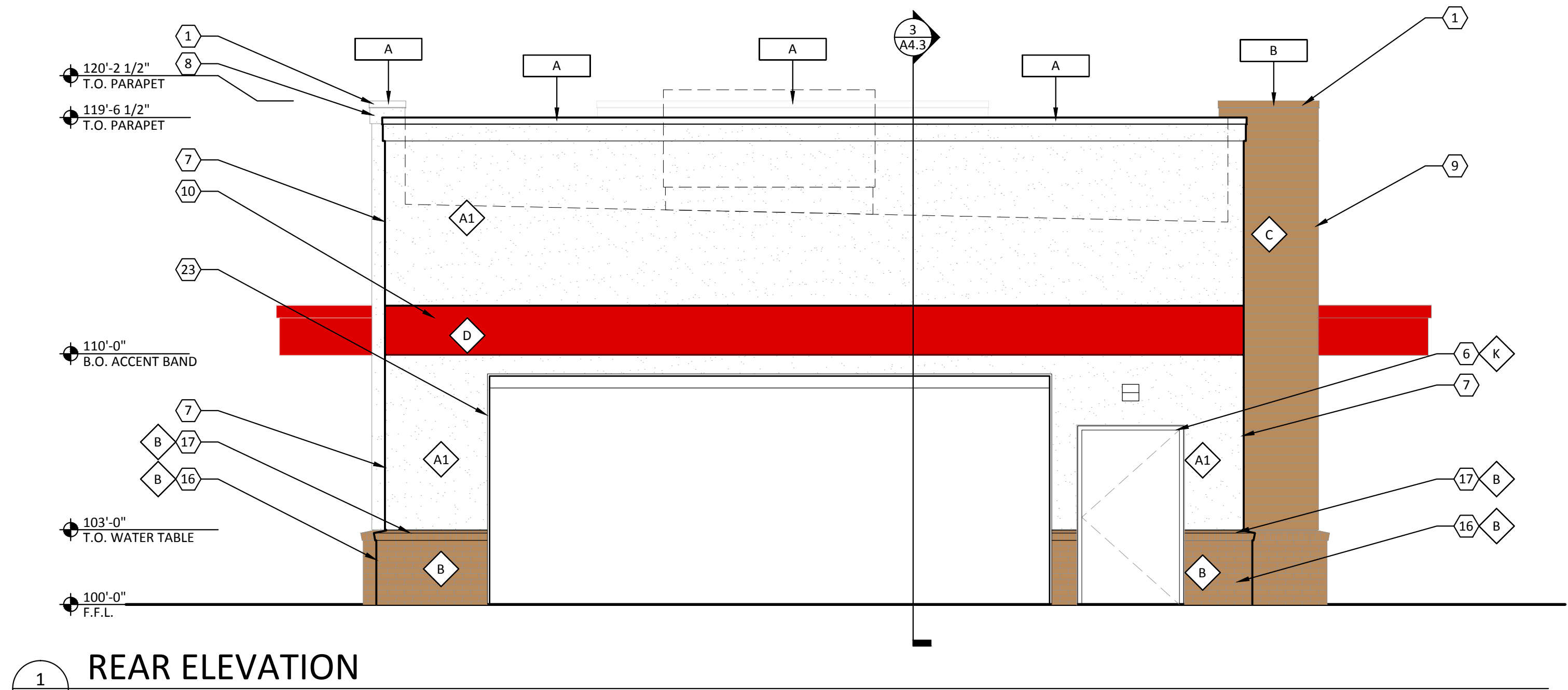
REVISIONS

032017 - REVISED DOOR MATERIALS

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All rights reserved. All rights are reserved and may not be used, copied, reproduced, or otherwise used without the express written consent of the San Francisco Office.

EXTERIOR ELEVATIONS

A2.1



1
A2.2
1/4" = 1'-0"

CODED NOTES

(ALL CODED NOTES MAY NOT BE USED)

- PRE-FINISHED METAL COPING.
- PRE-FABRICATED METAL CANOPY/ACCENT BAND.
- CENTER DRIVE THRU CANOPY ON DRIVE THRU WINDOW.
- PRE-FABRICATED METAL POST FOR CANOPY.
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- EIFS CORNICE.
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- PAINTED ACCENT BAND, ALIGN WITH METAL ACCENT BAND.
- DRIVE THRU WINDOW.
- WALL MOUNTED LIGHT FIXTURE.
- PAINT BOLLARD.
- NOT USED.
- ROOF LADDER, MOUNT DIRECTLY TO SHEATHING. PAINT "K"
- BRICK VENEER.
- BRICK ROWLOCK SILL. USE SOLID BRICK @ OUTSIDE CORNERS & JAMBS. REFER TO DETAIL 3/A2.1.
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- ELECTRICAL EQUIPMENT.
- GAS METER.
- GREASE OUTLET.
- Co2 HOOKUP.
- COOLER/FREEZER. PRE-FINISHED TO MATCH PAINT "K".
- ALUMINUM STOREFRONT.
- PREFABRICATED SCUPPER. MATCH COLOR TO ADJACENT WALL COLOR. REFER TO DETAIL 7/A1.3.
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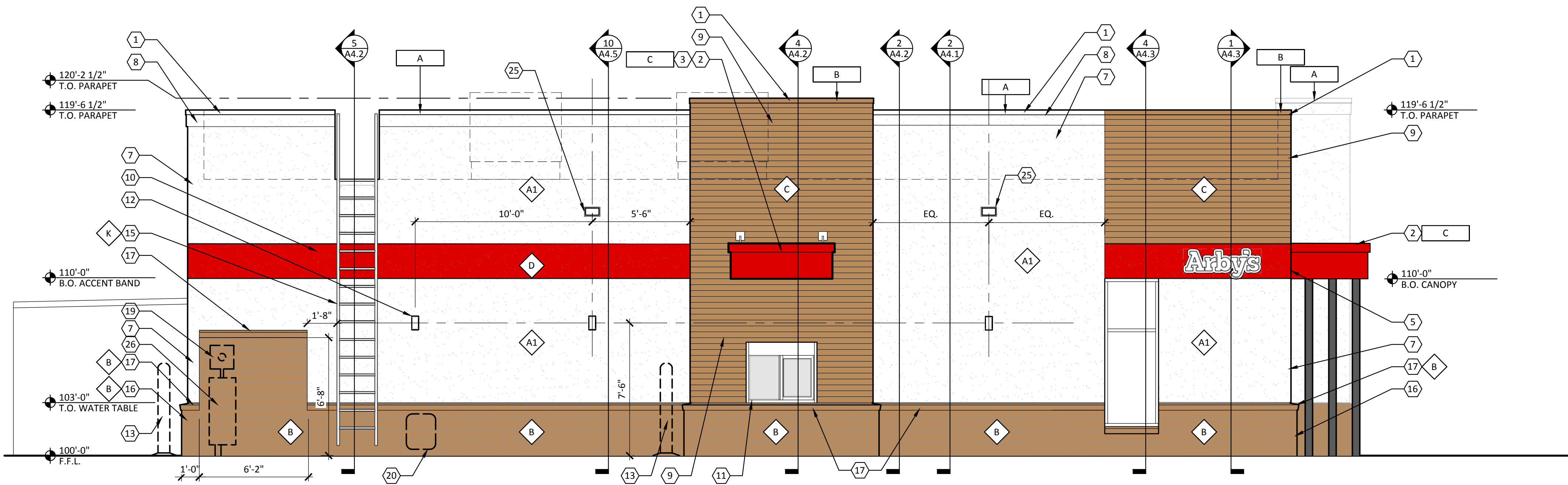
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OPTIONS. REVISE TO NOT USED IF REGULAR
PARAPET IS USED IN PROJECT.

FINISH SCHEDULE

MARK	MANUFACTURER	DESCRIPTION	NOTES
FINISHES			
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A2	NOT USED	---	---
B	BELDEN BRICK	8601 DARK	TEXTURE: SMOOTH GROUT: CEMEX 36-A MOCHA, TYPE N
C	DRYVIT	EIFS WALL SYSTEM WITH V-GROOVE REVEALS	COLOR: ARBY131030 TEXTURE: STANDARD
D	SHERWIN WILLIAMS	SW #6869 STOP	SATIN FINISH
E	NOT USED	---	---
F	NOT USED	---	---
G	SHERWIN WILLIAMS	SW #2808 ROOKWOOD DARK BROWN	SATIN FINISH
H	NOT USED	---	---
J	NOT USED	---	---
K	SHERWIN WILLIAMS	SW #7005 PURE WHITE	SATIN FINISH

METALS			
A	EXCEPTIONAL METALS/ DURO-LAST	TWO-PIECE SNAP-ON METAL COPING BONE WHITE/ DURO-LAST #SR.70/TE.87	FOR USE WITH DURO-LAST ROOFING SYSTEM DETAIL FA3110
B	EXCEPTIONAL METALS/ DURO-LAST	TWO-PIECE SNAP-ON METAL COPING MIDNIGHT BRONZE/ DURO-LAST #SR.26/TE.87	FOR USE WITH DURO-LAST ROOFING SYSTEM DETAIL FA3110
C	PRE-FABRICATED CANOPY/BAND	PRODUCT CODE: 9940-30198R PRODUCT NAME: FC SD RAL 3000 FLAME RED	---
D	PRE-FABRICATED POST	PRODUCT CODE: 9840-80957R PRODUCT NAME: FC SD RAL 8017 CHOC. BROWN	---

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- PROVIDE SOLID MASONRY UNITS AT THE ENDS OF JAMBS, SILLS, ETC.
- TO HELP PREVENT EFFLORESCENCE ALL MASONRY UNITS ARE TO BE MANUFACTURED WITH INTEGRAL WATER REPELLANT. WATER REPELLANT ADMIXTURE IS TO BE MIXED IN AND PRE-WASHED SAND IS TO BE USED IN ALL MORTAR MIXES.
- MAKE SURE THAT WALL WEEPS AND FLASHING ARE INSTALLED CORRECTLY. DO NOT BLOCK WEEPS.
- REFER TO SHEET A8.2 FOR TEMPERED GLASS LOCATIONS.
- ALUMINUM STOREFRONT TO BE DARK BRONZE.
- ALL GLAZING TO BE 1" INSULATED GLAZING.
- BASIS OF DESIGN FOR THE EIFS WALL SYSTEM IS DRYVIT OUTSULATION PLUS MD. EIFS WALL SYSTEM IS 2" THICK UNLESS NOTED OTHERWISE. INSTALL EIFS PRODUCT IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND DETAILS.
- SIGNAGE IS SHOWN FOR REFERENCE ONLY. FINAL SIZE, LOCATION AND QUANTITY TO BE DETERMINED BY SIGNAGE VENDOR. SIGNAGE VENDER SHALL PERMIT ALL SIGNS UNDER SEPARATE COVER.
- REFER TO ELECTRICAL DRAWINGS FOR EXTERIOR LIGHTING SPECIFICATIONS.
- PAINT ALL EXPOSED BRICK LINTELS TO MATCH ADJACENT BRICK.
- ALL WALL MOUNTED LIGHT FIXTURES TO BE SET IN CONTINUOUS BED OF CAULK AND THEN SHALL BE SEALED TO WALL WITH SEPARATE BEAD OF CAULK. CAULK TO MATCH ADJACENT SURFACE.
- PAINT EIFS WALL BEHIND ACCENT BAND RED. EXPOSED EIFS EDGE BELOW ACCENT BAND TO MATCH METAL.
- ALL BRICK VENEER SHALL BE A RUNNING BOND, U.N.O. ALL BRICK SHALL BE INSTALLED FLUSH, U.N.O. (EXCEPTIONS INCLUDE: ROWLOCK SILL, SOLDIER COURSE HEADER AT DRIVE THRU WINDOW AND BRICK CORNICE)
- THRU-WALL FLASHING SHALL BE PRE-FINISHED TO MATCH STOREFRONT (DARK BRONZE).



2
A2.2
1/4" = 1'-0"



Report to the
Zoning & Planning Board of Appeals
of the City of Green Bay

MEETING DATE

December 20, 2021

PREPARED BY

Paul Neumeyer, Staff

AGENDA ITEM # E.3

(Appeal 21-042) Jon LeRoy, Mau & Associates, on behalf of Neufeld Enterprises II, LLC, property owner, proposes to construct a new Scooter's restaurant building and parking lot in a General Commercial (C1) District at 1640 West Mason Street. The applicant requests to deviate from the following requirement in Chapter 44, Green Bay Zoning Code, Section 44-720, Table 44-9, Floor Area Ratio (FAR) (Ald. J. VanderLeest, District 11).

BACKGROUND**RECOMMENDATION****FISCAL IMPACT****ATTACHMENTS**

1. Signed Application Variance Scooters W Mason
2. New Variance Request Scooters

[illegible]

List ordinance(s) (number and description) the variance will be impacting (staff will assist with this).
Request relief for building floor area ratio minimum for lot from 0.1 to 0.43 to accomodate the construction of a 664 square foot building at the parcel located in the existing out parking along W Mason Street.
ORD CH 13 Sec. 13.810 (Table) Floor Area Ratio - Minimum
ALTERNATIVES:
Describe alternatives to your proposal, to include other locations, designs, construction techniques, etc.
Scooter's typical constructs a number of buildings ranging from 500 to 664 square feet. The largest floor area has been selected for this site. The FAR requires the building size to be 1545 square feet. This size building would create a building size far outpacing the needs and model for this store. Additionally, a lot size of 6640 square feet would be far too small to accomodate a drive through and limited parking for the site.
Alternatives that you considered that comply with existing regulations:
See Attached Text
Reasons for not pursuing the alternative(s) listed above:
See Attached Text
THREE STEP TEST - To qualify for a variance, the applicant must demonstrate that their property meets the following three (3) requirements:
Does unique physical characteristics of your property prevent the compliance with the ordinance? Explain
See Attached Text

Would granting the variance be contrary to the public interest? Explain.
See Attached Text
Why would not getting the variance unreasonably prevent you from using the property for a permitted purpose (leaving the property owner without any use that is permitted for the property) or would render conformity with such restrictions unnecessarily burdensome?
See Attached Text

I HEREBY CERTIFY THAT I HAVE READ AND FULLY UNDERSTAND THE VARIANCE PROCEDURE AND FAILURE TO COMPLY WITH CITY REQUIREMENTS WILL RESULT IN THIS APPLICATION BEING WITHHELD FROM CONSIDERATION BY THE ZONING BOARD OF APPEALS.

Newfeld Enterprises II, LLC

Signature of the Property Owner

Jonathon LeRoy

Signature of Applicant (working as "Agent" for owner)

Edward N. Martin - Member

Print Name:

Jonathon LeRoy

Print Name:

December 7, 2021

Date

12/6/21

Date

OFFICE USE ONLY:	Parcel# 6-150-1	Residential \$75 _____ Commercial \$150 <u>X</u>
District: 11 Zoning: C1	Meeting Date: 12/20/21	Receipt #:
Submittal Date:	Staff Signature:	

Scooter's Coffee

Variance Request



Part of 1640 W Mason Street

December 7, 2021

Describe Reason for Variance

Please find the following written narrative and supporting documents as a request for a variance request at part of the existing parcel at 6-150-1, 1640 West Mason Street purpose of constructing and operating a drive-thru coffee shop use.

Scooter's Coffee is seeking to develop the underused parking lot site at 1640 West Mason Street to create a Scooter's Coffee drive through restaurant. Scooter's has a location recently opened on East Mason Street. Scooter's Coffee looks to create a single building which serves drive thru based customers.

The site is currently apart of an underused parking lot owned by Neufeld Enterprises II LLC. An attached certified survey map has met approvals and awaiting recording to create three lots out of the existing lot housing Planet Fitness, surface parking, and greenspace along West Mason. This will create two new lots along West Mason to create a Scooter's Coffee and Arby's. This will continue the redevelopment investment up along West Mason Street for addition of smaller businesses situated along the street like the recent development with Cellcom and North Shore Bank east of Mitchell Street.

Neufeld Enterprises II LLC will continue to be the property owner for all three lots in existing lot.

Scooter's is looking to create an approximately 664 square foot building footprint to serve customers. Existing zoning for the site is C1. A conditional use permit will also be applied for to meet zoning code to allow for drive-through use.

The following items have been attached

Future CSM

Site Plan for Plan Commission

Elevations

List ordinances the variance will be impacting

- (1) Request relief for building floor area ratio minimum for lot from 0.1 to 0.043 to accommodate the construction of a 664 square foot drive thru coffee shop.

ORD. CH. 13 Sec. 13.810 (Table) Floor Area Ratio-Minimum

ALTERNATIVES

Describe alternatives to your proposal

Scooter's typically constructs three new builds; varying in sizes between 500 and 664 square feet. The largest floor area has been selected for the site. The FAR requires the size of a building to become 1545 square feet of floor to meet standards. This building size would create a building size far outpacing the needs and model for this store. Additionally, a lot size of 6640 square feet would be far too small to accommodate a drive through and limited parking for the site.

Alternatives that you considered that comply with existing regulations

The site is being created by using a fairly common practice of taking extraordinarily underused surface parking for a legacy big box development and placing out building up along the thoroughfare of Mason Street.

Setbacks:

If a single small parcel were to be used, room for queuing of cars safely on the property would not be feasible. A small parcel would be extraordinarily small for a singular purpose which incorporates automobiles in any fashion (surface parking or drive through).

Safety:

The placement of Scooters Coffee (and adjacent Arby's) is placed in an area which utilizes a void space between four drive lanes.

- Mason Street
- North/South traffic off Mitchell Street
- North/South traffic off driveway entrance between the Goodwill Store and Planet Fitness
- East/West traffic down an established drive lane connecting Goodwill, Planet Fitness, and businesses established east of Mitchell Street.

Size of developed area fits in well with the established drive lanes for all businesses. A decrease or increase in lot size to the north and south would create uneven traffic queues in the area.

Building Size:

Development team looked at creating a larger building, but the additional size needed simply to meet FAR standards would not meet the business model warranted for a drive through only coffee store with a limited number of employees working inside the store. Customers will use the drive through only.

Reasons for not pursuing the alternatives listed above

To ensure setbacks, green space standards, and general form/fit of the commercial businesses in relation to the overall parking lot for the stores along Mason Street, development team believes this fit works best.

THREE STEP TEST**Does unique physical characteristics of your property prevent the compliance with the ordinance?**

Yes. The site is hemmed in by established drive lanes for the overall shopping complex FAR. Requiring the building to be larger would be an arbitrary standard which would not bring additional functionality to the building itself.

Would granting the variance be contrary to the public interest?

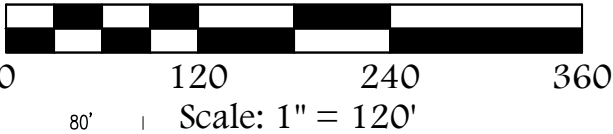
Granting will allow a full site design which can ensure safe queuing of automobiles free from Mason Street and traffic build up in the driveway lanes. Additionally, this request will allow for the CUP request and combination CSM to become feasible. These steps will allow the site to continue redevelopment and growth along the underused parking lot corridor at West Mason/Military.

Why would not getting the variance unreasonably prevent you from using the property for permitted use?

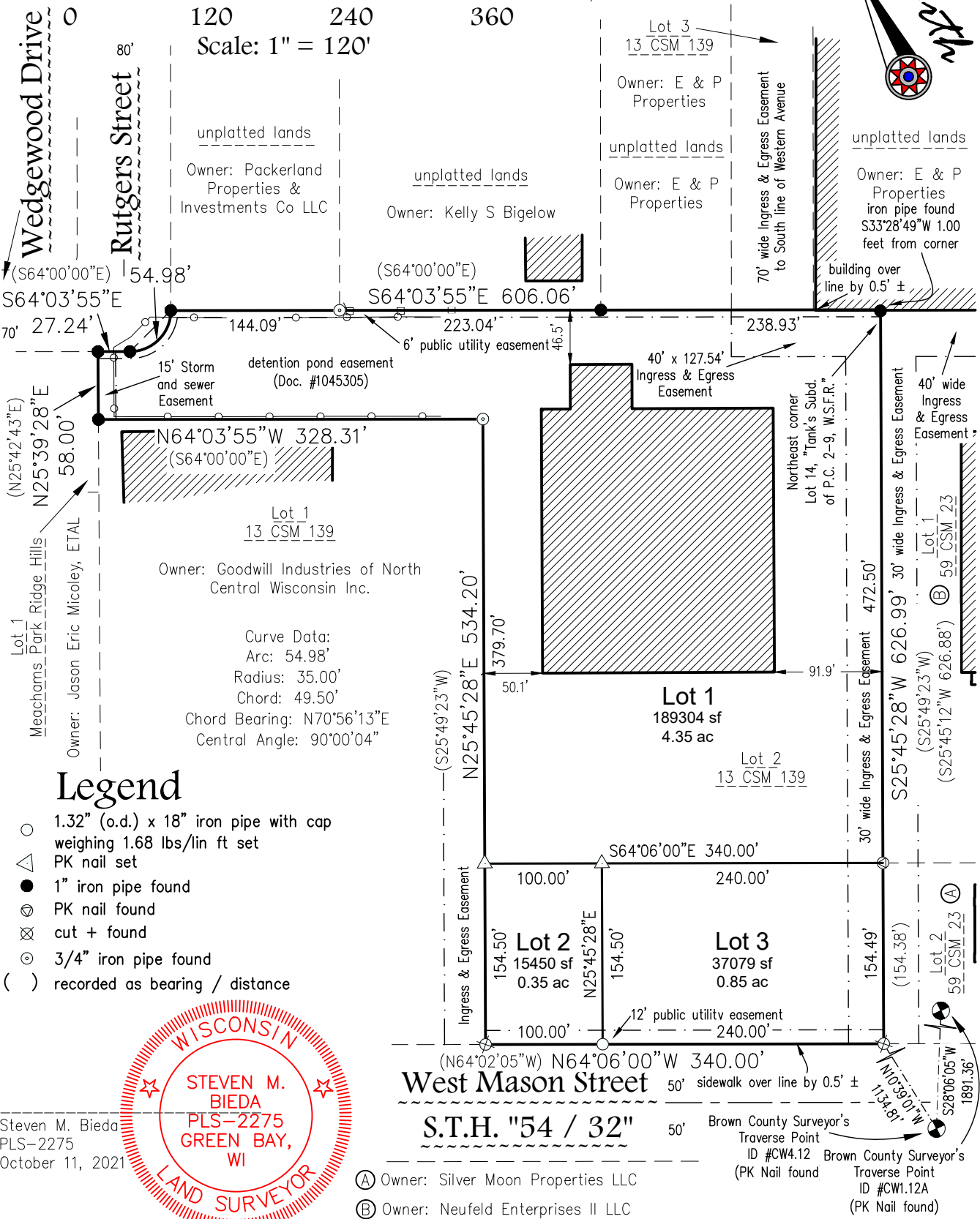
Scooter's has no intention of having in person dining. The size of the building is maxed out for uses at the site, which drive through dining is a conditional use for the site.

Certified Survey Map

Part of Lot 2, Volume 13, Certified Survey Maps, Page 139,
Map Number 2691, Document Number 1024520, Brown
County Records, being located in part of Lot 14 of "Tank's
Subdivision of Private Claims 2-9, West Side of the Fox River",
in the City of Green Bay, Brown County, Wisconsin.



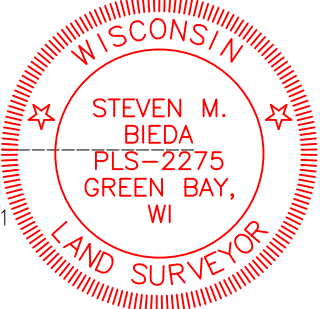
Bearings referenced to the line
between Brown County Surveyor's
Traverse Point Numbers CW1.12A and
CW4.12, assumed to be S28°06'05"W.



Legend

- 1.32" (o.d.) x 18" iron pipe with cap weighing 1.68 lbs/lin ft set
- △ PK nail set
- 1" iron pipe found
- ⊗ PK nail found
- ⊗ cut + found
- ⊙ 3/4" iron pipe found
- () recorded as bearing / distance

Steven M. Bieda
PLS-2275
October 11, 2021



West Mason Street
S.T.H. "54 / 32"

- Ⓐ Owner: Silver Moon Properties LLC
- Ⓑ Owner: Neufeld Enterprises II LLC
- Brown County Surveyor's Traverse Point ID #CW4.12 Brown County Surveyor's Traverse Point ID #CW1.12A (PK Nail found)

Client: Neufeld Enterprises II, LLC
Tax Parcel: 6-150-1
Drafted By: BAR
File: M-712CSM 100421.dwg
Data File: M-712.txt

Mau & Associates, LLP
LAND SURVEYING & PLANNING
CIVIL & WATER RESOURCE ENGINEERING
Phone: 920-434-9670 Website: www.mau-associates.com
400 Security Blvd Ste 1, Green Bay, WI 54313-9712

Sheet One of Four
Project No.: M-712
Drawing No.: L-11598
Fieldwork Completed: 11/29/2021



Certified Survey Map

Part of Lot 2, Volume 13, Certified Survey Maps, Page 139, Map Number 2691,
Document Number 1024520, Brown County Records, being located in part of Lot
14 of "Tank's Subdivision of Private Claims 2-9, West Side of the Fox River", in
the City of Green Bay, Brown County, Wisconsin.

SURVEYOR'S CERTIFICATE

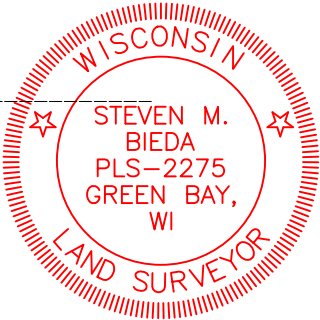
I, Steven M. Bieda, Professional Land Surveyor, PLS-2275, do hereby certify that I have surveyed, divided and mapped part of Lot 2, Volume 13, Certified Survey Maps, Page 139, Map Number 2691, Document Number 1024520, Brown County Records, being located in part of Lot 14 of "Tank's Subdivision of Private Claims 2-9, West Side of the Fox River", in the City of Green Bay, Brown County, Wisconsin, more fully described as follows:

Beginning at the Northeast corner of Lot 2, Volume 13, Certified Survey Maps, Page 139, Map Number 2691, Document Number 1024520, Brown County Records, also being the Northeast corner of Lot 14 of "Tank's Subdivision of Private Claims 2-9, West Side of the Fox River"; thence S25°45'28"W, 626.99 feet along the East line of said Lot 2 to the Northerly right of way of State Trunk Highway 54/32, also known as West Mason Street; thence N64°06'00"W, 340.00 feet along said right of way to the West line of said Lot 2; thence N25°45'28"E, 534.20 feet along said West line; thence N64°03'55"W, 328.31 feet along a South line of said Lot 2; thence N25°39'28"E, 58.00 feet along the West line of said Lot 2, also being the East line of Lot 1 of the recorded plat of "Meacham's Park Ridge Hills", to the Northeast corner thereof; thence S64°03'55"E, 27.24 feet along the Southerly right of way of Wedgewood Drive; thence 54.98 feet along said right of way being the arc of a 35.00 foot radius curve to the left whose long chord bears N70°56'13"E, 49.50 feet; thence S64°03'55"E, 606.06 feet along the North line of said Lot 2 to the point of beginning.

Parcel contains 241,832 square feet / 5.55 acres, more or less.
Parcel subject to easements and restrictions of record.

That such plat is a correct representation of all the exterior boundaries of the land survey and the division thereof. That I have made such a survey, land division and plat by the direction of the owners listed hereon. That I have fully complied with the provisions of Chapter 236, section 236.34 of the Wisconsin Statutes and the City of Green Bay code in surveying, dividing and mapping the same.

Steven M. Bieda
PLS-2275
October 11, 2021



CERTIFICATE OF THE CITY OF GREEN BAY

Approved by the City of Green Bay, as required by Wisconsin Statutes Chapter 236, and the City of Green Bay Municipal Code Chapter 36, Subdivision and Platting, on this _____ day of _____, 20__.

Neil Stechschalte
Director of Development

CERTIFICATE OF THE GREEN BAY CITY CLERK

As the duly appointed City Clerk for the City of Green Bay, I hereby certify that the records in my office show no unpaid taxes or special assessments affecting any of the lands included in the Certified Survey Map.

Celestine Jeffreys Date
Green Bay City Clerk





Certified Survey Map

Part of Lot 2, Volume 13, Certified Survey Maps, Page 139, Map Number 2691,
Document Number 1024520, Brown County Records, being located in part of Lot
14 of "Tank's Subdivision of Private Claims 2-9, West Side of the Fox River", in
the City of Green Bay, Brown County, Wisconsin.

CORPORATE OWNER'S CERTIFICATE

Neufeld Enterprises II, LLC a corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, does hereby certify that said corporation caused the land described on this Certified Survey Map to be surveyed, divided, mapped and dedicated as represented hereon. Neufeld Enterprises II, LLC, does further certify that this Certified Survey Map is required to be submitted to the Brown County Planning Commission and the City of Green Bay for approval or objection in accordance with current Land Subdivision Ordinances. Neufeld Enterprises II, LLC understands that the City will discontinue any public improvements upon discovery or notice of any other condition requiring abnormal public improvement costs. We further acknowledge that the City's action or inaction in this regard shall not be construed as an admission of liability for hazardous waste cleanup or burial site preservation costs.

In Witness Whereof, the said Neufeld Enterprises II, LLC, has caused these presents to be signed by _____, it's _____ on this _____ day of _____, 20____,

Personally came before me this _____ day of _____, 20____, the above named Owners, to me known to the persons who executed the foregoing instrument and acknowledged the same.

Notary Public My Commission Expires _____
Brown County, Wisconsin

STATE OF WISCONSIN]
] SS
COUNTY OF BROWN]

CERTIFICATE OF CORPORATE MORTGAGEE

_____, a corporation duly organized and existing under and by virtue of the laws of Wisconsin, mortgagee of the above described land, does hereby consent to the surveying, dividing, mapping and dedication of the land described on this Certified Survey Map and does hereby consent to the above certificate of Neufeld Enterprises II, LLC, Owner(s) of said lands.

IN WITNESS WHEREOF, _____ has caused these presents to be signed by _____, its _____ and countersigned by _____, its _____, at _____, Wisconsin, and its corporate seal to be hereunto affixed this _____ day of _____, 20____.

In the presence of: _____

President Date

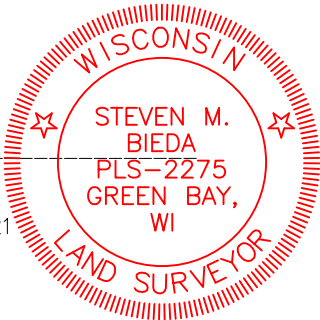
Secretary or Cashier Date

Personally came before me this _____ day of _____, _____, the above named officers of said corporation to me known to be the persons who executed the foregoing instrument and to me known to be such officers of said corporation, and acknowledged that they executed the foregoing instrument as such officers as the deed of said corporation, by its authority.

Notary Public My Commission Expires _____
Brown County, Wisconsin

STATE OF WISCONSIN]
] SS
COUNTY OF BROWN]

Steven M. Bieda
PLS-2275
October 11, 2021



Certified Survey Map

Part of Lot 2, Volume 13, Certified Survey Maps, Page 139, Map Number 2691,
Document Number 1024520, Brown County Records, being located in part of Lot
14 of "Tank's Subdivision of Private Claims 2-9, West Side of the Fox River", in
the City of Green Bay, Brown County, Wisconsin.



NOTES

The property owners, at the time of construction, shall implement the appropriate soil erosion control methods outlined in the Wisconsin Construction Site Erosion and Sediment Control Technical Standards (available from the Wisconsin Department of Natural Resources) to prevent soil erosion. However, if at the time of construction the City has adopted a soil erosion control ordinance, it shall govern over this requirement. This provision applies to any grading, construction, or installation-related activities.

This Certified Survey Map is contained wholly within the property described in Document Number 2899239. It is all of Tax Parcel 6-150-1. The current property owner of record is Neufeld Enterprises II, LLC.

City of Green Bay zoning and building approvals are required prior to commencing construction of buildings, structures, drives, or parking areas and may also be required prior to commencing grading, excavation, filling or other land disturbing activities.

Areas designated as Public Utility Easements shall be granted to all Public Utility Companies or Agencies that provide service directly to the public.

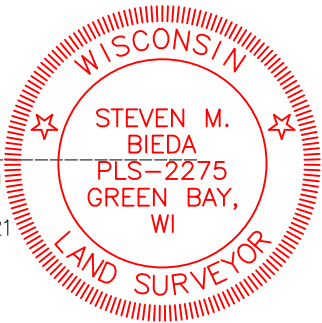
RESTRICTIVE COVENANTS

The land on all side and rear lot lines of all lots shall be graded by the lot owner and maintained by the abutting property owners to provide for adequate drainage of surface water.

Each lot owner shall grade the property to conform to the adopted sidewalk grade elevation and maintain said elevation for future sidewalks.

No poles, pedestals or buried cable are to be placed so as to disturb any survey stake or obstruct vision along any lot lines or street line, a disturbance of a survey stake by anyone is a violation of section 236.32 of the Wisconsin Statutes.

Steven M. Bieda
PLS-2275
October 11, 2021



SCOOTER'S AND ARBY'S

1640 W. MASON

CITY OF GREEN BAY

PRELIMINARY

PROJECT INFORMATION

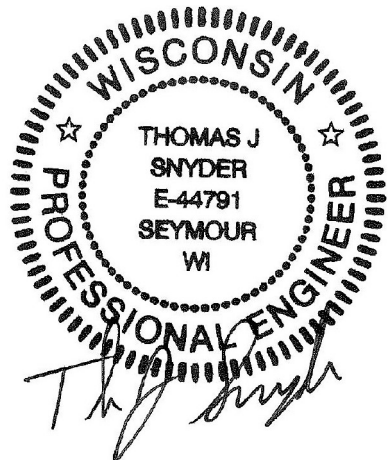
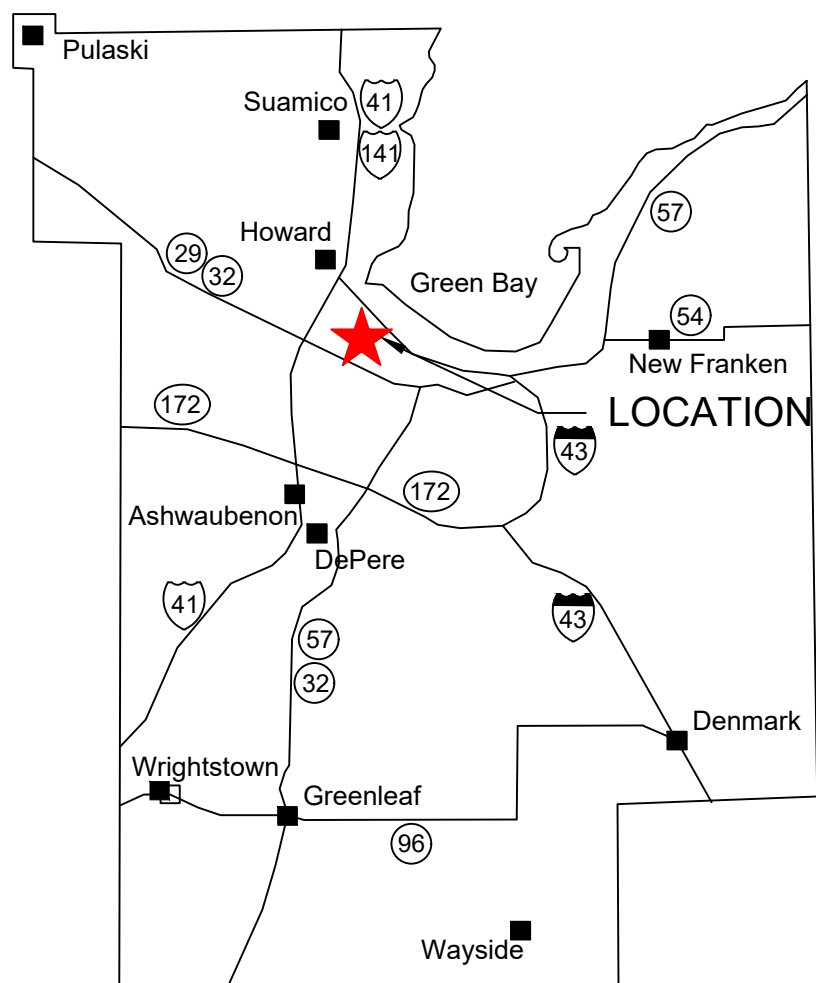
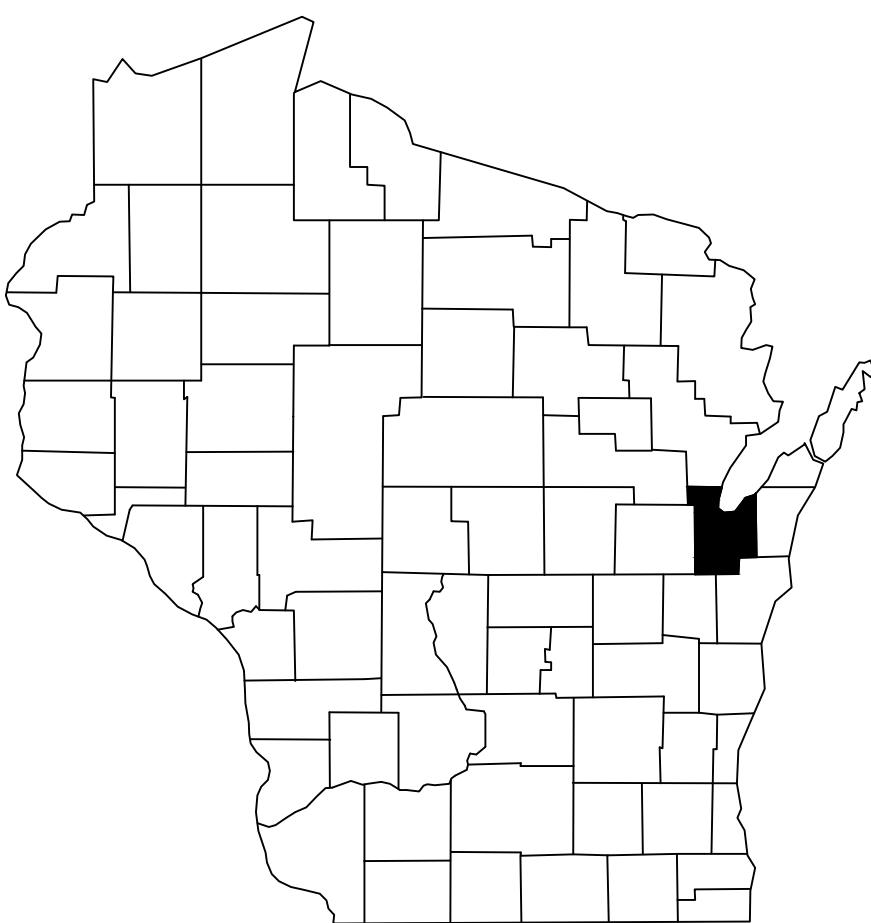
OWNER(S):	NEUFELD ENTERPRISES II LLC
PROJECT NAME:	SCOOTER'S AND ARBY'S AT 1640 W. MASON
PROJECT DESCRIPTION:	SCOOTER'S COFFEE AND ARBY'S WITH STORMWATER MANAGEMENT
PROJECT LOCATION:	1640 W. MASON
PARCEL NUMBER(S):	6-150-1

LEGAL DESCRIPTION
Part of Lot 2, Volume 13, Certified Survey Maps, Page 139, Map Number 2691, Document Number 1024520, Brown County Records, being located in part of Lot 14 of "Tank's Subdivision of Private Claims 2-9, West Side of the Fox River", in the City of Green Bay, Brown County, Wisconsin.

CONTACT INFORMATION

OWNER(S):	DAVID MARTIN 320 W. MILITARY AVE GREEN BAY, WI 54303 PH.: 920-490-3104 david@hjmartin.com
ENGINEER:	MAU & ASSOCIATES, LLP CONTACT: TOM SNYDER, P.E. 400 SECURITY BLVD. GREEN BAY, WI 54313 PH.: 920-434-9670

SHEET INDEX:	
C1.0	TITLE SHEET
C2.0	NOTES
C3.0	EXISTING CONDITIONS AND DEMO PLAN
C4.0-4.2	SITE & LANDSCAPE PLAN
C5.0-5.1	EROSION CONTROL PLAN
C6.0-6.2	GRADING PLAN
C7.0-7.2	UTILITY PLAN
C8.0-8.1	DETAILS



12/01/21



Vicinity Map
(not to scale)

Mau & Associates
LAND SURVEYING & PLANNING
CIVIL & WATER RESOURCE ENGINEERING
Phone: 920-434-9670 Fax: 920-434-9672

DATE:
12/01/21
PROJECT NO.
M-712
SHEET NO.
C1.0
DRAWING NO.
S-3513

RESPONSE ACTIONS IN THE EVENT OF A SPILL OR RELEASE

IMMEDIATELY TAKE THE FOLLOWING MEASURES TO KEEP THE SPILL FROM ENTERING SEWER OR STORM DRAINS, SPREADING OFF SITE, OR AFFECTING HUMAN HEALTH.

STOP, CONTAIN, AND CLEAN UP CHEMICAL SPILL IF:

- THE SPILLED CHEMICAL AND ITS HAZARDOUS PROPERTIES HAVE BEEN IDENTIFIED
- THE SPILL IS SMALL AND EASILY CONTAINED
- RESPONDER IS AWARE OF THE CHEMICALS' HAZARDOUS PROPERTIES

IF SPILL OR RELEASE CANNOT BE CONTROLLED OR INJURIES HAVE OCCURRED DUE TO THE RELEASE THE FOLLOWING PROCEDURES SHOULD BE IMPLEMENTED:

- SUMMON HELP OR ALERT OTHERS OF THE RELEASE
- EVACUATE IMMEDIATE AREA, PROVIDE CARE TO INJURED, CALL 911
- IF POTENTIAL FOR FIRE OR EXPLOSION - CALL 911
- RESPOND DEFENSIVELY TO ANY UNCONTROLLED SPILLS
 - USE PROTECTIVE EQUIPMENT
 - ATTEMPT TO STOP SOURCE OF RELEASE (IF SAFE TO DO SO)
 - PROTECT DRAINS BY USE OF ABSORBENT, BOOMS OR DRAIN COVERS (IF SAFE TO DO SO)
- NOTIFY ONSITE EMERGENCY CONTACT(S)
- COORDINATE RESPONSE ACTIVITIES WITH LOCAL EMERGENCY PERSONNEL
- BE PREPARED TO PROVIDE MSDS INFORMATION TO EMERGENCY PERSONNEL
- NOTIFY APPROPRIATE AGENCY IF RELEASE HAS ENTERED THE ENVIRONMENT.

SPILL PREVENTION AND EMERGENCY RESPONSE PLAN:

EMERGENCY CONTACTS

Bill Rosnow, HJ Martin
(920) 371-1332

EMERGENCY RESPONSE CONTACTS

FIRE/PARAMEDICS/POLICE 911
FIRE NON-EMERGENCY LINE (920) 434-4666
COUNTY HEALTH DEPARTMENT(920) 448-6400
DNR SPILL HOTLINE 1-800-943-0003

LOCAL EMERGENCY MEDICAL FACILITY

ST. MARY'S HOSPITAL
1726 SHAWANO AVE
GREEN BAY, WI 54303
(920) 498-4200

SPILL PREVENTION

HAZARDOUS SUBSTANCE MANAGEMENT:
ALL HAZARDOUS SUBSTANCES, INCLUDING CHEMICAL WASTES, ARE TO BE MANAGED IN A WAY THAT PREVENTS RELEASE.

CONSTRUCTION SITE EROSION CONTROL

THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES. ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS AND IF NO STANDARD EXISTS THE WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK (CURRENT EDITION) SHALL BE REFERENCED. EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN PLACE PRIOR TO DISTURBING THE SITE. CONTRACTORS SHALL MINIMIZE THE DURATION AND SIZE OF DISTURBED AREAS TO THE MAXIMUM EXTENT PRACTICABLE. EROSION AND SEDIMENT CONTROL PRACTICES PROPOSED FOR THIS PROJECT ARE DESCRIBED AS FOLLOWS:

SEDIMENT TRACKING FROM CONSTRUCTION SITE:

- STONE TRACKING PAD(S) - TECHNICAL STANDARD 1057
STONE TRACKING PADS WILL BE INSTALLED AT ENTRANCES SHOWN ON THE SITE. TRACKING PADS SHALL BE IN PLACE PRIOR TO LAND DISTURBING ACTIVITIES.
WASH WATER FROM VEHICLE AND WHEEL WASHING SHALL BE TREATED BEFORE ENTERING WATERS OF THE STATE.
- STREET SWEEPING/CLEANING
SEDIMENT TRACKED FROM THE CONSTRUCTION SITE SHALL BE CLEANED UP AT THE END OF EACH WORK DAY UNLESS THE SEDIMENT PRESENTS A HAZARD. SEDIMENT PRESENTING A HAZARD MUST BE CLEANED UP IMMEDIATELY.

SEDIMENT CARRIED OFF-SITE BY OVERLAND FLOW OR RUNOFF:

- SILT FENCE - TECHNICAL STANDARD 1056
SILT FENCE WILL BE INSTALLED DOWN-SLOPE OF ALL DISTURBED AREAS OF THE SITE. THE FENCE SHALL BE INSTALLED ALONG THE CONTOURS AND BE IN-PLACE PRIOR TO LAND DISTURBING ACTIVITIES.
- SEEDING - TECHNICAL STANDARD 1059; MULCHING - TECHNICAL STANDARD 1058
DISTURBED AREAS OF THE SITE SHALL BE SEEDED AND MULCHED AS SOON AS THEY ARE BROUGHT TO FINISHED GRADE. IN ADDITION, ANY STOCK PILES IN PLACE FOR 7 DAYS OR MORE SHALL BE SEEDED AND MULCHED.
- NON-CHANNEL EROSION MAT - TECHNICAL STANDARD 1052
EROSION CONTROL MAT SHALL BE PLACED AS SHOWN ON THE PLANS, AND/OR AS DETERMINED IN THE FIELD, TO PROTECT THE DISTURBED SLOPES FROM EROSION. NON-CHANNEL EROSION MAT SHALL BE INSTALLED AS SOON AS THE SLOPE HAS BEEN BROUGHT TO FINISHED GRADE.
- CONSTRUCTION SITE DIVERSION - TECHNICAL STANDARD 1066
WHERE POSSIBLE, THE SITE WILL BE GRADED SUCH THE RUNOFF FROM UNDISTURBED AREAS IS ROUTED AROUND DISTURBED AREAS OF THE SITE.

SEDIMENT CARRIED OFF-SITE BY DEWATERING OPERATIONS:

- DEWATERING - TECHNICAL STANDARD 1061
DEWATERING IS NOT ANTICIPATED FOR THIS PROJECT. IF IT IS REQUIRED, DEWATERING SHALL BE IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD. ANY NECESSARY PERMITS SHALL BE OBTAINED PRIOR TO DEWATERING OPERATIONS TAKE PLACE.

SEDIMENT ENTERING STORM DRAIN INLETS:

- STORM DRAIN INLET PROTECTION - TECHNICAL STANDARD 1060
ALL INLETS, PROPOSED AND EXISTING, ACCEPTING RUNOFF FROM DISTURBED AREAS OF THE SITE SHALL HAVE INLET PROTECTION INSTALLED PRIOR TO LAND DISTURBING ACTIVITY WITHIN THE AREA DISCHARGING TO THE INLET.

SEDIMENT BEING CARRIED OFF-SITE BY WIND:

- DUST CONTROL - TECHNICAL STANDARD 1068
WHEN REQUIRED, DUST CONTROL MEASURES SHALL BE EMPLOYED TO PREVENT DUST FROM BLOWING OFF-SITE.

CONCRETE WASHOUT

- CONCRETE WASHOUT SHALL BE COLLECTED AND RETAINED, BOTH WATER AND CONCRETE, IN LEAK PROOF CONTAINERS. WASHOUT CAN BE RECYCLED OR REUSED. SEE <http://water.epa.gov/polwaste/npdes/swbmp/upload/concretewashout.pdf> FOR DETAILS.

GENERAL NOTES:

1. ALL CLEARING, GRADING, GRAVELING, PAVING, AND RESTORATION SHALL BE DONE IN ACCORDANCE WITH THE WISCONSIN DOT STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, CURRENT EDITION.

2. A COPY OF THE EROSION CONTROL PLAN SHALL BE KEPT ON SITE AT ALL TIMES.

3. EROSION CONTROL METHODS SHALL BE IMPLEMENTED, AS DIRECTED BY THE ENGINEER, PRIOR TO AND DURING CONSTRUCTION, TO CONTROL WATER POLLUTION, EROSION, AND SILTATION. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE WIDNR TECHNICAL STANDARDS.

4. CONTRACTOR IS RESPONSIBLE FOR CONTACTING DIGGERS HOTLINE FOR THE LOCATION OF THE UTILITIES.

5. CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL STUMPS.

6. EXCESS TOPSOIL SHALL BE STOCKPILED ON THE SITE WITH THE PROPER EROSION CONTROL AT A LOCATION ACCEPTABLE TO THE OWNER.

7. CONTRACTOR SHALL DISPOSE OF ALL WASTE AND EXCESS MATERIAL AT AN APPROVED LOCATION.

8. CONTRACTOR SHALL PROTECT ALL PROPERTY IRONS. A LICENSED LAND SURVEYOR, AT THE CONTRACTORS EXPENSE, SHALL REPLACE ANY PROPERTY IRONS REMOVED DURING CONSTRUCTION.

INSPECTION AND MAINTENANCE

THE CONTRACTOR IS RESPONSIBLE FOR INSPECTION AND MAINTENANCE OF EROSION AND SEDIMENT CONTROLS UNTIL THE CONSTRUCTION SITE IS PERMANENTLY STABILIZED WITH A DENSE GRASS COVER. THE CONTRACTOR SHALL INSPECT EROSION AND SEDIMENT CONTROLS WEEKLY AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. THE CONTRACTOR SHALL INSPECT EROSION AND SEDIMENT CONTROLS FOR STRUCTURAL DAMAGE, SEDIMENT ACCUMULATION, OR ANY OTHER UNDESIRABLE CONDITION. THE CONTRACTOR SHALL REPAIR DAMAGED STRUCTURES PRIOR TO THE END OF EACH WORKING DAY. SEDIMENT SHALL BE REMOVED FROM THE STRUCTURE WHEN THE DEPTH OF SEDIMENT HAS ACCUMULATED TO ONE HALF THE HEIGHT OF THE DEVICE OR AS REQUIRED BY THE APPLICABLE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARD (CURRENT EDITION).

THE CONTRACTOR SHALL SUMMARIZE WEEKLY INSPECTION AND MAINTENANCE ACTIVITIES ON A WEEKLY INSPECTION REPORT THAT IS AVAILABLE THROUGH THE WDNR.

THE WEEKLY INSPECTION REPORT SHALL INCLUDE THE FOLLOWING MINIMUM INFORMATION:

NAME OF INDIVIDUAL PERFORMING INSPECTION;

DATE, TIME, AND PLACE OF INSPECTION;

A DESCRIPTION OF THE CONSTRUCTION PHASE;

A DESCRIPTION OF EROSION AND SEDIMENT CONTROL INSTALLATIONS;

A DESCRIPTION OF EROSION AND SEDIMENT CONTROL MAINTENANCE ACTIVITIES;

AND AN ASSESSMENT OF EROSION AND SEDIMENT CONTROL CONDITIONS.

THE CONTRACTOR SHALL PROMPTLY FURNISH THE ORIGINAL WEEKLY INSPECTION REPORTS TO THE OWNER, OWNER'S REPRESENTATIVE, OR WISCONSIN DEPARTMENT OF NATURAL RESOURCES WHEN REQUESTED. THE CONTRACTOR SHALL KEEP A COPY OF THE APPROVED EROSION & SEDIMENT CONTROL PLAN, PERMITS, AND WEEKLY INSPECTION REPORTS ON-SITE AT ALL TIMES.

ALL WASTE FROM THE CONSTRUCTION SITE SHALL BE PROPERLY DISPOSED OF AND NOT BE ALLOWED TO ENTER THE STORM SEWER SYSTEM, DRAINAGE SYSTEM, OR OTHER ENVIRONMENTALLY SENSITIVE AREAS LOCATED WITHIN THE CONSTRUCTION SITE.

SEQUENCE OF CONSTRUCTION

MARCH 2022

- INSTALL TRACKOUT PROTECTION, SILT FENCE, AND INLET PROTECTION AS SOON AS PRACTICABLE. PERFORM STREET SWEEPING AS NEEDED.
- CONTACT THE CITY OF GREEN BAY 3 DAYS BEFORE SITE GRADING BEGINS.
- CLEAR AND GRUB EXISTING DRY POND.
- REGRADE POND. MODIFY INLET PIPE. PERMANENTLY STABILIZE POND AREA WITH TOPSOIL, SEED, FERTILIZE, MULCH OR EROSION MATT AS SOON AS PRACTICABLE AFTER FINAL GRADING OF POND AREA.

APRIL 2022

- REMOVE AND DISPOSE OF PAVEMENT AT SCOOTER'S & ARBY'S SITE. STRIP AND STOCKPILE TOPSOIL.
- INSTALL SANITARY SEWER, WATER, AND STORM SEWER
- INSTALL BUILDING FOUNDATIONS
- GRADE AND CONSTRUCT DRIVE-THRU, DRIVEWAY, & PARKING. USE EXISTING PARKING LOT AS CONSTRUCTION STAGING AREA
- SALVAGE SUITABLE MATERIAL FOR FILL MATERIAL. DISPOSE OF NON-SUITABLE OR EXCESS SOILS AT A PERMITTED OFF-SITE LOCATION.
- PERFORM STREET SWEEPING AND TEMPORARY MULCHING/SEEDING AS NEEDED AND REQUIRED.

MAY 2022

- INSTALL CURB & GUTTER.
- CONSTRUCT BUILDINGS.
- COMPLETE FINE GRADING AND LANDSCAPING. PERMANENTLY STABILIZE EACH AREA OF THE CONSTRUCTION SITE WITH TOPSOIL. SEED, FERTILIZE, AND MULCH AS SOON AS PRACTICABLE AFTER FINAL GRADING.
- INSTALL CONCRETE PAVEMENT, STRIPING.

JULY 2022

0. REMOVE AND DISPOSE OF EROSION AND SEDIMENT CONTROL MEASURES WITHIN 30 DAYS OF FINAL SITE STABILIZATION (I.E. SILT FENCE). VEGETATION SHALL ACHIEVE 70% GROWTH TO BE CONSIDERED STABILIZED.

Legend

○ 1.32" (O.D.) X 18" IRON PIPE WITH CAP WEIGHING 1.68 LBS/LIN FT SET	● POWER POLE
● 1" IRON PIPE FOUND	← ANCHOR WIRE
⊙ COMPUTED POINT	—○— OVERHEAD WIRES
⊙ PK NAIL FOUND	==== CONCRETE CURB & GUTTER LINE
△ PK NAIL SET	■ EXISTING ASPHALT
⊗ CUT + FOUND	■ PROPOSED ASPHALT
⊙ 3/4" IRON PIPE FOUND	▨ EXISTING BUILDING
● 2" IRON PIPE FOUND	▨ PROPOSED BUILDING
● BROWN COUNTY MONUMENT - TYPE NOTED	■ CONCRETE
() RECORDED AS BEARING / DISTANCE	■ GRAVEL
..... NO ACCESS	■ WETLAND AREA
⊙ CB ROUND CATCH BASIN	▨ FLOODPLAIN LIMITS
⊙ ST STORM SEWER MANHOLE	▨ FLOODWAY
▨ CURB INLET	—○— SILT FENCE
— Stn — STORM SEWER LINE	▨ INLET PROTECTION
⊙ SC SANITARY CLEANOUT	▨ SLOPE EROSION MAT WSDOT CLASS 1 TYPE A
⊙ SA SANITARY SEWER MANHOLE	▨ CHANNEL EROSION MAT WSDOT CLASS 1 TYPE B
— San — SANITARY SEWER LINE	■ RIP RAP SIZE AND QUANTITY PER PLAN
⊙ WM WATER MANHOLE	■ TRACKING PAD
⊙ HYDRANT	--- EXISTING CONTOUR LINE
— Wat — WATERMAIN	--- PROPOSED CONTOUR LINE
⊙ WV WATER VALVE	×176.41 EXISTING GROUND GRADE
⊙ WV WATER VALVE - CURB STOP	×174.88 PROPOSED GROUND GRADE
⊙ GV GAS VALVE	2.33% DRAINAGE ARROW
— Gas — UNDERGROUND GAS LINE	—○— FENCE LINE
⊙ GM GAS METER	—○— GUARD RAIL
— Tw — UNDERGROUND TELEPHONE LINE	□ GUARD POST
⊙ TP TELEPHONE PEDESTAL	▨ FLAG POLE
⊙ TM TELEPHONE MANHOLE	▨ SIGN
— Elec — UNDERGROUND ELECTRIC LINE	▨ DECIDUOUS TREE
⊙ AC AIR CONDITIONER	▨ CONIFEROUS TREE
⊙ TR ELECTRIC TRANSFORMER	▨ TRAFFIC LIGHT
⊙ E ELECTRIC PEDESTAL	▨ MAILBOX
⊙ EM ELECTRIC MANHOLE	▨ HANDICAP PARKING SPACE
— Co — Co — UNDERGROUND CABLE TV LINE	▨ MONITORING WELL
⊙ HB HANDHOLE BOX	▨ ROCK WALL
⊙ CB CABLE TV PEDESTAL	▨ WELL
— FO — UNDERGROUND FIBER OPTIC LINE	▨ SHRUB
⊙ F FIBER OPTIC PEDESTAL	
⊙ FM FIBER OPTIC MANHOLE	
⊙ GL GROUND LIGHT	
⊙ LP LIGHT POLE	
--- CONSTRUCTION LIMITS	

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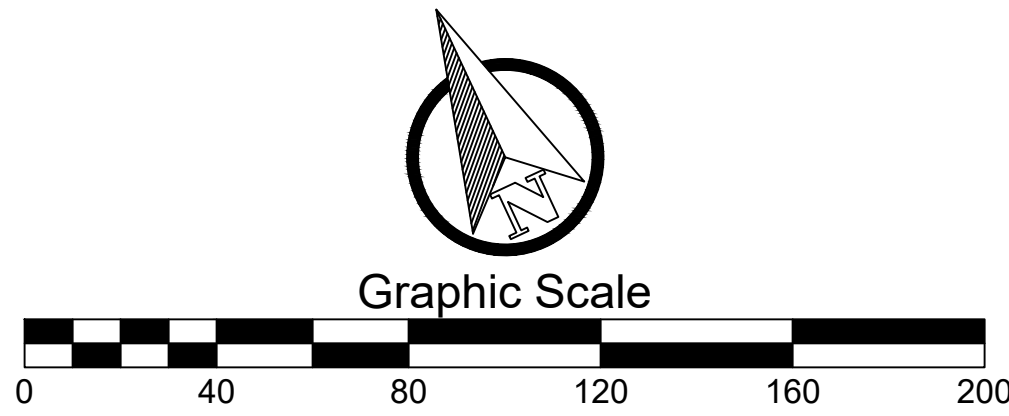
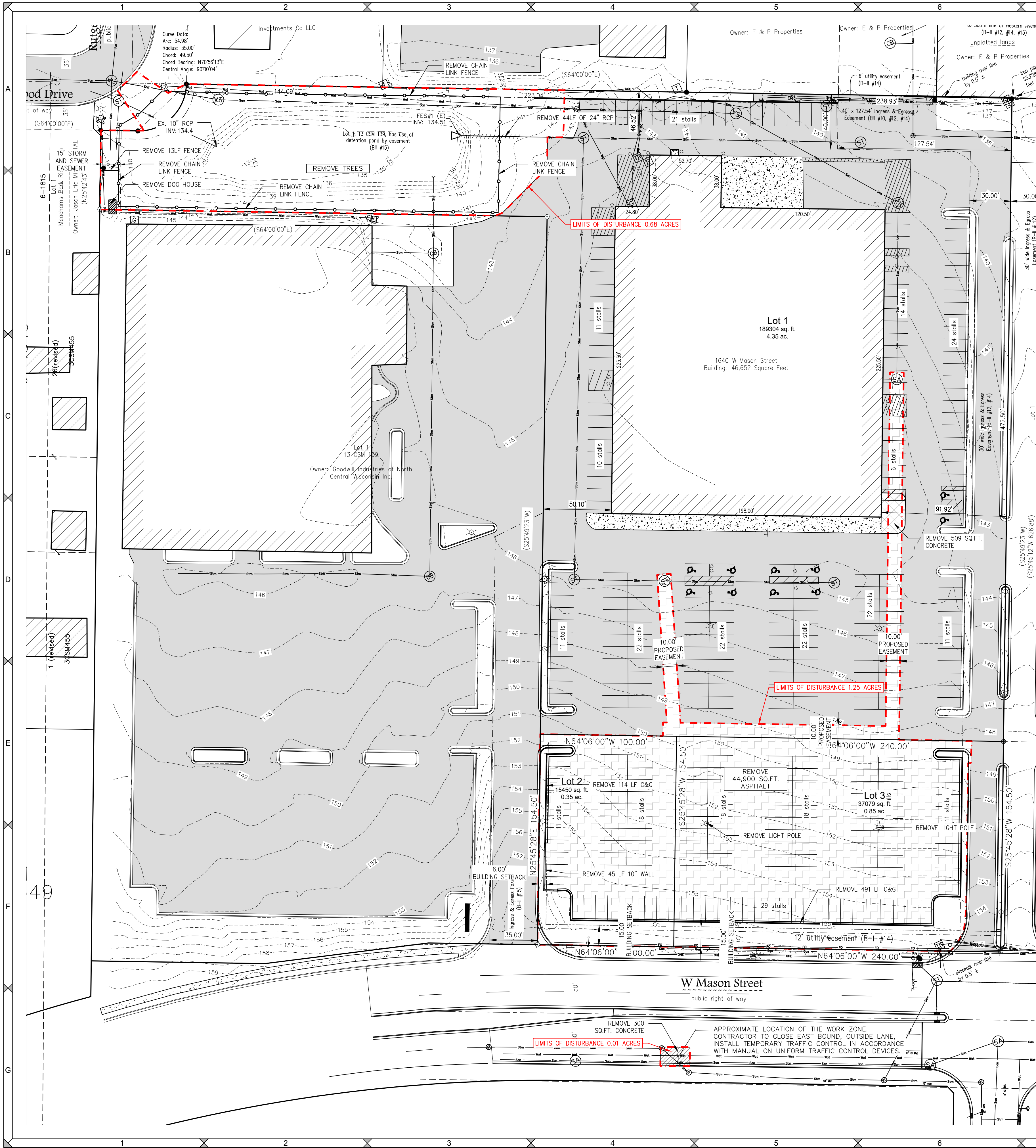
NOTES
SCOOTER'S AND ARBY'S

PROJECT NO.
M-712

SHEET NO.
C2.0

DRAWING NO.
S-3513

File: M-712ENG 070821.DWG



- LEGEND
- REMOVE BUILDING
 - REMOVE CONCRETE
 - REMOVE ASPHALT
 - LIMITS OF CONSTRUCTION

- SITE DEMOLITION GENERAL NOTES:
1. ALL SITE DEMOLITION AND DISPOSAL DEBRIS SHALL COMPLY WITH THE CONTRACT SPECIFICATIONS AND APPLICABLE LOCAL, STATE, AND FEDERAL STANDARDS AND REGULATIONS. DEBRIS AND FILL MATERIAL EXCAVATED FROM THE SITE SHALL BE HAULED TO AN APPROVED DISPOSAL SITE. CONTRACTOR WILL BE REQUIRED TO PROVIDE PROOF THE PROPOSED DUMP SITE IS PERMITTED.
 2. THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY ALL SITE CONDITIONS ILLUSTRATED TO BE DEMOLISHED AND IF THERE ARE PRE-BID QUESTIONS OR PERCEIVED & REAL CONFLICTS REGARDING CONSTRUCTION DOCUMENTS COMPARED TO ACTUAL FIELD CONDITIONS, SAID CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD OR OWNER PRIOR TO BIDDING. IF CONFLICTS EXIST APPROPRIATE REVISIONS WILL BE MADE TO THE BIDDING DOCUMENTS VIA AN ADDENDUM.
 3. THE CONTRACTOR SHALL NOT INTERRUPT EXISTING UTILITIES SERVICING FACILITIES OCCUPIED AND USED DURING THE DEMOLITION OF SITE IMPROVEMENTS. IF A UTILITY INTERRUPTION IS REQUIRED THE CONTRACTOR SHALL COORDINATE THE INTERRUPTION WITH THE OWNER AND PROPER NOTIFICATIONS WILL BE ISSUED TO THOSE AFFECTED. NOTIFICATIONS ARE THE RESPONSIBILITY OF THE CONTRACTOR.
 4. THE CONTRACTOR SHALL RESTORE ANY STRUCTURES, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS, ETC WITHIN THE LIMITS OF THE SITE OR ADJOINING PROPERTIES DISTURBED OR DAMAGED DURING DEMOLITION ACTIVITIES.
 5. AS NEEDED, THE CONTRACTOR SHALL BE RESPONSIBLE TO INSTALL AND MAINTAIN TRAFFIC CONTROL DEVICES FOR PROTECTION OF PEDESTRIANS AND VEHICULAR TRAFFIC. CONTROLS MAY CONSIST OF, BUT NOT BE LIMITED TO: FLAGGERS, DRUMS, BARRIERS, SIGNS, LIGHTS, AND FENCING. COST OF TRAFFIC CONTROL SHALL BE BORNE BY THE CONTRACTOR.
 6. SITE UTILITIES ILLUSTRATED ON THE CONTRACT DRAWINGS ARE APPROXIMATE AND SHALL NOT BE CONSTRUED AS 100% ACCURATE. THE UTILITIES WERE PLOTTED ON THE DRAWINGS USING DIGGER'S HOTLINE. THE CONTRACTOR SHALL FIELD LOCATE DEPTH AND LOCATION OF ALL UTILITIES LOCATED WITHIN THE LIMITS OF SITE EXCAVATION. CONTRACTOR SHALL PLACE A DIGGER'S HOTLINE CALL PRIOR TO EXCAVATING AND LOCAL UTILITIES SHALL BE MARKED OR CLEARED BY UTILITY COMPANY PRIOR TO EXCAVATING.
 7. CONTRACTOR SHALL FULLY EVALUATE CONSTRUCTION MEANS AND MEASURES WHEN DETERMINING THE REMOVAL LIMITS OF THE DEMOLITION ITEMS TO ACCOMMODATE CONSTRUCTION OF ILLUSTRATED AND SPECIFIED IMPROVEMENTS AND SAID WORK SHALL BE FACTORED INTO THE BID.
 8. CONTRACTOR SHALL COORDINATE SITE DRAWINGS WITH THE ARCHITECTURAL DRAWINGS WHERE NECESSARY.

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Mau & Associates

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DEMO & EXISTING

CONDITIONS PLAN

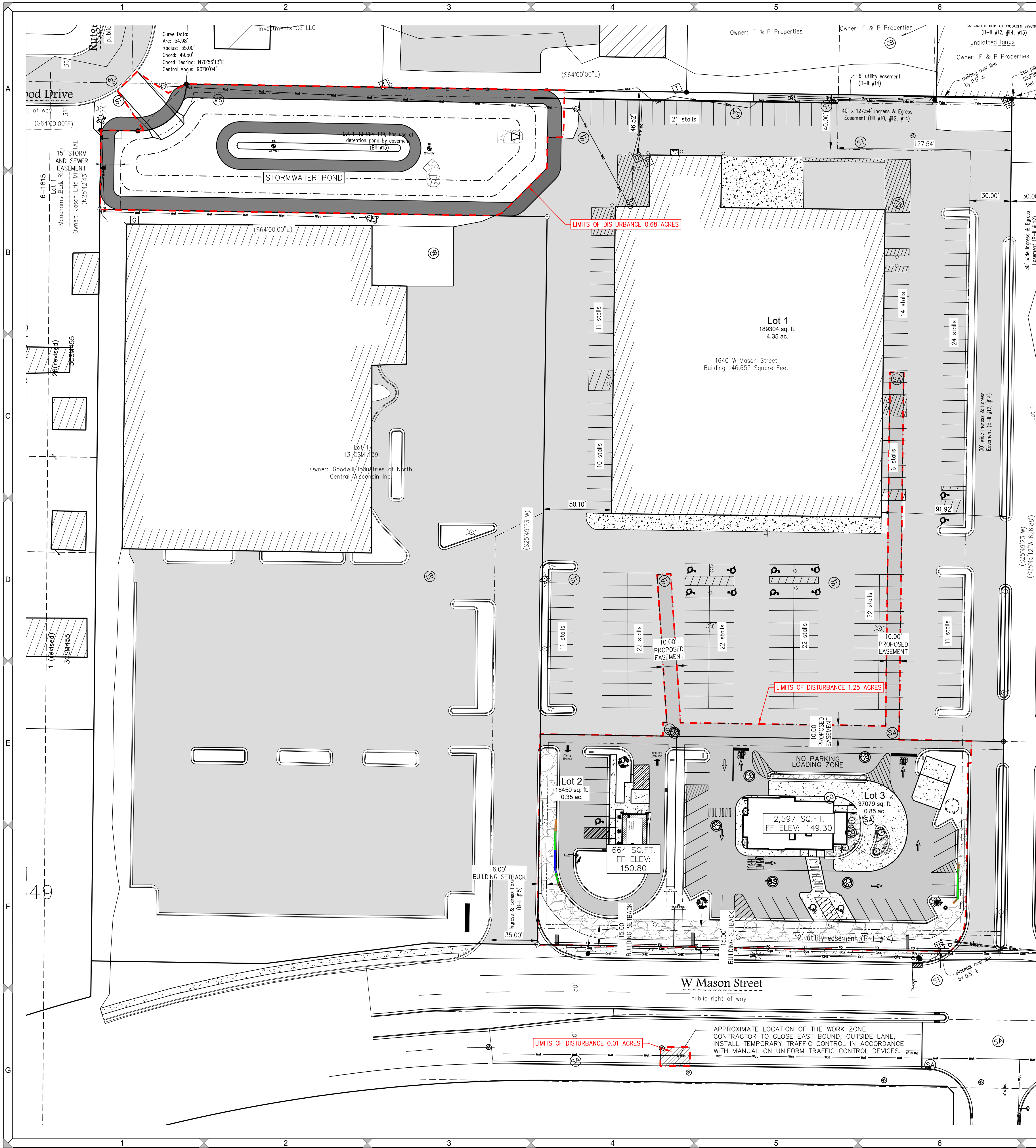
SCOOTER'S AND ARBY'S

File: M-712ENG 070821.DWG

PROJECT NO.
M-712

SHEET NO.
C3.0

DRAWING NO.
S-3513



SITE STATISTICS LOT 1

BEFORE CONSTRUCTION
SITE AREA - 4.35 Acres
PAVEMENT 2.50 Acres (57.5%)
BUILDINGS 1.07 Acres (24.6%)
PERVIOUS 0.78 Acres (17.9%)

AFTER CONSTRUCTION
SITE AREA - 4.35 Acres
PAVEMENT 2.50 Acres (57.5%)
BUILDINGS 1.07 Acres (24.6%)
PERVIOUS 0.78 Acres (17.9%)

SITE STATISTICS LOT 2

BEFORE CONSTRUCTION
SITE AREA - 0.35 Acres
PAVEMENT 0.29 Acres (83%)
BUILDINGS 0.00 Acres (0%)
PERVIOUS 0.06 Acres (17%)

AFTER CONSTRUCTION
SITE AREA - 0.35 Acres
PAVEMENT 0.18 Acres (51%)
BUILDINGS 0.02 Acres (6%)
PERVIOUS 0.15 Acres (43%)

SITE STATISTICS LOT 3

BEFORE CONSTRUCTION
SITE AREA - 0.85 Acres
PAVEMENT 0.73 Acres (86%)
BUILDINGS 0.00 Acres (0%)
PERVIOUS 0.12 Acres (14%)

AFTER CONSTRUCTION
SITE AREA - 0.85 Acres
PAVEMENT 0.59 Acres (69%)
BUILDINGS 0.06 Acres (7%)
PERVIOUS 0.20 Acres (24%)

LOT 1 NOTES:

1. ZONING IS C1 COMMERCIAL ONE
2. PLANET FITNESS IS CONSIDERED A FITNESS CENTER.
3. 44-1726 REQUIRES 1 PARKING STALL PER 500 SQ.FT. THEREFORE A MINIMUM OF 43 STALL ARE REQUIRED.
4. FOR VACANT PORTION OF BUILDING, 24,050 SQ.FT. ASSUMED 1 STALL FOR EVERY 300 SQ.FT. SO A MINIMUM OF 81 STALLS ARE REQUIRED.
5. TOTAL REQUIRED STALLS ARE 81+43 = 124 STALLS.
6. POST CONSTRUCTION STALLS ON LOT 1 IS 186 STANDARD STALLS AND 10 HANDICAPPED STALLS.

LOT 2 NOTES:

1. ZONING IS C1 COMMERCIAL ONE. A CONDITIONAL USE PERMIT IS REQUIRED FOR THE OPERATION OF A DRIVE-THROUGH
2. 44-1726 REQUIRES 1 PARKING STALL PER 300 SQ.FT. OF BUILDING AND 500 SQ.FT. OF EXTERIOR SEATING, SO A MINIMUM OF 3 PARKING STALLS.
3. POST CONSTRUCTION STALLS ON LOT 2 IS 6 STANDARD STALLS AND 1 HANDICAPPED STALL.
4. THE BUILDING CLASS OF CONSTRUCTION AS DEFINED BY THE COMMERCIAL INTERNATIONAL BUILDING CODE, CHAPTER 6 IS VB.
5. THE OCCUPANCY TYPE AS DEFINED BY THE COMMERCIAL INTERNATIONAL BUILDING CODE, CHAPTER 3 IS B.

LOT 3 NOTES:

1. ZONING IS C1 COMMERCIAL ONE. A CONDITIONAL USE PERMIT IS REQUIRED FOR THE OPERATION OF A DRIVE-THROUGH
2. 44-1726 REQUIRES 1 PARKING STALL PER 300 SQ.FT. OF BUILDING AND 500 SQ.FT. OF EXTERIOR SEATING, SO A MINIMUM OF 9 PARKING STALLS.
3. POST CONSTRUCTION STALLS ON LOT 3 IS 26 STANDARD STALLS AND 2 HANDICAPPED STALLS.
4. THE BUILDING CLASS OF CONSTRUCTION AS DEFINED BY THE COMMERCIAL INTERNATIONAL BUILDING CODE, CHAPTER 6 IS VB.
5. THE OCCUPANCY TYPE AS DEFINED BY THE COMMERCIAL INTERNATIONAL BUILDING CODE, CHAPTER 3 IS B.

Legend

SA

SANITARY MANHOLE

CB

ROUND CATCH BASIN

ST

STORM SEWER MANHOLE

CURB INLET

HYDRANT

WATERMAIN

SANITARY SEWER

STORM SEWER

LIGHT POLE

CONCRETE CURB & GUTTER LINE

EXISTING ASPHALT

CONCRETE

GRAVEL

EXISTING BUILDING

WETLAND AREA

DECIDUOUS TREE

CONIFEROUS TREE

ROCK WALL

FLOODPLAIN LIMITS

FLOODWAY

PROPOSED ASPHALT

PROPOSED BUILDING

SILT FENCE

INLET PROTECTION

SLOPE EROSION MAT

WSDOT CLASS 1 TYPE A

CHANNEL EROSION MAT

WSDOT CLASS 1 TYPE B

RII RAP SIZE AND QUANTITY PER PLAN

TRACKING PAD

EXISTING CONTOUR LINE

PROPOSED CONTOUR LINE

EXISTING GROUND GRADE

PROPOSED GROUND GRADE

DRAINAGE ARROW

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OVERALL SITE

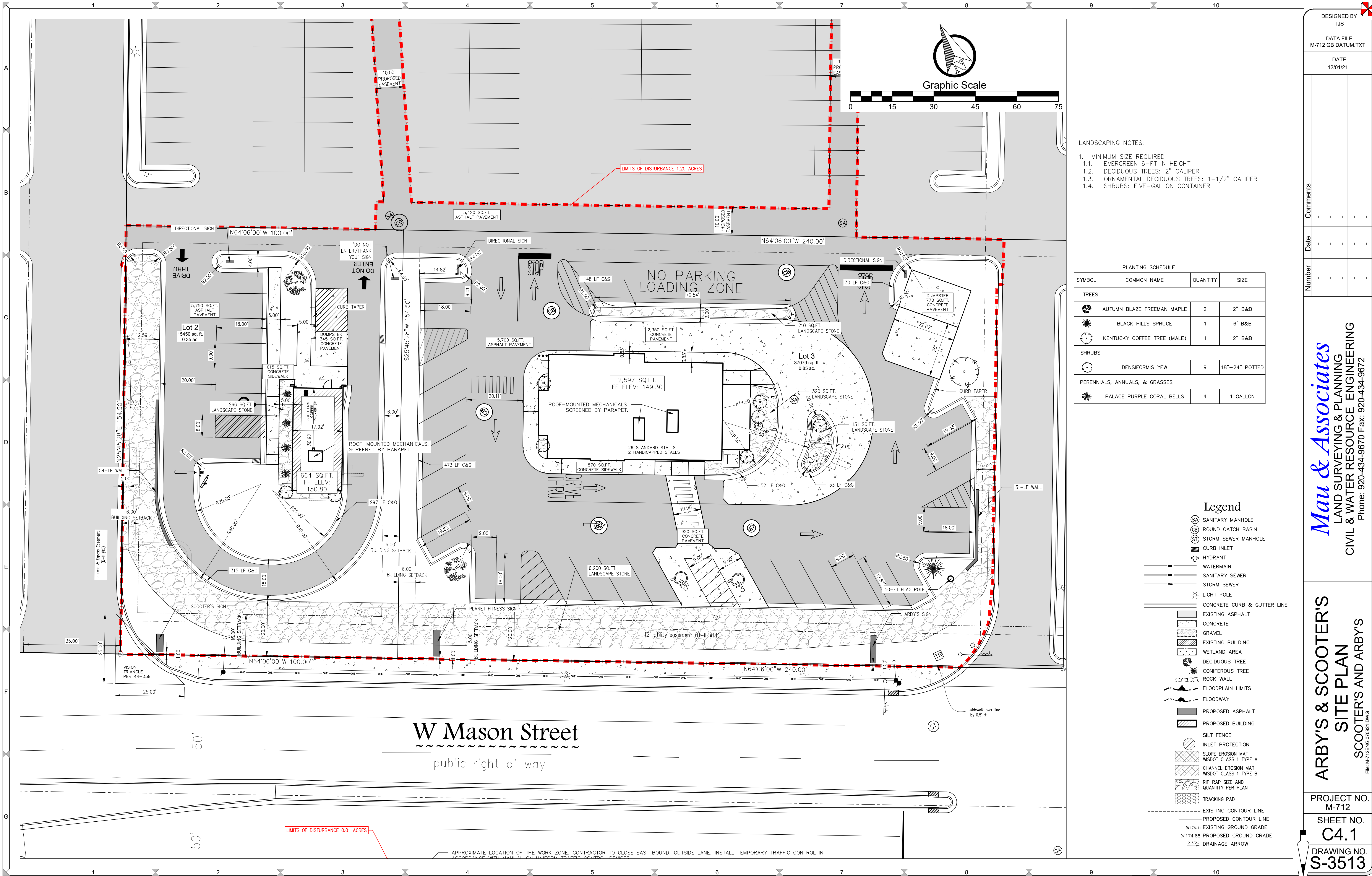
PLAN

SCOOTER'S AND ARBY'S

PROJECT NO.
M-712

SHEET NO.
C4.0

DRAWING NO.
S-3513



LANDSCAPING NOTES:

1. MINIMUM SIZE REQUIRED
 - 1.1. EVERGREEN 6-FT IN HEIGHT
 - 1.2. DECIDUOUS TREES: 2" CALIPER
 - 1.3. ORNAMENTAL DECIDUOUS TREES: 1-1/2" CALIPER
 - 1.4. SHRUBS: FIVE-GALLON CONTAINER

PLANTING SCHEDULE

SYMBOL	COMMON NAME	QUANTITY	SIZE
TREES			
	AUTUMN BLAZE FREEMAN MAPLE	2	2" B&B
	BLACK HILLS SPRUCE	1	6" B&B
	KENTUCKY COFFEE TREE (MALE)	1	2" B&B
SHRUBS			
	DENSIFORMIS YEWE	9	18"-24" POTTED
PERENNIALS, ANNUALS, & GRASSES			
	PALACE PURPLE CORAL BELLS	4	1 GALLON

Legend

- SANITARY MANHOLE
- ROUND CATCH BASIN
- STORM SEWER MANHOLE
- CURB INLET
- HYDRANT
- WATERMAIN
- SANITARY SEWER
- STORM SEWER
- LIGHT POLE
- CONCRETE CURB & GUTTER LINE
- EXISTING ASPHALT
- CONCRETE
- GRAVEL
- EXISTING BUILDING
- WETLAND AREA
- DECIDUOUS TREE
- CONIFEROUS TREE
- ROCK WALL
- FLOODPLAIN LIMITS
- FLOODWAY
- PROPOSED ASPHALT
- PROPOSED BUILDING
- SILT FENCE
- INLET PROTECTION
- SLOPE EROSION MAT WISDOT CLASS 1 TYPE A
- CHANNEL EROSION MAT WISDOT CLASS 1 TYPE B
- RIP RAP SIZE AND QUANTITY PER PLAN
- TRACKING PAD
- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- EXISTING GROUND GRADE
- PROPOSED GROUND GRADE 174.88
- DRAINAGE ARROW

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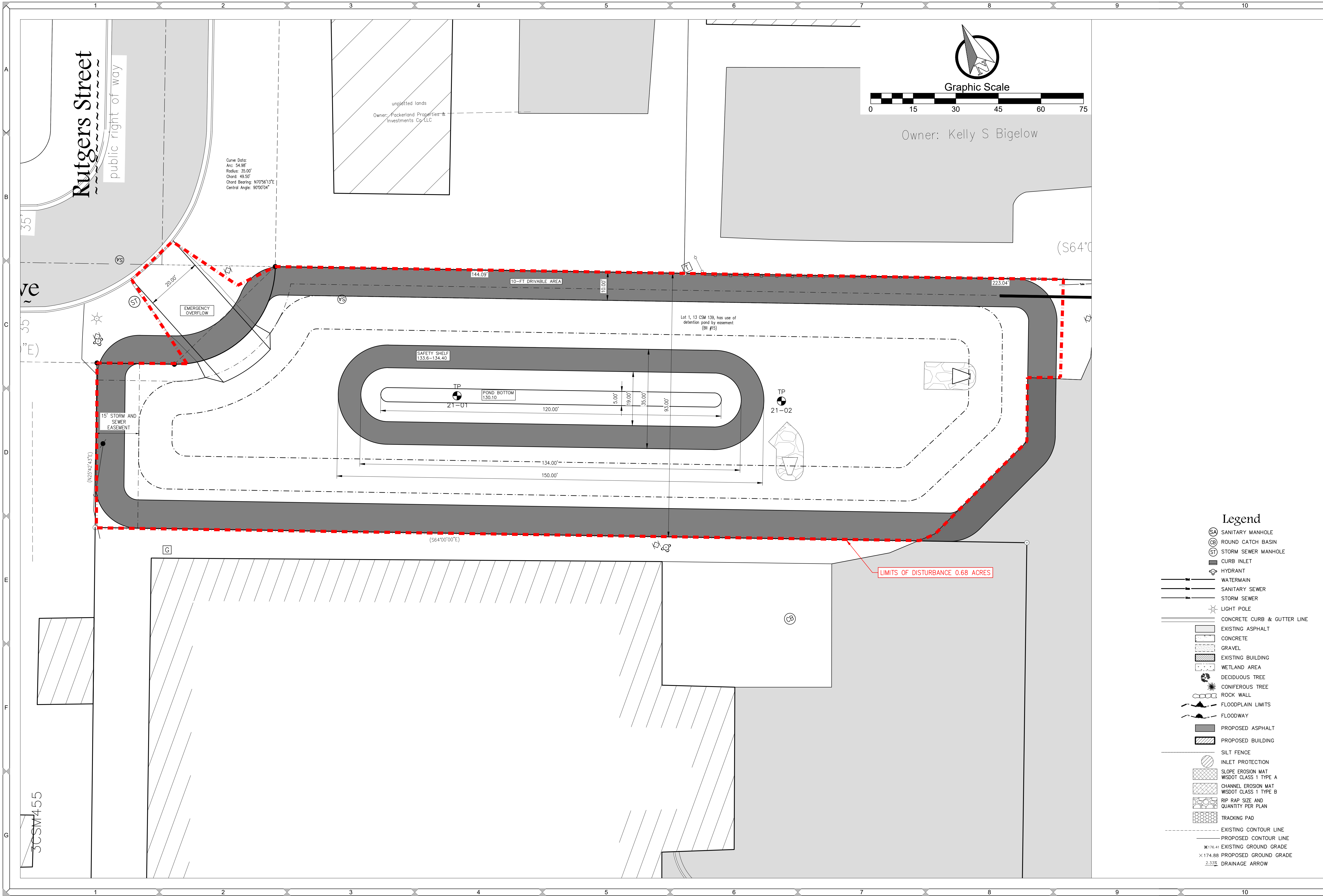
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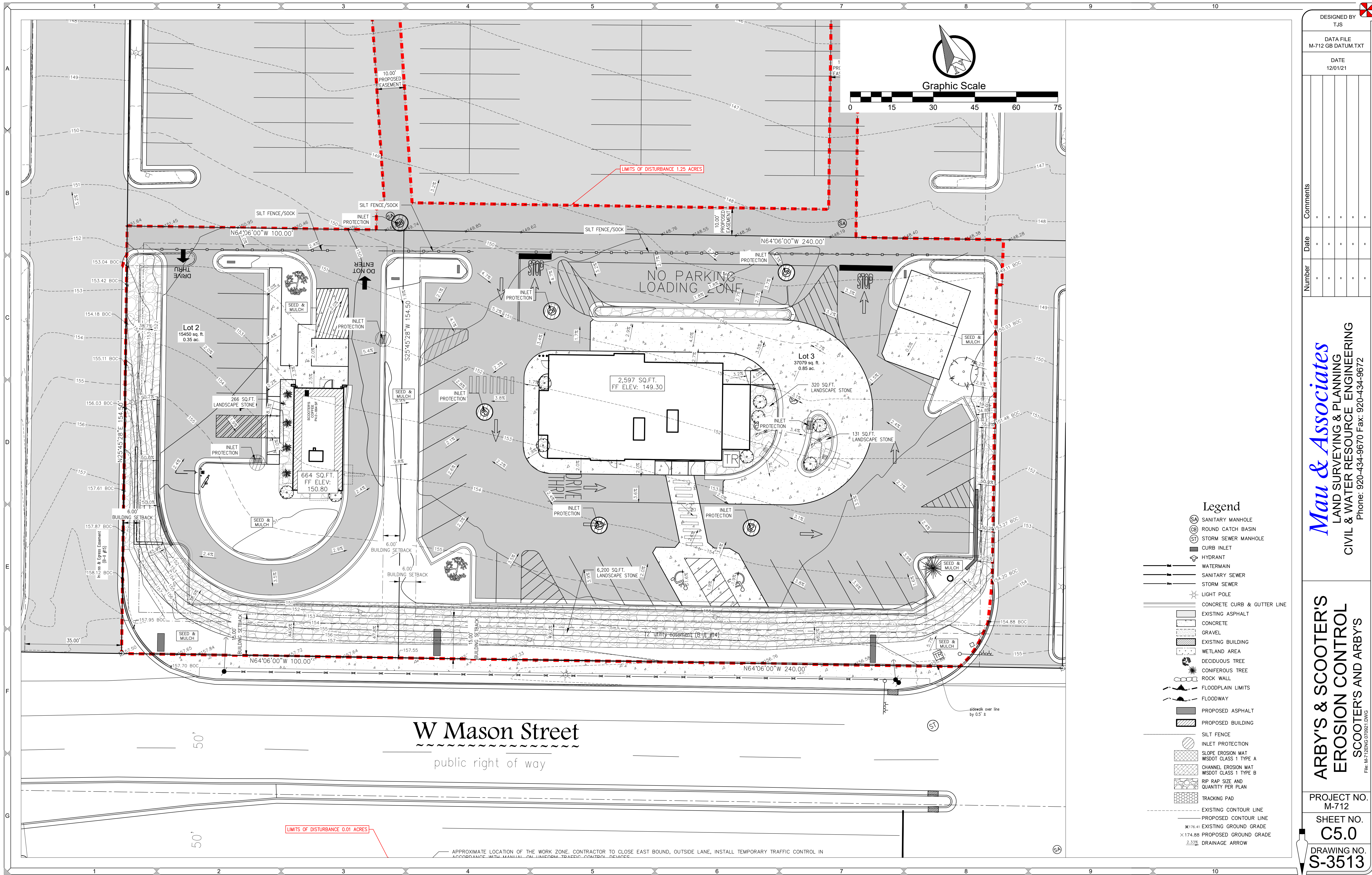
ARBY'S & SCOOTER'S
SITE PLAN
SCOOTER'S AND ARBY'S

PROJECT NO.
M-712

SHEET NO.
C4.1

DRAWING NO.
S-3513





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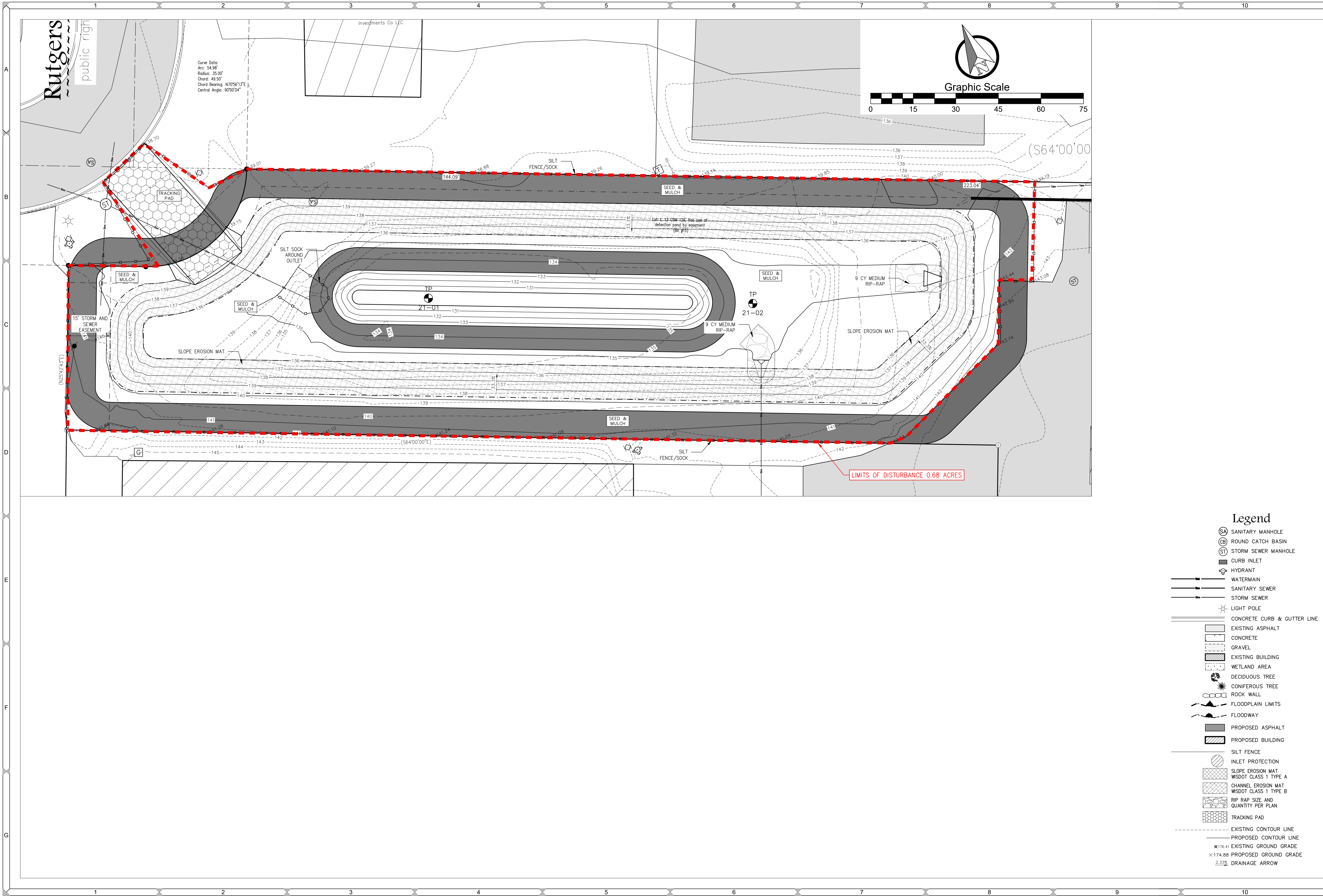
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ARBY'S & SCOOTER'S
EROSION CONTROL
SCOOTER'S AND ARBY'S
File: M-712ENG 070821.DWG

PROJECT NO.
M-712

SHEET NO.
C5.0

DRAWING NO.
S-3513



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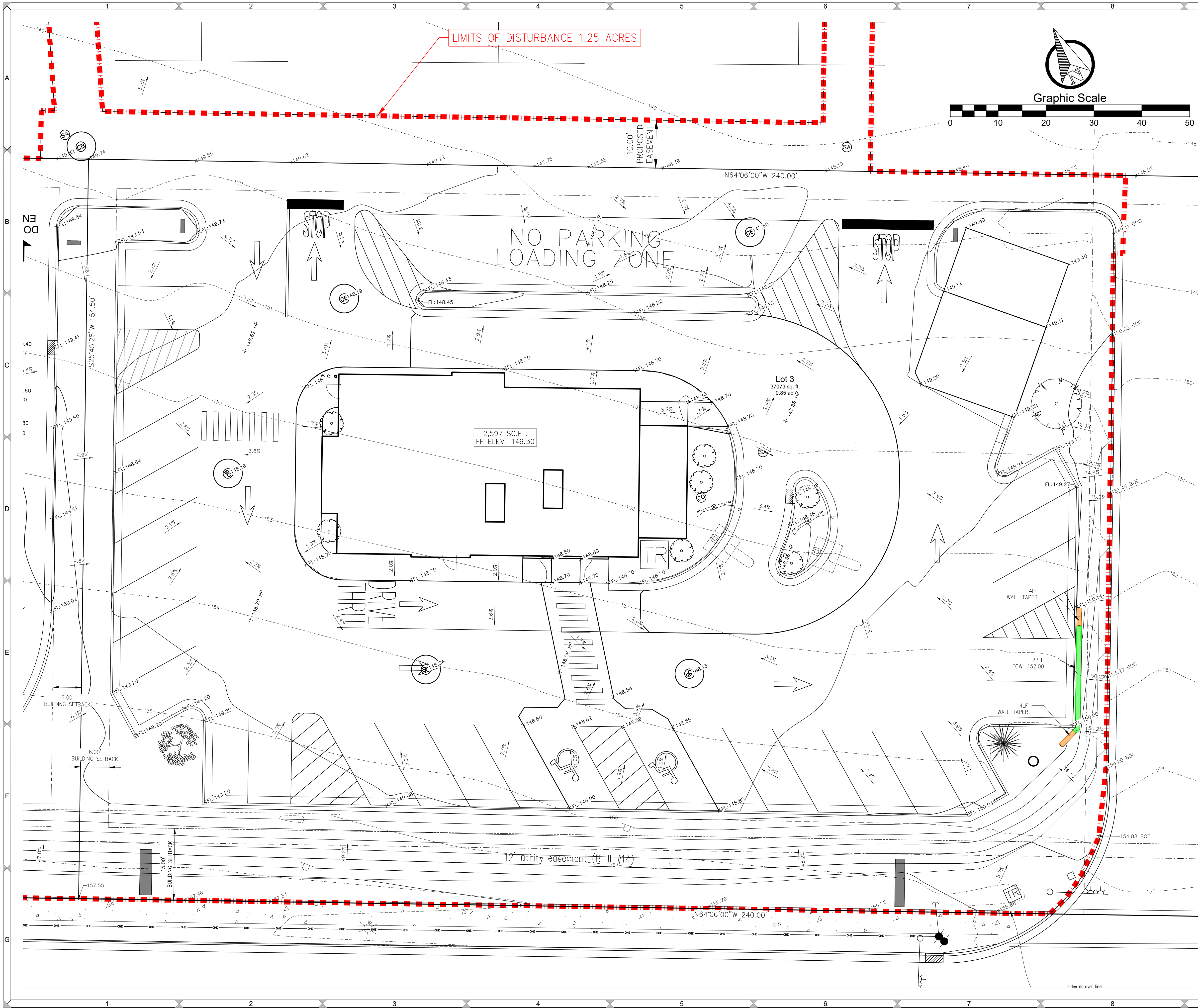
**WET POND
EROSION CONTROL**
SCOOTER'S AND ARBY'S

PROJECT NO.
M-712

SHEET NO.
C5.1

DRAWING NO.
S-3513

File: M-712ENG 070821.DWG



NOTE:

- The City of Green Bay Dept. of Public Works must be notified (3) working days before the start of any street construction within a Public right-of-way or easement. Contact Matt Woicek, ph. (920) 448-3100.
- The City of Green Bay Dept. of Public Works must be notified (3) working days before the start of any sanitary sewer or storm sewer construction within a Public right-of-way. Contact Matthew Heckenlaible ph. (920) 448-3100.
- The City of Green Bay Water Dept. must be notified (3) working days before the start of any water main construction within a Public right-of-way or easement. Contact Brian Powell ph. (920) 448-3480.

LANDSCAPE STONE

VARIES: 150.0-152.0

APPROX. 150.0

20'YR WEED SHIELD

WALL SECTION NTS

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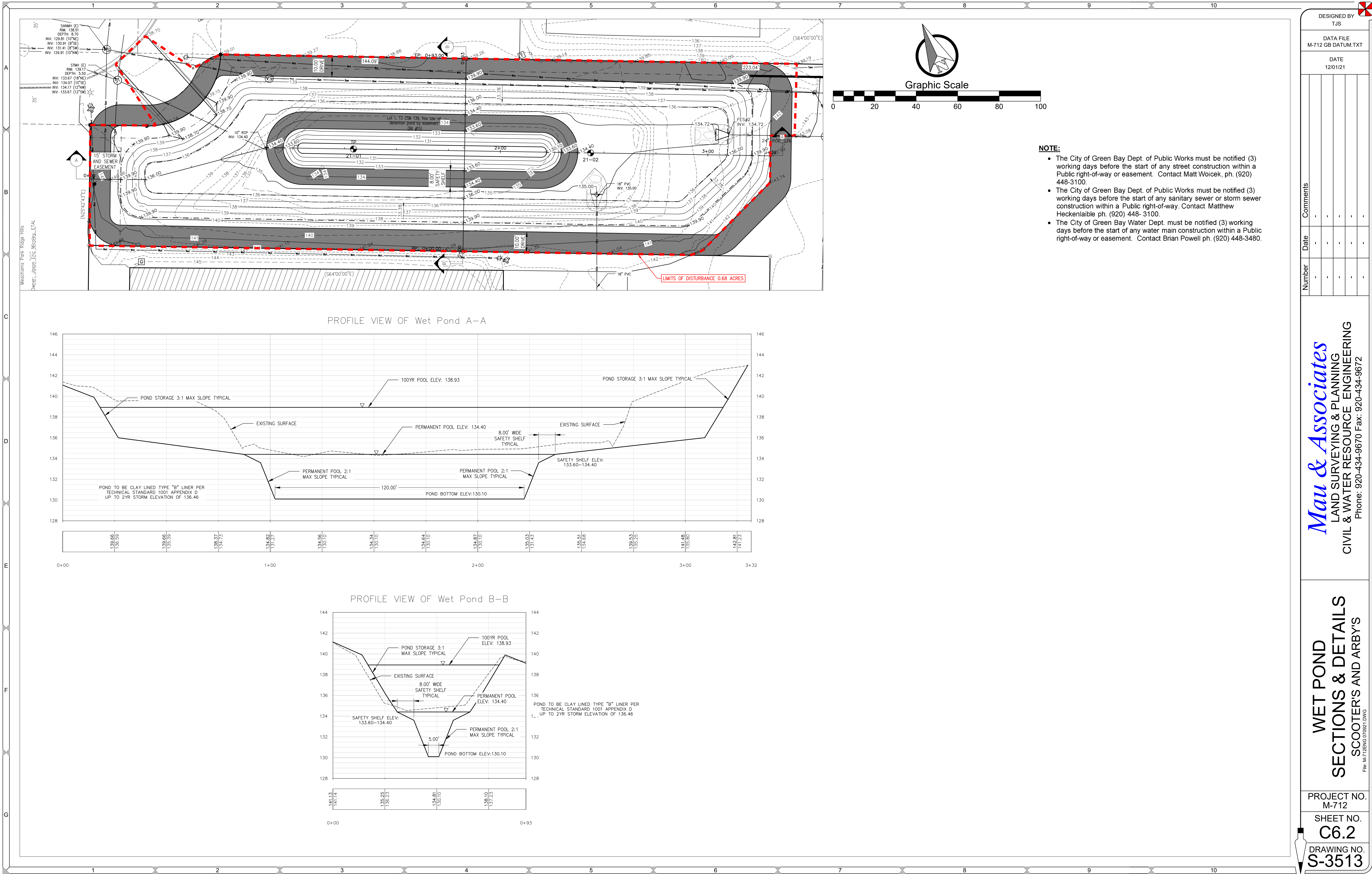
**GRADING PLAN
ARBY'S SITE
SCOOTER'S AND ARBY'S**

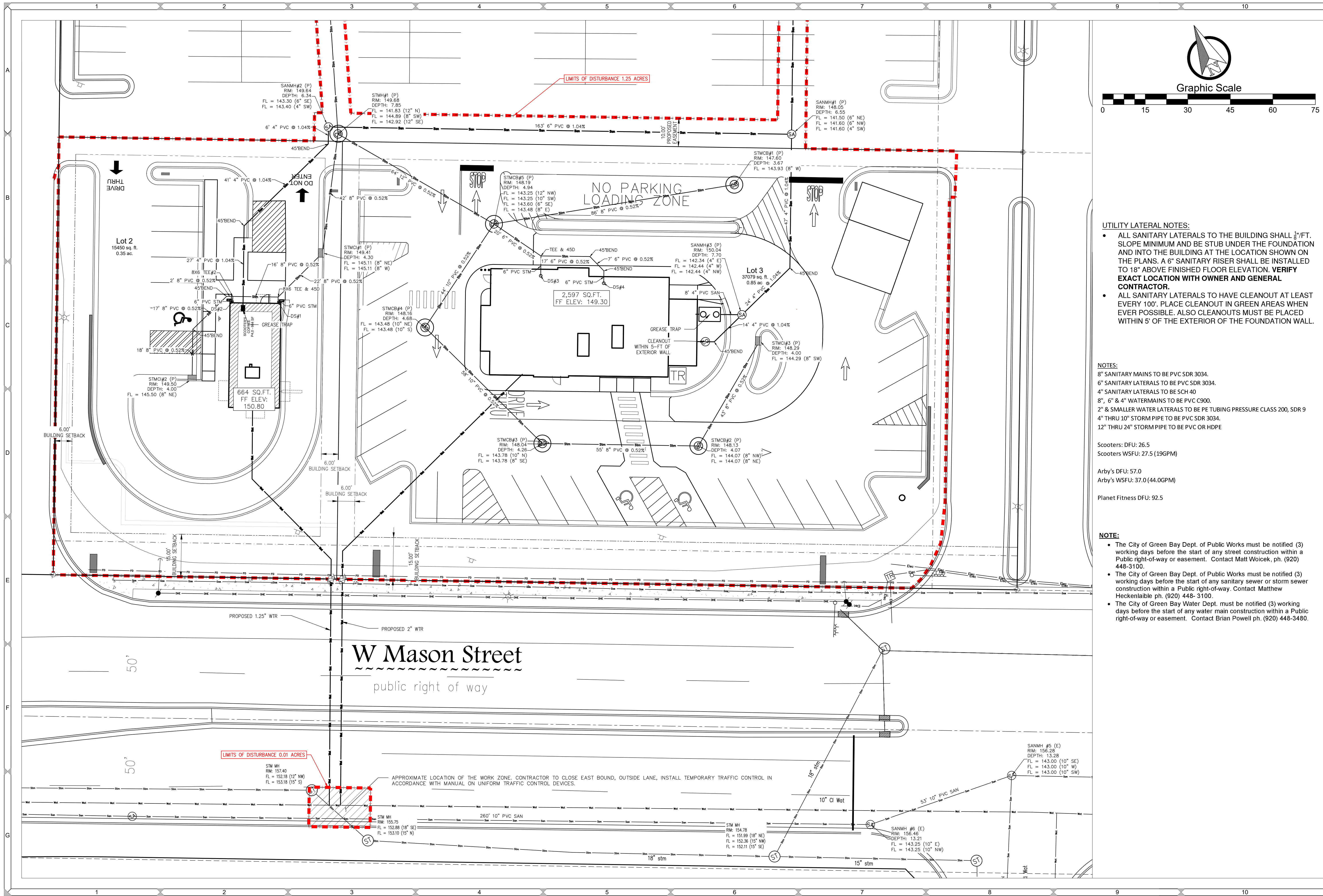
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PROJECT NO.
M-712

SHEET NO.
C6.1

DRAWING NO.
S-3513





UTILITY LATERAL NOTES:

- ALL SANITARY LATERALS TO THE BUILDING SHALL $\frac{1}{8}$ "/FT. SLOPE MINIMUM AND BE STUB UNDER THE FOUNDATION AND INTO THE BUILDING AT THE LOCATION SHOWN ON THE PLANS. A 6" SANITARY RISER SHALL BE INSTALLED TO 18" ABOVE FINISHED FLOOR ELEVATION. **VERIFY EXACT LOCATION WITH OWNER AND GENERAL CONTRACTOR.**
- ALL SANITARY LATERALS TO HAVE CLEANOUT AT LEAST EVERY 100'. PLACE CLEANOUT IN GREEN AREAS WHEN EVER POSSIBLE. ALSO CLEANOUTS MUST BE PLACED WITHIN 5' OF THE EXTERIOR OF THE FOUNDATION WALL.

NOTES:

8" SANITARY MAINS TO BE PVC SDR 3034.
6" SANITARY LATERALS TO BE PVC SDR 3034.
4" SANITARY LATERALS TO BE SCH 40
8", 6" & 4" WATER MAINS TO BE PVC C900.
2" & SMALLER WATER LATERALS TO BE PETUBING PRESSURE CLASS 200, SDR 9
4" THRU 10" STORM PIPE TO BE PVC SDR 3034.
12" THRU 24" STORM PIPE TO BE PVC OR HDPE

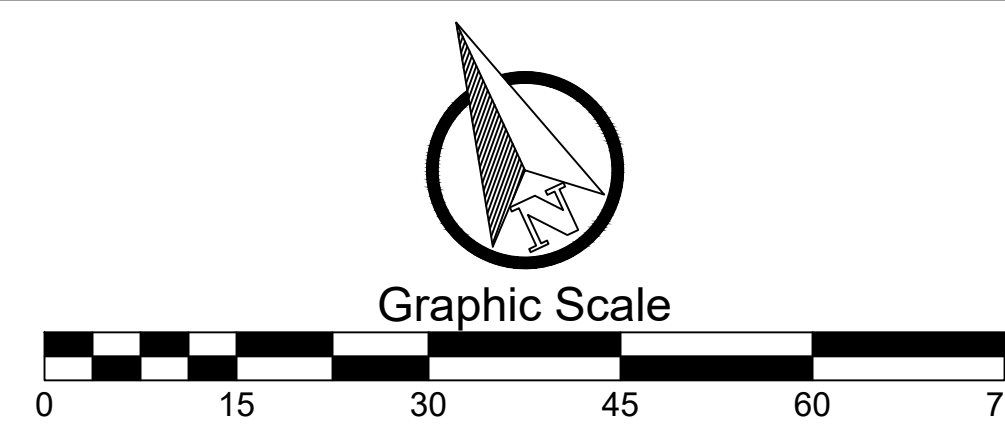
Scooters DFM: 26.5
Scooters WSFU: 27.5 (19GPM)

Arby's DFM: 57.0
Arby's WSFU: 37.0 (44.0GPM)

Planet Fitness DFM: 92.5

NOTE:

- The City of Green Bay Dept. of Public Works must be notified (3) working days before the start of any street construction within a Public right-of-way or easement. Contact Matt Woicek, ph. (920) 448-3100.
- The City of Green Bay Dept. of Public Works must be notified (3) working days before the start of any sanitary sewer or storm sewer construction within a Public right-of-way. Contact Matthew Heckenlaible ph. (920) 448- 3100.
- The City of Green Bay Water Dept. must be notified (3) working days before the start of any water main construction within a Public right-of-way or easement. Contact Brian Powell ph. (920) 448-3480.



DESIGNED BY
TJS

DATA FILE
M-712 GB DATUM.TXT

DATE
12/01/21

Number	Date	Comments

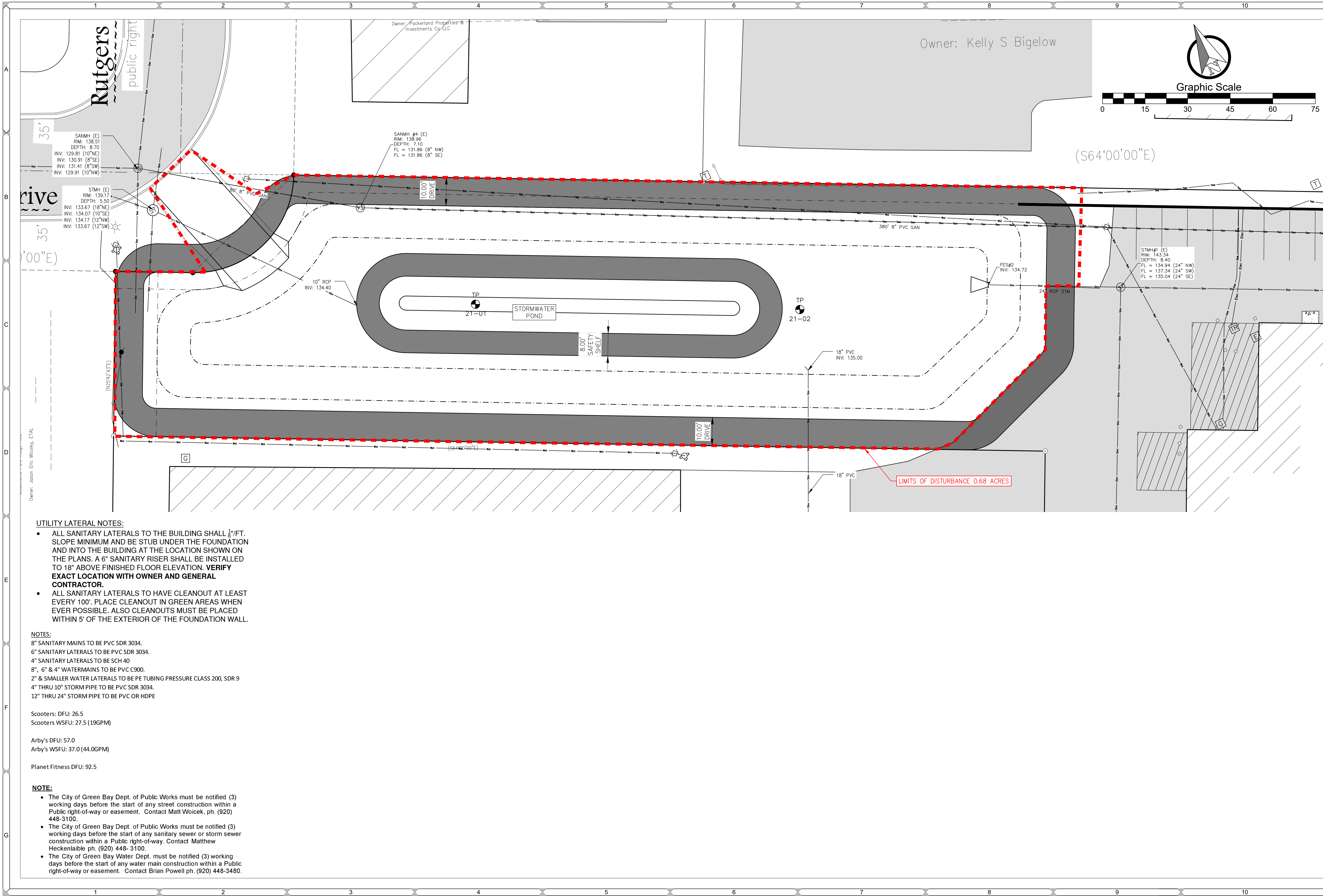
Mau & Associates
LAND SURVEYING & PLANNING
CIVIL & WATER RESOURCE ENGINEERING
Phone: 920-434-9670 Fax: 920-434-9672

UTILITY PLAN
SCOOTER'S AND ARBY'S
File: M-712ENG 070821.DWG

PROJECT NO.
M-712

SHEET NO.
C7.0

DRAWING NO.
S-3513



- UTILITY LATERAL NOTES:**
- ALL SANITARY LATERALS TO THE BUILDING SHALL $\frac{1}{8}$ "/FT. SLOPE MINIMUM AND BE STUB UNDER THE FOUNDATION AND INTO THE BUILDING AT THE LOCATION SHOWN ON THE PLANS. A 6" SANITARY RISER SHALL BE INSTALLED TO 18" ABOVE FINISHED FLOOR ELEVATION. **VERIFY EXACT LOCATION WITH OWNER AND GENERAL CONTRACTOR.**
 - ALL SANITARY LATERALS TO HAVE CLEANOUT AT LEAST EVERY 100'. PLACE CLEANOUT IN GREEN AREAS WHEN EVER POSSIBLE. ALSO CLEANOUTS MUST BE PLACED WITHIN 5' OF THE EXTERIOR OF THE FOUNDATION WALL.

NOTES:

- 8" SANITARY MAINS TO BE PVC SDR 3034.
- 6" SANITARY LATERALS TO BE PVC SDR 3034.
- 4" SANITARY LATERALS TO BE SCH 40
- 8", 6" & 4" WATERMAINS TO BE PVC C900.
- 2" & SMALLER WATER LATERALS TO BE PE TUBING PRESSURE CLASS 200, SDR 9
- 4" THRU 10" STORM PIPE TO BE PVC SDR 3034.
- 12" THRU 24" STORM PIPE TO BE PVC OR HDPE

Scooters: DFU: 26.5
Scooters WSFU: 27.5 (19GPM)

Arby's DFU: 57.0
Arby's WSFU: 37.0 (44.0GPM)

Planet Fitness DFU: 92.5

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UTILITY PLAN
SCOOTER'S AND ARBY'S

PROJECT NO.
M-712

SHEET NO.
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DRAWING NO.
S-3513



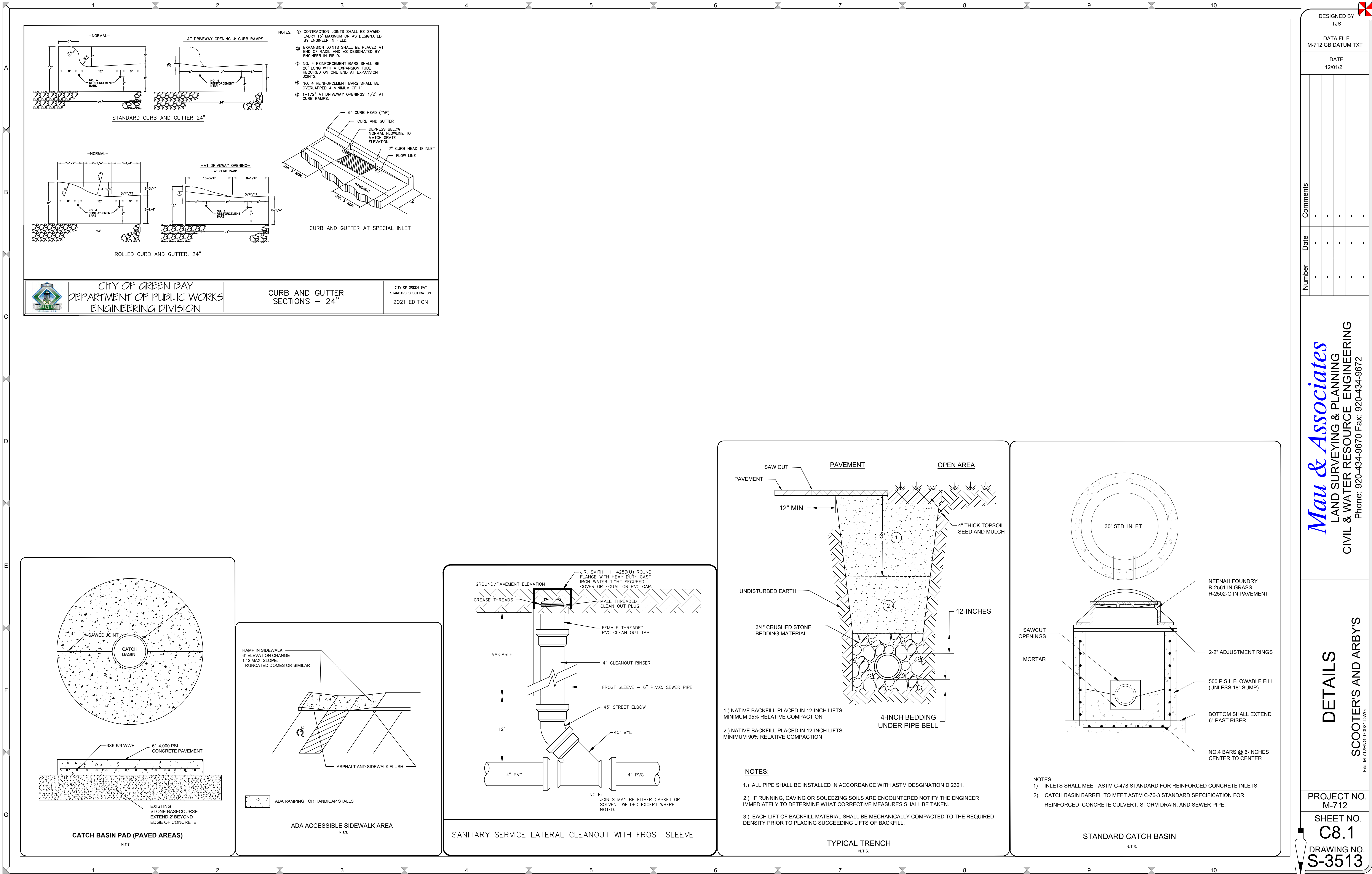
INLET PROTECTION

NT

PROJECT NO.
M-712

SHEET NO.
C8.0

DRAWING NO.
S-3513



DESIGNED BY
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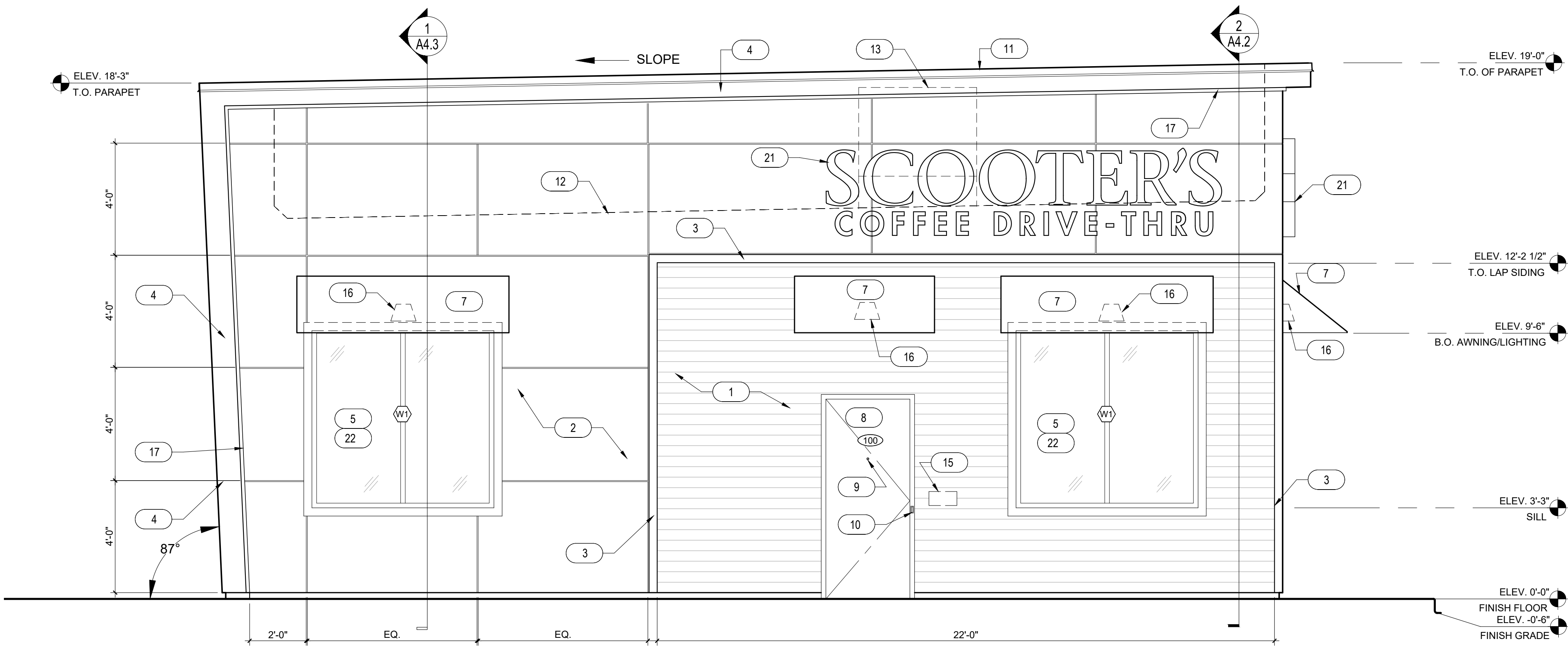
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SCOOTER'S AND ARBY'S
File: M-712ENG 070821.DWG

PROJECT NO.
M-712

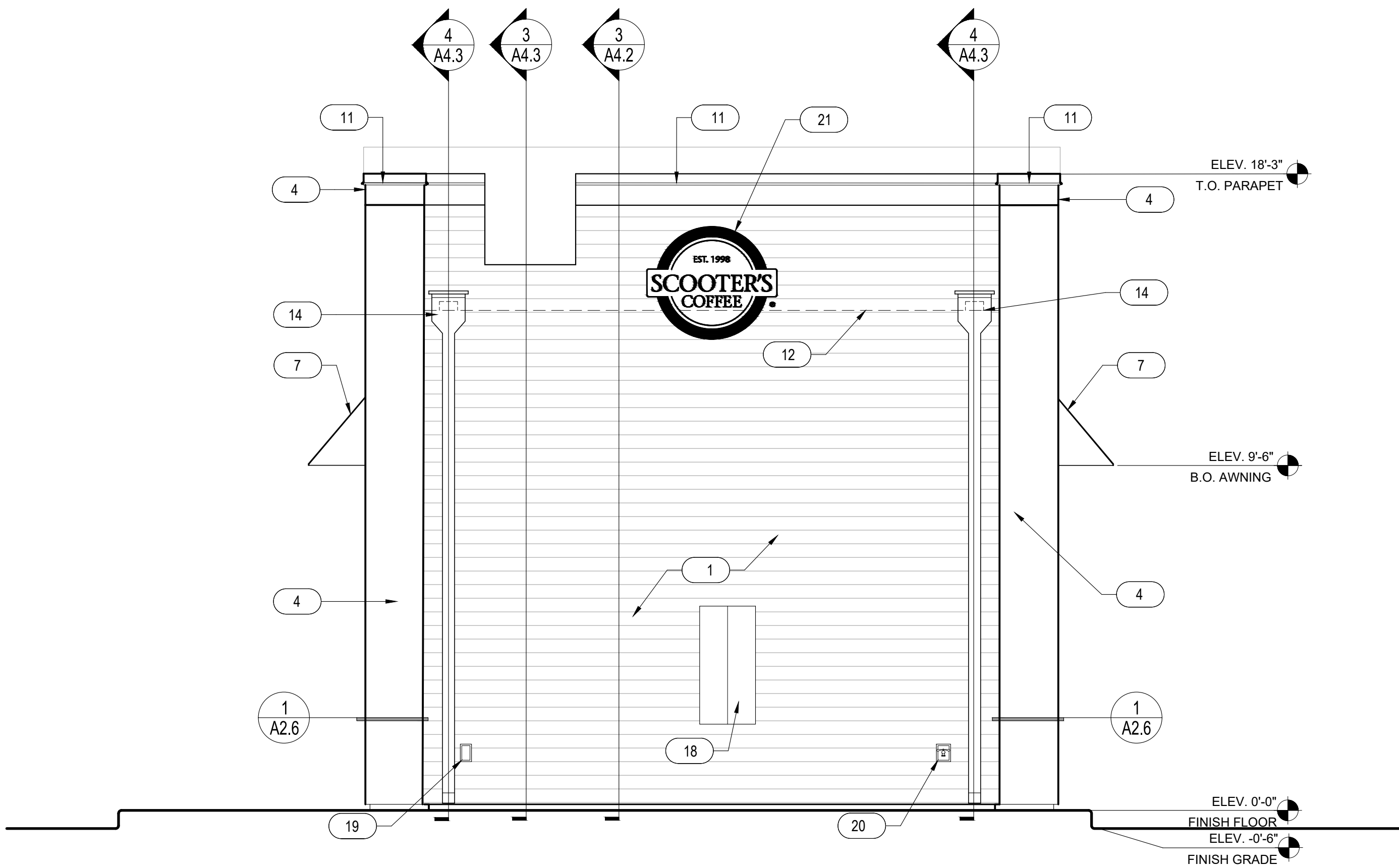
SHEET NO.
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2 EXTERIOR ELEVATIONS
SCALE: 3/8" = 1'-0"



1 EXTERIOR ELEVATIONS
SCALE: 3/8" = 1'-0"

KEYNOTES

1. HARDIE PLANK HZ10 LAP SIDING CEDARMILL 6-1/4", SEE HARDIE DETAIL SHEET A6.5 - COLOR: SHERWIN WILLIAMS SW6992 INKWELL EGGSHELL FINISH
2. HARDIE REVEAL PANEL SYSTEM WZ10 - SMOOTH FINISH, SEE HARDIE DETAIL SHEET A6.5 - COLOR: SW 1015 SKYLINE STEEL
3. 1/2" HARDIE TRIM, SEE HARDIE DETAIL SHEET A6.5 - COLOR: SHERWIN WILLIAMS SW6992 INKWELL EGGSHELL FINISH
4. 20 GAUGE METAL ACCENTS AND SOFFITS - COLOR: BLACK
5. INSULATED DARK BRONZE ALUMINUM WINDOWS WITH DUAL PANE TEMPERED GLASS
6. QUICKSERVE 48X48 WINDOW - COLOR: DARK BRONZE
7. AWNING BY OTHERS - COLOR: RED
8. INSULATED HOLLOW METAL DOOR AND FRAME - COLOR: SHERWIN WILLIAMS SW6992 INKWELL EGGSHELL FINISH
9. PEEP HOLE, BY DOOR MANUFACTURER
10. DOOR BELL
11. 20 GAUGE METAL PARAPET CAP
12. LINE OF ROOF BEYOND
13. ROOF TOP UNIT BEYOND, SEE MECHANICAL DRAWINGS
14. ROOF SCUPPER AND DOWNSPOUT, SEE DETAIL 8/A6.3
15. MAILBOX BY OWNER
16. WALL MOUNTED LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS
17. LED LIGHT BAND, SEE ELECTRICAL DRAWINGS
18. SES PANEL, SEE ELECTRICAL DRAWINGS
19. ELECTRICAL OUTLETS, SEE ELECTRICAL DRAWINGS
20. HOSE BIBB, SEE PLUMBING DRAWINGS
21. SIGNAGE BY OTHERS, UNDER A SEPARATE PERMIT
22. SPANDREL GLASS



15974 N. 77th ST., STE 100
SCOTTSDALE AZ 85260



PROJECT ADDRESS:
1302 E. MASON ST.
GREEN BAY, WI 54301

REVISIONS:

TITLE:
EXTERIOR
ELEVATIONS

DATE:
5.04.2021

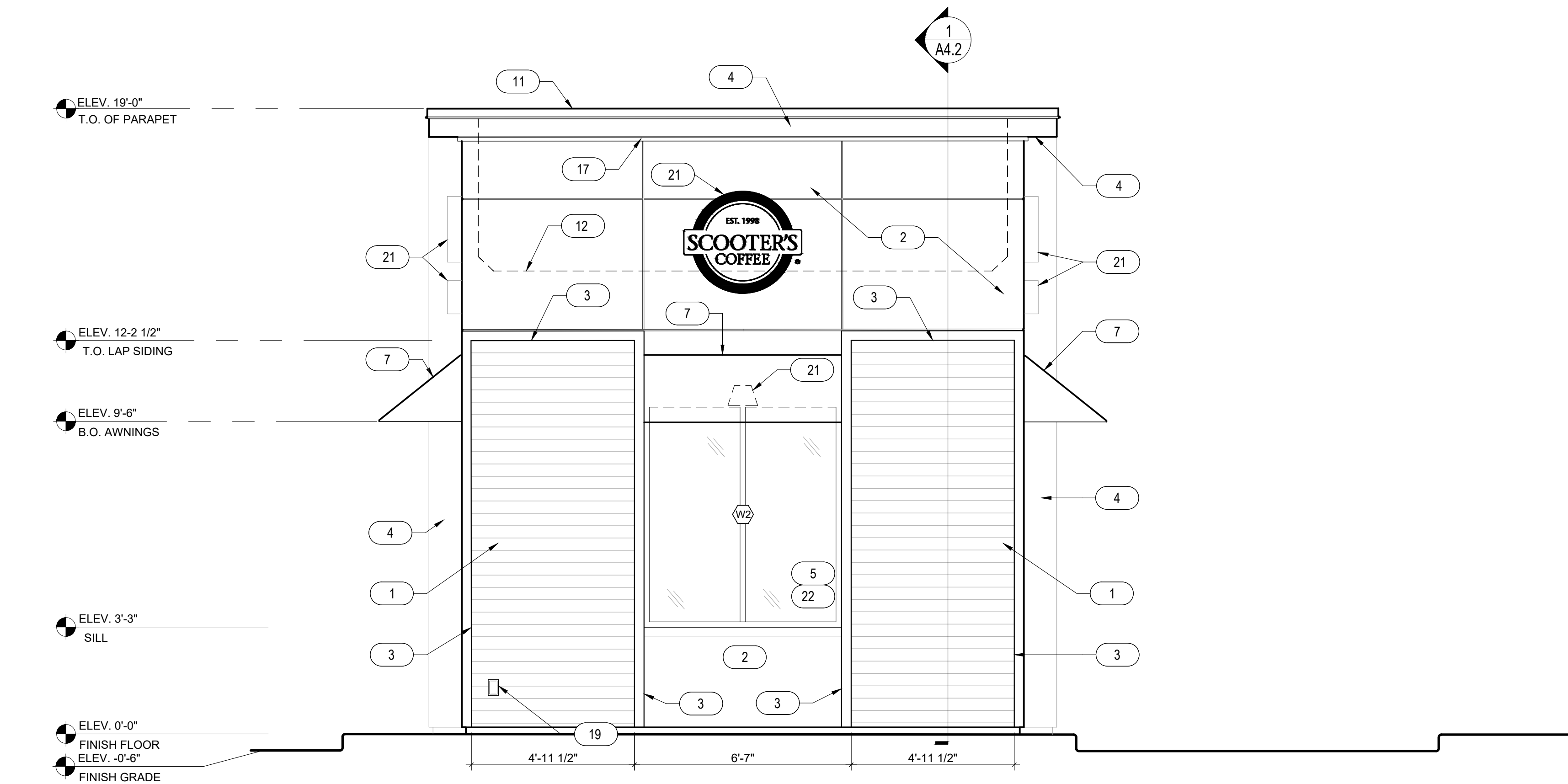
PROJECT NO.
21-151

- ☐ DESIGN DEVELOPMENT
☒ PERMIT SUBMITTAL
☐ BID PACKAGE
☐ CONSTRUCTION ISSUE

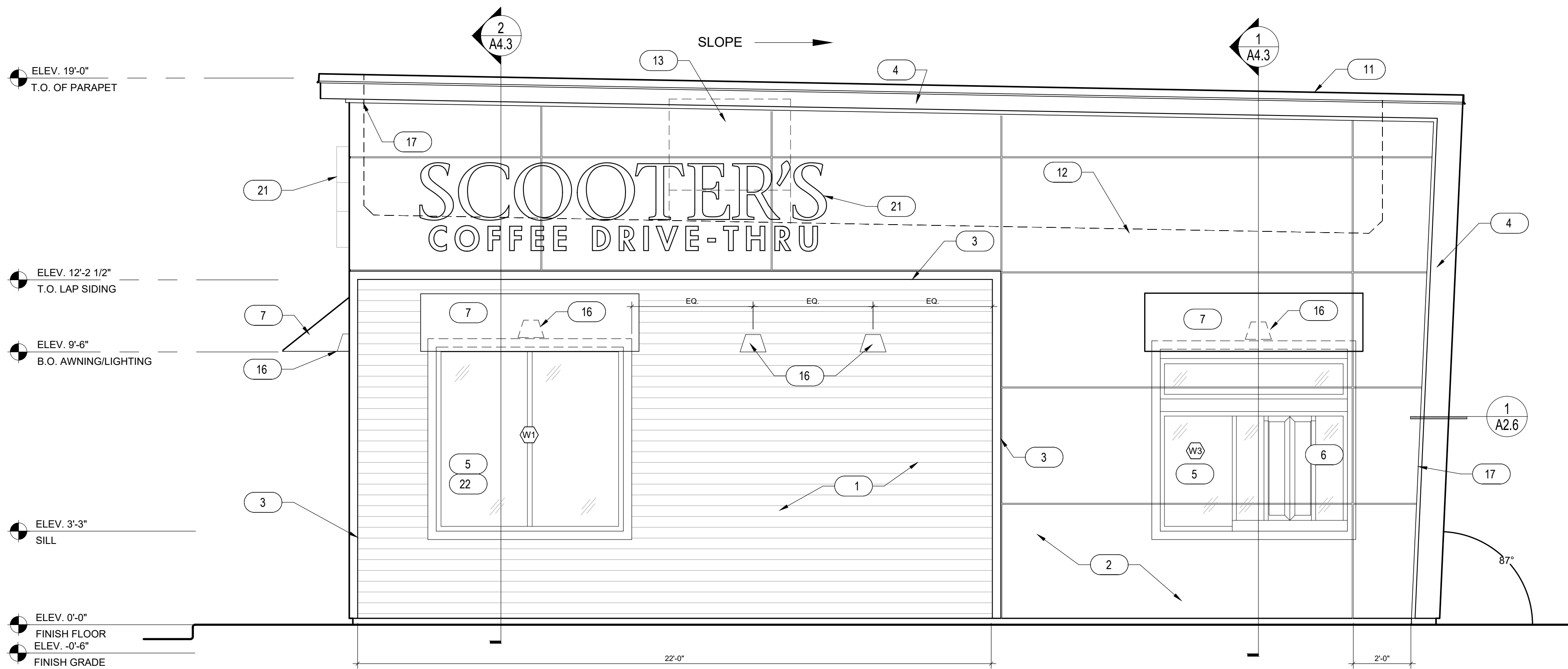
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SHEET NO.

A3.2