



AGENDA OF THE ZONING & PLANNING BOARD OF APPEALS

MONDAY, APRIL 18, 2022, 5:30 PM
Virtual Meeting. Public may join via Zoom.

A. Zoom Meeting Information.

1. This item contains Zoom information, instructions, and a link to the Virtual Comment Form.

B. Roll Call.

1. Members: Tommy Everman - Chair, Noel Halvorsen - Vice Chair, Don Carlson, Jim Hutchison, and Tom Hoy
Alternate: Steven Schuchart
2. Does anyone need to abstain from voting? Was anyone out to see any of the properties? Did you speak to anyone regarding this variance request?

C. Approval of the Agenda.

1. Approval of the Agenda for the April 18, 2022, meeting of the Zoning & Planning Board of Appeals.

D. Approval of Minutes.

1. Approval of the minutes from the March 21, 2022, meeting of the Zoning & Planning Board of Appeals.

E. Regular Business.

1. (Appeal 22-010) Julie Grebe, The Prime Group, LLC, property owner, proposes to expand a single stall attached garage of a single-family home in a Low Density Residential (RI) District at 1092 Shadow Lane. The applicant requests to deviate from the following requirement in Chapter 44, Green Bay Zoning Code, Section 44-554, Table 44-2, side rear yard setback (Ald. C. Wery, District 8).
2. (Appeal 22-011) Jeff Curtin, Curtin Construction, LLC, on behalf of Michael and Kay Joho, property owners, proposes a detached garage in a Low Density Residential (RI) District at

344I Nicolet Drive. The applicant requests to deviate from the following requirement in Chapter 44, Green Bay Zoning Code, Section 44-590(b)(2), size of 1st accessory structure (Ald. B. Dorff, District 1).

3. (Appeal 21-012) Steve Bieda, Mau & Associates on behalf of Timothy M. and Debra K. Meyer, JRT, property owner, proposes to construct a single-family dwelling in a Low Density Residential (RI) District at 2825 Nicolet Drive. The applicant requests to deviate from the following requirements in Chapter 44, Green Bay Zoning Code, Section 44-385(e) waterway setback and Section 44-554, Table 44-2, front rear yard setback (Ald. B. Dorff, District 1).
4. (Appeal 21-013) Brandon Wegner, Mach IV, Engineering and Surveying, on behalf of Belinda Dow and Jennifer Dryer, property owners, proposes to construct single-family dwelling within the AE/AO District of the 100-year floodplain and Low Density Residential (RI) District at 2747 East Shore Drive. The applicant requests to deviate from the following requirement in Chapter 44, Green Bay Zoning Code, Section 44-1193(l)(a) fill requirement around the structure (Ald. K. Lefebvre, District 6).
5. (Appeal 22-014) Jon LeRoy, Mau & Associates, on behalf of Chad Roffers, Chad Roffers Trucking, property owner, proposes to construct a single-family home in a Low Density Residential (RI) District at 1882 Taylor Street. The applicant requests to deviate from the following requirement in Chapter 44, Green Bay Zoning Code, Section 44-554, Notes b, width of a residence (Ald. M. Steuer, District 10).
6. (Appeal 22-015) Matthew Motiff, property owner, proposes to expand an attached garage of a single-family home in a Low Density Residential (RI) District at 3176 Open Gate Trail. The applicant requests to deviate from the following requirement in Chapter 44, Green Bay Zoning Code, Section 44-554, Table 44-2, side rear yard setback (Ald. J. Brunette, District 12).

F. Informational.

1. Discussion on procedural items related to the Zoning & Planning Board of Appeals.
2. 1st Quarter Variance Report.
3. Next meeting date: April 18, 2022.

G. Adjournment.

- 1) THIS MEETING IS RECORDED: THE VIDEO OF THIS MEETING AND MINUTES ARE AVAILABLE ONLINE AT www.greenbaywi.gov
- 2) ACCESSIBILITY: Any person wishing to attend who requires special accommodation because of a disability, should contact the City Safety Manager at 920-448-3125 at least 48 hours before the scheduled meeting time so that arrangements can be made.
- 3) QUORUM: Please take notice that a majority or quorum of the Common Council will attend this Zoning & Planning Board of Appeals meeting and will constitute a meeting of the Common Council for purposes of discussion and information gathering relative to this agenda.
- 4) REPRESENTATION: The party requesting the communication, or their representative, should be present at this meeting.

Virtual Meeting Instructions



Zoning & Planning Board of Appeals

Zoom Meeting Information

Join Zoom Meeting

<https://us02web.zoom.us/j/85419145658?pwd=VWxYY1FIRXBMcXU3dzU0VU0xQ1NKdz09>

Meeting ID: 854 1914 5658

Passcode: 735080

One tap mobile

+13126266799,,85419145658# US (Chicago)

+16468769923,,85419145658# US (New York)

Dial by your location

+1 312 626 6799 US (Chicago)

+1 646 876 9923 US (New York)

+1 301 715 8592 US (Washington DC)

+1 408 638 0968 US (San Jose)

+1 669 900 6833 US (San Jose)

+1 253 215 8782 US (Tacoma)

+1 346 248 7799 US (Houston)

Meeting ID: 854 1914 5658

Passcode: 735080

Find your local number: <https://us02web.zoom.us/j/kcPZFUwg9G>

Public Comments

If you wish to speak at this public meeting or leave a comment, please fill out the online [Comment Form](#) prior to the meeting.

Additional Information

1. Wisconsin Open Meetings Law still applies
 - a. Persons interested in speaking to an item must state their name and address for the minutes.
 - b. Committee/Commission/Board members will still follow *Roberts Rules of Order Newly Revised 12th edition*.
2. Please log into the Zoom meeting at least 10 minutes before the meeting begins to ensure a proper connection and that your technology is working.
 - a. If you are a Board Member, please log into [CivicClerk](#) with a computer, laptop, or tablet device.
3. Once you are in the meeting please mute yourself.
 - a. You may unmute yourself when you are called upon to speak.
4. Waiting room
 - a. When you call in or connect via web or Zoom app, you will be placed in a "waiting room."
 - b. The meeting host will then admit you to the meeting, and mute you upon entrance (you will still be able to hear and or otherwise observe the meeting).
5. Registering
 - a. The host may ask you to register for the meeting. A registration link will be sent to you along with the invite. You'll receive another email confirming that you're registered for the meeting.
 - b. If you're using a phone, your registration will be tied to an email.
6. Raising your hand
 - a. Committee/Commission/Board members—you can either use CivicClerk and request to speak or you can also utilize the "raise your hand" tool in the Zoom platform (you'd need to use a computer or tablet) to let the host know you would like to speak. You can also un-mute yourself and start speaking.
 - b. Persons with items on the agenda or other interested parties—you can also utilize the "raise your hand" tool on the Zoom platform via computer or mobile device. You will be allowed to speak once the committee, commission, or board has moved to "open the floor for interested parties to speak." Once discussion on your agenda item has concluded, the host will mute you, unless the committee opens the floor again.
7. What devices should I use?
 - a. Smart phone (please see more detailed instructions on page 3)
 - b. Land line
 - c. Tablet—in advance of the meeting, please download the Zoom Meeting app by using either the Apple Store or the Play Store. You will be asked to input your name, to identify you for the meeting.
 - d. Computer—you can access the meeting through a web browser by clicking on the meeting link, or through the Zoom Meeting app. If using the app, please download it in advance of the meeting. You will be asked to input your name, to identify yourself for the meeting.
 - e. For tablet and computer users—if you download the app you may be asked to verify your email.

8. Zoom etiquette
 - a. Muting yourself when you're not speaking will prevent your background noise from interfering with others' ability to listen to and participate in the meeting.
 - b. If you're using a telephone, please identify yourself with your phone number and state your name and address before you speak. Zoom meeting hosts can see only your telephone number and will ask you to identify yourself.
9. Closed session
 - a. Persons in the Zoom meeting will be put into a waiting room while the committee/commission/board meets in Closed Session. Participants will be admitted back into the Zoom meeting once the committee reconvenes in Open Session.
 - b. Persons watching a Common Council meeting live on YouTube will see a gray screen with the City logo during closed session.
10. Persons interested in attending anonymously or listening to the meeting may call in by dialing *67 followed by the phone number in the Zoom Meeting Information box.

Calling into the Zoom meeting using a smartphone

1. Dial the phone number listed at the beginning of this document.
2. When prompted, enter the Meeting ID number followed by #
3. Once you are in the meeting, notify the meeting host that you are in and state your name.
4. If you do not wish to speak, please make sure your phone is on **Mute**
 - a. If you're using a smartphone, look at your screen and click the Mute button





Report to the
Zoning & Planning Board of Appeals
of the City of Green Bay

MEETING DATE

April 18, 2022

PREPARED BY

Paul Neumeyer

AGENDA ITEM # E.1

(Appeal 22-010) Julie Grebe, The Prime Group, LLC, property owner, proposes to expand a single stall attached garage of a single-family home in a Low Density Residential (R1) District at 1092 Shadow Lane. The applicant requests to deviate from the following requirement in Chapter 44, Green Bay Zoning Code, Section 44-554, Table 44-2, side rear yard setback (Ald. C. Wery, District 8).

BACKGROUND**RECOMMENDATION****FISCAL IMPACT****ATTACHMENTS**

- I. 1092 Shadow Lane



DATE:	3/17/2022	PROJECT #:	108106	APPEAL #:	22-10
APPLICANT INFORMATION:					
Name:	Julie Grebe member of 3				
Business Name:	The PRIME Group LLC				
Address:	1092 Shadow Lane				
City, State, Zip	Green Bay, WI 54304				
Phone:	920-428-7050				
Email:	Julie@JALmanagement.com				
Property Owner Information (if different from above):					
Name:	SAME				
Business Name:					
Address:					
City, State, Zip:					
Phone:					
Email:					
PLEASE FILL OUT INFORMATION BELOW REGARDING THE PROPOSED DIMENSIONAL VARIANCE:					
Location/Address:	1092 Shadow Lane, Green Bay				
Tax Parcel Number(s):	1-2631				
Describe the Variance Request:	Replace 1 stall garage and carport to 2 stall garage with viewing deck on top of garage.				

List ordinance(s) (number and description) the variance will be impacting (staff will assist with this).

44-360?

ALTERNATIVES:

Describe alternatives to your proposal, to include other locations, designs, construction techniques, etc.

- Keep it a 1 car garage w/ carport and add viewing deck - not sure if that would work - need to talk w/ architect.
- Increase setback to approx 2 1/2 feet w/ a 2-car garage

Alternatives that you considered that comply with existing regulations:

- Potentially leave as-is w/ 1 car garage & carport but add viewing deck over both? - would have to speak w/ architect.

Reasons for not pursuing the alternative(s) listed above:

Need for additional heated parking. Would be a better use and more appealing for short-term guests. 2 car garage w/ dual viewing decks would bring in more guests.

THREE STEP TEST - To qualify for a variance, the applicant must demonstrate that their property meets the following three (3) requirements:

Does unique physical characteristics of your property prevent the compliance with the ordinance? Explain

I don't believe so. The house was built during a time that the lots were very narrow and setbacks didn't exist. It would be a great benefit to the property, to be able to offer views of Lumbrow & the Resch from a viewing deck.

Would granting the variance be contrary to the public interest? Explain.

No, the property already has an extended carport on it, we would just like to make that an enclosed garage. It would ~~then~~ be a substantial improvement on the home vs what is there now.

Why would not getting the variance unreasonably prevent you from using the property for a permitted purpose (leaving the property owner without any use that is permitted for the property) or would render conformity with such restrictions unnecessarily burdensome?

We would like the carport to be turned into a garage so we have additional heating areas to park and ~~can~~ enjoy the views of Lambeau from a viewing deck above the garage.

I HEREBY CERTIFY THAT I HAVE READ AND FULLY UNDERSTAND THE VARIANCE PROCEDURE AND FAILURE TO COMPLY WITH CITY REQUIREMENTS WILL RESULT IN THIS APPLICATION BEING WITHHELD FROM CONSIDERATION BY THE ZONING BOARD OF APPEALS.

Signature of the Property Owner

Signature of Applicant (working as "Agent" for owner)

Print Name:

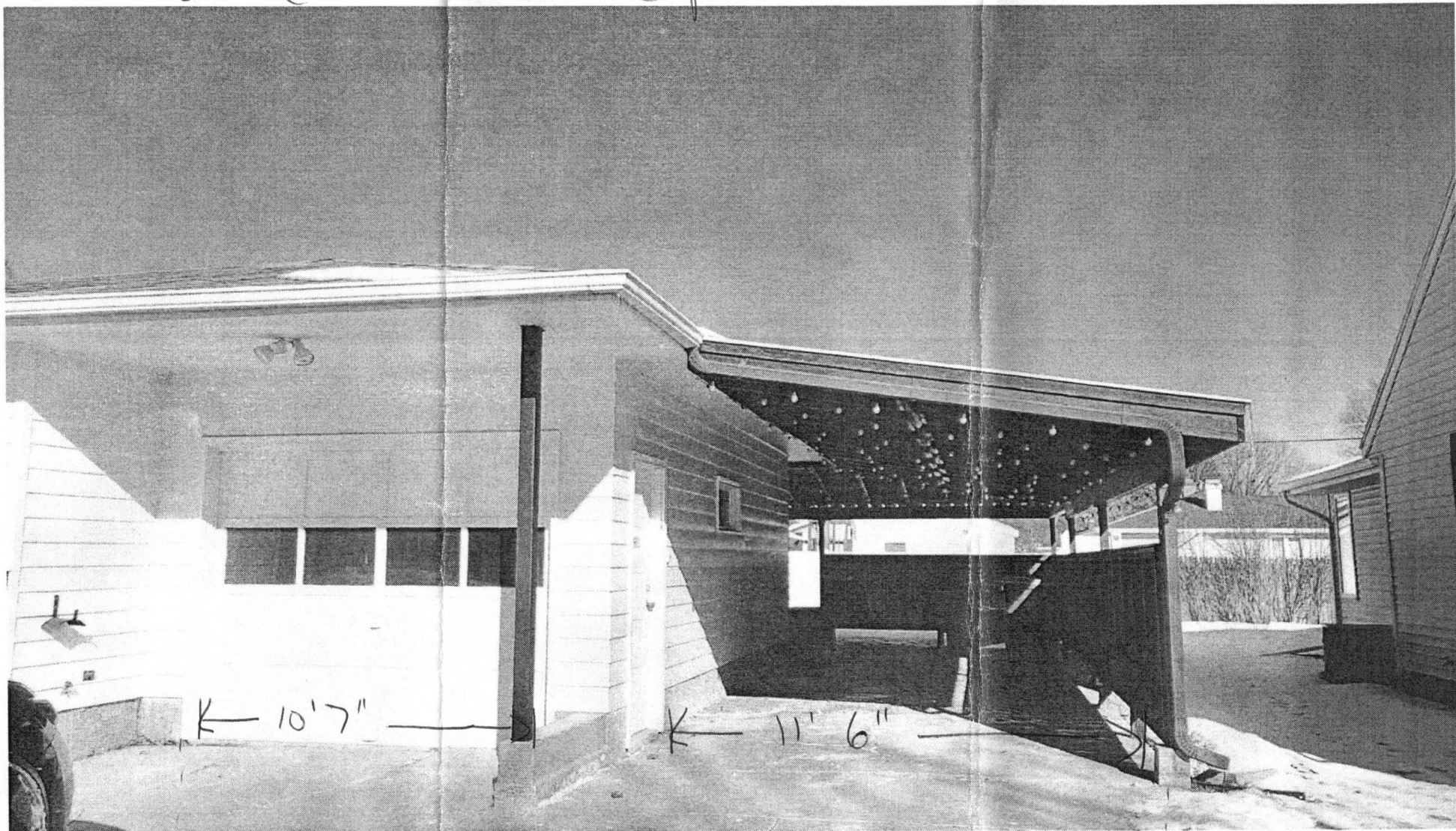
Print Name:

Date

Date

OFFICE USE ONLY:	Parcel# 1-2631	Residential \$75 <u>X</u>	Commercial \$150 _____
District: 8 Zoning: R1	Meeting Date: 04/18/2022	Receipt #: 2760542-11	
Submittal Date: 03/31/2022	Staff Signature:		

1092 Shadow - Current Garage & Carport

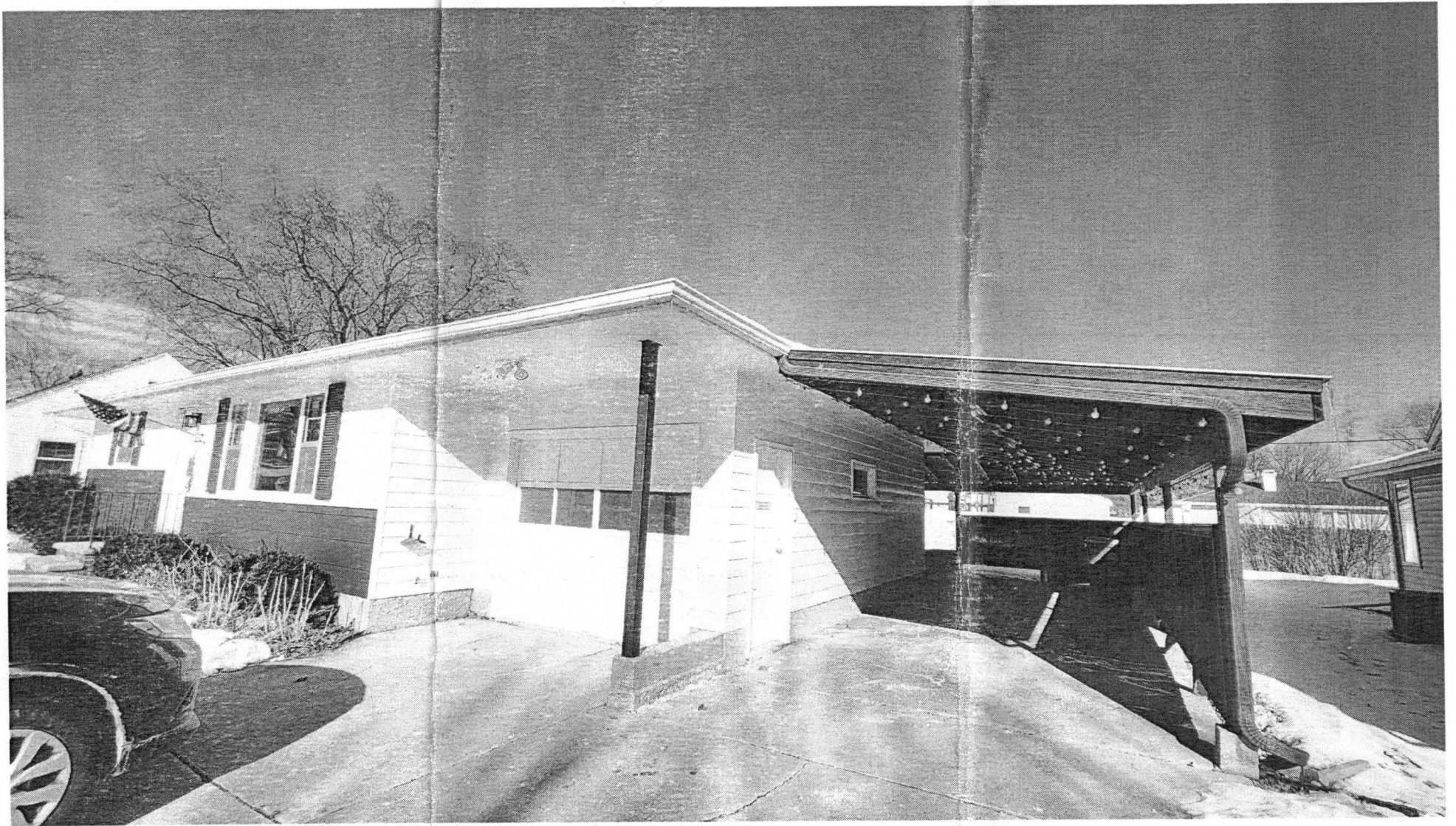


← 10' 7" →

← 11' 6" →

← 22' 8" →

← Approx 2" →
Set back





Report to the
Zoning & Planning Board of Appeals
of the City of Green Bay

MEETING DATE

April 18, 2022

PREPARED BY

Paul Neumeyer, Staff

AGENDA ITEM # E.2

(Appeal 22-011) Jeff Curtin, Curtin Construction, LLC, on behalf of Michael and Kay Joho, property owners, proposes a detached garage in a Low Density Residential (R1) District at 3441 Nicolet Drive. The applicant requests to deviate from the following requirement in Chapter 44, Green Bay Zoning Code, Section 44-590(b)(2), size of 1st accessory structure (Ald. B. Dorff, District 1).

BACKGROUND**RECOMMENDATION****FISCAL IMPACT****ATTACHMENTS**

- I. 3441 Nicolet Drive



DATE: 3/31/2022	PROJECT #: 106352	APPEAL #: 22-11
APPLICANT INFORMATION:		
Name: Jeff Curtin		
Business Name: Curtin Construction LLC		
Address: N4955 Pine Lane		
City, State, Zip: Shawano WI 54166		
Phone: 715-851-3986		
Email: jeffs.concrete.lc@gmail.com (Email)		
Property Owner Information (if different from above):		
Name: Michael & Kay Joho		
Business Name:		
Address: 3824 Hennipen Ct.		
City, State, Zip: Joliet IL 60431		
Phone: 815-274-1146		
Email: kjoho@unitedspk.com		
PLEASE FILL OUT INFORMATION BELOW REGARDING THE PROPOSED DIMENSIONAL VARIANCE:		
Location/Address: 3441 Nicolet Drive		
Tax Parcel Number(s): 22-55-1		
Describe the Variance Request:		
We would like to construct a detached garage 32'x40' 1280 sqft. Which is 280 sqft over the square footage allowed for a detached garage. But is under the square footage of the principle structure of 1317 sqft.		

List ordinance(s) (number and description) the variance will be impacting (staff will assist with this).

ALTERNATIVES:

Describe alternatives to your proposal, to include other locations, designs, construction techniques, etc.

Attached garage of same size and design.
Attached garage of smaller size and garage doors facing east.

Alternatives that you considered that comply with existing regulations:

Attached garage of same size and design

Reasons for not pursuing the alternative(s) listed above:

lot is too narrow 52.8 ft and elevations difference too great from existing shared black top driveway.
Elevation height is as required by FEMA & city for flood plain

THREE STEP TEST - To qualify for a variance, the applicant must demonstrate that their property meets the following three (3) requirements:

Does unique physical characteristics of your property prevent the compliance with the ordinance? Explain **Yes**

Narrowness of lot 52.8 ft. Elevation change from top of garage floor to existing driveway of 2.5 ft in 14.84' of run too great of change for my customers, as they are of retirement age

Would granting the variance be contrary to the public interest? Explain. No

Granting the variance would NOT be contrary to public interest. The garage size proposed would be in line with other detached garages in the area, most specifically the structure two doors north that is larger than we are proposing. 26'x58' 1500 sqft. In addition, ample garage space would allow us to have proper storage.

Why would not getting the variance unreasonably prevent you from using the property for a permitted purpose (leaving the property owner without any use that is permitted for the property) or would render conformity with such restrictions unnecessarily burdensome?

Without the variance we would still be able to use the home on the property as our primary dwelling, but as referenced in the answer above, the variance for a larger structure would allow to be pleasantly presentable to us and those around us.

I HEREBY CERTIFY THAT I HAVE READ AND FULLY UNDERSTAND THE VARIANCE PROCEDURE AND FAILURE TO COMPLY WITH CITY REQUIREMENTS WILL RESULT IN THIS APPLICATION BEING WITHHELD FROM CONSIDERATION BY THE ZONING BOARD OF APPEALS.

Kay Joho
Signature of the Property Owner

Jeff Curtin Curtin Construction LLC
Signature of Applicant (working as "Agent" for owner)

KAY JOHO
Print Name:

Jeff Curtin
Print Name:

3.31.22
Date

3.31.22
Date

OFFICE USE ONLY:	Parcel# <u>22-55-1</u>	Residential \$75 <u>X</u> Commercial \$150 <u> </u>
District: <u>1</u> Zoning: <u>R1</u>	Meeting Date: <u>4-18-21</u>	Receipt #: <u>2760557-12</u>
Submittal Date: <u>4/21/22</u>	Staff Signature:	

Curtin Construction LLC

N4955 Pine Lane

Shawano WI, 54166

Variance Summary

3441 Nicolet Drive, Green Bay WI

Proposed: Detached Garage 32'x40' 1280sqft

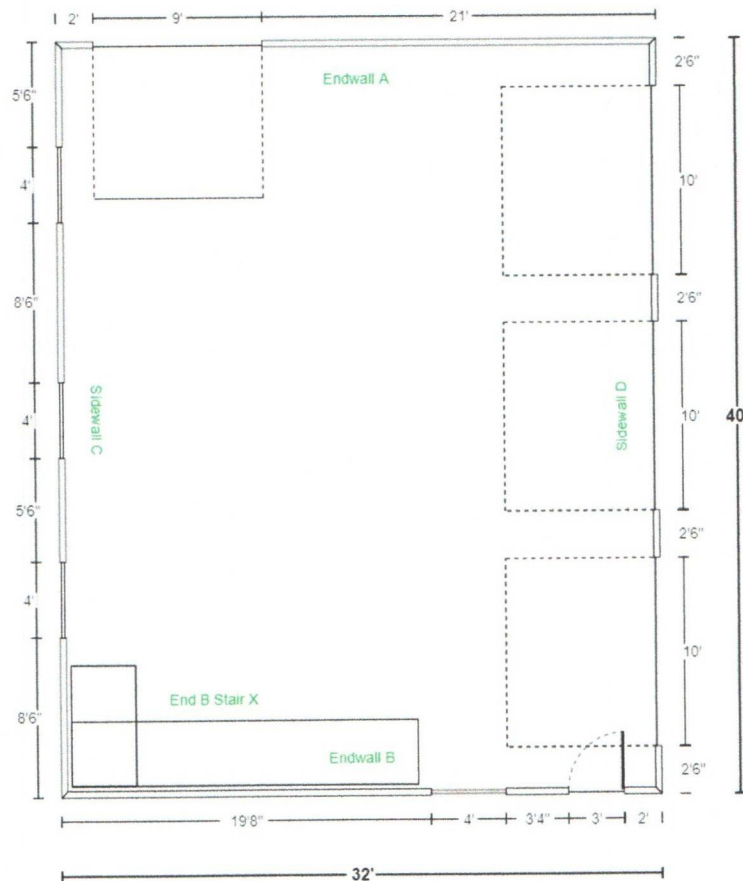
- Exterior Appearance
 - Siding- Smart Siding Chestnut Color to Match House
 - Shingles – Architectural – Hickory Color to Match House
 - Aluminum Soffit & Fascia – Hickory Color to Match House
 - Coach Lights – To Match House
- Garage will be built to all city and U.D.C. Codes as required
- Detached garage 1280 sqft is 37sqft less than principal structure of 1317
- If garage was built as an attached garage the size would be permitted.
- Lot Width 52.8ft
 - Garage Location 50ft east of house, where elevations closely match driveway.
- Attached Garage would pose the following issues
 - Elevation of garage floor to existing shared driveway would be approx. 2.5ft in a 14.84ft of run.
 - Hardship would be, this is a steep incline and owners are of retirement age. And this is to be their final retirement home.
 - Elevations were determined by FEMA and requirements of the city of green bay to be out of the flood plain as noted on site map.
 - Alternate design of garage doors facing east would also pose similar elevation and drainage issues. This design would cause financial hardship as it would elevate the cost of this project.
- Similar sized detached garages in neighborhood.
 - Example: Two Doors North on Nicolet Drive 26'x'58' = 1500ft
- This proposed garage will provide storage space to keep appearance presentable for the neighborhood

Design Name: Garage Design**Design ID: 328152449667****Estimate ID: 41346****MENARDS****Design & Buy™ GARAGE****How to purchase at the store**

1. Take this packet to any Menards store.
2. Have a building materials team member enter the design number into the Garage Estimator Search Saved Designs page.
3. Apply the design to System V to create the material list.
4. Take the purchase documents to the register and pay.

How to recall and purchase a saved design at home

1. Go to Menards.com.
2. Select the Garage Estimator from the Project Center.
3. Select Search Saved Design.
4. Log into your account.
5. Select the saved design to load back into the estimator.
6. Add your Garage to the cart and purchase.

Garage Image

Design Name: Garage Design**Design ID: 328152449667****Estimate ID: 41346**

MENARDS
Design & Buy™ GARAGE

Dimensions**Wall Configurations**

*Illustration may not depict all options selected.

**ENDWALL B**

Mastercraft®; 36"W x 80"H Primed Steel 6-Panel

48"W x 36"H JELD-WEN®; Vinyl Slider

30"W x 48"H JELD-WEN®; Vinyl Double Hung

**SIDEWALL D**

Ideal Door®; 5-Star 10' x 8' White Premium Insulated

Ideal Door®; 5-Star 10' x 8' White Premium Insulated

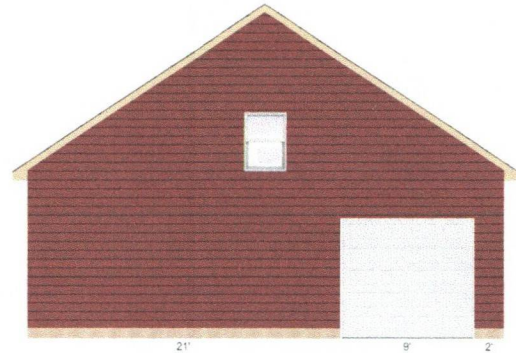
Ideal Door®; 5-Star 10' x 8' White Premium Insulated

Design Name: Garage Design**Design ID: 328152449667****Estimate ID: 41346****MENARDS®****Design & Buy™ GARAGE****SIDEWALL C**

48"W x 36"H JELD-WEN® Vinyl Slider

48"W x 36"H JELD-WEN® Vinyl Slider

48"W x 36"H JELD-WEN Vinyl Slider

**ENDWALL A**

Ideal Door® 4-Star 9' x 8' White Select Value Insulated

34"W x 48"H JELD-WEN® Vinyl Double Hung

*Some items like wainscot, gutter, gable accents, are not displayed if selected.

Design Name: Garage Design**Design ID: 328152449667****Estimate ID: 41346**
Design & Buy™ GARAGE

Materials

Building Info

Building Location Zip Code:	54166
Building Width:	32'
Building Length:	40'
Building Height:	10'
Curb:	Concrete Block
Concrete Block Rows:	1 Row
Concrete Block Type:	6" Standard
Wall Framing Stud:	2" x 6"
Roof Framing:	Truss Construction
Truss Type:	Gable Room in attic
Roof Pitch:	8/12 Pitch
Room Size:	7'6" x 14'
Floor:	3/4 x 4 x 8 Tongue-and-Groove OSB Sturd-I-Floor
Eave Overhang:	1'
Gable Overhang:	1'
Room In Attic Access Option:	Stairs End B
Stair Design Location:	End B Stair X
Stairs:	Dakota™ 1-1/8" x 11-1/4" Ready-to-Finish Particleboard Stair Treads
Custom Garage Plan:	No I do not need a custom building plan

Wall Info

Siding Material Types:	LP Engineered Wood Siding
LP Engineered Wood Siding:	Prefinished 3/8 x 8 x 16' Textured Lap Siding (15 Yr Paint Warranty) - Hunt Club Red
Engineered Wood Corner Trim Color:	Hunt Club Red
Accent Material Type:	None
Wainscot Material Type:	None
Wall Sheathing:	7/16" OSB (Oriented Strand Board)
House Wrap:	Kimberly-Clark BLOCK-IT® 9'x75' House Wrap
Gable Vents:	None

Design Name: Garage Design**Design ID: 328152449667****Estimate ID: 41346**

MEYARDS
Design & Buy™ GARAGE

Roof Info

Roof Sheathing:	1/2" OSB (Oriented Strand Board)
Roofing Material Type:	Architectural Shingle
Architectural Roofing:	Owens Corning® TruDefinition® Duration® Limited Lifetime Warranty Architectural Shingles (32.8 sq. ft.) - Driftwood
Roof Underlayment:	Owens Corning® ProArmor® Synthetic Roofing Underlayment 42" x 286' (1,000 sq. ft.)
Ice and Water Barrier:	Owens Corning® WeatherLock® G Granulated Self-Sealing Ice and Water Barrier 3' x 66.7'(200sq.ft)
Fascia Material Type:	Textured Aluminum Fascia
Fascia:	6" x 12' Aluminum Rustic Fascia - Sandstone
Soffit Material Type:	Aluminum Soffit
Soffit:	16" x 12' Aluminum Vented Soffit - Sandstone
Gutter Material Type:	None
Ridge Vent:	Air Vent Attic Aire 14" x 20' Filtered Shingle-Over Ridge Vent With Nails
Roof Vents:	None

Openings

Service Door:	Mastercraft® 36"W x 80"H Primed Steel 6-Panel
Overhead Door:	Ideal Door® 5-Star 10' x 8' White Premium Insulated
Overhead Door:	Ideal Door® 5-Star 10' x 8' White Premium Insulated
Overhead Door:	Ideal Door® 4-Star 9' x 8' White Select Value Insulated
Overhead Door:	Ideal Door® 5-Star 10' x 8' White Premium Insulated
Overhead Door Trim Type:	Vinyl
Vinyl Trim Color:	Sand
Windows:	48"W x 36"H JELD-WEN® Vinyl Slider
Windows:	34"W x 48"H JELD-WEN® Vinyl Double Hung
Windows:	30"W x 48"H JELD-WEN® Vinyl Double Hung
Windows:	48"W x 36"H JELD-WEN® Vinyl Slider
Windows:	48"W x 36"H JELD-WEN® Vinyl Slider
Windows:	48"W x 36"H JELD-WEN Vinyl Slider
Garage Door Opener:	Chamberlain® 1/2 HP Chain Drive Garage Door Opener (Better)

Design Name: Garage Design
Design ID: 328152449667
Estimate ID: 41346



Additional Options

Ceiling Insulation:	None
Wall Insulation:	None
Insulation Area:	Lower area Only
Ceiling Finish:	None
Wall Finish:	None
Finish Area:	None
Anchor bolt:	Grip Fast® 1/2" x 10" HDG Anchor Bolt w/ Nut & Washer
Framing Fasteners:	Grip Fast® 3-1/2" 16D Vinyl-Coated Smooth Shank Sinker Nail - 5 lb. Box
Sheathing Fasteners:	Grip Fast® 2-1/2" 8D Vinyl-Coated Smooth Shank Sinker Nails
Roofing/Shingle Fasteners:	Grip Fast® 1-1/4" Electro-Galvanized Coil Roofing Nails -7,200 Count
Truss Fastener:	FastenMaster® TimberLOK® 5/16" x 6" Hex Drive Black Hex Head Wood Screw - 50 Count
Overhead Opening Hardware:	Yes

Design Name: Garage Design

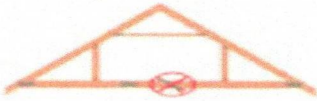
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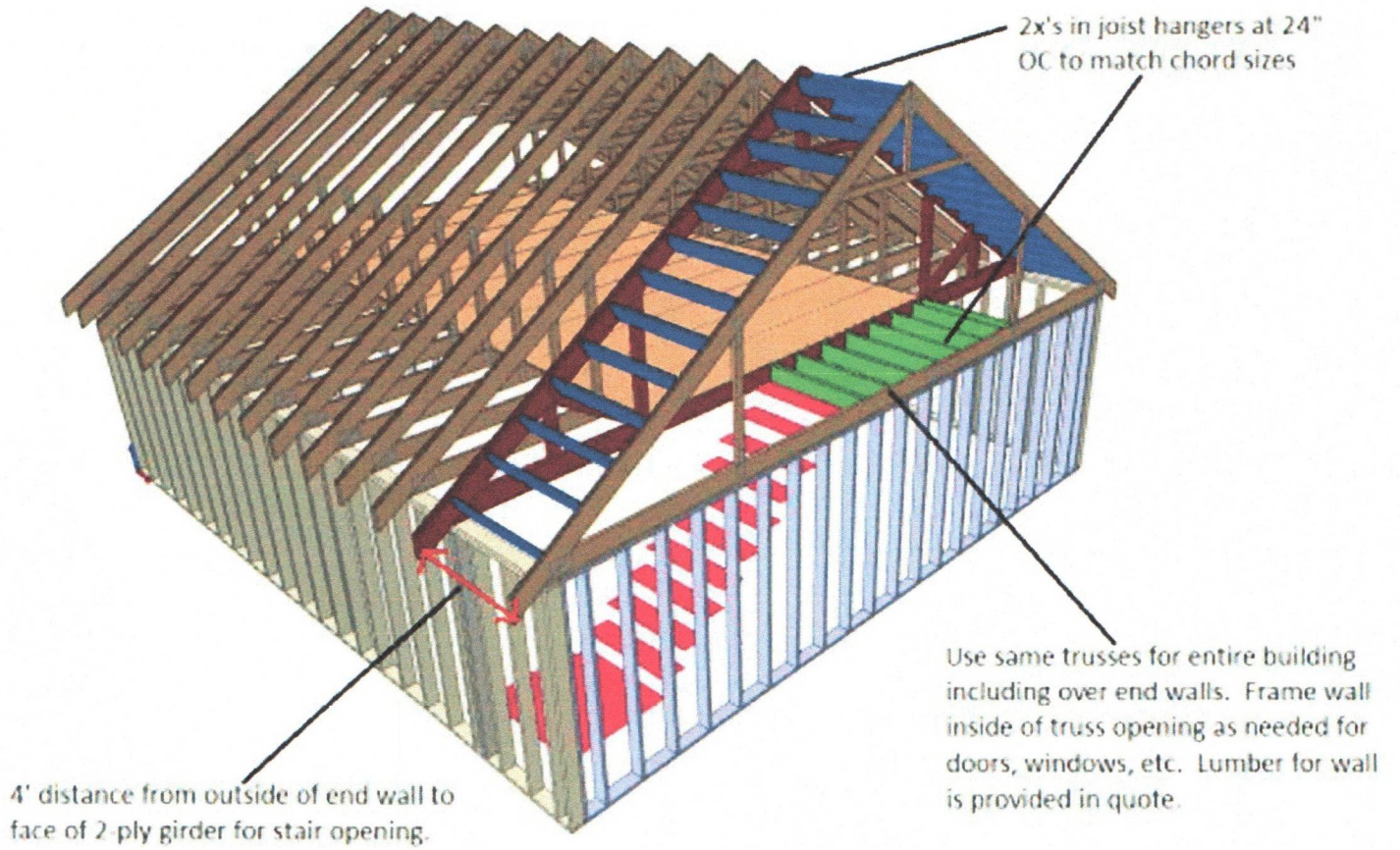
MENARDS
Design & Buy™ GARAGE

Helpful Hints for Gable Room In Attic Garage Construction

- Trusses CANNOT be cut, modified, or drilled into.
- 40# Per Square Foot live load in room area only.



- Trusses included in this estimate will have 12" overhangs. Overhangs can be trimmed back as needed.
- Span and/or pitch may require trusses to be built in 2 parts, assemble at jobsite.
- Additional truss designs are also available, including trusses with no overhangs, additional room sizes and more. See a building materials team member for more information about truss design and overhang framing detail.
- For Stair Construction:
 1. Stairway for this estimate is located next to and parallel with one of the end walls.
 2. Stairway opening will require a 2-ply girder truss located 4' from outside of end wall to face of girder. Girder is plied on site by nailing 2 Room In Attic trusses together using the following nailing pattern: 10d nails at 9" OC, 2 staggered rows on chords, 1 row on webs.
 3. Hand frame roof and floor at stair area with lumber that matches Top and Bottom chords.
 4. Do not place a truss between end wall and 2-ply girder, leave open for stairs.
 5. Use same trusses over end walls as are used for main part of building. Lumber included in this estimate to frame in plates and studs for walls at each end of room area. Using regular trusses over end walls makes it easier to install wiring, insulation, doors, and windows. Specify if walls at each end are to be 2x4 or 2x6.



Design Name: Garage Design

Design ID: 328152449667

Estimate ID: 41346

MENARDS

Design & Buy™ GARAGE

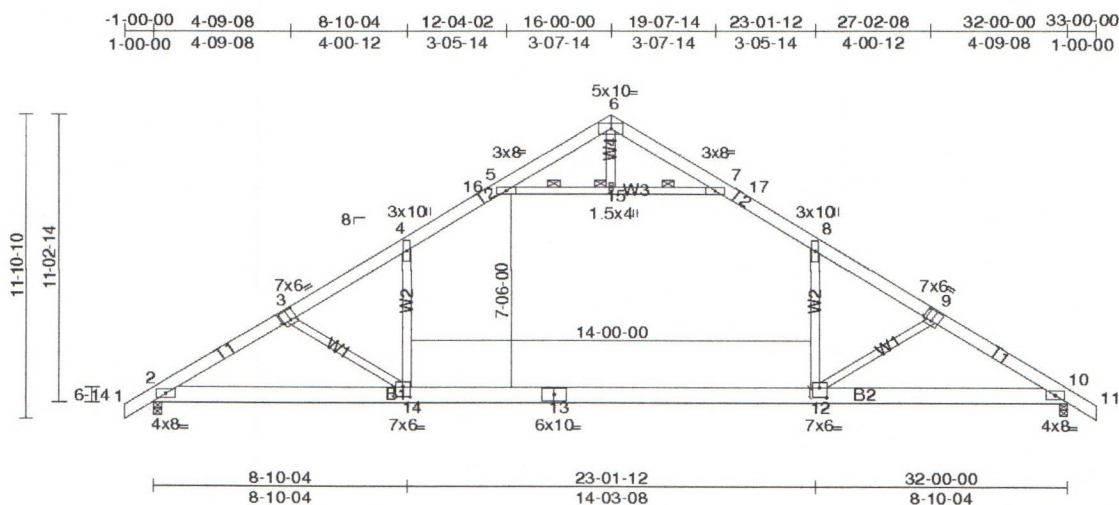
Job	Truss	Truss Type	Qty	Ply	Job Reference (optional)
QTREC0512575	GA22	ATTIC	1	1	

Midwest Manufacturing, Eau Claire, WI

Run: 8:100 s Apr 21 2017 Print: 8:100 s Apr 21 2017 MiTek Industries, Inc. Wed Jun 28 10:09:01 2017

Page: 1

ID: xzVOM6_4L3RRI FeyAvGFKuz2T0s-BhgZhtgABu_pocX6EYyOMDiw2uZuYYbrAgCOz1nbn



Scale = 1/73.1

Plate Offsets (X, Y): [3.2-12.5-00], [9.2-12.5-00], [12.3-00,4-12], [14.3-00,4-12]

Loading	(psf)	Spacing		CSI		DEFL	in	(loc)	l/defl	L/d	PLATES	GRIP
TCLL (roof)	30.0	Plate Grip DOL	2-00-00	TC	0.87	Vert(LL)	-0.85	12-14	>448	240	MT20	197/144
Snow (Ps/Pg)	27.7/40.0	Lumber DOL	1.15	BC	0.61	Vert(TL)	-1.26	12-14	>302	180		
TCDL	7.0	Rep Stress Incr	YES	WB	0.59	Horiz(TL)	0.08	10	n/a	n/a		
BCLL	0.0*	Code	IRC2009/TPI2007	Matrix-R		Attic	-0.48	12-14	>360	360		
BCDL	10.0											

Weight: 223 lb FT = 15%

LUMBER

TOP CHORD 2x6 SP 2400F 2.0E *Except* T1: 2x6 SPF No.2
 BOT CHORD 2x8 SP 2400F 2.0E
 WEBS 2x4 SPF Stud *Except* W3: 2x4 SPF No.2

REACTIONS (lb/size) 2=2277/3-08, (min. 1-14), 10=2277/3-08, (min. 1-14)
 Max Horiz 2=250(LC 7)
 Max Uplift 2=51(LC 9), 10=51(LC 10)

BRACING

TOP CHORD
 BOT CHORD
 WEBS
 JOINTS

Structural wood sheathing directly applied or 2-2-0 oc purlins.
 Rigid ceiling directly applied or 10-0-0 oc bracing.
 1 Row at midpt 5-15, 7-15
 1 Brace at Jt(s): 15

MiTek recommends that Stabilizers and required cross bracing be installed during truss erection, in accordance with Stabilizer Installation guide.

FORCES

(lb) - Max. Comp./Max. Ten. - All forces 250 (lb) or less except when shown.

TOP CHORD 2-3=-3794/53, 3-4=-3347/32, 4-16=-2380/112, 5-16=-2248/132, 5-6=0/530, 6-7=0/530, 7-17=-2248/132, 8-17=-2380/112,
 8-9=-3347/32, 9-10=-3794/53

BOT CHORD 2-14=-15/3078, 13-14=0/2460, 12-13=0/2460, 10-12=0/3078

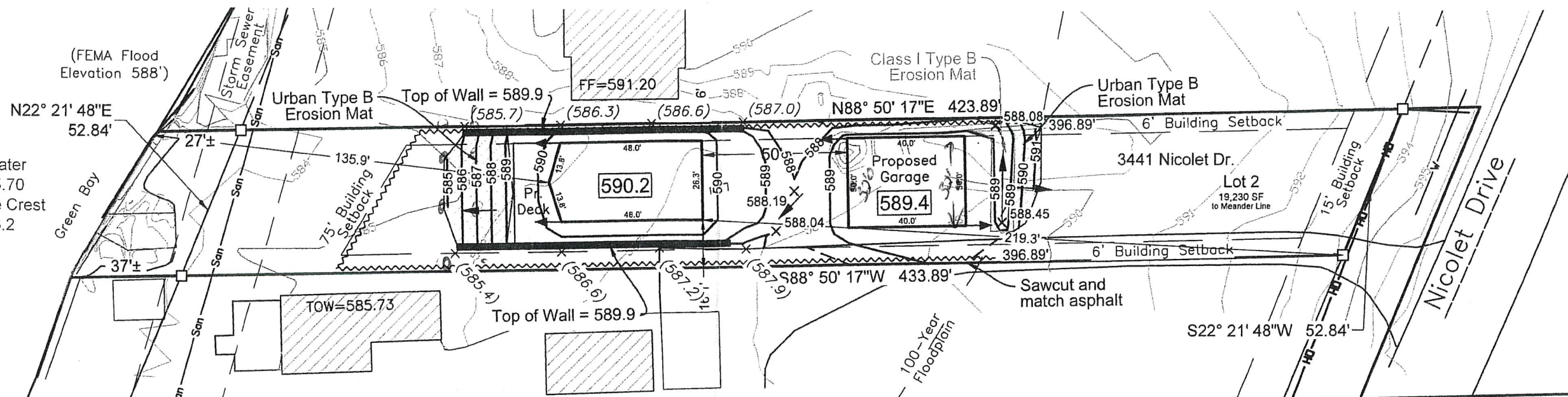
WEBS 5-15=-3050/93, 7-15=-3050/93, 4-14=0/1374, 8-12=0/1374, 3-14=-824/151, 9-12=-824/151

NOTES

- Unbalanced roof live loads have been considered for this design.
- Wind: ASCE 7-05, 90mph; TCDL=4.2psf; BCDL=6.0psf; h=25ft; Cat. II; Exp B; enclosed; MWFRS (low-rise) exterior zone and C-C Exterior(2) zone; cantilever left and right exposed; and vertical left and right exposed; C-C for members and forces & MWFRS for reactions shown; Lumber DOL=1.80 plate grip DOL=1.80
- TCLL: ASCE 7-05; Pr=30.0 psf (roof live load: Lumber DOL=1.15 Plate DOL=1.15); Pg=40.0 psf (ground snow); Ps=27.7 psf (roof snow: Lumber DOL=1.15 Plate DOL=1.15); Category II; Exp B; Fully Exp.; Ct=1.1
- Roof design snow load has been reduced to account for slope.
- Unbalanced snow loads have been considered for this design.
- This truss has been designed for greater of min roof live load of 12.0 psf or 1.00 times flat roof load of 27.7 psf on overhangs non-concurrent with other live loads.
- This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
- * This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3-6-0 tall by 2-0-0 wide will fit between the bottom chord and any other members.
- Ceiling dead load (5.0 psf) on member(s) 4-5, 7-8, 5-15, 7-15; Wall dead load (5.0psf) on member(s) 4-14, 8-12
- Bottom chord live load (40.0 psf) and additional bottom chord dead load (0.0 psf) applied only to room. 12-14
- Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 51 lb uplift at joint 2 and 51 lb uplift at joint 10.
- This truss is designed in accordance with the 2009 International Residential Code sections R502.11.1 and R802.10.2 and referenced standard ANSI/TPI 1.
- NOTE: DUE TO THE OVERALL LENGTH TO DEPTH RATIO OF THE ROOM, THE FLOOR MAY EXHIBIT OBJECTIONABLE VIBRATION AND OR BOUNCE. BUILDING DESIGNER TO CONSIDER PROVIDING MEANS TO DAMPEN THESE EFFECTS. TRUSS DESIGN SHALL BE REVIEWED AND APPROVED PRIOR TO MANUFACTURING.
- Attic room checked for L/360 deflection.

LOAD CASE(S) Standard

100-Year Stillwater
Elevation = 585.70
100-Year Wave Crest
Elevation = 588.2



NOTES:

- Existing utilities shown are indicated in accordance with available records and field measurements. The contractor shall be responsible for obtaining exact locations & elevations of all utilities, including sewer and water from the owners of the respective utilities. All utility owners shall be notified by the contractor 72 hours prior to excavation. Contact Digger's Hotline (1-800-242-8511) for exact utility locations.
- Sediment barrier shall be installed at the toe of all newly constructed fill slopes and shall be maintained until slope vegetation is established. Sediment barrier shall be installed prior to site grading.
- Sediment barrier inlet protection shall be installed around the upstream end of new culvert pipes.
- Sediment barrier shall consist of silt fencing, hay bales, sediment eels, or sediment logs as shown in the detail. Sediment barrier can be eliminated if a 25' wide buffer of existing dense vegetation exists on the lot between the disturbed ground and property line.
- A stone tracking pad shall be provided to the home under construction.
- Tracking of mud on existing streets is not allowed. If it does occur, it shall be cleaned up immediately.
- Vegetation beyond slopes shall remain.
- The contractor shall inspect all erosion control devices weekly and after each rainfall event and repair or maintain as necessary.
- Disturbed areas shall be seeded as soon as final grade is established. If final grade cannot be established, temporary seeding is required for any disturbed land area left in active for more than 7 days. Contractor shall replace topsoil and then seed, fertilize and mulch all lawn areas within 1 week of topsoil placement.
- Contractor shall remove all excess materials from the site.
- Earthwork contractors shall verify topsoil depth.
- All sediment and erosion control devices and methods shall be in accordance with the Wisconsin DNR Technical Standards.
- All downspouts shall discharge to onsite lawn areas having slopes less than 8% for a minimum 20-feet beyond the downspout discharge or pipe to toe of slope.
- Sump pump shall discharge over open land.
- No offsite runoff is directed to this property.
- All onsite waste and construction materials shall be handled and disposed of properly. Concrete wash-out into the proposed pavement gravel base may occur for initial pours. Washout from final pours must be contained and carried offsite for proper disposal. No concrete, runoff from concrete washout, or other waste material is allowed to enter the storm sewer system or receiving waters.

- All temporary soil piles shall be stabilized if they are to remain longer than 1 week.
- All Erosion control BMPs must be in place prior to land disturbing activities.

SITE SUMMARY:

Total Lot Area: 19,230 SF
House Footprint: 1,317 SF
Garage Footprint: 1,200 SF
Driveway: 300 SF
Deck: 817 SF
Total Impervious: 3,634 SF
% Impervious: 19 %
Disturbed Area: 10,375 SF

SETBACKS:

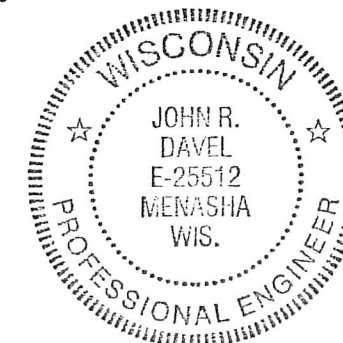
Front: 15'
Shore: 75'
Sides: 6' each

SEQUENCE OF CONSTRUCTION:

- Contact Zoning 3 days prior to disturbance.
- Install silt fence, July 2021.
- Strip and stockpile topsoil from construction zone, July 2021.
- Construct tracking pad, July 2021.
- Excavate for foundation, July 2021.
- Construct foundation, July 2021.
- Backfill foundation, July 2021.
- Temporary seed all disturbed areas, July 2021.
- Construct home, July 2021-September 2021.
- Grade lawn, October 2021.
- Seed and mulch disturbed areas, No Later than November 15th, 2021.
- Remove silt fence after vegetation is established, November 2021.

CONTRACTOR:

Curtin Construction LLC
N4955 Pine Lane
Shawano, WI 54166

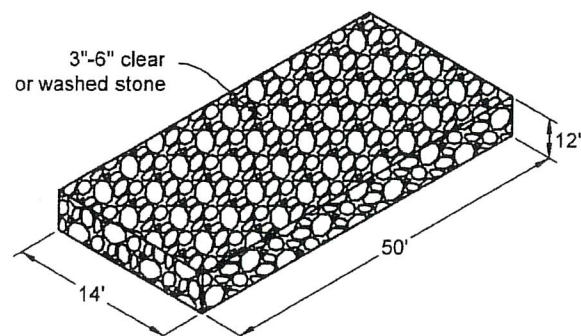


DRAINAGE PLAN CERTIFICATION:

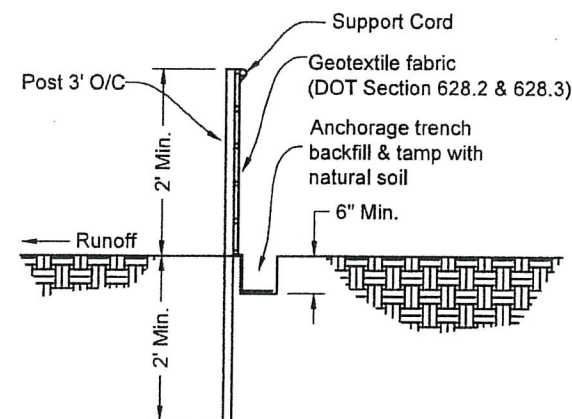
I, John R. Davel, Professional Engineer, hereby certify that this Drainage Plan will meet or exceed the requirements of Brown County.

John R. Davel, P.E. E-25512

Date 6/29/21



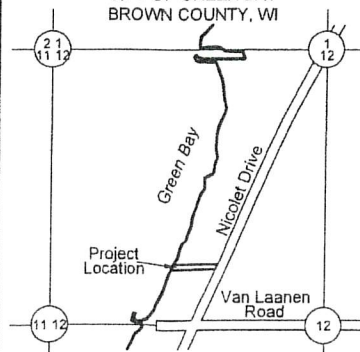
TRACKING PAD DETAIL



SILT FENCE INSTALLATION

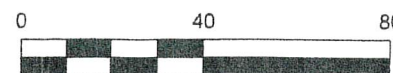
LOCATION MAP

NW 1/4 SEC 12, T 24 N, R 21 E,
CITY OF GREEN BAY
BROWN COUNTY, WI



LEGEND

- | | | | |
|--|--------------------------------|--|--|
| | Existing Contour | | Proposed Grade |
| | Proposed Contour | | Existing Grade |
| | Proposed Sediment barrier | | Proposed Garage Floor Elevation & Proposed Ground Elevation @ Foundation |
| | Prop. Drainage Direction | | |
| | Roof Downspouts (See note #13) | | |



Staking report for:

LOT 2 OF 60 CSM 191 MAP 8540

City of Green Bay
Brown County, WI

NOTE:

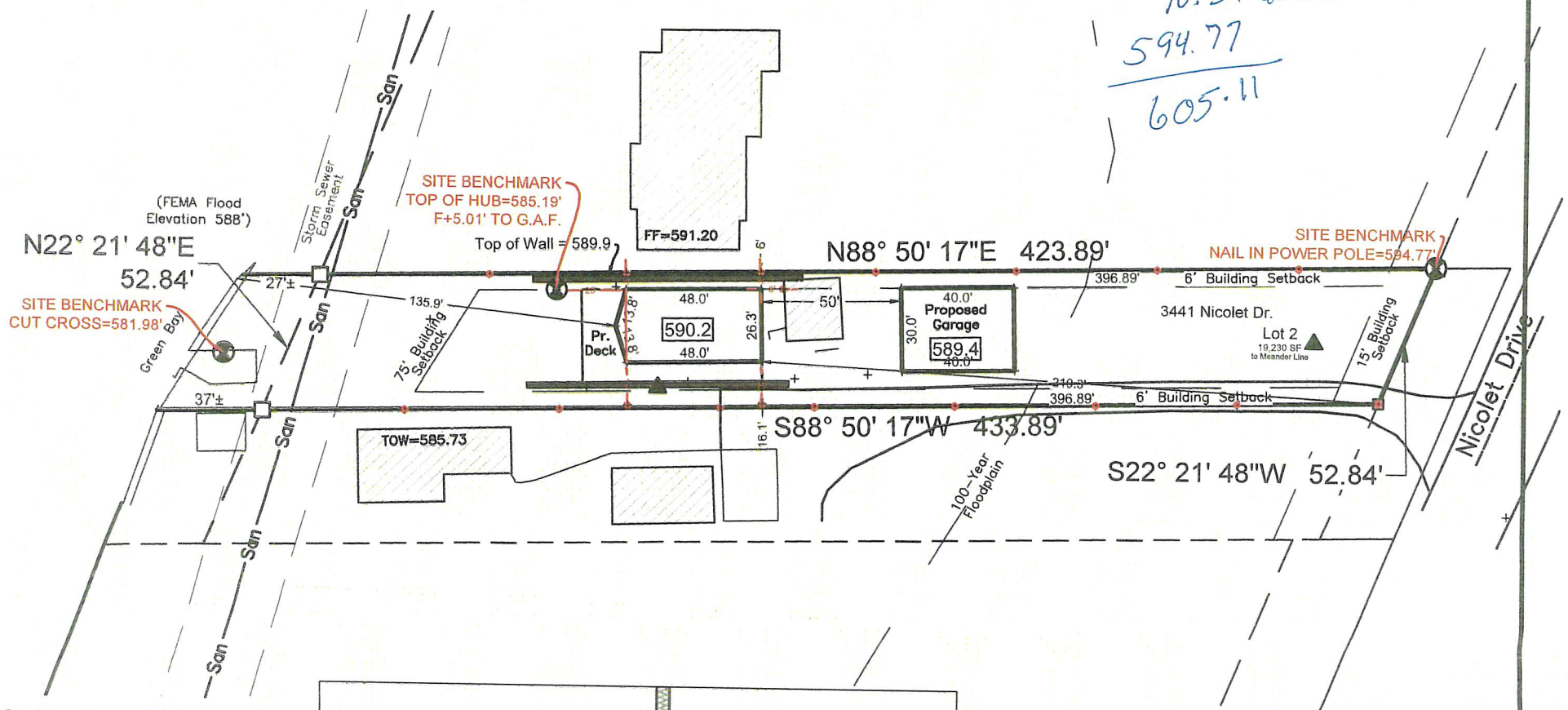
This is a staking report for the mentioned lot. It is not intended to be a site plan.

Peak of House

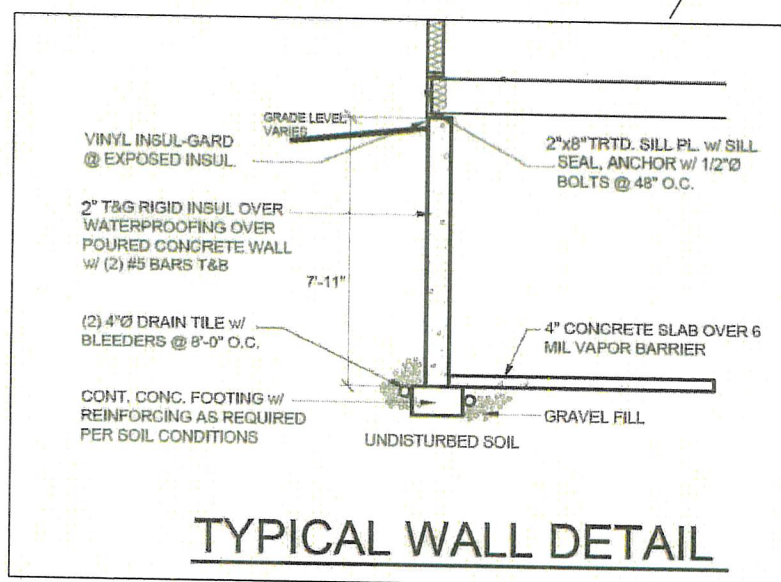
10.34 above

594.77

605.11



Staking Report For:
Curtin Construction LLC
N4955 Pine Lane
Shawano, WI 54166



TYPICAL WALL DETAIL

Proposed Elevations

Finished Floor Elevation = 591.7'

Top Foundation Wall Elevation = 590.7'

Basement Floor Elevation = 583.0'

Garage Floor = 589.0'

LEGEND

- 000.0 Grade at Foundation
- Direction of Drainage
- BMP's for Erosion Control
- Lot Corner

Notes:

The shown location of Best Management Practice (BMP) for erosion control based upon final drainage pattern. Additional BMPs shall be placed where necessary during construction, dependent on existing site conditions.

Dimensions are to the exterior foundation wall, not including the brick ledge.

Retaining wall required per City of Green Bay Floodplain Ordinance

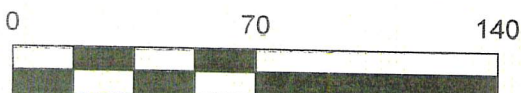
All Grades/Elevations are based on NAVD 88 Datum

Setback Requirements

Street: 15'

Water (OHWM): 75'

Sides: 6' each



Bearings are referenced to
60 CSM 191 MAP 8540



**DAVEL ENGINEERING &
ENVIRONMENTAL, INC.**
Civil Engineers and Land Surveyors

1164 Province Terrace, Menasha, WI 54952
Ph: 920-991-1866 Fax: 920-441-0804
www.davel.pro

Davel Field Crew:
Rodolfo



Report to the
Zoning & Planning Board of Appeals
of the City of Green Bay

MEETING DATE

April 18, 2022

PREPARED BY

Paul Neumeyer, Staff

AGENDA ITEM # E.3

(Appeal 21-012) Steve Bieda, Mau & Associates on behalf of Timothy M. and Debra K. Meyer, JRT, property owner, proposes to construct a single-family dwelling in a Low Density Residential (R1) District at 2825 Nicolet Drive. The applicant requests to deviate from the following requirements in Chapter 44, Green Bay Zoning Code, Section 44-385(e) waterway setback and Section 44-554, Table 44-2, front rear yard setback (Ald. B. Dorff, District 1).

BACKGROUND**RECOMMENDATION****FISCAL IMPACT****ATTACHMENTS**

1. Variance Application-Meyer parcel 22-136-signed
2. L-11740



ZONING & PLANNING BOARD OF APPEALS VARIANCE APPLICATION

PARCEL# 22-136
ZONE:R1 / DIST: 1
REC#
DATE 04/05/2022
MEETING: 04/18/22

APPLICATION DEADLINE: FIRST TUESDAY OF THE MONTH AT 12 NOON.

DATE: March 31, 2022	PROJECT #: 8X128X 108156	APPEAL #: x 22-012
APPLICANT INFORMATION:		
Name: Steven M. Bieda, agent for property owner		
Business Name: Mau & Associates, LLP		
Address: 400 Security Blvd		
City, State, Zip: Green Bay, WI 54313		
Phone: 920-434-9670		
Email: sbieda@mau-associates.com		
Property Owner Information (if different from above):		
Name: Timothy M. & Debra K. Meyer Joint Revocable Trust Dated September 11, 2015		
Business Name:		
Address: 2825 Nicolet Dr		
City, State, Zip: Green Bay, WI 54311		
Phone: 920-606-8501		
Email: 1debmeier@gmail.com		
PLEASE FILL OUT INFORMATION BELOW REGARDING THE PROPOSED DIMENSIONAL VARIANCE:		
Location/Address: 2825 Nicolet Dr, Green Bay, WI 54311		
Tax Parcel Number(s): 22-136		
Describe the Variance Request:		
The owners would like to build a new home on their parcel which is shoreland property. The 50 foot setback from the Ordinary High Water Mark (OHWM) and the front averaged setback of 23.3 feet limits the depth of what can be built.		
The current home has a detached garage with the driveway entirely in the right-of-way of Nicolet Drive. Parking in the driveway is a concern, as vehicles are very close to traffic. The owners would like to build a home with an attached garage, bring the driveway onto the parcel, and have parking further away from traffic, creating a safer road. To do this, we request a variance of 9 feet within the OHWM setback and a variance of 8.3 feet in the front setback.		

List ordinance(s) (number and description) the variance will be impacting (staff will assist with this).
Chapter 44-Zoning: Article V. General Regulations: Div. 4 -Protection of Natural Features: Sec. 44-385 (e) Waterway setback
Chapter 44-Zoning: Article VI.-Residential Districts: Div. 1 -General Provisions: Sec. 44-554 -Lot dimension and building bulk requirements
ALTERNATIVES:
Describe alternatives to your proposal, to include other locations, designs, construction techniques, etc.
An alternative would be design a smaller house
Alternatives that you considered that comply with existing regulations:
Tried reconfiguring the house layout.
Reasons for not pursuing the alternative(s) listed above:
A conventional size house does not fit in the buildable area.
The house will be the owner's forever home, and aging in place requires space.
Also, with the recent passing of Deb's father and the consideration of Deb's mother taking residence with them, a smaller home would not be adequate.
THREE STEP TEST - To qualify for a variance, the applicant must demonstrate that their property meets the following three (3) requirements:
Does unique physical characteristics of your property prevent the compliance with the ordinance? Explain
The setbacks as they exist and the angles of the lot limit the size of house to include a garage.

Would granting the variance be contrary to the public interest? Explain.

No, as there are many properties along Nicolet Drive that have buildings in the setbacks, and this would be no different.

Why would not getting the variance unreasonably prevent you from using the property for a permitted purpose (leaving the property owner without any use that is permitted for the property) or would render conformity with such restrictions unnecessarily burdensome?

No, but a smaller home will not be adequate if a parent of the owners moves in as stated above.

I HEREBY CERTIFY THAT I HAVE READ AND FULLY UNDERSTAND THE VARIANCE PROCEDURE AND FAILURE TO COMPLY WITH CITY REQUIREMENTS WILL RESULT IN THIS APPLICATION BEING WITHHELD FROM CONSIDERATION BY THE ZONING BOARD OF APPEALS.

Signature of the Property Owner

Signature of Applicant (working as "Agent" for owner)

Print Name:

Print Name:

Date

Date

OFFICE USE ONLY:		Parcel#	Residential \$75	Commercial \$150
District:	Zoning:	Meeting Date:	Receipt #:	
Submittal Date:	Staff Signature:			



EXHIBIT A

Part of Government Lot 3 of Section 14, T24N-R21E, City of Green Bay, Brown County, Wisconsin

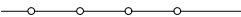
EXISTING CONDITIONS: 2825 Nicolet Drive

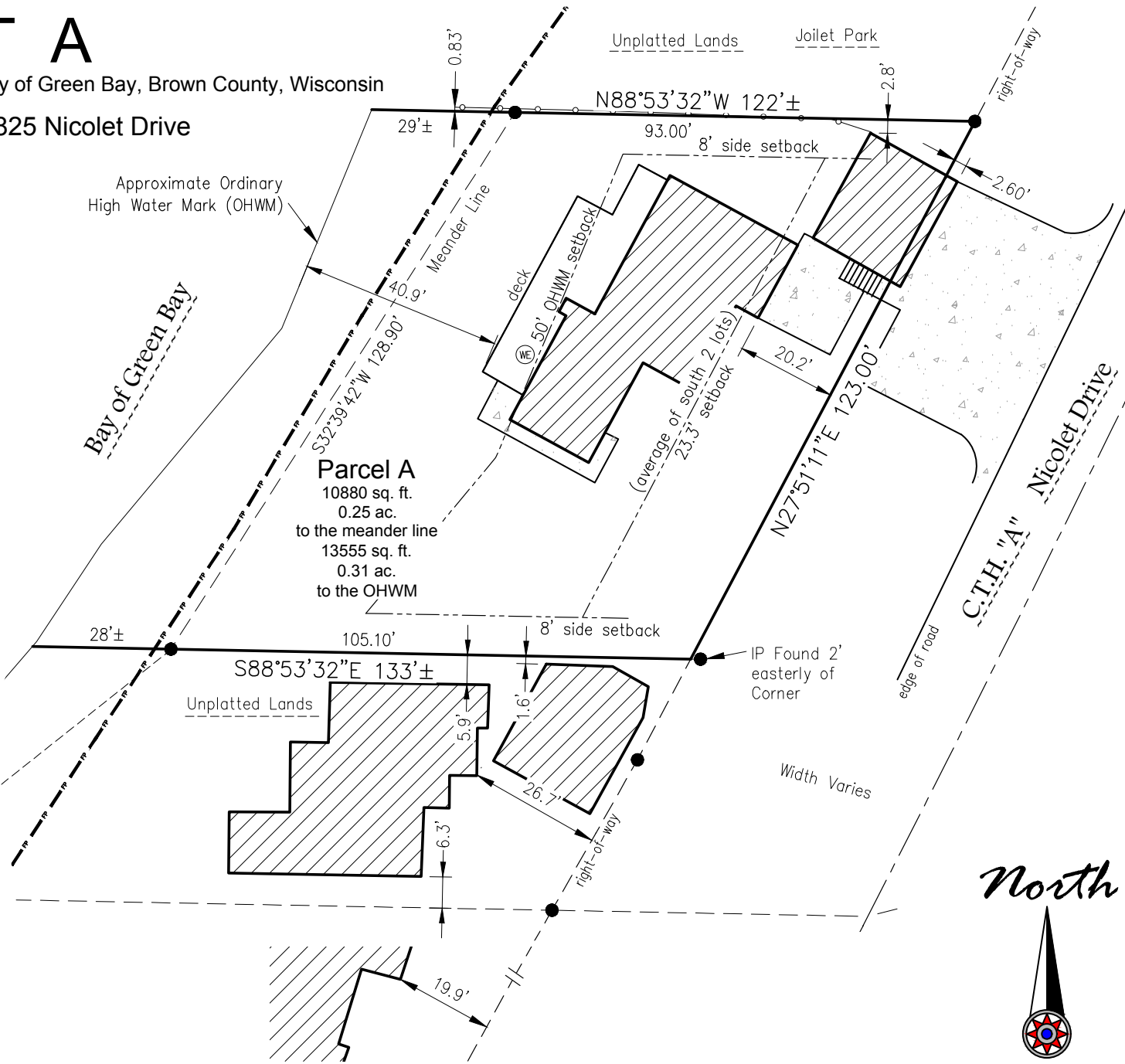
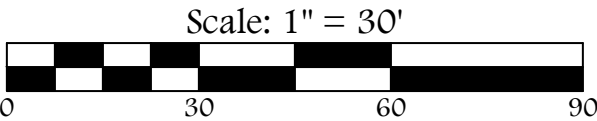
IMPERVIOUS AREA

SIDEWALKS	465 SQ. FT.
DECK	548 SQ. FT.
HOUSE	1401 SQ. FT.
GARAGE	488 SQ. FT.
TOTAL	2902 SQ. FT. (21.4%)

DRIVEWAY IN R/W 1590 SQ. FT.
DECK & CONCRETE
IN OHWM SETBACK 344 SQ. FT.

Legend

- 1" iron pipe found
-  existing building
-  concrete
-  floodplain limits
-  fence line
-  well



Client: Debra Meyer
Tax Parcel: 22-136
Drafted By: BAB
File: B-12991Exhibit 033022.dwg
Data File: B-12991.txt

Mau & Associates, LLP
LAND SURVEYING & PLANNING
CIVIL & WATER RESOURCE ENGINEERING
Phone: 920-434-9670 Website: www.mau-associates.com
400 Security Blvd Ste 1, Green Bay, WI 54313-9712

Sheet One of Two
Project No.: B-12991
Drawing No.: L-11740
Fieldwork Completed: 11/15/2021



EXHIBIT B

Part of Government Lot 3 of Section 14, T24N-R21E, City of Green Bay, Brown County, Wisconsin

PROPOSED CONDITIONS: 2825 Nicolet Drive

IMPERVIOUS AREA

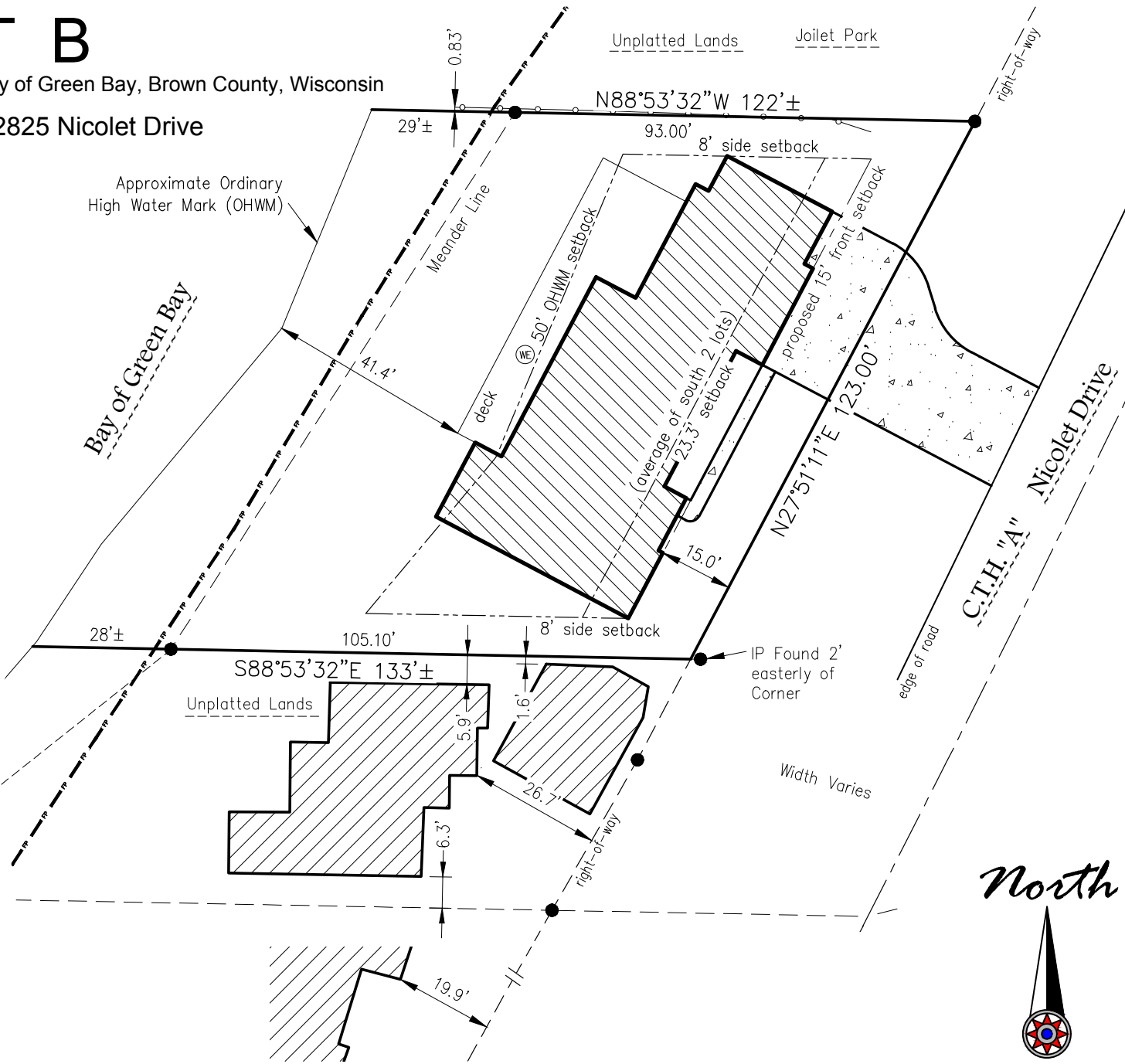
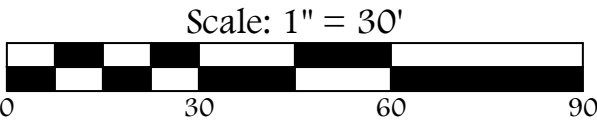
SIDEWALK	108 SQ. FT.
DECK	828 SQ. FT.
HOUSE	3046 SQ. FT.
DRIVEWAY	534 SQ. FT.
TOTAL	4516 SQ. FT.
	(33.3%)

DRIVEWAY IN R/W 922 SQ. FT.

DECK & BUILDING
IN OHWM SETBACK 452 SQ. FT.

Legend

- 1" iron pipe found
- existing building
- proposed building
- proposed concrete
- floodplain limits
- fence line
- well



Client: Debra Meyer
Tax Parcel: 22-136
Drafted By: BAB
File: B-12991Exhibit 033022.dwg
Data File: B-12991.txt

Mau & Associates, LLP
LAND SURVEYING & PLANNING
CIVIL & WATER RESOURCE ENGINEERING
Phone: 920-434-9670 Website: www.mau-associates.com
400 Security Blvd Ste 1, Green Bay, WI 54313-9712

Sheet Two of Two
Project No.: B-12991
Drawing No.: L-11740
Fieldwork Completed: 11/15/2021



Report to the
Zoning & Planning Board of Appeals
of the City of Green Bay

MEETING DATE

April 18, 2022

PREPARED BY

Paul Neumeyer, Staff

AGENDA ITEM # E.4

(Appeal 21-013) Brandon Wegner, Mach IV, Engineering and Surveying, on behalf of Belinda Dow and Jennifer Dryer, property owners, proposes to construct single-family dwelling within the AE/AO District of the 100-year floodplain and Low Density Residential (R1) District at 2747 East Shore Drive. The applicant requests to deviate from the following requirement in Chapter 44, Green Bay Zoning Code, Section 44-1193(1)(a) fill requirement around the structure (Ald. K. Lefebvre, District 6).

BACKGROUND**RECOMMENDATION****FISCAL IMPACT****ATTACHMENTS**

1. Variance Application
2. 1837-02-22 ENG SITE PLAN



APPLICATION DEADLINE: FIRST TUESDAY OF THE MONTH AT 12 NOON.

[illegible]

List ordinance(s) (number and description) the variance will be impacting (staff will assist with this).

Sec. 44-1193(1)a. Fill elevation of one foot or more above regional flood elevations extending at least 15 feet beyond the limits of the structure.

ALTERNATIVES:

Describe alternatives to your proposal, to include other locations, designs, construction techniques, etc.

A possible alternative would be a house plan only 20 feet in width.

Alternatives that you considered that comply with existing regulations:

NA.

Reasons for not pursuing the alternative(s) listed above:

A house design of 20 feet in width would not be practical.

THREE STEP TEST - To qualify for a variance, the applicant must demonstrate that their property meets the following three (3) requirements:

Does unique physical characteristics of your property prevent the compliance with the ordinance? Explain

The lot being 50' wide does not allow for a practical size house to be built since the property is in the flood plain and would require 15' of fill one foot above the regional flood elevation on each side of the house.

Would granting the variance be contrary to the public interest? Explain.
No it would not. It appears the neighboring houses are all tight to the side property lines which is common in this area with the smaller lot widths.
Why would not getting the variance unreasonably prevent you from using the property for a permitted purpose (leaving the property owner without any use that is permitted for the property) or would render conformity with such restrictions unnecessarily burdensome?
Not getting the variance would render the lot unbuildable.

I HEREBY CERTIFY THAT I HAVE READ AND FULLY UNDERSTAND THE VARIANCE PROCEDURE AND FAILURE TO COMPLY WITH CITY REQUIREMENTS WILL RESULT IN THIS APPLICATION BEING WITHHELD FROM CONSIDERATION BY THE ZONING BOARD OF APPEALS.

Jennifer Dryer
Signature of the Property Owner

Brandon Wegner
Signature of Applicant (working as "Agent" for owner)

Jennifer Dryer
Print Name:

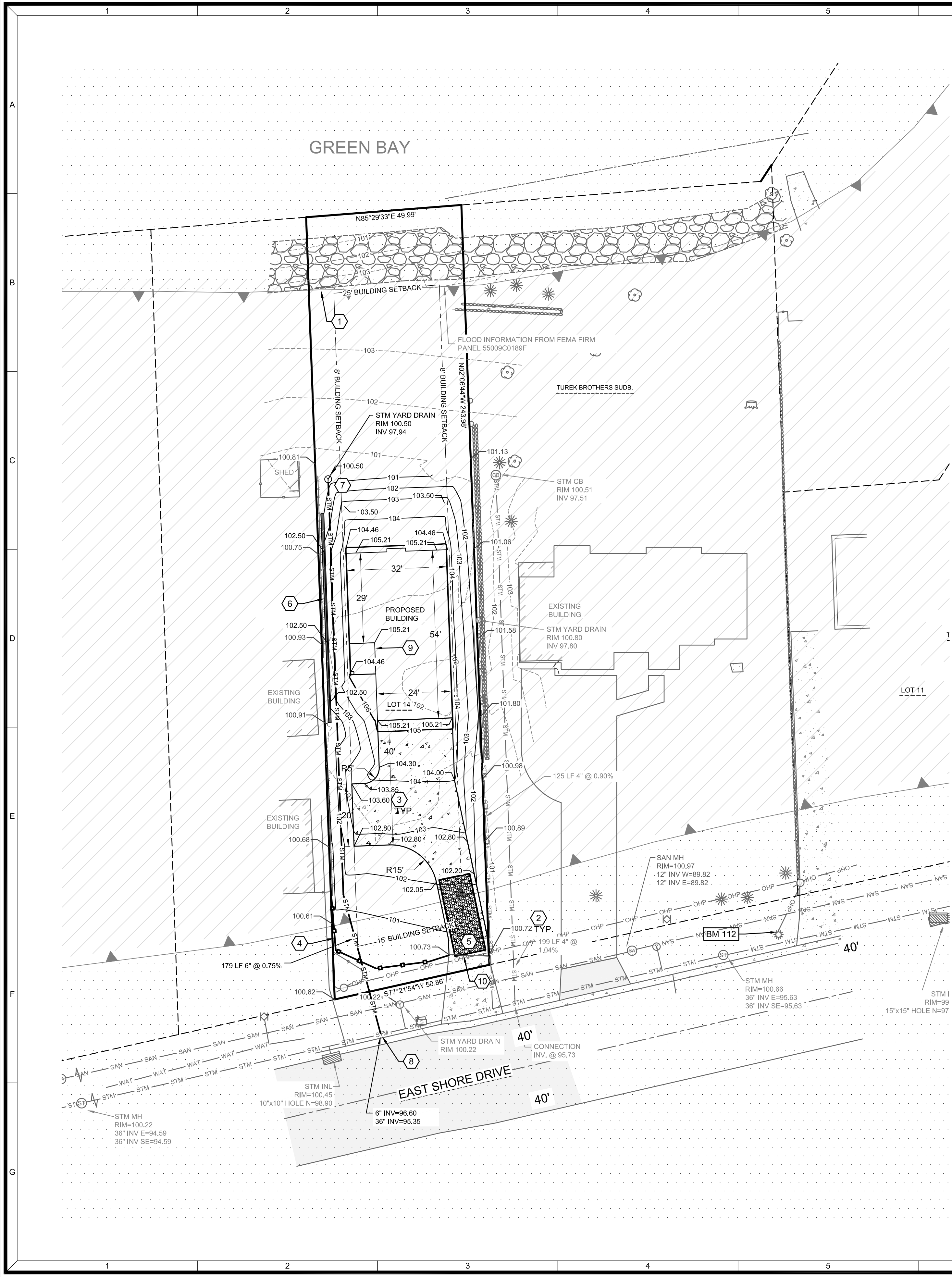
Brandon Wegner
Print Name:

4-4-22
Date

4-4-22
Date

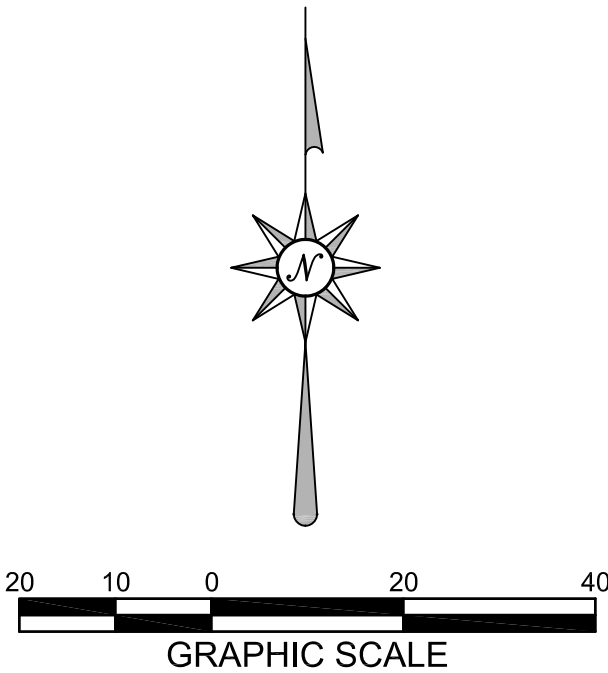
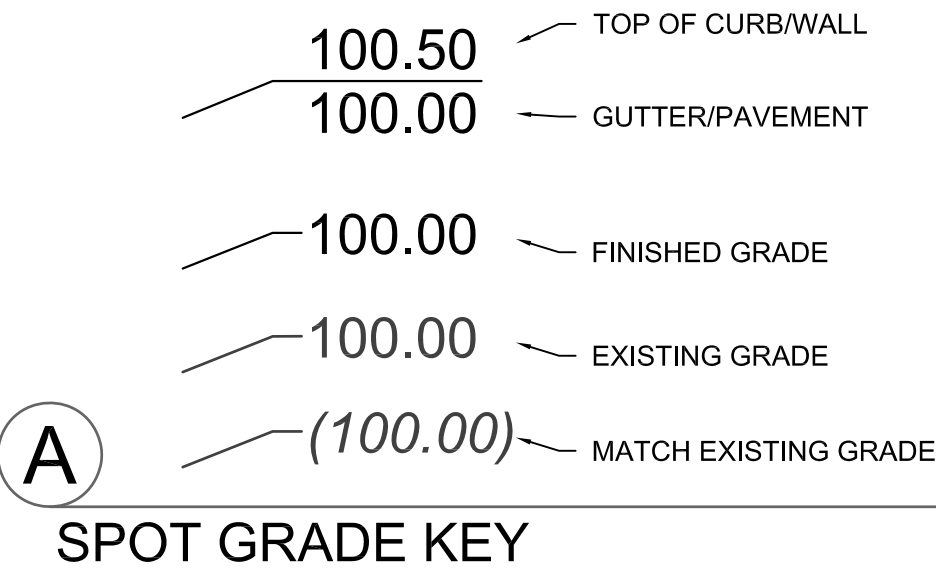
OFFICE USE ONLY:	Parcel# 21-1162	Residential \$75 _____ Commercial \$150 _____
District: 6 Zoning: R1	Meeting Date: 04/18/22	Receipt #:
Submittal Date:	Staff Signature:	

R:\Jobs\1837-02-22 2747 East Shore Drive - Jen Dyer\DRAWINGS\1837-02-22 ENG.dwg 4/5/2022 11:57:06 AM



SHEET KEY NOTES:

- 1 FEMA FLOODPLAIN (FIRM 55009C0189F, ZONE AO, BASE FLOOD ELEVATION 102.21)
- 2 EXISTING SPOT GRADE; SEE DETAIL A THIS SHEET
- 3 PROPOSED SPOT GRADE; SEE DETAIL A THIS SHEET
- 4 SILT FENCE
- 5 STONE TRACKING PAD
- 6 RETAINING WALL
- 7 YARD DRAIN
- 8 CONNECT TO STORM SEWER PER CITY OF GREEN BAY STANDARDS
- 9 PROPOSED BUILDING. LOW OPENING ELEVATION = 105.21. REFER TO ARCHITECTURAL PLANS.
- 10 MATCH DRIVEWAY AT EXISTING CONCRETE APRON



DIGGERS HOTLINE

CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

WISCONSIN STATUTE 182.0175 (1974) REQUIRES MIN. 3
WORK DAYS NOTICE BEFORE YOU EXCAVATE

THE LOCATIONS OF THE EXISTING UTILITY INSTALLATIONS
AS SHOWN ON THE PLANS ARE APPROXIMATE. THERE
MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS
WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

DOW-DRYER RESIDENCE

2747 EAST SHORE DRIVE

SITE PLAN

REVISION DESCRIPTION	
NO.	
DATE:	APRIL 5, 2022
DRAFTED BY:	JSH
CHECKED BY:	BU
PROJECT NO.:	1837-02-22
DRAWING NUMBER	
SHEET NUMBER	
C1.0	
OF 1	



Report to the
Zoning & Planning Board of Appeals
of the City of Green Bay

MEETING DATE

April 18, 2022

PREPARED BY

Paul Neumeyer, Staff

AGENDA ITEM # E.5

(Appeal 22-014) Jon LeRoy, Mau & Associates, on behalf of Chad Roffers, Chad Roffers Trucking, property owner, proposes to construct a single-family home in a Low Density Residential (RI) District at 1882 Taylor Street. The applicant requests to deviate from the following requirement in Chapter 44, Green Bay Zoning Code, Section 44-554, Notes b, width of a residence (Ald. M. Steuer, District 10).

BACKGROUND**RECOMMENDATION****FISCAL IMPACT****ATTACHMENTS**

- I. New Variance Request Gary and Taylor April 2022

ZONING & PLANNING BOARD OF APPEALS VARIANCE APPLICATION

APPLICATION DEADLINE: FIRST TUESDAY OF THE MONTH AT 12 NOON.

[illegible]

List ordinance(s) (number and description) the variance will be impacting (staff will assist with this).

See Attached Text

ALTERNATIVES:

Describe alternatives to your proposal, to include other locations, designs, construction techniques, etc.

See Attached Text

Alternatives that you considered that comply with existing regulations:

See Attached Text

Reasons for not pursuing the alternative(s) listed above:

See Attached Text

THREE STEP TEST - To qualify for a variance, the applicant must demonstrate that their property meets the following three (3) requirements:

Does unique physical characteristics of your property prevent the compliance with the ordinance? Explain

See Attached Text

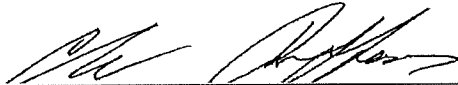
Would granting the variance be contrary to the public interest? Explain.

See Attached Text

Why would not getting the variance unreasonably prevent you from using the property for a permitted purpose (leaving the property owner without any use that is permitted for the property) or would render conformity with such restrictions unnecessarily burdensome?

See Attached Text

I HEREBY CERTIFY THAT I HAVE READ AND FULLY UNDERSTAND THE VARIANCE PROCEDURE AND FAILURE TO COMPLY WITH CITY REQUIREMENTS WILL RESULT IN THIS APPLICATION BEING WITHHELD FROM CONSIDERATION BY THE ZONING BOARD OF APPEALS.


Signature of the Property Owner

Chad Roffers

Print Name:

Date

4-5-22


Signature of Applicant (working as "Agent" for owner)

Jonathon LeRoy

Print Name:

Date

4-7-22

OFFICE USE ONLY:	Parcel# 6-2114	Residential \$75 _____ Commercial \$150 _____
District: 10 Zoning: R1	Meeting Date: 04/18/2022	Receipt #:
Submittal Date: 04/05/2022	Staff Signature:	

1882 Gary Lane

Variance Request

Parcel 6-2114

April 5, 2022

Describe Reason for Variance

Please find the following written narrative and supporting documents as a request for a variance request at part of the existing parcel 6-2114 at 1882 Gary Lane for the purpose of constructing a single-family home.

Chad Roffers (property owner and developer) is seeking to develop the vacant lot site to create a single-story residential building

A site plan review was submitted to the city in February. That site plan was input knowing a variance would be needed for this lot. This board met in March to discuss a 2 story building requesting a variance to allow for a 4.5 setback. That request was denied. In response, Mr. Roffers has revised plans to better suit the existing conditions of the neighborhood. The neighborhood is primarily single-family homes and all have established 6 foot minimum sideyard setbacks. With this in mind, a new request is being submitted to allow for a single-family home which will total 20 feet wide and not meet the minimum standard for building width.

The following items have been attached

Buildable footprint exhibit

Conceptual image of the building exterior

Conceptual first floor and basement

List ordinances the variance will be impacting

Sec 44-554 R-1 Note b

The minimum building width on any side shall be at least 22 feet, not including entryways or other structures which do not run the full length of the building.

ALTERNATIVES

Describe alternatives to your proposal

As noted, this board saw an alternative which met the 22-foot width regulation, however it did not meet sideyard standards. If a building were to be built at 22 feet wide, a sideyard regulation would need to be varied due to the limitations placed by the utility easement running along Taylor Street on the property.

Alternatives that you considered that comply with existing regulations

Setbacks:

Due to the size of the lot, no house design is available which would meet all codes. The utility lines on site limits the buildable area. The lot itself meets size regulations. The amount of buildable area available on the parcel meets standards. However, a single-story home must have a six-foot setback. This plan will comply, but will leave a 2-foot gap which does not meet the 22-foot minimum house width. This variance requests relief to allow for a 20-foot-wide home

Safety:

With setbacks for the house remaining a typical distance for single family homes and the minimum required distance away from the utility lines to the west; this property will meet established distance standards away from other structures.

Building Size:

The building size is somewhat small and is not ordinary, but it meets minimum size requirements. The house will have a footprint of up to 70 feet deep by 20 feet wide. This can allow for a one to two stall garage within the building and living area behind the garage. With a planned finished basement, overall living space for the building will likely total around 1500 square feet.

THREE STEP TEST

Does unique physical characteristics of your property prevent the compliance with the ordinance?

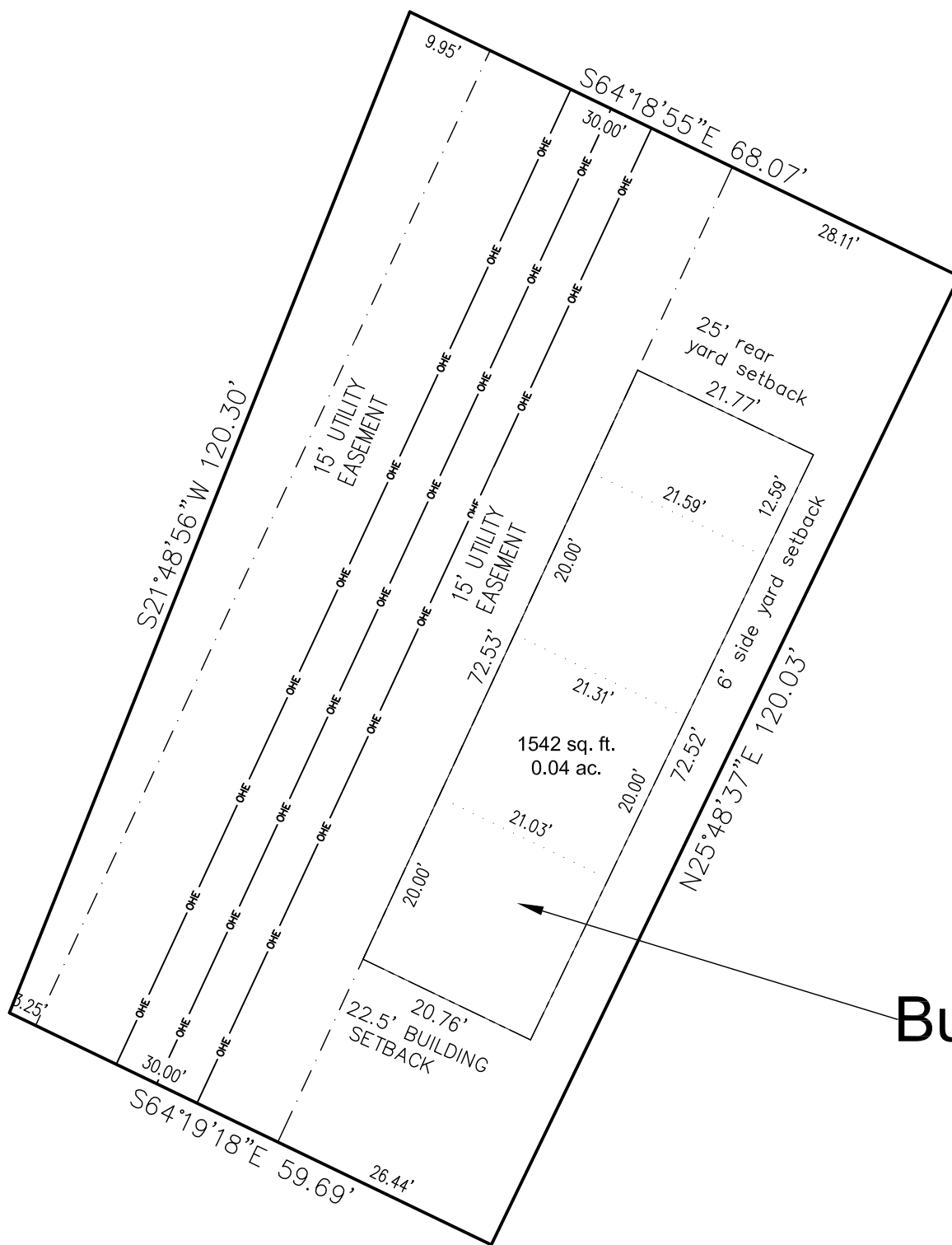
Yes, while the size of the lot and buildable area meet standards, the utility easement along the west side of the property limits building placement. This means a narrow building is the only option for the site. To the north, a very similar building is currently under construction. That home and lot are very similar, but thanks to a slightly wider lot, the building to the north is being constructed at 22.5 feet wide, rather than 20 feet and did not require a variance.

Would granting the variance be contrary to the public interest?

No. As noted, the home directly to the north is very similar in function. Difference being, it is 2.5 feet wider to meet the minimum threshold. This home provided an opportunity for a new home build on the site which can offer the eventual owner a new residence which can offer a new home build which is comparable to other smaller new home builds. Amenities such as a large yard, finished basement, and attached garage will be a component of the building.

Why would not getting the variance unreasonably prevent you from using the property for permitted use?

Due to the restrictions of the powerline utility on the site, the building footprint requires a variance in some shape or form. Initially, Roffers sought a variance for relief of sideyard setback to offer a slightly wider home. That request was denied. The only other potential pathway to build on the site is relief from subsection b. This request is not building a narrower home for the sake of building a narrower home. This is the final option for the site. The developer believes after feedback from the Board of Appeals March meeting, this request best suits neighborhood dynamics and allows for development of an R1 parcel.



Buildable area





Report to the
Zoning & Planning Board of Appeals
of the City of Green Bay

MEETING DATE

April 18, 2022

PREPARED BY

Paul Neumeyer, Staff

AGENDA ITEM # E.6

(Appeal 22-015) Matthew Motiff, property owner, proposes to expand an attached garage of a single-family home in a Low Density Residential (R1) District at 3176 Open Gate Trail. The applicant requests to deviate from the following requirement in Chapter 44, Green Bay Zoning Code, Section 44-554, Table 44-2, side rear yard setback (Ald. J. Brunette, District 12).

BACKGROUND**RECOMMENDATION****FISCAL IMPACT****ATTACHMENTS**

1. Variance_Application_3176_Open_Gate
2. 3176OpenGateTrailR4-A1.0
3. 3176OpenGateTrailR4-C1.0



City of Green Bay
Department of Community and Economic Development

Dear Applicant:

RE: Zoning Board of Appeals Variance Application Packet

In this packet you will find a variance application and the standards by which the Zoning Board of Appeals (ZBA) will base their decision. You must complete the application fully, submit all material requested with the application, and specifically address how the project meets the variance standards.

A variance is a relaxation of a standard from the zoning ordinance, Chapter 13, Green Bay Municipal Code. Typically, variances are requested when development of property is inconsistent with zoning codes. The ZBA has the power to hear and decide appeals where it is alleged there is an error in any order, requirement, decision or determination made by an administrative official in the enforcement of the city's zoning code.

The ZBA is a quasi-judicial body that functions much like a court. The ZBA's job is not to compromise ordinance provisions for a property owner's convenience, but to apply legal criteria provided in state laws, court decisions, and the local ordinance to a specific fact situation. Variances are meant to be an infrequent remedy where an ordinance imposes a unique and substantial burden.

IMPORTANT – The ZBA reviews variance requests against adopted standards. The ZBA has the power to grant variances when special conditions unique to a property will not allow the property owner to meet the dimensional standards of the ordinance. A quality submittal should specifically address each standard and be prepared in consideration of these standards. The variance standards may be found on the following pages of this document. To be granted a variance, the property owner must show **unnecessary hardship, unique property limitation and protection of public interest (see Part 3 of this packet for further details)**. The ZBA must uphold the intent of the zoning ordinance and deliver substantial justice through its decision.

It is strongly encouraged that you contact our office to discuss your project before you intend to apply for a variance. Please contact me if you have any questions or concerns about the materials provided in this packet or any other aspect of the City's appeal process.

Sincerely,

Paul Neumeyer
Zoning Administrator
Phone: (920) 448-3405
Email: Paul.Neumeyer@greenbaywi.gov

ZONING & PLANNING BOARD OF APPEALS VARIANCE APPLICATION

APPLICATION DEADLINE: FIRST TUESDAY OF THE MONTH AT 12 NOON.

[illegible]

List ordinance(s) (number and description) the variance will be impacting (staff will assist with this).

I 3-604 - Lot dimension and building bulk requirements (R-I Classification)

ALTERNATIVES:

Describe alternatives to your proposal, to include other locations, designs, construction techniques, etc.

- Extending the existing garage to the to the north/rear
- Build a detached garage or shed to the north of the current structures
- Expand the garage to the east within the setback limitations

Alternatives that you considered that comply with existing regulations:

- Extending the existing garage to the to the north/rear
- Build a detached garage or shed to the north of the current structures
- Expand the garage to the east within the setback limitations

Reasons for not pursuing the alternative(s) listed above:

- There is a hill and retaining wall to the north of the existing house/garage. Building in that direction would require excavation of the hill, additional deforestation, and disruption to the natural water drainage patterns of the area.
- Anything built on the north end of the lot would not be accessible by vehicle and the area where such a structure could be built is part of the natural drainage path for the broader area to the north
- Building within the 8' setback wouldn't allow for a garage door wide enough to accommodate a vehicle.

THREE STEP TEST - To qualify for a variance, the applicant must demonstrate that their property meets the following three (3) requirements:

Does unique physical characteristics of your property prevent the compliance with the ordinance? Explain

My lot is narrow and deep. There isn't room for development on the west side of the existing structures and there is a hill immediately behind the house with a retaining wall that goes up the further you head east and prevents any vehicle access to the north of the property. Half of the green space is forested with the remaining cleared area at the far north of the lot having a natural drainage slough that runs directly through it NE to SW.

Would granting the variance be contrary to the public interest? Explain.
No. The look and feel of the proposed expansion will match that of the existing structure. The addition of a garage stall will add value to the property and therefore increase tax revenue and raise the average home values in the area.
While this expansion does exceed the setback for a 2 story home in an R-I district, it doesn't exceed the setback for a single story home in R-I so the spacing between structures would not be abnormal for an R-I district. Having the additional garage space will also prevent vehicles and equipment from having to be parked outside and being an eyesore. I've discussed the project with my adjacent and crossed street neighbors, all of whom have stated that they don't have an issue with the proposed changes.
Why would not getting the variance unreasonably prevent you from using the property for a permitted purpose (leaving the property owner without any use that is permitted for the property) or would render conformity with such restrictions unnecessarily burdensome?
The garage space is needed to store the equipment necessary to maintain the large lot and to have space for maintaining and repairing this equipment in addition to storing personal vehicles and recreational equipment inside.

I HEREBY CERTIFY THAT I HAVE READ AND FULLY UNDERSTAND THE VARIANCE PROCEDURE AND FAILURE TO COMPLY WITH CITY REQUIREMENTS WILL RESULT IN THIS APPLICATION BEING WITHHELD FROM CONSIDERATION BY THE ZONING BOARD OF APPEALS.

Matthew Motiff
Signature of the Property Owner

Signature of Applicant (working as "Agent" for owner)

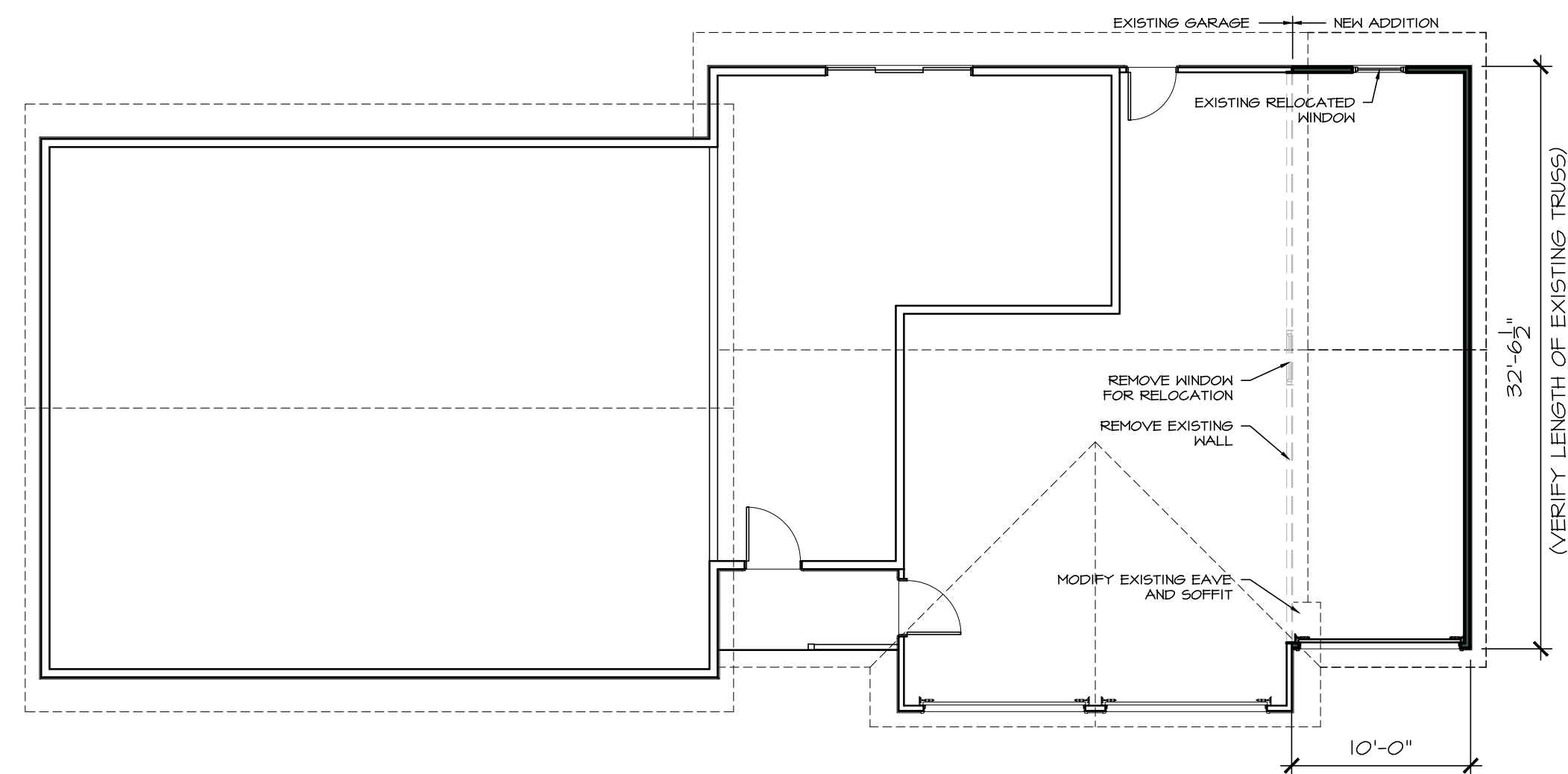
Matthew Motiff
Print Name:

Print Name:

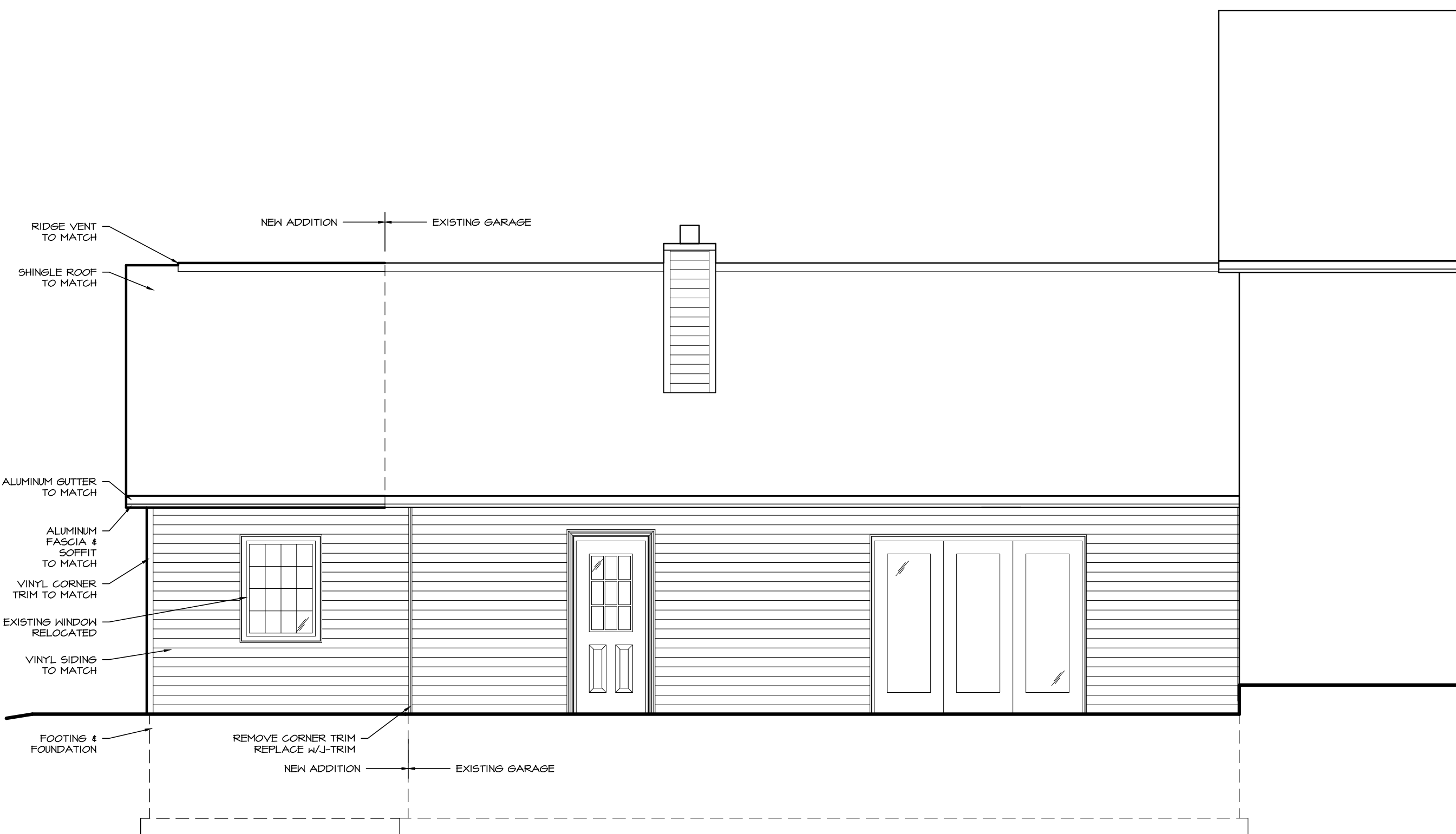
4/5/2022
Date

Date

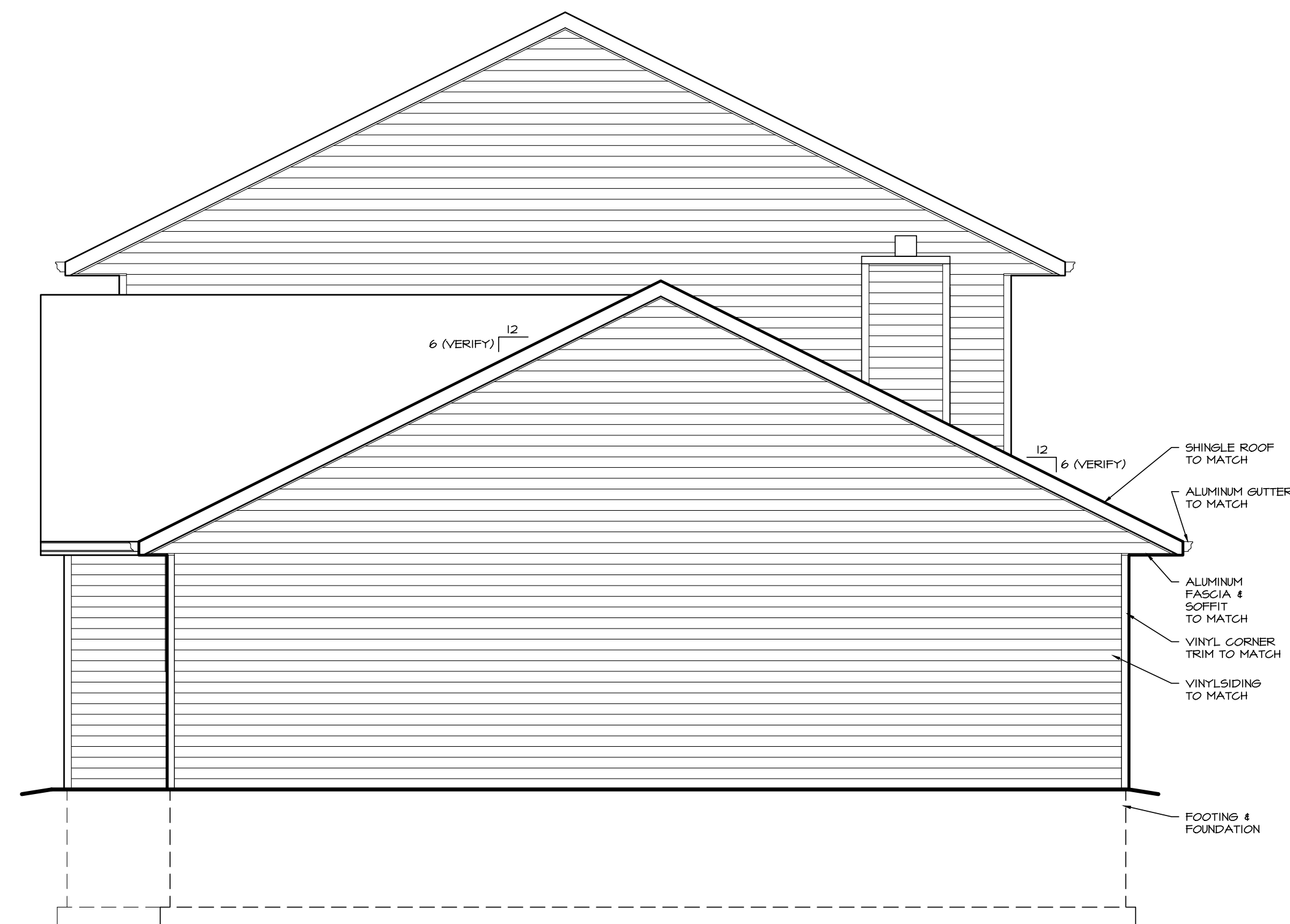
OFFICE USE ONLY:	Parcel#	Residential \$75 ____	Commercial \$150 ____
District:	Zoning:	Meeting Date:	Receipt #:
Submittal Date:	Staff Signature:		



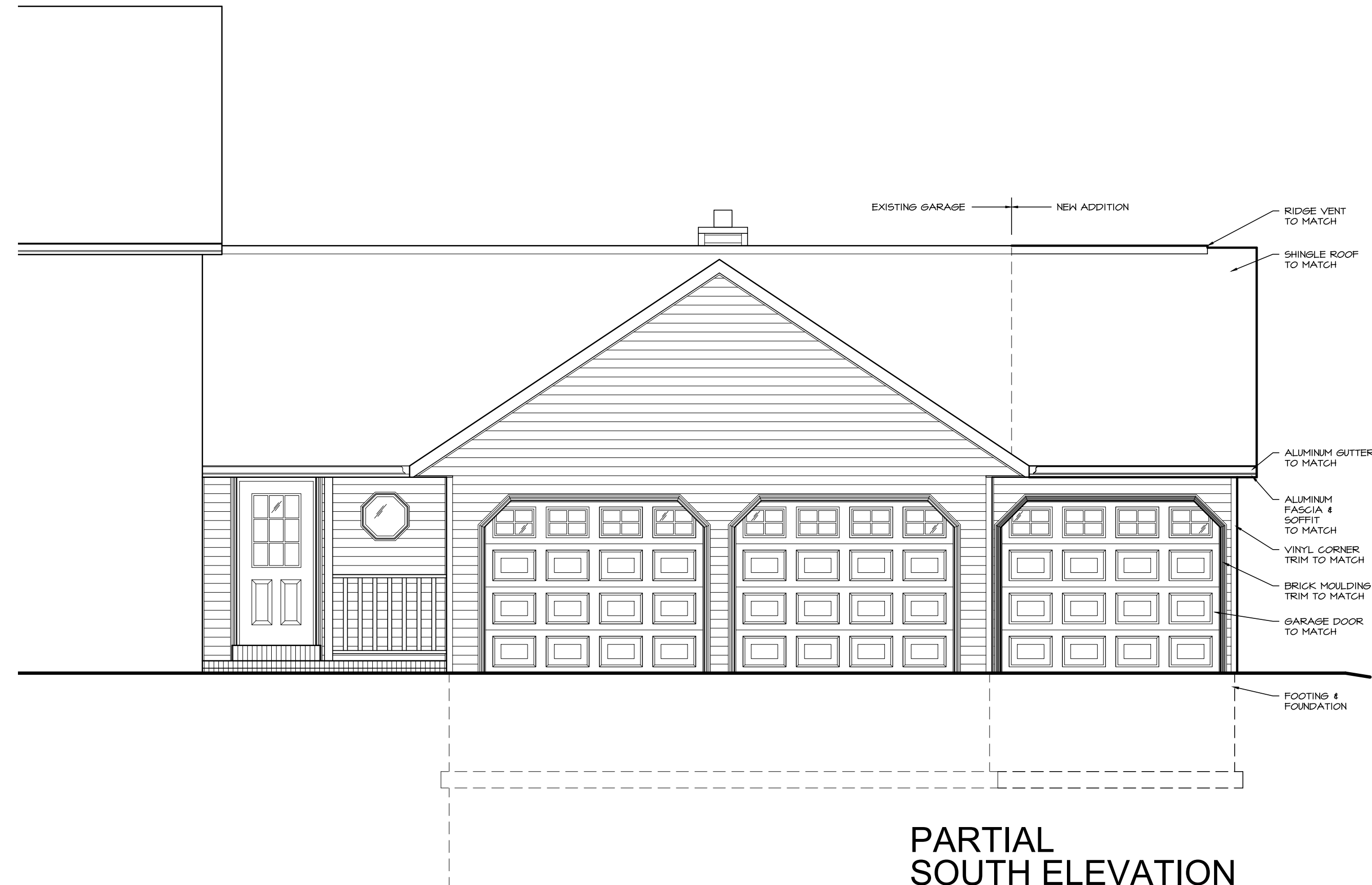
FLOOR PLAN
SCALE: 1/8"=1'-0"



PARTIAL NORTH ELEVATION
SCALE: 1/4"=1'-0"



EAST ELEVATION
SCALE: 1/4"=1'-0"



PARTIAL SOUTH ELEVATION
SCALE: 1/4"=1'-0"

REVISIONS	
NO.	DATE
1	01.10.22
2	03.08.22
3	03.26.22

PROPOSED ADDITION FOR -- 3176 OPEN GATE TRAIL GREEN BAY, WISCONSIN

SHEET INDEX

SHEET	SHEET TITLE
C1.0	SITE PLAN, SHEET INDEX, NOTES
A1.0	FLOOR PLAN, ELEVATIONS

PROJECT INFORMATION

CONSTRUCTION CLASSIFICATION
WOOD FRAME UNPROTECTED

OCCUPANCY
WISCONSIN SPS CHAPTER 320-325

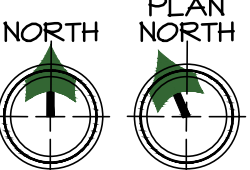
ZONING
R1-LOW DENSITY RESIDENTIAL

LOT COVERAGE
EXISTING RESIDENCE FOOTPRINT 1,597 SF
EXISTING GARAGE FOOTPRINT 615 SF
ADDITIONAL GARAGE FOOTPRINT 323 SF
EXISTING PORCH FOOTPRINT 46 SF
TOTAL BUILDING FOOTPRINT 2,581 SF

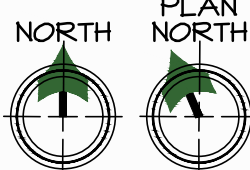
LOT SIZE 25,251 SF

GENERAL NOTES

- THE PLANS AND SPECIFICATIONS ARE INTENDED AS A DESIGN/BUILD TOOL TO PROVIDE A DESCRIPTION OF THE WORK. AS SUCH IT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO ADHERE TO THESE DOCUMENTS AND TO MEET ALL APPLICABLE CODES. WHERE DETAILS ARE NOT SHOWN IT IS THE OWNER/CONTRACTORS RESPONSIBILITY TO APPLY INDUSTRY STANDARD CONSTRUCTION PRACTICES TO MEET ALL APPLICABLE CODES.
- ALL DIMENSIONS ARE APPROXIMATIONS BASED ON AERIAL PHOTOGRAPHY. ALL DIMENSIONS ARE FROM FINISH FACE AND FOR REFERENCE ONLY. ALL CONTRACTORS & SUPPLIERS WILL BE RESPONSIBLE FOR FIELD VERIFICATION PRIOR TO ORDERING OR MANUFACTURING THEIR PRODUCT.



PROPERTY PLAN
SCALE: 1"=60'-0"



SITE PLAN
SCALE: 1"=10'-0"



PRELIMINARY PLAN NOTICE
THIS DESIGN IS FOR PRELIMINARY PLANNING ONLY. IT IS NOT INTENDED AS A GUIDE FOR CONSTRUCTION. THEREFORE, NO WARRANTY OF ACCURACY OR LIABILITY IS GIVEN.
COPYRIGHT NOTICE
ALL RIGHTS RESERVED. NO PART OF THIS DESIGN MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE EXPRESS WRITTEN CONSENT OF N.A. LLC.

SITE PLAN, INDEX, NOTES

PROPOSED ADDITION FOR
3176 OPEN GATE TRAIL
GREEN BAY, WISCONSIN

NO.	DATE
1	01.10.22
2	03.08.22
3	03.26.22

DRAWN BY
--RGL--
PROJECT NO.
410-021
DATE
10.27.2021
SHEET
C1.0
1 OF 2

Appeal #	Zoning District	Code(s)	CODE DESCRIPTION	ADDRESS	PARCEL #	COMMENTS	District	Historic District	Floodplain
1st Quarter									
January, 17 2022									
21-040	R1	44-358(3)	SETBACK ENCROACHMENT	508 VICTORIA ST	21-2442	01/17/22 - GRANTED AS REQUESTED ** HELD OVER FROM 12/20/2021	4	N	N
22-01	RR	44-554 TABLE 44-2	SIDE YARD SETBACK	1420 S HURON RD	21-183	GRANTED AS REQUESTED	2	N	ZONE A
22-02	C1	44-720 TABLE 44-9	FLOOR AREA RATIO	1616 W MASON ST	6-149	GRANTED AS REQUESTED	11	N	N
February 21, 2022									
22-03	R1	44-590 TABLE 44-4	CORNER SIDE YARD SETBACK	3526 BLACKWOLF RUN	22-1855	GRANTED AS REQUESTED	1	N	N
22-04	R1	44-450(1)	FRONT YARD FENCE HEIGHT	430 FAIRVIEW CT	5-1602	GRANTED AS REQUESTED	10	N	N
March 21, 2022									
22-05	BP	44-469(8)	REINSTATE TEMP TRAILER	1830 RADISSON ST	21-1186	GRANTED AS REQUESTED FOR 18 MONTHS WITH STIPULATIONTHE PETITIONER CHECKS WITH STAFF EVERY SIX MONTHS TO DETERMINE THE PROGRESS ON OBTAINING A PERMANENT STRUCTURE	6	N	ZONE AE
22-06	R1	44-554 TABLE 44-2	SIDE REAR YARD SETBACK	1882 GARY LANE	6-2114	DENIED AS REQUESTED	10	N	N
22-07	R1	44-1580 44-554 TABLE 44-2	SINGLE-FAMILY HOME DESIGN REAR YARD SETBACK	1312 BIEMERET ST	6-850	GRANTED AS REQUESTED	8	N	N
22-08	R1	44-590(b)(2) 44-1746(2)(C)	SIZE OF ACCESSORY STRUCTURE PARKING FOR SINGLE AND 2-FAMILY USES	425 MANCHESTER	6-2690	TABLED UNTIL NEXT SCHEDULED BOA MEETING	10	N	N
22-09	R1	44-1746(3) 44-1746(2)(C) 44-1746(3)	DRIVEWAY WIDTH TAPER PARKING FOR SINGLE AND 2-FAMILY USES DRIVEWAY WIDTH TAPER	3007 BROOK PARK DR	21-3694	GRANTED AS REQUESTED AND APPROVAL TO RUN CONCURRENT WITH THE FAMILY'S OWNERSHIP.	1	N	N