



AGENDA OF THE GREEN BAY PLAN COMMISSION

MONDAY, NOVEMBER 7, 2022, 6:00 PM

**In person at City Hall, Room 604 - The Harry Maier Room.
Virtual attendance also available via Zoom.**

A. Zoom Meeting Information.

1. This item contains Zoom information, instructions, and a link to the Virtual Comment Form.

B. Roll Call.

1. Members: Lisa Hanson - Chair, Jacob Miller - Vice-Chair, Ald. Jim Hutchison, Sidney Bremer, Derius Daniels, Ken Rovinski, and Michael Poradek.

C. Approval of the Agenda.

1. Approval of the agenda for the November 7, 2022, meeting of the Green Bay Plan Commission.

D. Approval of Minutes.

1. Approval of the minutes from the October 24, 2022, meeting of the Green Bay Plan Commission.

E. Regular Business.

1. Communication from Alderperson Steuer (District 10) - Refer to staff to study and report on status of senior housing in the City of Green Bay.
2. (ZP 22-31) Public hearing on the request to establish a Planned Unit Development at 216 S Military Avenue to permit the development of multiple-family residential use, submitted by Gorman & Co., applicant, Henry Real Estate Development LLC, property owner. (Ald. Eck, District 11)
3. (ZP 22-31) Consideration with possible action on the request to establish a Planned Unit Development at 216 S Military Avenue to permit the development of multiple-family

residential use, submitted by Gorman & Co., applicant, Henry Real Estate Development LLC, property owner. (Ald. Eck, District 11)

4. (ZP 22-38) Public Hearing on a request for a Conditional Use Permit (CUP) to allow Automobile Salvage operations at 1330 Tomlin Street, submitted by Robert, Theodore & Eric Burrows, petitioner, Sal Bs Scrap Metals on Velp, LLC, Property Owner (Ald. Steuer, District 10).
5. (ZP 22-38) Consideration with possible action on the request for a Conditional Use Permit (CUP) to allow Automobile Salvage operations at 1330 Tomlin Street, submitted by Robert, Theodore & Eric Burrows, petitioner, Sal Bs Scrap Metals on Velp, LLC, Property Owner (Ald. Steuer, District 10).

F. Informational.

1. Director's Report.
2. Discussion regarding in-person and hybrid meetings.
3. Date of next meeting: November 28, 2022

G. Adjournment.

- 1) THIS MEETING IS RECORDED: THE VIDEO OF THIS MEETING AND MINUTES ARE AVAILABLE ONLINE AT www.greenbaywi.gov
- 2) ACCESSIBILITY: Any person wishing to attend who requires special accommodation because of a disability, should contact the City Safety Manager at 920-448-3125 at least 48 hours before the scheduled meeting time so that arrangements can be made.
- 3) QUORUM: Please take notice that a majority or quorum of the Common Council will attend this Plan Commission meeting and will constitute a meeting of the Common Council for purposes of discussion and information gathering relative to this agenda.
- 4) REPRESENTATION: The party requesting the communication, or their representative, should be present at this meeting.

Virtual Meeting Instructions



Plan Commission

Zoom Meeting Information

Join Zoom Meeting

<https://us02web.zoom.us/j/84137675822?pwd=L2EyVlpDSlZGZ1FjcmlpWnZlOEVnUT09>

Meeting ID: 841 3767 5822

Passcode: 483400

One tap mobile

+13126266799,,84137675822# US (Chicago)

+16468769923,,84137675822# US (New York)

Dial by your location

+1 312 626 6799 US (Chicago)

+1 646 876 9923 US (New York)

+1 301 715 8592 US (Washington DC)

+1 408 638 0968 US (San Jose)

+1 669 900 6833 US (San Jose)

+1 253 215 8782 US (Tacoma)

+1 346 248 7799 US (Houston)

Meeting ID: 841 3767 5822

Passcode: 483400

Find your local number: <https://us02web.zoom.us/j/kc8xd2MWP>

Public Comments

If you wish to speak at this public meeting or leave a comment, please fill out the online [Comment Form](#) prior to the meeting.

Additional Information

1. Wisconsin Open Meetings Law still applies
 - a. Persons interested in speaking to an item must state their name and address for the minutes.
 - b. Committee/Commission/Board members will still follow *Roberts Rules of Order Newly Revised 12th edition*.
2. Please log into the Zoom meeting at least 10 minutes before the meeting begins to ensure a proper connection and that your technology is working.
 - a. If you are a Board Member, please log into [CivicClerk](#) with a computer, laptop, or tablet device.
3. Once you are in the meeting please mute yourself.
 - a. You may unmute yourself when you are called upon to speak.
4. Waiting room
 - a. When you call in or connect via web or Zoom app, you will be placed in a “waiting room.”
 - b. The meeting host will then admit you to the meeting, and mute you upon entrance (you will still be able to hear and or otherwise observe the meeting).
5. Registering
 - a. The host may ask you to register for the meeting. A registration link will be sent to you along with the invite. You'll receive another email confirming that you're registered for the meeting.
 - b. If you're using a phone, your registration will be tied to an email.
6. Raising your hand
 - a. Committee/Commission/Board members—you can either use CivicClerk and request to speak or you can also utilize the “raise your hand” tool in the Zoom platform (you'd need to use a computer or tablet) to let the host know you would like to speak. You can also un-mute yourself and start speaking.
 - b. Persons with items on the agenda or other interested parties—you can also utilize the “raise your hand” tool on the Zoom platform via computer or mobile device. You will be allowed to speak once the committee, commission, or board has moved to “open the floor for interested parties to speak.” Once discussion on your agenda item has concluded, the host will mute you, unless the committee opens the floor again.
7. What devices should I use?
 - a. Smart phone (please see more detailed instructions on page 3)
 - b. Land line
 - c. Tablet—in advance of the meeting, please download the Zoom Meeting app by using either the Apple Store or the Play Store. You will be asked to input your name, to identify you for the meeting.
 - d. Computer—you can access the meeting through a web browser by clicking on the meeting link, or through the Zoom Meeting app. If using the app, please download it in advance of the meeting. You will be asked to input your name, to identify yourself for the meeting.
 - e. For tablet and computer users--if you download the app you may be asked to verify your email.

8. Zoom etiquette
 - a. Muting yourself when you're not speaking will prevent your background noise from interfering with others' ability to listen to and participate in the meeting.
 - b. If you're using a telephone, please identify yourself with your phone number and state your name and address before you speak. Zoom meeting hosts can see only your telephone number and will ask you to identify yourself.
9. Closed session
 - a. Persons in the Zoom meeting will be put into a waiting room while the committee/commission/board meets in Closed Session. Participants will be admitted back into the Zoom meeting once the committee reconvenes in Open Session.
 - b. Persons watching a Common Council meeting live on YouTube will see a gray screen with the City logo during closed session.
10. Persons interested in attending anonymously or listening to the meeting may call in by dialing *67 followed by the phone number in the Zoom Meeting Information box.

Calling into the Zoom meeting using a smartphone

1. Dial the phone number listed at the beginning of this document.
2. When prompted, enter the Meeting ID number followed by #
3. Once you are in the meeting, notify the meeting host that you are in and state your name.
4. If you do not wish to speak, please make sure your phone is on **Mute**
 - a. If you're using a smartphone, look at your screen and click the Mute button





Report to the Green Bay Plan Commission

MEETING DATE

November 7, 2022

PREPARED BY

David Buck, Staff

AGENDA ITEM # E.I

Communication from Alderperson Steuer (District 10) - Refer to staff to study and report on status of senior housing in the City of Green Bay.

BACKGROUND

RECOMMENDATION

Refer to Staff

FISCAL IMPACT

ATTACHMENTS

- I. 2022-10-20 Dist 10 to DCED re senior housing

From: noreply@civicplus.com
To: [Celestine Jeffreys](#)
Subject: Online Form Submittal: Alders' Petitions and Communications
Date: Thursday, October 20, 2022 8:37:39 AM

Alders' Petitions and Communications

Name	Mark Steuer
Committee Name	Plan Commission
Text of Communication	To refer to staff to study and report on the status of senior housing in the City of Green Bay.

Email not displaying correctly? [View it in your browser.](#)



Report to the Green Bay Plan Commission

MEETING DATE

November 7, 2022

PREPARED BY

Jon LeRoy, Zoning Administrator

AGENDA ITEM # E.2

(ZP 22-31) Public hearing on the request to establish a Planned Unit Development at 216 S Military Avenue to permit the development of multiple-family residential use, submitted by Gorman & Co., applicant, Henry Real Estate Development LLC, property owner. (Ald. Eck, District 11)

BACKGROUND

RECOMMENDATION

FISCAL IMPACT

ATTACHMENTS

None



Report to the Green Bay Plan Commission

MEETING DATE

November 7, 2022

PREPARED BY

Jon LeRoy, Zoning Administrator

AGENDA ITEM # E.3

(ZP 22-31) Consideration with possible action on the request to establish a Planned Unit Development at 216 S Military Avenue to permit the development of multiple-family residential use, submitted by Gorman & Co., applicant, Henry Real Estate Development LLC, property owner. (Ald. Eck, District 11)

BACKGROUND

Primary Address: Southwest corner of South Military Avenue and Leo Street

Aldersperson/District: Ald. Melinda Eck / District 11

Reason for Request: To permit the development of a 48-unit multi-family development on the site at 1.1069 acres at the southwest corner of South Military Avenue and Leo.

Surrounding Zoning and Land Uses:

SUBJECT PROPERTY: Community Center Commercial (C3) with existing ZO No. 14-21 overlay.

NORTH: Community Center Commercial – Q Tea Premium Tea House

SOUTH: Community Center Commercial (C3) with existing ZO No. 14-21 overlay – HJ Martin warehousing, limited production, and educational /training facility

EAST: General Commercial (C1) – Pancake Place and BMO Harris Bank

WEST: Community Center Commercial (C3) with existing ZO No. 14-21 overlay – HJ Martin and Bellin Health warehousing, limited production, and educational /training facility

Comprehensive Plan: The 2022 Smart Growth Plan designates this area for commercial use. It recommends medium/high density residential areas and low-density residential areas to the west of Parcel 6-266E (across Randall Court), and commercial areas to the north, east, and south.

The proposed zoning change to a Planned Unit Development, as drafted, is not consistent with the recommendation of the Comprehensive Plan for the particular property which calls for commercial use. However, it is consistent with the intent of the area as the corridor redevelops. The comprehensive plan encourages the restoration of underutilized urban properties to viable commercial, residential or recreational opportunities. Military Avenue has been identified as a target area for such activity. Military Avenue is also targeted as a Supportive Zoning district to support increased transit-oriented development. Supportive Zoning encourages the use of mixed and multiple use development with buildings required to be located near the front sidewalk with parking to be located in the rear, side or underground. Staff believes this should not hold up the PUD request as this new Planned Unit Development meets criteria for corridor usage and still allows for C3 Community Center Commercial as its base zoning.

Analysis: This request is for a proposed development of a 48-unit affordable apartment building, to be known as “Bay City Lofts” on approximately 1.1 acres of land bound by Leo Street on the north and South Military Avenue on the east. It is currently an underused surface parking lot, a part of the larger 8.356 acre property, Parcel 6-266E. The property is currently being reviewed for a land division as part of this PUD

request. New parcel "Lot 2," is intended for the Bay City Lofts apartments and surface parking behind the primary structure. The rest of Parcel 6-266E, "Lot 1" will remain under the existing PUD for the site for HJ Martin and Bellin Health.

The project includes the development of a single 4-story, 48-unit apartment building with 13 one-bedroom units, 24 two-bedroom units, 1 three-bedroom unit and 10 three-bedroom townhome units. The building is shaped in such a way as to provide a building wall relief and articulation, especially along South Military where the building is placed near the right of way with multiple individual entry access points designed with paved entries and landscaping. A singular paved and landscaped public entry door is identified at the northeast corner of the building. Building materials are intentionally varied to provide increased aesthetics, including brick, metal panel, and cement board siding with varied colors. Vertical masonry elements to provide additional building identity and signage.

Other accessory uses within the building (customarily associated with multiple-family residences) may include a lobby, mail room, janitorial services, community room, office space associated with the principal use, office space for community services, childcare for residents, and educational spaces for residents. These accessories can be converted for any C-3 use in the future to have a mixed-use component. Vehicular access will be limited to a single driveway from Leo Street/Alfran Street in which will be a shared access agreement between Bay City Lofts and HJ Martin is required. Pedestrian/bicycle access from Military Avenue to all public entry doors in the building is also required. Staff has included a conceptual site plan and building elevations for the project within the draft PUD ordinance, and development will require general conformity with it.

This PUD varies from an original PUD on the site (ZO 14-21) The existing PUD focuses on uses for the existing single story building within future Lot 1. This PUD designation, rather than a straight rezoning to the C-3 Varied Density Residential District, is necessary because several exceptions to zoning regulations of the C-3 zoning will be needed, including:

- 1a. Reduction of the minimum South Military Avenue setback from 51 feet to 10 feet
- 1b. Maximum setback along South Military Avenue of 15 ft.
2. Reduction of the minimum Leo Street setback from 15 feet to 7 feet
3. Reduction of rear yard surface parking setback (west lot line) from 25 feet. to 0 feet
4. Reduction of the side yard setback from 10 feet to 7 feet.
5. Maximum impervious surface requirement is 80%. Any paved sidewalk which leads from the public right of way to a public building entrance may be excluded from the overall requirement.
6. Maximum building height of 50 feet from 35 feet

Staff believes the increase in density is appropriate at this location as it is in close proximity to the Military Avenue business corridor and is adjacent to multiple smaller lots with multiple-family development. Additionally, affordable, supportive and larger bedroom sized housing units have been identified in our housing market study as a land-use the greater Green Bay area is specifically lacking. Staff agrees with the applicant's request for placing a four sided structure with strong articulation along the front and rear elevation close to the street.

Staff believe the reduced setbacks are warranted in light of creating a defined streetscape presence along South Military within areas which have typically been underused surface parking. The Military Avenue corridor has a variety of spaces which the primary use has become vast, underused surface parking areas. Staff believes the addition of higher density, well-designed multi-family apartment units can fit well with redevelopment and evolution of the Military Avenue corridor.

If the draft PUD is approved with conditions, the final step for the development of the proposed apartment will be a lot split, adjustment to the site plan to account for sidewalk connections and impervious surface requirements, and administrative review/approval of a site plan and building permit.

RECOMMENDATION

Staff supports the draft PUD request

FISCAL IMPACT

ATTACHMENTS

1. Draft PUD 11.02.22
2. ZP 22-31 Exhibit A Proposed Certified Survey Map
3. ZP 22-31 Exhibit B Conceptual Site Plan-Civil Set-Landscape Plans
4. ZP 22-31 Exhibit C Conceptual Building Elevations

ZONING ORDINANCE NO. XX-22

AN ORDINANCE
CREATING A PLANNED UNIT DEVELOPMENT (PUD) OVERLAY DISTRICT FOR
PROPERTY LOCATED AT 216 SOUTH MILITARY AVENUE
(ZP 22-31)

THE COMMON COUNCIL OF THE CITY OF GREEN BAY DOES ORDAIN AS
FOLLOWS:

SECTION 1. Section 44-29, Green Bay Municipal Code, together with the zoning map referred to therein, is hereby amended by establishing a Planned Unit Development District on the following described property:

Legal Description: Commencing at the Southeast Corner of Lot 1 of Certified Survey Map No. 1366, being part of Private Claim Number 1 and the vacant strip of land, West Side of Fox River, City of Green Bay, Brown County, Wisconsin; thence N26°10'17"E, 276.60 feet along the West right of way of South Military Avenue to the point of beginning; thence N26°10'17"E, 246.18 feet along said west right of way; thence 18.91 feet along the arc of a 12.00 foot radius curve to the left whose chord bears N18°57'46"E from said West right of way of South Military Avenue to the South right of way of Leo Street; thence N64°05'49"E, 174.77 feet along said South right of way of Leo Street; thence S26°10'17"W, 258.24 feet; thence S64°05'49"W, 186.83 feet to the point of beginning.

Tax Parcel: Part of Parcel 6-266-E

SECTION 2. Pursuant to Chapter 44, Article XX, Green Bay Municipal Code, as they apply, the following conditions are imposed:

- A. Purpose and Intent. The Planned Unit Development (PUD) is being utilized to permit the development and construction of a 48-unit, multi-story affordable multi-family residential development. The overall appearance and design of the site and improvements shall comply with the attached Exhibits and as regulated within this PUD.
- B. Development Site. Area included within this PUD is proposed as Lot 2 of any accompanying Certified Survey Map (Exhibit A). The existing parcel located at South Military Avenue and Leo Street will be divided into a separate lot comprising 48,215 square feet. The multi-family residential development will be located fronting South Military Avenue to have nine total entryways fronting South Military Avenue (8 for individual townhome units and one as a lobby entrance to the building at large).
- C. Land Use Regulation.

The principal and accessory land uses which may be established and/or maintained on the subject property are as follows:

1. Principal use of 48 residential dwelling units within a single structure. 8 units will have individual unit ingress/egress directly to South Military Avenue. 40 units to
2. Accessory uses customarily associated with multi-family dwelling and supportive housing including lobby, mail room, janitorial services, office space associated with the principal use, bicycle storage, secure parcel holding room, community room, fitness room, office space for community services, and other uses deemed appropriate by the Zoning Administrator.
3. Land use will generally conform with the design of the conceptual site plan (Exhibit B)
4. Prohibited Uses. The PUD limits certain uses from being established on The site or as accessory to the multi-family dwelling principal use including rooming/boarding houses, shelter facilities, transitional housing, dormitories, assisted living/nursing homes, commercial uses typically associated with dwelling (family daycares and live-work units). All other proposed uses are subject to a PUD amendment.

D. Dimensional and Area Requirements: Dimensional and area requirements or principal structure and surface parking on the subject property shall be regulated as follows:

1. General Site.
 - a. Lot Size. Minimum lot area is 48,215 Square Feet / 1.11 acres
 - b. Maximum Floor Area Ratio (FAR): 1.0
 - c. Maximum Impervious Surface: 80%
 - d. Maximum Building Height: 50 feet
2. Apartment Building.
 - a. Front Yard Setbacks
 1. South Military Avenue: Minimum: 10 feet
Maximum: 15 feet
 2. Leo Street: Minimum: 7 feet
Maximum: 15 feet
 - b. Side Yard Setbacks (south lot line): 6 feet
 - c. Rear Yard Setback (west lot line): 0 feet
 - d. Maximum Height: Principal building shall not exceed 50 feet in height.
3. Surface Parking.
 - a. Front Yard Setbacks
 1. Leo Street: 7 feet
 2. South Military Avenue: Not Applicable. No parking along street.
 - b. Side Yard Setback

1. (South lot line): 7 feet
- c. Rear Yard Setbacks
 1. (West lot line): none

E. Access Circulation and Parking. Access, circulation, and parking within the PUD area shall meet the standards as set forth within the Green Bay Zoning Code, Article XVIII of the Green Bay Municipal Code, and as modified as follows:

1. Pedestrian access shall be provided from South Military Avenue with public sidewalks adjoining the development and connected via an internal pedestrian network to all public entrances of the principal structure.
2. Access to the site maintained through a shared access easement between Lot 1 (property to west) and Lot 2 (multi-family parcel). Shared access easement must be recorded with the Brown County Register of Deeds prior to the issuance of building permits.

F. Architectural Design. All building elevations shall generally comply with Exhibit C and subject to the following requirements:

- a. Four-sided design. All sides of the building shall include materials and design characteristics similar to and compatible with those on the front.
- b. Exterior Materials. Building materials shall be durable and appropriate for the residential district as well as being regulated as follows:
 - a. Exterior building façades shall be predominately (minimum of 90%):
 - I. Brick or brick veneer
 - II. Cementitious panels/siding
 - III. Architectural/decorative metal panels
 - IV. Wood or wood composite
 - V. Windows and doors
 - b. Windows and doors. Windows shall be include trim and all building entrances shall include a canopy or other roofing element over the doorway.
 - c. A minimum of one public entryway to the principal building must be accessible from South Military Avenue.
 - d. Accessory structures. Accessory structures are limited to no greater than 16 feet in height and shall match the character of the principal structure, reflected in colors, materials, windows, and architectural features.

G. Lighting. All lighting on the subject property shall be regulated as set forth in Chapter 44, Article V, Division 8, Green Bay Zoning Code.

H. Signage. All signage shall be regulated as set forth in Chapter 30 Green Bay Zoning Code.

I. Site Plan Review & Standards

- a. Prior to the issuance of any building permits, site plans shall be submitted and reviewed per Chapter 44 Article XIX, Green Bay Zoning Code.
- b. Risers, paved stoops, paved entries leading to private and public doorways along South Military Avenue which are located in the front setback are allowed.
- c. Maximum impervious surface requirement is 80% Any paved sidewalk which leads from the public right of way to a public building entrance may be excluded from the overall requirement.

J. Access/Parking/Pedestrian Circulation.

- a. All parking shall be regulated as required in Chapter 44, Article XVIII, Green Bay Zoning.
- b. Pedestrian access shall be provided from South Military Avenue to the development and connected via an internal pedestrian network to the primary entrance of the principal building.

K. Landscaping/Transitional Yard

- a. Prior to the issuance of any building permits, detailed landscape plans shall be submitted and reviewed per Chapter 44, Article XIX, Division 5, Green Bay Zoning Code.

L. Prior to the issuance of any building permits, stormwater management plans, meeting the standards established by the City's Department of Public Works, shall be submitted to and approved by the City. See Chapter 30, Green Bay Municipal Code.

M. Compliance with all of the regulations of the Green Bay Municipal Code not covered under the PUD.

SECTION 3. The provisions of this ordinance, including, without limitation, the granting of a conditional use permit and all obligations, conditions, restrictions, and limitations related thereto shall run with and be jointly and severally binding upon the fee simple owner and the beneficial owner of all or any portion of the subject property.

All obligations, requirements, and rights of the owner shall run with the land and shall automatically be assigned to be binding upon and inure to the benefit of its successors and assigns, including, but not limited to, any entity acquiring any financial interest in the subject property and/or any subsequent owner and/or beneficial owner of all or any portion of the subject property.

SECTION 4. Each exhibit which is attached to this ordinance is deemed to be and is expressly made a part of and incorporated into this ordinance to the same extent as if each such exhibit and the plans identified therein had been set forth in its entirety

in the body of this ordinance.

SECTION 5. All ordinances or parts of ordinances in conflict herewith are hereby repealed.

SECTION 6. In addition to all other remedies available to the City of Green Bay, the City may decline to issue any building or other permits otherwise required by any ordinance of this City while any violation of this ordinance remains uncured.

SECTION 7. If any provision in this ordinance is held invalid or unconstitutional by any court of competent jurisdiction, such a decision shall not affect the validity of any other provision of this ordinance. It is hereby declared to be the intention of the City of Green Bay that all provisions of this ordinance are separable.

SECTION 8. This ordinance shall not take effect until a public hearing is held thereon as provided by Section 44-82, Green Bay Municipal Code, and the adoption and publication of this ordinance.

Dated at Green Bay, Wisconsin, this _____ day of _____, 2022.

APPROVED:

Mayor Eric Genrich

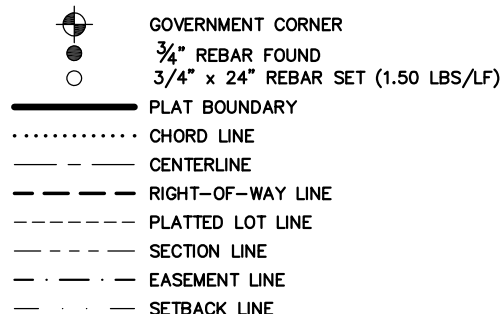
ATTEST:

Clerk

Attachments:

Exhibit A – Proposed Certified Survey Map
Exhibit B – Conceptual Site Plan-Civil Set-Landscape Plans
Exhibit C – Conceptual Building Elevations

LOT 1 OF CERTIFIED SURVEY MAP NO. 1366, BEING PART OF PRIVATE CLAIM NO. 1 AND THE VACANT STRIP OF LAND, WEST SIDE OF FOX RIVER, IN THE CITY OF GREEN BAY, BROWN COUNTY, WISCONSIN



NOTES

1. FIELD WORK PERFORMED ON JULY 12, 2022.
2. BEARINGS ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, BROWN COUNTY. THE WESTERLY LINE OF S. MILITARY AVE. HAVING A BEARING OF S26°10'17"W.
3. SEE SHEET 2 FOR CURVE TABLE.

JULY 21, 2022



THIS INSTRUMENT DRAFTED BY ANDREW W. WILKOWSKI, S-3121

SURVEYED BY:

WAUSAU REGIONAL OFFICE
 7402 STONE RIDGE DRIVE, SUITE 4
 WESTON, WISCONSIN 54476
 P 715 298 6330

SURVEYED FOR:
HENRY REAL
ESTATE DEVEL.
200 N MAIN ST
OREGON, WI 53575

PROJECT NO: 22-11365
 FIELDBOOK/PG: -
 SHEET NO: 1 OF 3

SURVEYED BY: JSD
DRAWN BY: DHS
CHECKED BY: AWW
APPROVED BY: AWW

VOL.	PAGE
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DOC. NO. _____

C.S.M. NO. _____

CERTIFIED SURVEY MAP NO. _____

LOT 1 OF CERTIFIED SURVEY MAP NO. 1366, BEING PART OF PRIVATE CLAIM NO. 1 AND THE VACANT STRIP OF LAND, WEST SIDE OF FOX RIVER, IN THE CITY OF GREEN BAY, BROWN COUNTY, WISCONSIN

LEGAL DESCRIPTION

LOT 1 OF CERTIFIED SURVEY MAP NO. 1366, BEING PART OF PRIVATE CLAIM NO. 1 AND THE VACANT STRIP OF LAND, WEST SIDE OF FOX RIVER, IN THE CITY OF GREEN BAY, BROWN COUNTY, WISCONSIN.

LANDS CONTAINING 363,980 SQUARE FEET OR 8.3558 ACRES.

SURVEYOR’S CERTIFICATE

I, ANDREW W. WILKOWSKI, PROFESSIONAL LAND SURVEYOR S-3121, DO HEREBY CERTIFY THAT BY DIRECTION OF HENRY REAL ESTATE DEVELOPMENT, LLC, I HAVE SURVEYED, DIVIDED, AND MAPPED THE LANDS DESCRIBED HEREON AND THAT THE MAP IS A CORRECT REPRESENTATION IN ACCORDANCE WITH THE INFORMATION PROVIDED. I FURTHER CERTIFY THAT THIS CERTIFIED SURVEY MAP IS IN FULL COMPLIANCE WITH CHAPTER 236.34 OF THE WISCONSIN STATUTES AND THE SUBDIVISION REGULATIONS OF THE CITY OF GREEN BAY, BROWN COUNTY, WISCONSIN.

ANDREW W. WILKOWSKI, S-3121
PROFESSIONAL LAND SURVEYOR

JULY 21, 2022
DATE



CORPORATE OWNER’S CERTIFICATE

HENRY REAL ESTATE DEVELOPMENT, LLC, A LIMITED LIABILITY CORPORATION DULY ORGANIZED AND EXISTING UNDER AND BY VIRTUE OF THE LAWS OF THE STATE OF WISCONSIN, AS OWNER, DOES HEREBY CERTIFY THAT SAID CORPORATION HAS CAUSED THE LAND DESCRIBED ON THIS CERTIFIED SURVEY MAP TO BE SURVEYED, DIVIDED AND MAPPED AS REPRESENTED HEREON. SAID CORPORATION FURTHER CERTIFIES THAT THIS CERTIFIED SURVEY MAP IS REQUIRED BY S.236.34, WISCONSIN STATUTES TO BE SUBMITTED TO THE CITY OF GREEN BAY FOR APPROVAL.

IN WITNESS WHEREOF, THE SAID HENRY REAL ESTATE DEVELOPMENT, LLC HAS CAUSED THESE PRESENTS TO BE SIGNED BY ITS REPRESENTATIVE THIS _____DAY OF _____, 2022.

BY: _____
EDWARD MARTIN, PRESIDENT/CEO

STATE OF WISCONSIN) SS
_____ COUNTY) SS

PERSONALLY CAME BEFORE ME THIS _____DAY OF _____, 2022,
THE ABOVE NAMED REPRESENTATIVE OF THE ABOVE NAMED HENRY REAL ESTATE DEVELOPMENT, LLC TO ME KNOWN TO BE THE PERSON WHO EXECUTED THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED THE SAME.

NOTARY PUBLIC, _____ COUNTY, WISCONSIN

MY COMMISSION EXPIRES

CURVE TABLE							
CURVE	RADIUS	DELTA	CHORD BEARING	CHORD	ARC LENGTH	TANGENT IN	TANGENT OUT
C1	55.01'	146°54'07"	N42°28'06"E	105.47'	141.05'	S64°04'51"E	N30°58'58"W
C2	231.13'	20°07'46"	S10°13'17"W	80.78'	81.20'	S20°17'10"W	S00°09'24"W
C3	161.13'	25°44'24"	S13°00'26"W	71.78'	72.39'	S25°52'38"W	S00°08'14"W
C4	12.00'	90°16'06"	S18°57'46"E	17.01'	18.91'	S26°10'17"W	S64°05'49"E

THIS INSTRUMENT DRAFTED BY ANDREW W. WILKOWSKI, S-3121

SURVEYED BY:



WAUSAU REGIONAL OFFICE
7402 STONE RIDGE DRIVE, SUITE 4
WESTON, WISCONSIN 54476
P. 715.298.6330

SURVEYED FOR:

HENRY REAL ESTATE DEVEL.
200 N MAIN ST
OREGON, WI 53575

PROJECT NO:

22-11365

FIELDBOOK/PG:

-

SHEET NO:

2 OF 3

SURVEYED BY:

JSD

DRAWN BY:

DHS

CHECKED BY:

AWW

APPROVED BY:

AWW

VOL.

PAGE

DOC. NO.

C.S.M. NO.

CERTIFIED SURVEY MAP NO. _____

LOT 1 OF CERTIFIED SURVEY MAP NO. 1366, BEING PART OF PRIVATE CLAIM NO. 1 AND THE VACANT STRIP OF LAND, WEST SIDE OF FOX RIVER, IN THE CITY OF GREEN BAY, BROWN COUNTY, WISCONSIN

CONSENT OF CORPORATE MORTGAGEE

WISCONSIN BANK & TRUST, A CORPORATION DULY ORGANIZED AND EXISTING UNDER AND BY VIRTUE OF THE LAWS OF THE STATE OF WISCONSIN, AS MORTGAGEE OF THE LANDS DESCRIBED HEREON, HEREBY CONSENTS TO THE SURVEYING, DIVIDING, MAPPING AND RESTRICTING OF THE LANDS DESCRIBED IN THE AFFIDAVIT OF ANDREW W. WILKOWSKI, WISCONSIN PROFESSIONAL LAND SURVEYOR, S-3121, AND DO HEREBY CONSENT TO THE ABOVE CERTIFICATE OF HENRY REAL ESTATE DEVELOPMENT, LLC, OWNER.

WITNESS THE HAND AND SEAL OF WISCONSIN BANK & TRUST, MORTGAGEE, THIS__DAY OF_____, 2022.

CRAIG D. ADERHOLD,
MARKET PRESIDENT-NORTHEAST WISCONSIN

STATE OF WISCONSIN) SS
_____ COUNTY) SS

PERSONALLY CAME BEFORE ME THIS__DAY OF_____, 2022, THE ABOVE NAMED REPRESENTATIVE OF THE ABOVE NAMED WISCONSIN BANK & TRUST, TO ME KNOWN TO BE THE PERSON WHO EXECUTED THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED THE SAME.

NOTARY PUBLIC, _____ COUNTY, WISCONSIN MY COMMISSION EXPIRES _____

CITY OF GREEN BAY PLAN COMMISSION APPROVAL

APPROVED FOR RECORDING PER CITY OF GREEN BAY PLAN COMMISSION ACTION OF_____,2022.

ERIC GENRICH, _____ DATE _____
MAYOR,
CITY OF GREEN BAY

CITY OF GREEN BAY COMMON COUNCIL APPROVAL CERTIFICATE

RESOLVED THAT THIS CERTIFIED SURVEY MAP, WHICH HAS BEEN DULY FILED FOR THE APPROVAL OF THE CITY OF GREEN BAY COMMON COUNCIL, BE AND THE SAME IS HEREBY APPROVED AND THE DEDICATIONS, IF ANY DESIGNATED HEREON, ARE HEREBY ACKNOWLEDGED AND ACCEPTED BY THE CITY OF GREEN BAY.

I HEREBY CERTIFY THAT THE ABOVE IS A TRUE AND CORRECT COPY OF A RESOLUTION ADOPTED BY THE CITY OF GREEN BAY ON THIS__DAY OF_____, 2022.

CELESTINE JEFFREYS, CLERK
CITY OF GREEN BAY

JULY 21, 2022



THIS INSTRUMENT DRAFTED BY ANDREW W. WILKOWSKI, S-3121

SURVEYED BY: JSD WAUSAU REGIONAL OFFICE 7402 STONE RIDGE DRIVE, SUITE 4 WESTON, WISCONSIN 54476 P. 715.298.6330	SURVEYED FOR: HENRY REAL ESTATE DEVELOPMENT, LLC 200 N MAIN ST OREGON, WI 53575	PROJECT NO:	22-11365	SURVEYED BY:	JSD
		FB/PG:	-	DRAWN BY:	DHS
		SHEET NO:	3 OF 3	CHECKED BY:	AWW
				APPROVED BY:	AWW

OFFICE OF THE REGISTER OF DEEDS

_____ COUNTY, WISCONSIN

RECEIVED FOR RECORD _____

20__ AT _____ O'CLOCK __M

AS DOCUMENT # _____

IN VOL. _____ OF CERTIFIED

SURVEY MAPS ON PAGE(S) _____

REGISTER OF DEEDS

File: N:\PROJECTS\2022\2211365\DWG\Survey Sheets\2211365 CSM.dwg Layout: CSM 3 of 3 User: dspanjar Plotted: Oct 12, 2022 - 10:57am

ALTA/NSPS LAND TITLE SURVEY

BEING PART OF PRIVATE CLAIM 1 WEST AND LANDS WEST OF THE FOX RIVER, IN THE CITY OF GREEN BAY, BROWN COUNTY, WISCONSIN.

NOTES

1. FIELD WORK PERFORMED BY JSD PROFESSIONAL SERVICES, INC. ON JULY 1, 2022.
2. BEARINGS FOR THIS SURVEY AND MAP ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, BROWN COUNTY. THE WESTERLY LINE OF S. MILITARY AVE. HAVING A BEARING OF S26°10'17"W.
3. ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). BENCHMARK IS A NGS MONUMENT P.I.D NO. PNO092, ELEVATION=583.69
4. CONTOUR INTERVAL IS ONE FOOT.
5. SPOT ELEVATIONS IN CURBED AREAS REFERENCE THE PAVEMENT EDGE ELEVATIONS.
6. SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL FEATURES AND APPURTENANCES, LOCATING DIGGERS HOTLINE FIELD MARKINGS AND BY REFERENCE TO UTILITY RECORDS AND MAPS. DIGGER'S HOTLINE TICKET NO. 20222608196 & 20222608226, WITH A CLEAR DATE OF JUNE 24, 2022.
7. UTILITY COMPANIES CONTACTED THRU DIGGER'S HOTLINE:
 - BROWN COUNTY TECHNOLOGY SERVICES A1&T DISTRIBUTION
 - CITY OF GREEN BAY (DPW) TDS METROCOM
 - CITY OF GREEN BAY TIME WARNER CABLE
 - NET LEO WISCONSIN PUBLIC SERVICE CORP
8. BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED. FOR EXACT LOCATION OF UNDERGROUND UTILITIES, CONTACT DIGGER'S HOTLINE, AT 1.800.242.8511.
9. THE ACCURACY OF THE BENCHMARKS SHOWN ON THIS MAP SHALL BE VERIFIED BEFORE BEING UTILIZED. JSD PROFESSIONAL SERVICES, INC. DOES NOT WARRANT THE ACCURACY OF THESE BENCHMARKS.
10. THIS PARCEL IS SUBJECT TO ALL EASEMENTS AND AGREEMENTS, BOTH RECORDED AND UNRECORDED.

NOTES CORRESPONDING TO TABLE A REQUIREMENTS:

- ITEM 3 THE SUBJECT PROPERTY LIES IN ZONE X PER FEMA MAP NUMBERS 550090164F & 55009C0168F, WHICH HAS EFFECTIVE DATES OF AUGUST 18, 2009.
- ITEM 6(a)(b) CURRENT ZONING CLASSIFICATION WAS REQUESTED BUT NOT PROVIDED BY THE INSURER AT THE TIME OF THE SURVEY.
- ITEM 9 THERE ARE 420 REGULAR PARKING SPACES AND 13 HANDICAP SPACES FOR A TOTAL OF 433 PARKING SPACES.
- ITEM 11 NOTE TO THE CLIENT, INSURER, AND LENDER - WITH REGARD TO TABLE A, ITEM 11, INFORMATION FROM THE SOURCES CHECKED ABOVE WILL BE COMBINED WITH OBSERVED EVIDENCE OF UTILITIES PURSUANT TO SECTION 5.E.IV. TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED. IN ADDITION, IN SOME JURISDICTIONS, B11 OR OTHER SIMILAR UTILITY LOCATE REQUESTS FROM SURVEYORS MAY BE IGNORED OR RESULT IN AN INCOMPLETE RESPONSE, IN WHICH CASE THE SURVEYOR SHALL NOTE ON THE PLAT OR MAP HOW THIS AFFECTED THE SURVEYOR'S ASSESSMENT OF THE LOCATION OF THE UTILITIES. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY.
- ITEM 16 THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS AT THE TIME OF THIS SURVEY.
- ITEM 17 THERE ARE NO PROPOSED CHANGES IN THE STREET RIGHT-OF-WAY LINES. THERE IS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS AT THE TIME OF THE SURVEY.
- ITEM 18 THERE ARE NO OFFSITE EASEMENTS FOR THE SUBJECT PROPERTY.

NOTES CORRESPONDING TO SCHEDULE B-SECTION TWO EXCEPTIONS

KNIGHT BARRY TITLE GROUP, FILE NO.: 2128568, COMMITMENT DATE: FEBRUARY 16, 2022 AT 8:00 A.M., REVISED FEBRUARY 24, 2022.

14 EASEMENTS, RESTRICTIONS AND OTHER MATTERS SHOWN ON CERTIFIED SURVEY MAP NO. NO. 1366 RECORDED DECEMBER 18, 1974 AS DOCUMENT NO. 802454.

AFFECTS PROPERTY AS PLOTTED HEREON

15 ORDER AND OTHER MATTERS CONTAINED IN THE INSTRUMENT RECORDED FEBRUARY 2, 1983 AS DOCUMENT NO. 992278. AFFECTS PROPERTY BY DESCRIPTION - RELEASE OF RIGHTS VAGUE IN NATURE, NOTHING PLOTTED

LEGAL DESCRIPTION (AS FURNISHED)

KNIGHT BARRY TITLE GROUP, FILE NO.: 2128568, COMMITMENT DATE: FEBRUARY 16, 2022 AT 8:00 A.M., REVISED FEBRUARY 24, 2022.

LOT 1 OF VOLUME 5 CERTIFIED SURVEY MAPS, PAGE 177, MAP NUMBER 1366, DOCUMENT NO. 802454, BEING PART OF PRIVATE CLAIM 1 WEST AND NSPS AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(a), 7(c)(b)(1)(c), 8, 9, 11, 16, 17, 18 & 19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON JULY 1, 2022.

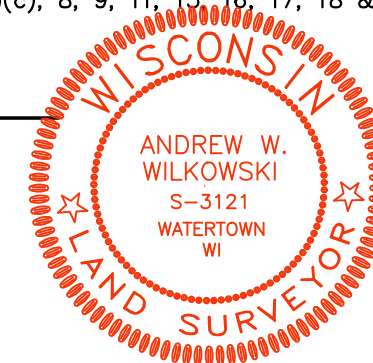
FOR INFORMATIONAL PURPOSES ONLY:
PROPERTY ADDRESS: 216 SOUTH MILITARY AVENUE, GREEN BAY, WI
TAX KEY NUMBER: 6-266-E

SURVEYOR'S CERTIFICATE

TO:

- GORMAN & COMPANY,
- KNIGHT BARRY TITLE, INC.,
- MARTIN NEUFELD, LLC, A WISCONSIN LIMITED LIABILITY COMPANY,

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(a), 7(c)(b)(1)(c), 8, 9, 11, 16, 17, 18 & 19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON JULY 1, 2022.

ANDREW W. WILKOWSKI, S-3121
PROFESSIONAL LAND SURVEYOR
Email: andy.wilkowski@jdsinc.com
Website: www.jdsinc.comJULY 12, 2022
DATE

LEGEND

- CHISELED "X" SET
- MAG NAIL SET
- 3/4" x 24" REBAR SET (1.50 LBS/LF)
- CHISELED "X" FOUND
- 1" IRON PIPE FOUND
- PK/AVG NAIL FOUND
- 2" REBAR FOUND
- CONTROL POINT
- FINISHED FLOOR SHOT LOCATION
- BOLLARD
- MAIL BOX
- POST
- SIGN
- SANITARY MANHOLE
- HYDRANT
- WATER VALVE
- CURB STOP/SERVICE VALVE
- SIAMSESE CONNECTOR
- STORM MANHOLE
- ROUND CASTED INLET
- SQUARE CASTED INLET
- CURB INLET
- DOWNSPOUT
- GAS REGULATOR/METER
- GAS VALVE
- MANHOLE - UNVERIFIED TYPE
- ELECTRIC MANHOLE
- ELECTRIC PEDESTAL
- ELECTRIC METER
- ELECTRIC TRANSFORMER
- LIGHT POLE
- POWER POLE
- POWER POLE W/GUY
- TRAFFIC SIGNAL VAULT
- CABLE PEDESTAL
- DECIDUOUS TREE
- HANDICAP PARKING
- CENTERLINE
- RIGHT-OF-WAY LINE
- SETBACK LINE
- SECTION LINE
- PARCEL BOUNDARY
- EASEMENT LINE
- LANDSCAPE LIMITS
- FENCE LINE
- EDGE OF PAVEMENT
- CONCRETE CURB & GUTTER
- SANITARY SEWER
- WATER LINE
- STORM SEWER
- NATURAL GAS
- OVERHEAD LINE
- UNDERGROUND ELECTRIC
- FIBER OPTIC
- UNDERGROUND TELEPHONE
- BUILDING
- INDEX CONTOUR
- INTERMEDIATE CONTOUR
- SPOT ELEVATION
- BITUMINOUS PAVEMENT
- CONCRETE PAVEMENT
- EDGE OF BITUMINOUS
- PAVEMENT STRIPING
- DENOTES RECORD DATA DEPICTING THE SAME LINE ON THE GROUND AS RETRADED BY THIS SURVEY

STORM SEWER INLETS					
INLET ID	RIM ELEVATION	INVERT	ELEVATION/PIPE SIZE	PIPE TYPE	
INL-1	608.38	NE	605.63 12"	C.M.P.	
INL-2	607.71	SW	605.83 6"	P.V.C.	
INL-3	609.29	NE	605.01 12"	R.C.P.	
INL-4	610.04	NE	601.69 54"	R.C.P.	
		SW	601.79 54"	R.C.P.	
		NE	606.52 8"	P.V.C.	
		SW	606.39 8"	P.V.C.	
INL-5	609.31	NW	606.37 6"	P.V.C.	
		SE	602.94 6"	P.V.C.	
		NW	606.14 10"	P.V.C.	
		SE	605.18 18"	R.C.P.	
INL-6	608.94	SW	605.19 24"	R.C.P.	
		NE	605.17 12"	R.C.P.	
		NE	604.29 9"	R.C.P.	
		SE	607.63 12"	R.C.P.	
INL-7	607.22	SW	606.94 10"	P.V.C.	
		NW	604.80 10"	P.V.C.	
		NE	606.64 10"	P.V.C.	
		SW	605.61 10"	METAL	
INL-8	609.74	NW	605.78 8"	P.V.C.	
		SE	605.33 18"	P.V.C.	
		SW	605.33 15"	P.V.C.	
		SE	604.12 12"	R.C.P.	
INL-9	613.03	SW	604.04 10"	R.C.P.	
		NE	603.77 10"	R.C.P.	
		NE	607.95 10"	R.C.P.	
		SW	607.90 10"	R.C.P.	

SANITARY SEWER MANHOLES					
STRUCT. ID	RIM ELEVATION	INVERT	ELEVATION/PIPE SIZE	PIPE TYPE	
SAN-1	612.83	NE	599.33 15"	P.V.C.	
		SW	599.33 15"	P.V.C.	
		NE	598.01 18"	P.V.C.	
		SW	598.35 18"	P.V.C.	
SAN-2	608.93	NW	598.93 8"	P.V.C.	
		SE	598.73 8"	P.V.C.	
		NE	599.84 8"	P.V.C.	
		SE	599.86 8"	P.V.C.	
SAN-3	608.52	NE	599.84 8"	P.V.C.	
		SE	599.86 8"	P.V.C.	
		SW	604.28 24"	R.C.P.	
		NE	604.66 12"	R.C.P.	
SAN-4	608.18	NW	600.21 8"	P.V.C.	
		SW	600.21 8"	P.V.C.	
		NE	604.66 12"	R.C.P.	
		SW	600.21 8"	P.V.C.	

STORM SEWER MANHOLES					
STRUCT. ID	RIM ELEVATION	INVERT	ELEVATION/PIPE SIZE	PIPE TYPE	
STM-1	608.66	NE	601.82 56"	R.C.P.	
		SW	602.02 56"	R.C.P.	
		NE	602.01 24"	R.C.P.	
		SW	602.11 20"x36"	R.C.P.A.	
STM-2	608.48	NE	599.86 8"	P.V.C.	
		SW	604.28 24"	R.C.P.	
		NE	604.66 12"	R.C.P.	
		SW	600.21 8"	P.V.C.	

CURVE TABLE							
CURVE	RADIUS	DELTA	CHORD BEARING	CHORD	ARC LENGTH	TANGENT IN	TANGENT OUT
C1	55.00'	146°55'34"	N42°28'15"E	105.45'	141.04'	S64°03'58"E	N30°59'32"W
C2	231.13'	20°07'46"	S10°13'17"W	80.78'	81.20'	S20°17'10"W	S00°09'24"W
C3	161.13'	25°44'24"	S13°00'26"W	71.78'	72.39'	S25°52'38"W	S00°08'14"W
C4	12.00'	90°16'06"	S18°37'46"E	17.01'	18.91'	S26°10'17"W	S64°05'49"E

BENCHMARKS		
BENCH MARK	ELEVATION	DESCRIPTION
BM-1	617.57	CROSS ON NORTHERLY FLANGE NUT, HYDRANT
BM-2	611.77	CROSS ON SOUTHERLY FLANGE NUT, HYDRANT

JSD DOES NOT GUARANTEE THE BENCHMARK ELEVATIONS LISTED ON THIS MAP. ARE ACCURATE AND SHOULD BE VERIFIED PRIOR TO CONSTRUCTION ACTIVITIES.



CREATE THE VISION TELL THE STORY

jdsinc.com

WAUSAU REGIONAL OFFICE
7402 STONE RIDGE DRIVE, SUITE 4
WESTON, WI 54479
P. 715.298.6330

CLIENT:

GORMAN & COMPANY

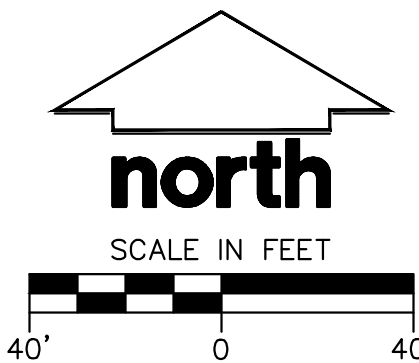
CLIENT ADDRESS:

200 NORTH MAIN STREET
OREGON, WI 53575

PROJECT:

SO. MILITARY AVENUE

PROJECT LOCATION:

216 SOUTH MILITARY AVENUE
GREEN BAY, WI
BROWN COUNTY

MODIFICATIONS

#	Date	Description
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Designed By: DWS 7/12/22
Reviewed By: AWW 7/12/22
Approved By: AWW 7/12/22

SHEET TITLE:

ALTA/NSPS
LAND TITLE
SURVEY

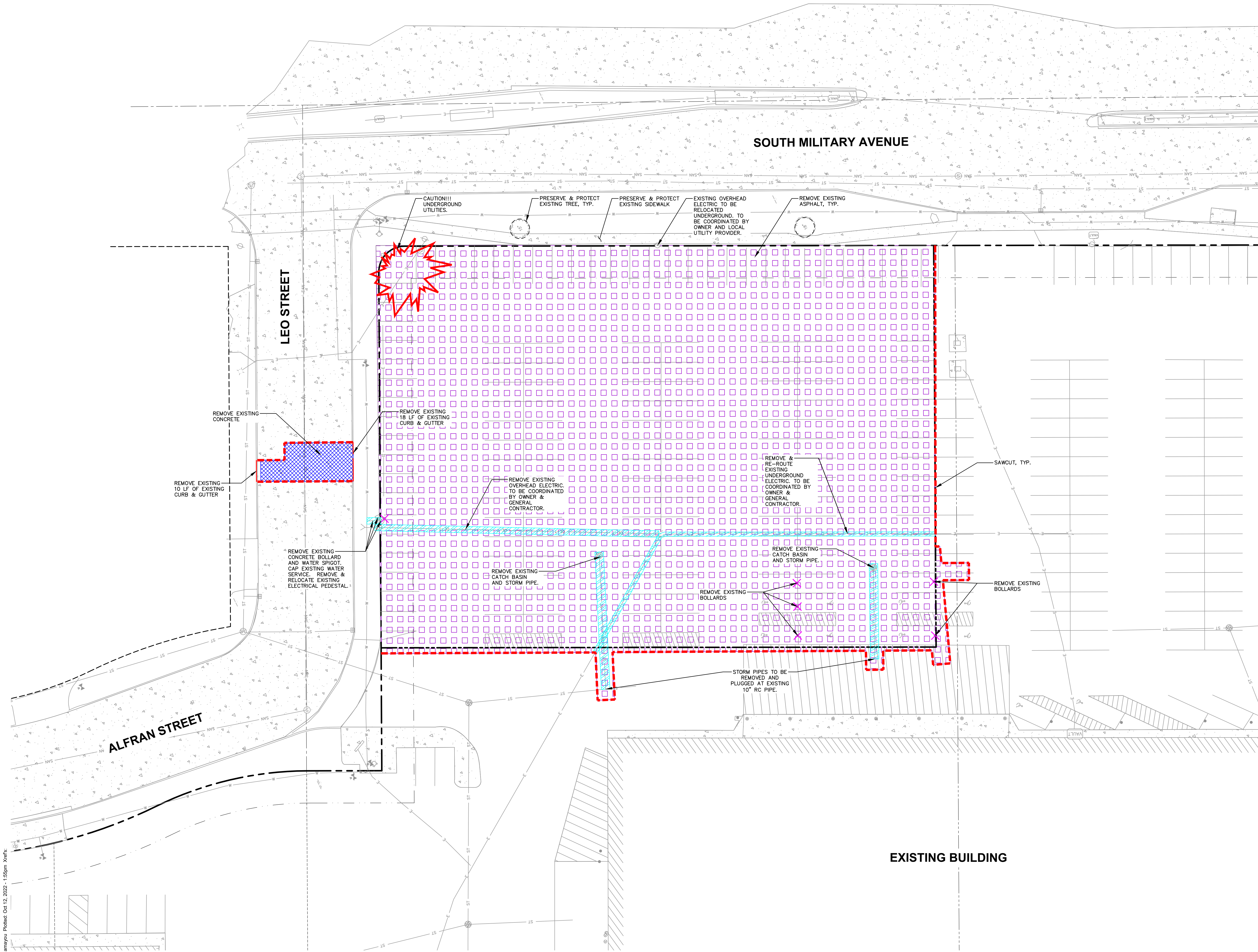
SHEET NUMBER:

1 OF 1

PROJECT NO:

22-11365

File: N:\PROJ\ECTS\2022\2211965\DWG\Civil Sheets\2211965_Civil Docs.dwg Layout: C1.0 - Demolition Plan User: amayapu Plotted: Oct 12, 2022 - 1:56pm Xref's:



DEMOLITION NOTES

1. THIS PLAN INDICATES ITEMS ON THE PROPERTY INTENDED FOR DEMOLITION BASED ON THE CURRENT SITE DESIGN THAT HAVE BEEN IDENTIFIED BY A REASONABLE OBSERVATION OF THE EXISTING CONDITIONS. THROUGH FIELD SURVEY, RECONNAISSANCE, "DIGGER'S HOTLINE" LOCATION, AND GENERAL "STANDARD OF CARE", THERE MAY BE ADDITIONAL ITEMS THAT CAN NOT BE IDENTIFIED BY A REASONABLE ABOVE GROUND OBSERVATION, OF WHICH THE ENGINEER WOULD HAVE NO KNOWLEDGE. OR MAY BE A PART OF ANOTHER DESIGN DISCIPLINE. IT IS THE CONTRACTOR'S/BIDDER'S RESPONSIBILITY TO REVIEW THE PLANS, INSPECT THE SITE AND PROVIDE THEIR OWN DUE DILIGENCE TO INCLUDE IN THEIR BID WHAT ADDITIONAL ITEMS, IN THEIR OPINION, MAY BE NECESSARY FOR DEMOLITION. ANY ADDITIONAL ITEMS IDENTIFIED BY THE CONTRACTOR/BIDDER SHALL BE IDENTIFIED IN THE BID AND REPORTED TO THE ENGINEER OF RECORD. JSD TAKES NO RESPONSIBILITY FOR ITEMS ON THE PROPERTY THAT COULD NOT BE LOCATED BY A REASONABLE OBSERVATION OF THE PROPERTY OR OF WHICH THEY WOULD HAVE NO KNOWLEDGE.
2. CONTRACTOR SHALL KEEP ALL STREETS AND PRIVATE DRIVES FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS.
3. ALL TREES WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED UNLESS SPECIFICALLY CALLED OUT FOR PROTECTION. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GRUND TO PROPOSED SUBGRADE.
4. ALL LIGHT POLES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND ALL APPURTENANCES. SALVAGE FOR RELOCATION, COORDINATE RELOCATION AND/OR ABANDONMENT OF ALL ELECTRIC LINES WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO DEMOLITION.
5. ABANDONED/REMOVED ITEMS SHALL BE DISPOSED OF OFF SITE UNLESS OTHERWISE NOTED.
6. CONTRACTOR TO REPLACE ALL SIDEWALK AND CURB AND GUTTER ABUTTING THE PROPERTIES WHICH IS DAMAGED BY THE CONSTRUCTION OR ANY SIDEWALK AND CURB AND GUTTER THAT THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
7. PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - 7.1. EXAMINE ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - 7.2. VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCIES. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCIES ARE RESOLVED.
 - 7.3. NOTIFYING ALL UTILITIES PRIOR TO THE REMOVAL OF ANY UNDERGROUND UTILITIES.
 - 7.4. NOTIFYING THE DESIGN ENGINEER AND LOCAL CONTROLLING MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION.
8. ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
9. CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF THESE IMPROVEMENTS.
10. CONTRACTOR TO COORDINATE PRIVATE UTILITY REMOVAL / ABANDONMENT AND NECESSARY RELOCATION WITH RESPECTIVE UTILITY COMPANY. COORDINATION REQUIRED PRIOR TO CONSTRUCTION.
11. ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE APPROVED MUNICIPALITY RECYCLING PLAN.
12. ANY CONTAMINATED SOILS SHALL BE REMOVED IN ACCORDANCE WITH FEDERAL AND STATE REGULATIONS TO AN APPROVED LANDFILL.
13. ALL EXISTING UTILITIES TO BE FIELD LOCATED AND FLAGGED BY CONTRACTOR.
14. SEWER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 3.2.24, OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN WISCONSIN, LATEST ADDITION, AND CITY OF GREEN BAY SPECIFICATIONS.
15. WATER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 4.14.0 OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN WISCONSIN, LATEST ADDITION, AND CITY OF GREEN BAY SPECIFICATIONS.
16. ALL PERIMETER EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO THE START OF DEMOLITION ACTIVITIES. CONTRACTOR SHALL KEEP ALL STREETS AND PAVEMENT FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS.
17. CONTRACTOR TO REMOVE EXISTING UTILITY PIPE OR PROVIDE PIPE BACK-FILLING AFTER REMOVAL OF EXISTING UTILITIES WITHIN BUILDING FOOTPRINT USING "LOW DENSITY CONCRETE/FLOWABLE FILL".
18. RESTORATION OF THE EXISTING ROADWAY RIGHT-OF-WAYS ARE CONSIDERED INCIDENTAL AND SHOULD BE PART OF THE COST OF THE UNDERGROUND IMPROVEMENTS, DEMOLITION AND REMOVAL. THIS INCLUDES CURB & GUTTER, SIDEWALK, TOPSOIL, SEEDING AND MULCHING.

LEGEND

---	PROPERTY LINE
- - - - -	RIGHT-OF-WAY
- . - . -	EASEMENT LINE
---	DEMOLITION - REMOVAL OF ONSITE CURB SURFACES AND BASE COURSE
---	DEMOLITION - REMOVAL OF ASPHALT SURFACES
---	DEMOLITION - REMOVAL OF CONCRETE SURFACES
---	DEMOLITION - REMOVAL OF UTILITIES
---	REMOVAL
---	SAWCUT EXISTING PAVEMENT
---	PROTECT EXISTING TREE

KA
KORB + ASSOCIATES ARCHITECTS

JSD

PROJECT:
BAY CITY LOFTS
216 S. MILITARY AVE.
GREEN BAY, WI

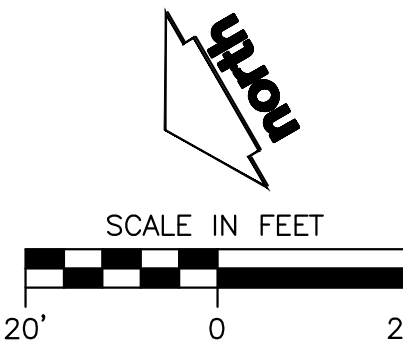
OWNER:
GORMAN & COMPANY
200 N Main Street
Oregon, WI 53575

ARCHITECT:
KORB + ASSOCIATES
ARCHITECTS
648 N. PLANKINTON AVE
SUITE 240
MILWAUKEE, WI 53203

CIVIL ENGINEER:
JSD PROFESSIONAL
SERVICES, INC.
7402 STONE RIDGE DRIVE
WESTON, WI 54476

STRUCTURAL ENGINEER:
SPIRE ENGINEERING, INC.
305 N Plankinton Avenue
Suite 101
Milwaukee, WI 53203

DATE REVISION



DIGGERS HOTLINE
Toll Free (800) 242-8511

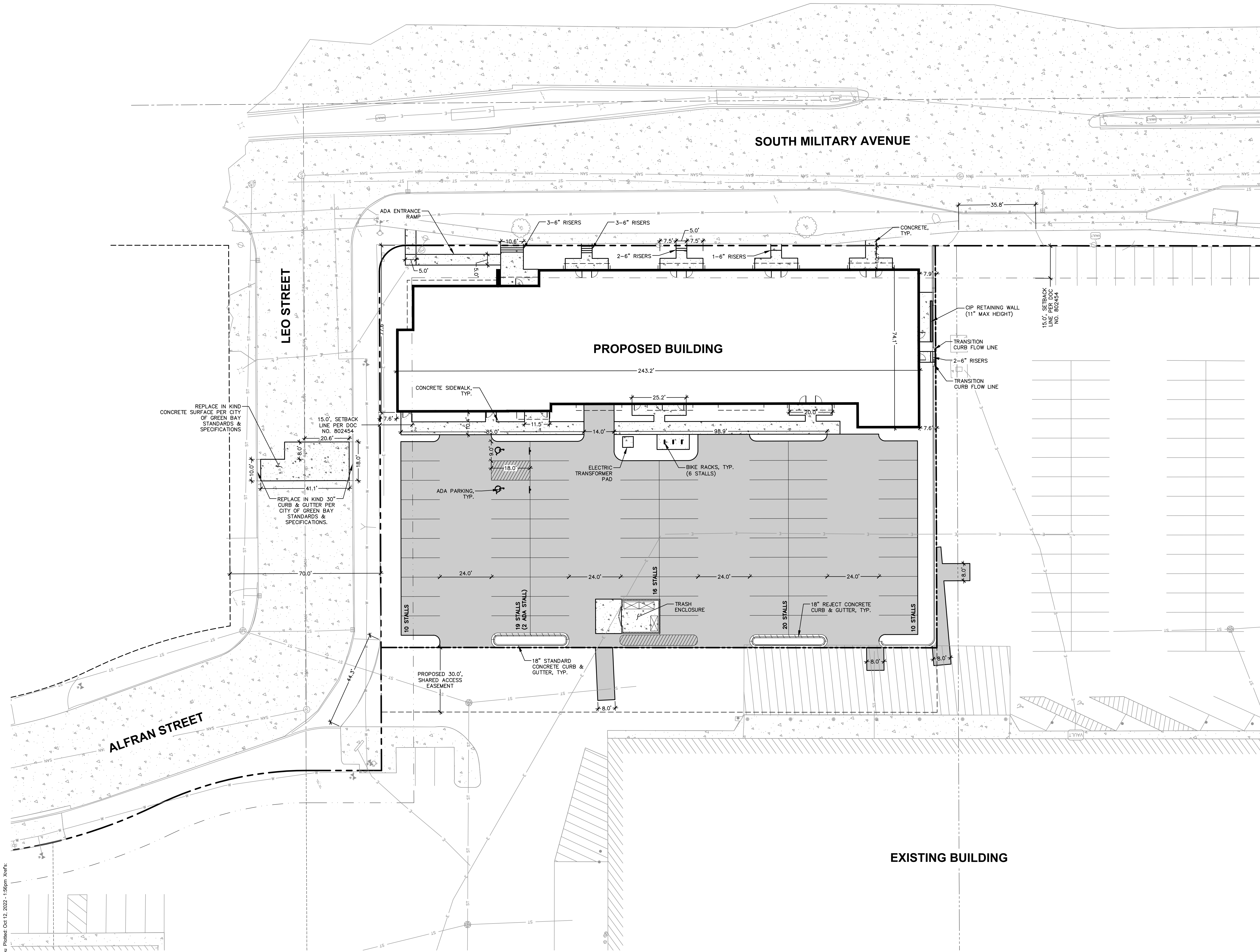
DESIGN REVIEW - NOT FOR CONSTRUCTION -

PROJ. NO.	220204
SCALE	AS INDICATED
PHASE	95% CONSTR. DOC.
DATE	10.14.2022

DEMOLITION PLAN

C1.0

Copyright © Korb & Associates Architects Inc.



GENERAL NOTES

1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS.
2. ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN AND MUNICIPAL REQUIREMENTS.
3. EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
4. NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES.
5. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

PAVING NOTES

1. GENERAL
 - 1.1. ALL PAVING SHALL CONFORM TO "STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION, LATEST EDITION, APPLICABLE VILLAGE OF ATHENS ORDINANCES AND THE GEOTECHNICAL REPORT TO BE PREPARED BY INTERTEK PSI DATED JULY 29, 2022.
 - 1.2. ALL PAVING DIMENSIONS ARE TO FACE OF CURB UNLESS SPECIFIED OTHERWISE.
 - 1.3. SURFACE PREPARATION - NOTIFY ENGINEER/OWNER OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.
 - 1.4. ANY REQUIRED REPLACEMENT OF PUBLIC CURB AND GUTTER SHALL MATCH EXISTING AND MEET MUNICIPALITY REQUIREMENTS.
2. ASPHALTIC CONCRETE PAVING SPECIFICATIONS
 - 2.1. CODES AND STANDARDS - THE PLACING, CONSTRUCTION AND COMPOSITION OF THE ASPHALTIC BASE COURSE AND ASPHALTIC CONCRETE SURFACE COURSE SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 455, 460 AND 465 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, CURRENT EDITION. HEREAFTER, THIS PUBLICATION WILL BE REFERRED TO AS STATE HIGHWAY SPECIFICATIONS.
 - 2.2. WEATHER LIMITATIONS - APPLY TACK COATS WHEN AMBIENT TEMPERATURE IS ABOVE 50° F (10° C) AND WHEN TEMPERATURE HAS NOT BEEN BELOW 35° F (1° C) FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION. DO NOT APPLY WHEN BASE IS WET OR CONTAINS EXCESS OF MOISTURE. CONSTRUCT ASPHALTIC CONCRETE SURFACE COURSE WHEN ATMOSPHERIC TEMPERATURE IS ABOVE 40° F (4° C) AND WHEN BASE IS DRY AND WHEN WEATHER IS NOT RAINY. BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30° F (-1° C).
 - 2.3. GRADE CONTROL - ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION.
 - 2.4. CRUSHED AGGREGATE BASE COURSE - SHALL CONFORM TO SECTIONS 301 AND 305, STATE HIGHWAY SPECIFICATIONS.
 - 2.5. BINDER COURSE AGGREGATE - SHALL CONFORM TO SECTIONS 460 AND 315, STATE HIGHWAY SPECIFICATIONS.
 - 2.6. SURFACE COURSE AGGREGATE - SHALL CONFORM TO SECTIONS 460 AND 465, STATE HIGHWAY SPECIFICATIONS.
 - 2.7. ASPHALTIC MATERIALS - SHALL CONFORM TO SECTION 455 AND 460, STATE HIGHWAY SPECIFICATIONS.
3. CONCRETE PAVING SPECIFICATIONS
 - 3.1. CONCRETE PAVING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 415 AND 419 OF THE STATE HIGHWAY SPECIFICATIONS.
 - 3.2. CONCRETE PAVEMENT SHALL BE REINFORCED WITH NOVOMESH 950 (OR EQUAL) FIBER REINFORCEMENT AT A RATE OF 5 LBS/CUBIC YARD.
 - 3.3. CURING COMPOUNDS SHALL CONFORM TO SECTION 415 OF THE STATE HIGHWAY SPECIFICATIONS.
 - 3.4. CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 8' ON CENTER.
 - 3.5. CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 25' ON CENTER.
 - 3.6. EXTERIOR CONCRETE SURFACES SHALL BE BROOM FINISHED.
 - 3.7. ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TK-28UV CONCRETE SEALANT.
4. PAVEMENT MARKING SPECIFICATIONS
 - 4.1. ALL PAVEMENT MARKINGS INCLUDING: STOP BARS, CROSSWALKS, DIRECTIONAL ARROWS, PARKING STALL LINES, ADA STALL MARKINGS, NO PARKING ZONES, DROP-OFF/PICK-UP ZONES SHALL BE PAINTED WITH EPOXY PAINT PER SPECIFICATIONS.
 - 4.2. MARK AND STRIPE ADA PARKING SPACES APPROPRIATELY.
 - 4.3. USE 4" WIDE, HIGH VISIBILITY YELLOW EPOXY PAINT FOR STALL LINES.
 - 4.4. 2' x 4' TRUNCATED DOME WARNING DETECTION FIELD SHALL BE PLACED AT ALL ADA RAMPS.

LEGEND

---	PROPERTY LINE
- - - - -	RIGHT-OF-WAY
- . - . -	EASEMENT LINE
=====	BUILDING OUTLINE
-----	BUILDING OVERHANG
=====	BUILDING SETBACK LINE
=====	EDGE OF PAVEMENT
=====	STANDARD CURB AND GUTTER
=====	REJECT CURB AND GUTTER
=====	ASPHALT PAVEMENT
=====	CONCRETE PAVEMENT
=====	ADA PARKING SIGN
=====	BIKE RACK

SITE INFORMATION BLOCK	
SITE ADDRESS	SOUTH MILITARY AVENUE
PROPERTY ACREAGE	1.10 ACRES
ZONING DISTRICT	PLANNED UNIT DEVELOPMENT
NUMBER OF BUILDING STORIES	4
BUILDING SQUARE FOOTAGE	15,282
NUMBER OF PARKING STALLS REQ'D: 95 STANDARD/2 ACCESSIBLE	
SURFACE	
LARGE	73
ACCESSIBLE	2
TOTAL SURFACE	75
EXISTING VS. PROPOSED SITE COVERAGE	
EXISTING IMPERVIOUS SURFACE AREA	48,215 SF
EXISTING PERVIOUS SURFACE AREA	48,215 SF
EXISTING IMPERVIOUS SURFACE AREA RATIO	1.00
PROPOSED IMPERVIOUS SURFACE AREA	40,818 SF
PROPOSED PERVIOUS SURFACE AREA	7,397 SF
PROPOSED IMPERVIOUS SURFACE AREA RATIO	0.85



PROJECT:
BAY CITY LOFTS
216 S. MILITARY AVE.
GREEN BAY, WI

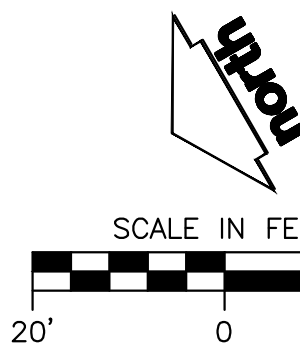
OWNER:
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KORB + ASSOCIATES
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STRUCTURAL ENGINEER:
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DATE REVISION

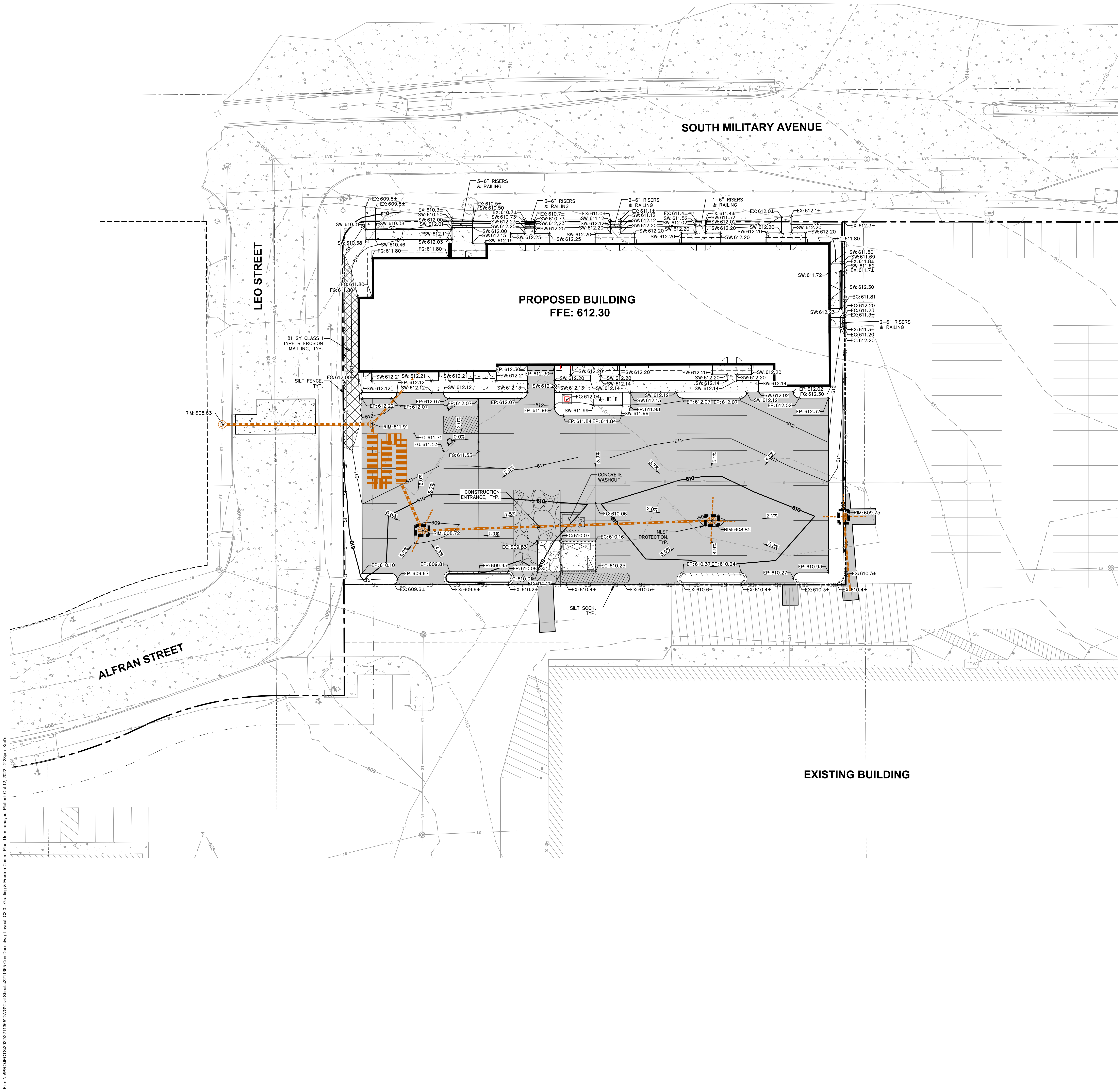


DESIGN REVIEW - NOT FOR CONSTRUCTION -

PROJ. NO.	220204
SCALE	AS INDICATED
PHASE	95% CONSTR. DOC.
DATE	10.14.2022

SITE PLAN
C2.0
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EROSION CONTROL NOTES

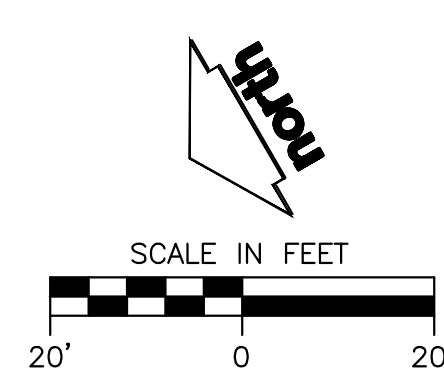
- CONTRACTOR IS RESPONSIBLE TO NOTIFY ENGINEER OF RECORD AND OFFICIALS OF ANY CHANGES TO THE EROSION CONTROL AND STORMWATER MANAGEMENT PLANS. ENGINEER OF RECORD AND APPROPRIATE CITY OF GREEN BAY OFFICIALS MUST APPROVE ANY CHANGES PRIOR TO DEVIATION FROM THE APPROVED PLANS.
- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) TECHNICAL STANDARDS (REFERRED TO AS BMP'S) AND CITY OF GREEN BAY ORDINANCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL EROSION CONTROL MEASURES WHICH MAY BE NECESSARY TO MEET UNFORESEEN FIELD CONDITIONS.
- INSTALL PERIMETER EROSION CONTROL MEASURES (SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE AND EXISTING INLET PROTECTION) PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE COVER, AS SHOWN ON PLAN. MODIFICATIONS TO THE APPROVED EROSION CONTROL DESIGN IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS IS ALLOWED IF MODIFICATIONS CONFORM TO BMP'S. ALL DESIGN MODIFICATIONS MUST BE APPROVED BY THE CITY OF GREEN BAY PRIOR TO DEVIATION OF THE APPROVED PLAN.
- ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, COUNTY INSPECTORS AND/OR ENGINEER OF RECORD SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
- INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
- ALL EROSION AND SEDIMENT CONTROL ITEMS SHALL BE INSPECTED WITHIN 24 HOURS OF ALL RAIN EVENTS EXCEEDING 0.5 INCHES. ANY DAMAGED EROSION CONTROL MEASURES SHALL BE REPAIRED OR REPLACED IMMEDIATELY UPON INSPECTION.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/EGRESS POINTS. ADDITIONAL LOCATIONS OTHER THAN AS SHOWN ON THE PLANS MUST BE PRIOR APPROVED BY THE MUNICIPALITY. CONSTRUCTION ENTRANCES SHALL BE 50' LONG AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STONE. CONSTRUCTION ENTRANCES SHALL BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED.
- PAVED SURFACES ADJACENT TO CONSTRUCTION SITE VEHICLE ACCESS SHALL BE SWEEP AND/OR SCRAPPED TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST AFTER THE END OF EACH WORK DAY AND AS REQUESTED BY THE CITY OF GREEN BAY.
- INLET PROTECTION SHALL BE IMMEDIATELY FITTED AT THE INLET OF ALL INSTALLED STORM SEWER AND SILT FENCE SHALL BE IMMEDIATELY FITTED AT ALL INSTALLED CULVERT INLETS TO PREVENT SEDIMENT DEPOSITION WITHIN STORM SEWER SYSTEMS.
- INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES. IF STOCKPILE REMAINS UNDISTURBED FOR MORE THAN SEVEN (7) DAYS, TEMPORARY SEEDING AND STABILIZATION IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES IS REQUIRED. IF DISTURBANCE OCCURS BETWEEN NOVEMBER 15TH AND MAY 15TH, THE MULCHING SHALL BE PERFORMED BY HYDRO-MULCHING WITH A "TACKIFIER."
- DITCH CHECKS AND APPLICABLE EROSION NETTING/MATTING SHALL BE INSTALLED IMMEDIATELY AFTER COMPLETION OF GRADING EFFORTS WITHIN DITCHES/SWALES TO PREVENT SOIL TRANSPORTATION.
- EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
 - PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
 - BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
 - DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE DOWATERING TECHNICAL STANDARD NO. 1061 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
- ALL SLOPES 4:1 OR GREATER SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING OR APPLICATION OF A WISCONSIN DEPARTMENT OF TRANSPORTATION (WISDOT) APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED WITHIN 7 DAYS OF REACHING FINAL GRADE AND/OR AS SOON AS CONDITIONS ALLOW. DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING. EROSION MATTING AND/OR NETTING USED ON SITE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES AND WDNR TECHNICAL STANDARDS 1052 AND 1053.
- CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO WDNR TECHNICAL STANDARD 1068.
- EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY AT THE SITE HAS BEEN COMPLETED AND THAT A UNIFORM PERENNIAL VEGETATIVE COVER HAS BEEN ESTABLISHED WITH A DENSITY OF AT LEAST 70% FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES OR THAT EMPLOY EQUIVALENT PERMANENT STABILIZATION MEASURES.
- CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON COMPLETION OF THE PROJECT IN ACCORDANCE WITH WDNR REQUIREMENTS AND/OR PROPERTY SALE IN ACCORDANCE WITH WDNR REQUIREMENTS.
- STABILIZATION PRACTICES:
 - STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. NO MORE THAN SEVEN (7) DAYS SHALL PASS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS CEASED UNLESS:
 - THE INITIATION STABILIZATION MEASURES BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS CEASED IS PRECLUDED BY SNOW COVER. IN THAT EVENT, STABILIZATION SHALL BE INITIATED AS SOON AS PRACTICABLE.
 - CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN FOURTEEN (14) DAYS FROM WHEN ACTIVITY CEASED, (I.E. THE TOTAL TIME PERIOD THAT THE CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN FOURTEEN (14) DAYS. IN THAT EVENT, STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED.
 - STABILIZATION MEASURES SHALL BE DETERMINED BASED ON SITE CONDITIONS AT THE TIME OF CONSTRUCTION ACTIVITY HAS CEASED, INCLUDING BUT NOT LIMITED TO WEATHER CONDITIONS AND LENGTH OF TIME MEASURE MUST BE EFFECTIVE. THE FOLLOWING ARE ACCEPTABLE STABILIZATION MEASURES:
 - PERMANENT SEEDING: IN ACCORDANCE WITH APPROVED CONSTRUCTION SPECIFICATION.
 - TEMPORARY SEEDING: MAY CONSIST OF SPRING OATS(100LBS/ACRE) AND/OR WHEAT OR CEREAL RYE (150LB/ACRE).
 - HYDRO-MULCHING WITH A TACKIFIER
 - GEOTEXTILE EROSION MATTING
 - SODDING

GRADING AND SEEDING NOTES

- ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR COMPUTATIONS OF ALL GRADING QUANTITIES. WHILE JSD PROFESSIONAL SERVICES, INC. ATTEMPTS TO PROVIDE A MOST EFFECTIVE APPROACH TO BALANCE EARTHWORK, GRADING DESIGN IS BASED ON MANY FACTORS, INCLUDING SAFETY, AESTHETICS, AND COMMON ENGINEERING STANDARDS OF CARE. THEREFORE, NO GUARANTEE CAN BE MADE FOR A BALANCED SITE.
- PARKING LOT AND DRIVEWAY ELEVATIONS ARE PAVEMENT GRADES, NOT TOP OF CURB GRADES, UNLESS OTHERWISE NOTED.
- ANY WORK WITHIN RIGHT-OF-WAY SHALL BE PROPERLY PERMITTED AND COORDINATED WITH THE APPROPRIATE OFFICIALS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. ALL GRADING WITHIN RIGHT-OF-WAY IS SUBJECT TO APPROVAL BY SAID OFFICIALS.
- CONTRACTOR SHALL PROVIDE NOTICE TO THE MUNICIPALITY IN ADVANCE OF ANY SOIL DISTURBING ACTIVITIES, IN ACCORDANCE WITH MUNICIPAL REQUIREMENTS.
- ALL DISTURBED AREAS SHALL BE SODDED AND/OR SEEDDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SOD/SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN.
- CONTRACTOR SHALL WATER ALL NEWLY SODDED/SEEDDED AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
- CONTRACTOR TO DEEP TILL ALL COMPACTED PERVIOUS SURFACES PRIOR TO SODDING AND/OR SEEDING AND MULCHING.
- ALL SLOPES 20% OR GREATER SHALL BE TEMPORARY SEEDDED, MULCHED, OR OTHER MEANS OF COVER PLACED ON THEM WITHIN 2 WEEKS OF DISTURBANCE.
- ALL EXPOSED SOIL AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE OR ON WHICH LAND DISTURBING ACTIVITIES WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 14 DAYS AND REQUIRE VEGETATIVE COVER FOR LESS THAN 1 YEAR, REQUIRE TEMPORARY SEEDING FOR EROSION CONTROL. SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1059 AND CITY OF GREEN BAY ORDINANCE.

LEGEND

PROPERTY LINE	→ DRAINAGE DIRECTION
RIGHT-OF-WAY	RETAINING WALL
EASEMENT LINE	SILT FENCE
BUILDING OUTLINE	SILT SOCK
BUILDING OVERHANG	CONSTRUCTION ENTRANCE
EDGE OF PAVEMENT	EROSION MATTING
STANDARD CURB AND GUTTER	SPOT ELEVATION
REJECT CURB AND GUTTER	EP - EDGE OF PAVEMENT
ASPHALT PAVEMENT	FG - FINISH GRADE
CONCRETE PAVEMENT	EC - EDGE OF CONCRETE
PROPOSED 1 FOOT CONTOUR	BC - BACK OF CURB
PROPOSED 5 FOOT CONTOUR	EX - MATCH EXISTING GRADE
EXISTING 1 FOOT CONTOUR	HP - HIGH POINT
EXISTING 5 FOOT CONTOUR	SW - SIDEWALK
	INLET PROTECTION



DIGGERS HOTLINE
Toll Free (800) 242-8511



DESIGN REVIEW - NOT FOR CONSTRUCTION -

PROJECT:
BAY CITY LOFTS
216 S. MILITARY AVE.
GREEN BAY, WI

OWNER:
GORMAN & COMPANY
200 N Main Street
Oregon, WI 53575

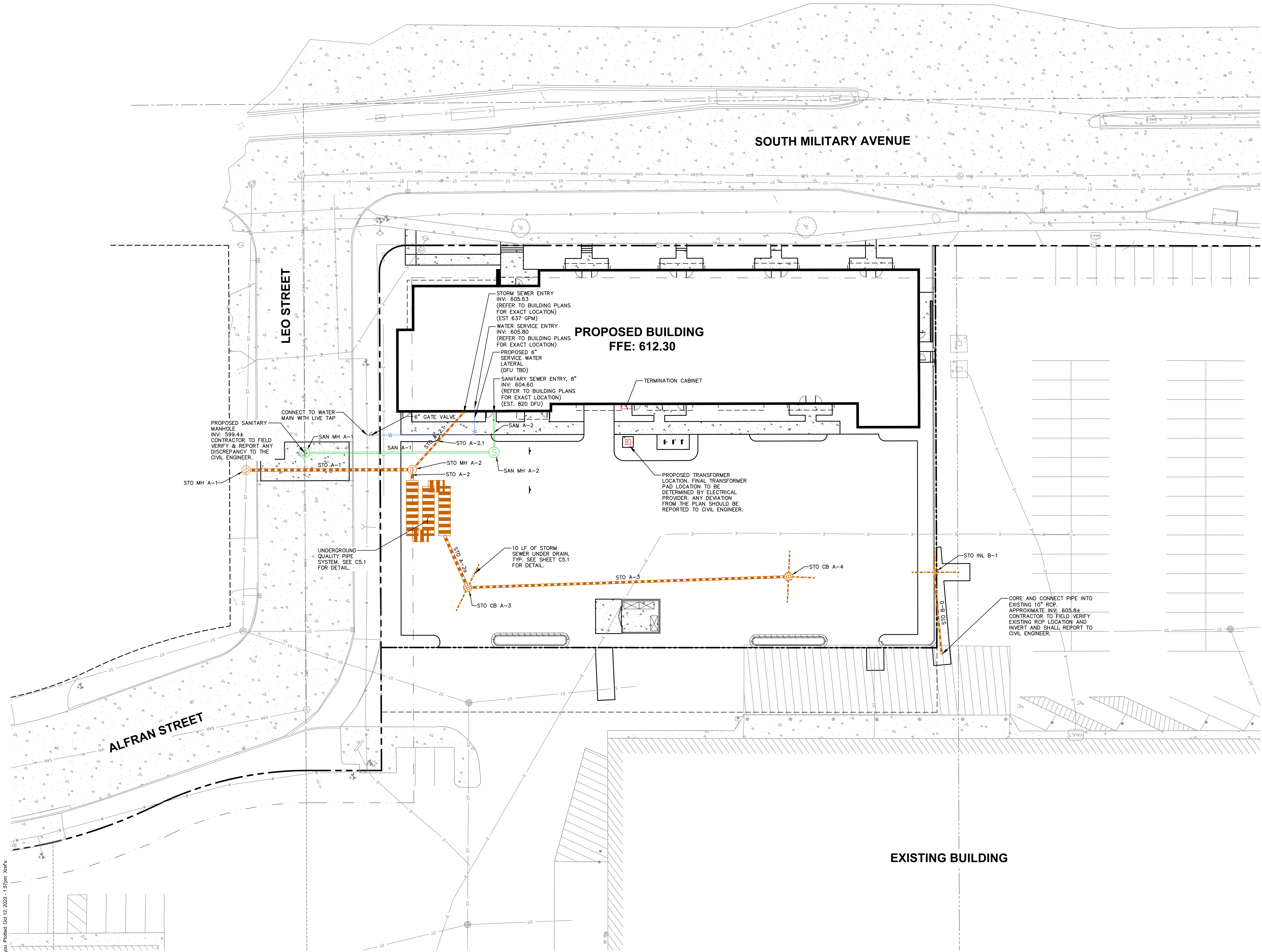
ARCHITECT:
KARB + ASSOCIATES
ARCHITECTS
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CIVIL ENGINEER:
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WESTON, WI 54476

STRUCTURAL ENGINEER:
SPIRE ENGINEERING, INC.
305 N Plankinton Avenue
Suite 101
Milwaukee, WI 53203

DATE	REVISION
PROJ. NO.	220204
SCALE	AS INDICATED
PHASE	95% CONSTR. DOC.
DATE	10.14.2022
GRADING & EROSION CONTROL PLAN	
C3.0	
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UTILITY NOTES

- ALL EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATIONS OF ANY UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. CONTRACTOR/OWNER SHALL CALL "DIGGER'S HOTLINE" PRIOR TO ANY CONSTRUCTION.
- PRIOR TO CONSTRUCTION, THE PRIME CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
 - VERIFYING ALL ELEVATIONS, LOCATIONS AND SIZES OF SANITARY, WATER AND STORM LATERALS AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS. NOTIFY ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
 - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
 - COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
- ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN - AND ALL STATE AND LOCAL CODES AND SPECIFICATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS AND CODES APPLY, AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AUTHORITIES.
- LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
- CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVERNIGHT AS REQUIRED IN CONSTRUCTION SITES WHERE THE POTENTIAL FOR PEDESTRIAN INJURY EXISTS.
- CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT ALL UTILITY COVERS (SUCH AS MANHOLE COVERS, VALVE BOX COVERS, ETC.) TO MATCH THE FINISHED GRADES OF THE AREAS EFFECTED BY THE CONSTRUCTION.
- THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
- ANY UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
- STORM SEWER SPECIFICATIONS -

PIPE - REINFORCED CONCRETE PIPE (RCP) SHALL MEET THE REQUIREMENTS OF ASTM CLASS III (MINIMUM) C-76 WITH RUBBER GASKET JOINTS CONFORMING TO ASTM C-443. HIGH DENSITY DUAL-WALL POLYETHYLENE CORRUGATED PIPE SHALL BE AS MANUFACTURED BY ADS OR EQUAL WITH WATER TIGHT JOINTS, AND SHALL MEET THE REQUIREMENTS OF AASHTO DESIGNATION M-294 TYPE "S". POLYVINYLCHLORIDE (PVC) MEETING REQUIREMENTS OF ASTM D 3034, SDR 35 FOR PIPE SIZES 8"-15" WITH INTEGRAL BELL TYPE FLEXIBLE ELASTOMERIC JOINTS, MEETING THE REQUIREMENTS OF ASTM D-3212 AND ASTM 1785 SCHEDULE 40 FOR PIPE SIZES 6" OR SMALLER.

BACKFILL AND BEDDING - STORM SEWER SHALL BE CONSTRUCTED WITH GRAVEL BACKFILL AND CLASS "B" BEDDING IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.4.3.5 OF THE "STANDARD SPECIFICATIONS".

MANHOLE FRAMES AND COVERS - MANHOLE FRAMES AND COVERS SHALL BE PROVIDED IN ACCORDANCE WITH THE STORM STRUCTURE TABLE ON SHEET 54.0.

FIELD TILE CONNECTION - ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE INCLUDED IN THE UNIT PRICE(S) FOR STORM SEWER. TILE LINES CROSSED BY THE TRENCH SHALL BE REPLACED WITH THE SAME MATERIAL AS THE STORM SEWER.

12. WATER MAIN SPECIFICATIONS -

PIPE - DUCTILE IRON PIPE SHALL BE CLASS 52 CONFORMING TO AWWA C151 AND CHAPTER 8.18.0 OF THE "STANDARD SPECIFICATIONS". POLYVINYL CHLORIDE (PVC) PIPE SHALL MEET THE REQUIREMENTS OF AWWA STANDARD C-900, CLASS 150, DR-18, WITH CAST IRON O.D. AND INTEGRAL ELASTOMERIC BELL AND SPIGOT JOINTS. NON-METALLIC WATER MAINS SHALL BE INSTALLED WITH BLUE INSULATION TRACER WIRE AND CONFORM WITH SPS 382.30(11)(i).

VALVES AND VALVE BOXES - GATE VALVES SHALL BE AWWA GATE VALVES MEETING THE REQUIREMENTS OF AWWA C-500 AND CHAPTER 8.27.0 OF THE "STANDARD SPECIFICATIONS". GATE VALVES AND VALVE BOXES SHALL CONFORM TO LOCAL PLUMBING ORDINANCES.

BEDDING AND COVER MATERIAL - PIPE BEDDING AND COVER MATERIAL SHALL BE SAND, CRUSHED STONE CHIPS OR CRUSHED STONE SCREENINGS CONFORMING TO CHAPTER 8.4.3.2 OF THE "STANDARD SPECIFICATIONS".

BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS". GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.4.3.5 OF THE "STANDARD SPECIFICATIONS".

13. SANITARY SEWER SPECIFICATIONS -

PIPE - SANITARY SEWER PIPE MATERIAL SHALL BE POLYVINYL CHLORIDE (PVC) MEETING REQUIREMENTS OF ASTM D 3034, SDR-35, WITH INTEGRAL BELL TYPE FLEXIBLE ELASTOMERIC JOINTS, MEETING THE REQUIREMENTS OF ASTM D-3212 FOR PIPE SIZES 8" TO 15", ASTM 1785, SCHEDULE 40 FOR PIPE SIZES 6" OR SMALLER.

BEDDING AND COVER MATERIAL - BEDDING AND COVER MATERIAL SHALL CONFIRM TO THE APPROPRIATE SECTIONS OF THE "STANDARD SPECIFICATION" WITH THE FOLLOWING MODIFICATION: "COVER MATERIAL SHALL BE THE SAME AS USED FOR BEDDING AND SHALL CONFORM TO SECTION 8.4.3.2 (A)."

BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS". BACKFILL WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.4.3.5 OF THE "STANDARD SPECIFICATIONS".

14. WATERMAIN AND SANITARY SEWER SHALL BE INSULATED WHEREVER THE DEPTH OF COVER IS LESS THAN 6 FEET. INSULATION SHALL BE INSTALLED IN CONFORMANCE WITH CHAPTER 4.17.0 "INSULATION" OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN 6TH EDITION UPDATED WITH ITS LATEST ADDENDUM (TYP.).

LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY
- EASEMENT LINE
- BUILDING OUTLINE
- BUILDING OVERHANG
- EDGE OF PAVEMENT
- STANDARD CURB AND GUTTER
- REJECT CURB AND GUTTER
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- RETAINING WALL
- SANITARY SEWER
- WATERMAIN
- STORM SEWER
- 8"x4"x2" INSULATION (PLAN VIEW)

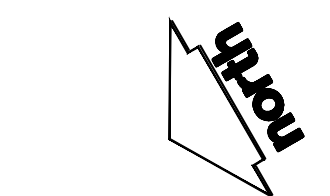
PROPOSED STORM SEWER STRUCTURE TABLE					
LABEL	RIM EL. (FT)	INVERT EL. (FT)	DEPTH (FT)	STRUCTURE DESC.	FRAME & GRATE
STO CB A-3	608.71	E INV: 604.21 (15") SW INV: 604.46 (12")	4.5	48 IN MH (FLAT)	R-2556 TYPE G
STO CB A-4	608.85	NE INV: 605.21 (12")	3.6	36 IN MH (FLAT)	R-2556 TYPE G
STO MH A-1	606.90	SE INV: 603.47 (30") SW INV: 603.57 (15") NW INV: 603.47 (30")	3.4	72 IN MH (FLAT)	R-1556 SOLID LID
STO MH A-2	611.90	NE INV: 603.96 (15") NW INV: 604.06 (15") S INV: 605.26 (8")	7.9	60 IN MH (FLAT)	R-1556 SOLID LID

PROPOSED STORM SEWER PIPE TABLE							
LABEL	FROM	TO	LENGTH	INVERT EL. (FT)	DISCHARGE EL. (FT)	SLOPE	SIZE
STO A-1	STO MH A-2	STO MH A-1	77'	603.96	603.57	0.50%	15 IN
STO A-2	END CAP	STO MH A-2	5'	604.08	604.06	0.50%	15 IN
STO A-2.1	BUILDING	STO MH A-2	36'	605.63	605.26	1.04%	8 IN
STO A-2a	STO CB A-3	END CAP	26'	604.21	604.08	0.50%	15 IN
STO A-3	STO CB A-4	STO CB A-3	149'	605.21	604.46	0.50%	12 IN
STO B-0	STO INL B-1	10" RCP	38'	607.08	605.87	3.18%	8 IN

PROPOSED SANITARY SEWER STRUCTURE TABLE					
LABEL	RIM EL. (FT)	INVERT EL. (FT)	DEPTH (FT)	STRUCTURE DESC.	FRAME & GRATE
SAN MH A-1	609.03	SE INV: 599.41 (8") NW INV: 599.41 (8") SW INV: 602.36 (8")	9.6	48 IN MH	R-1556 SOLID LID
SAN MH A-2	611.97	NE INV: 604.13 (8") SE INV: 604.23 (8")	7.8	48 IN MH	R-1556 SOLID LID

*OUTSIDE DROP SANITARY MANHOLE. SEE SHEET C5.0 FOR DETAIL.

PROPOSED SANITARY SEWER PIPE TABLE							
LABEL	FROM	TO	LENGTH	INVERT EL. (FT)	DISCHARGE EL. (FT)	SLOPE	SIZE
SAN A-1	SAN MH A-2	SAN MH A-1	88'	604.13	602.36	2.00%	8 IN
SAN A-2	BUILDING	SAN MH A-2	19'	604.60	604.23	2.00%	8 IN



SCALE IN FEET
20' 0 20'

DIGGERS HOTLINE
Toll Free (800) 242-8511

KA
KORB + ASSOCIATES ARCHITECTS

JSD

PROJECT:
BAY CITY LOFTS
216 S. MILITARY AVE.
GREEN BAY, WI

OWNER:
GORMAN & COMPANY
200 N Main Street
Oregon, WI 53755

ARCHITECT:
KORB + ASSOCIATES
ARCHITECTS
648 N. PLANKINTON AVE
SUITE 240
MILWAUKEE, WI 53203

CIVIL ENGINEER:
JSD PROFESSIONAL
SERVICES, INC.
7402 STONE RIDGE DRIVE
WESTON, WI 54476

STRUCTURAL ENGINEER:
SPIRE ENGINEERING, INC.
305 N Plankinton Avenue
Suite 101
Milwaukee, WI 53203

DATE REVISION

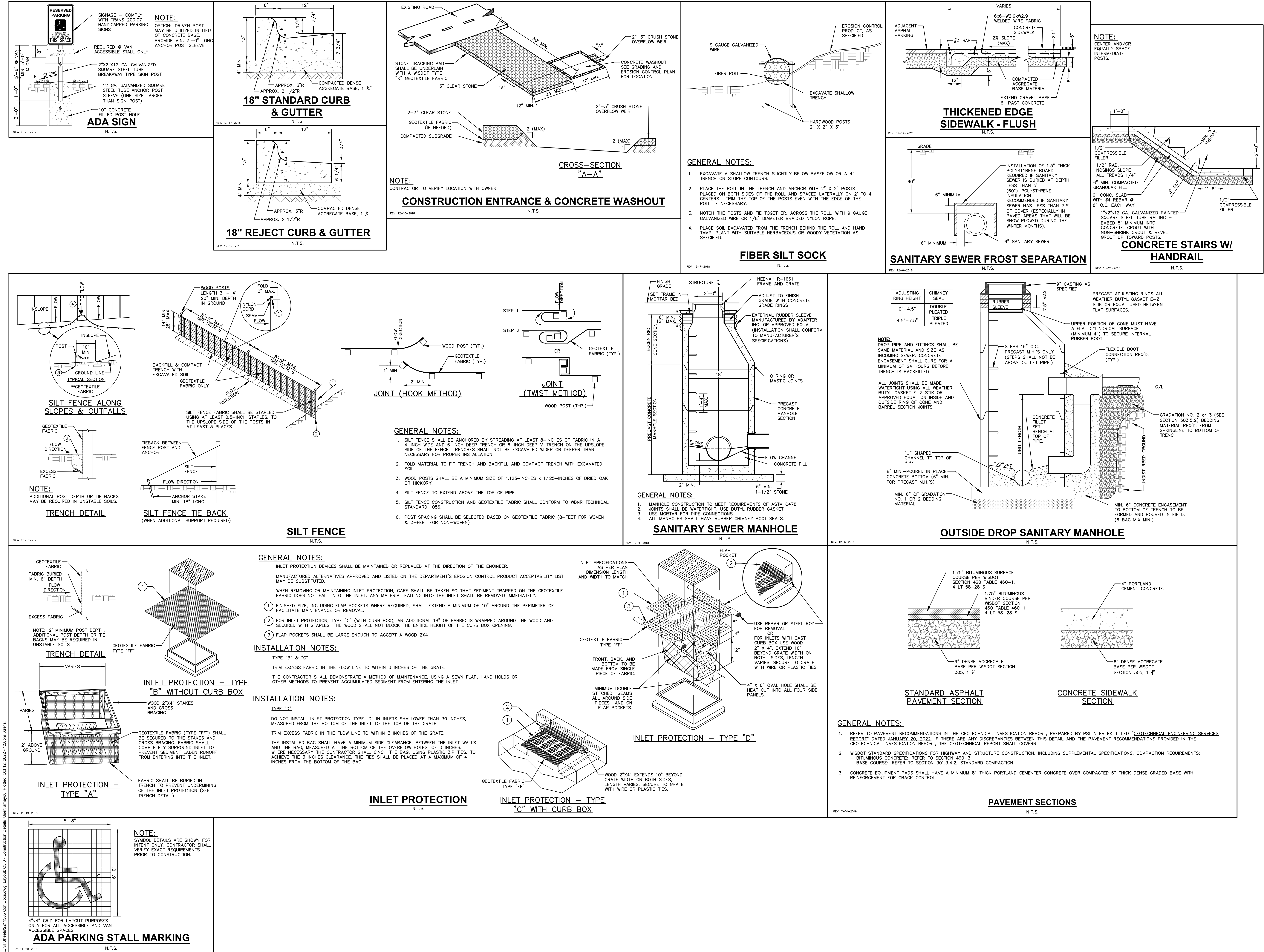
DESIGN REVIEW - NOT FOR CONSTRUCTION -

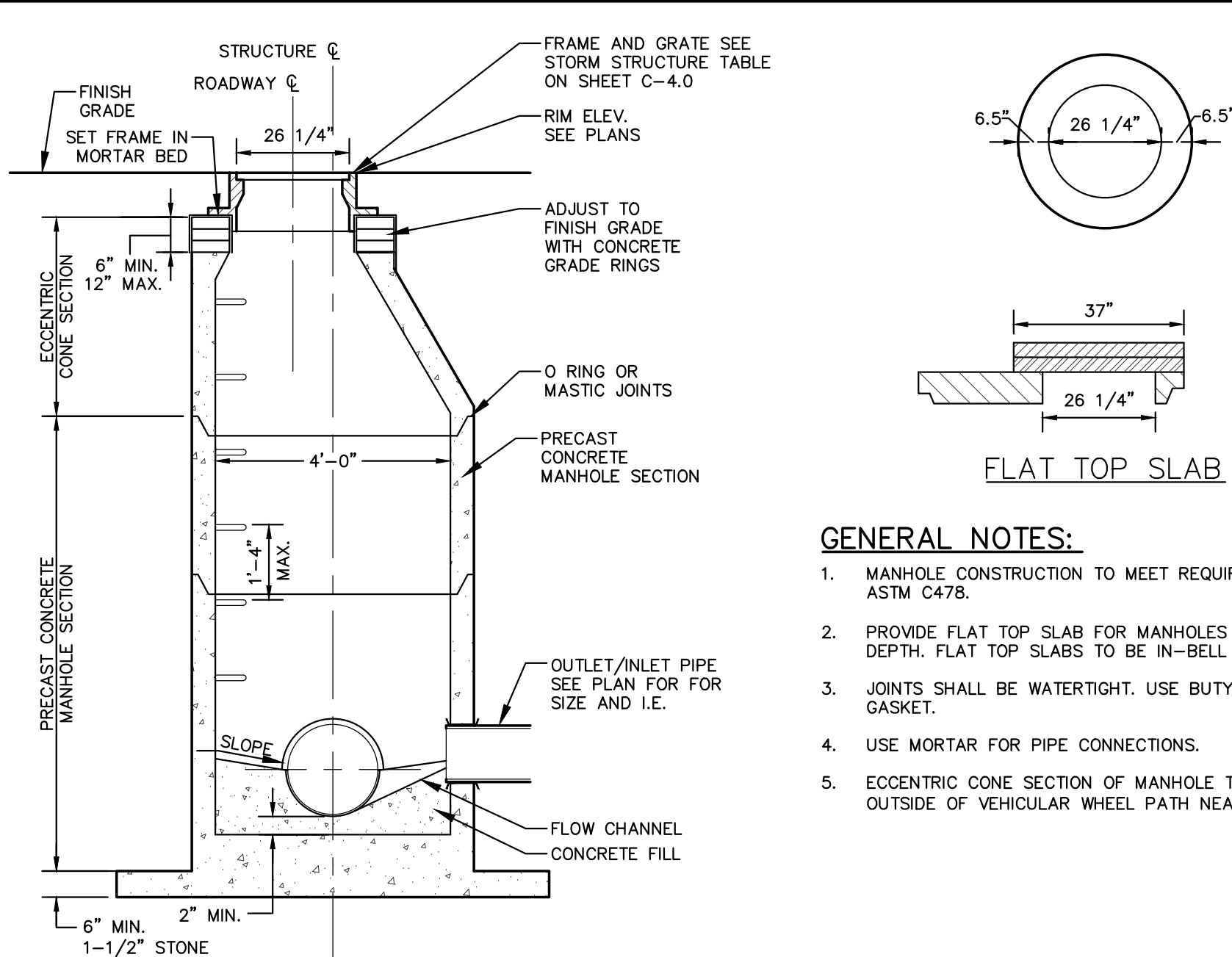
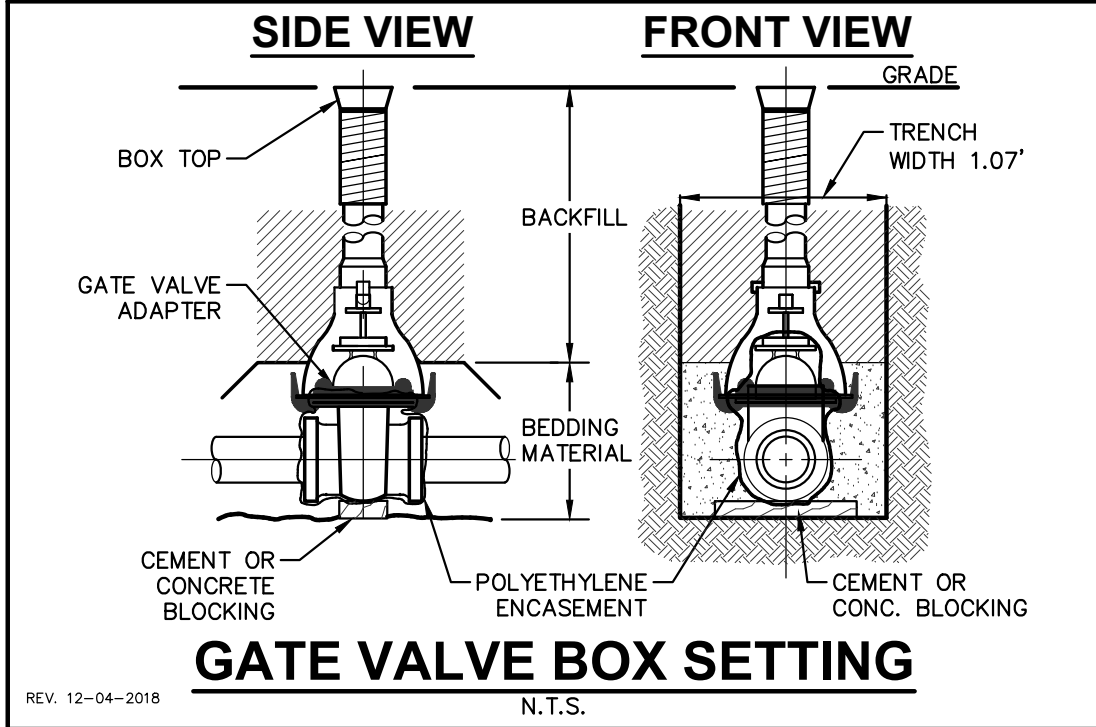
PROJ. NO.	220204
SCALE	AS INDICATED
PHASE	95% CONSTR. DOC.
DATE	10.14.2022

UTILITY PLAN

C4.0

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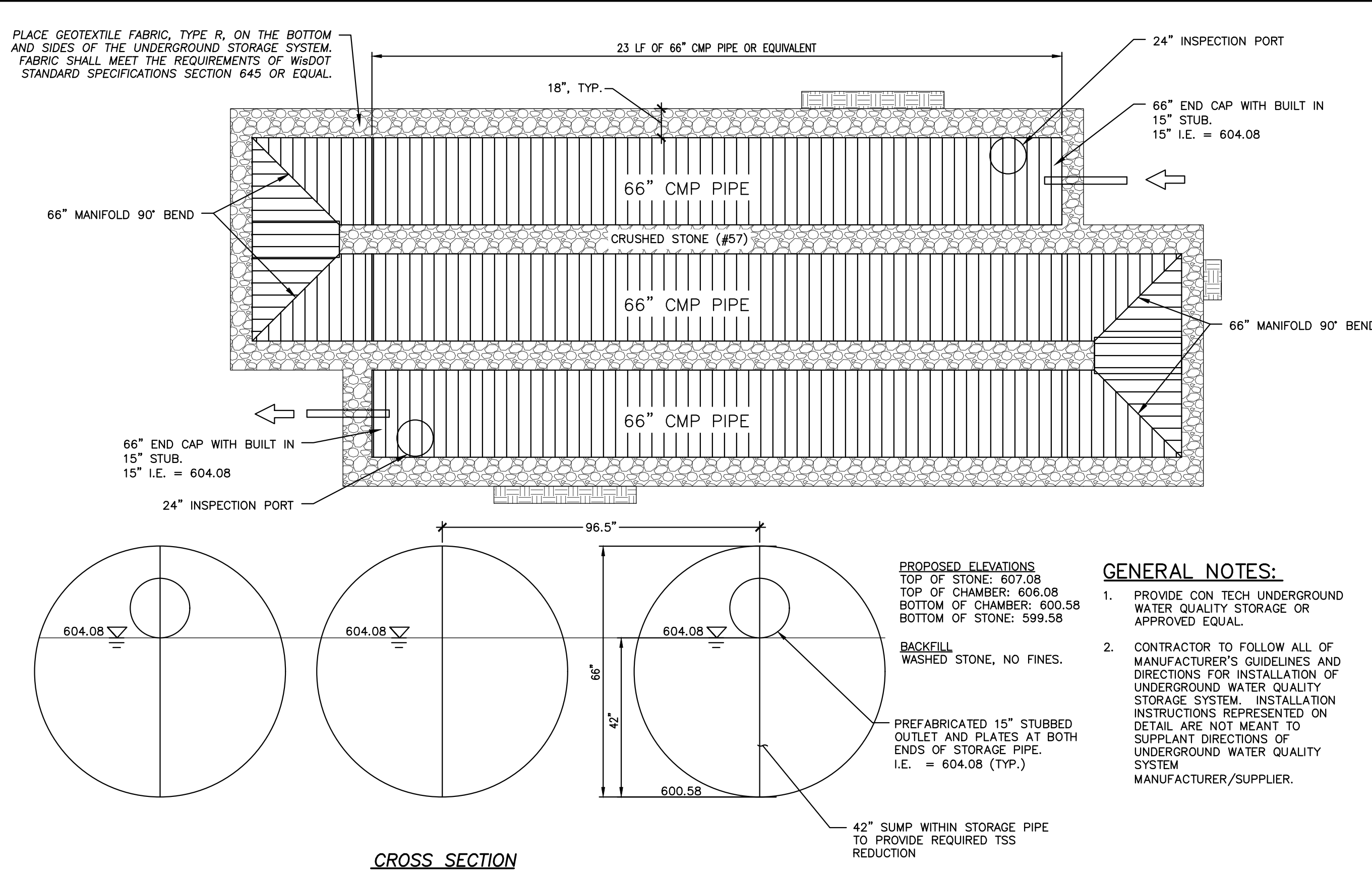




GENERAL NOTES:

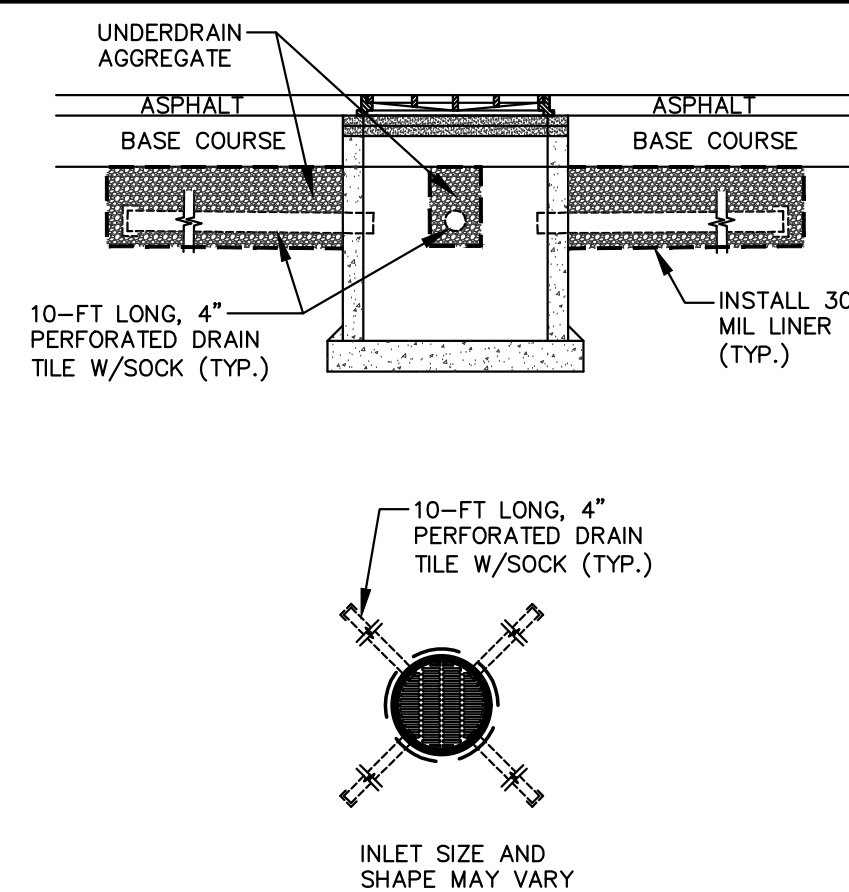
1. MANHOLE CONSTRUCTION TO MEET REQUIREMENTS OF ASTM C478.
2. PROVIDE FLAT TOP SLAB FOR MANHOLES 5' OR LESS IN DEPTH. FLAT TOP SLABS TO BE IN-BELL TYPE.
3. JOINTS SHALL BE WATERTIGHT. USE BUTYL RUBBER GASKET.
4. USE MORTAR FOR PIPE CONNECTIONS.
5. ECCENTRIC CONE SECTION OF MANHOLE TO BE SET OUTSIDE OF VEHICULAR WHEEL PATH NEAR ROADWAY.

FLAT TOP SLAB



GENERAL NOTES:

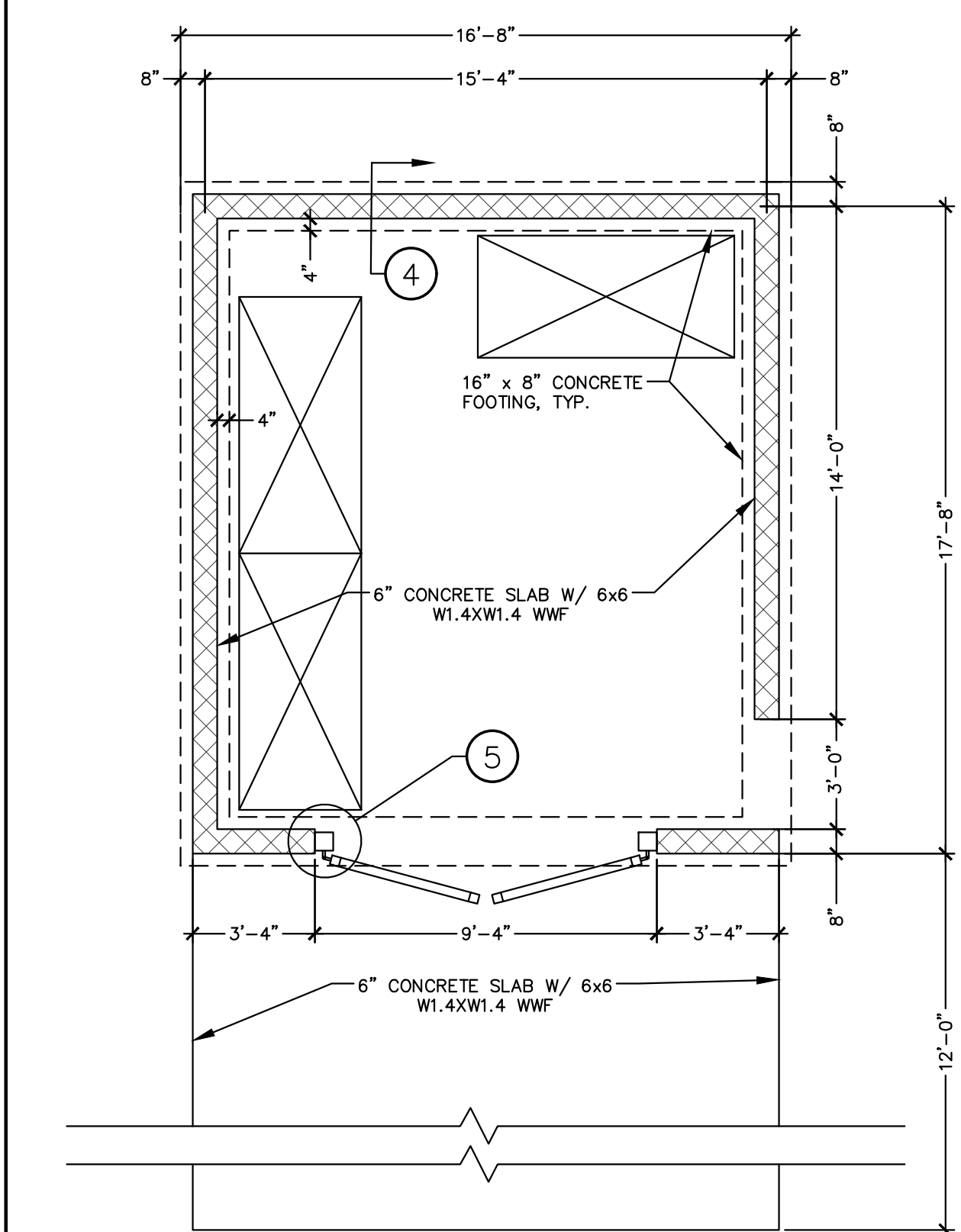
1. PROVIDE CON TECH UNDERGROUND WATER QUALITY STORAGE OR APPROVED EQUAL.
2. CONTRACTOR TO FOLLOW ALL OF MANUFACTURER'S GUIDELINES AND DIRECTIONS FOR INSTALLATION OF UNDERGROUND WATER QUALITY STORAGE SYSTEM. INSTALLATION INSTRUCTIONS REPRESENTED ON DETAIL ARE NOT MEANT TO SUPPLANT DIRECTIONS OF UNDERGROUND WATER QUALITY SYSTEM MANUFACTURER/SUPPLIER.



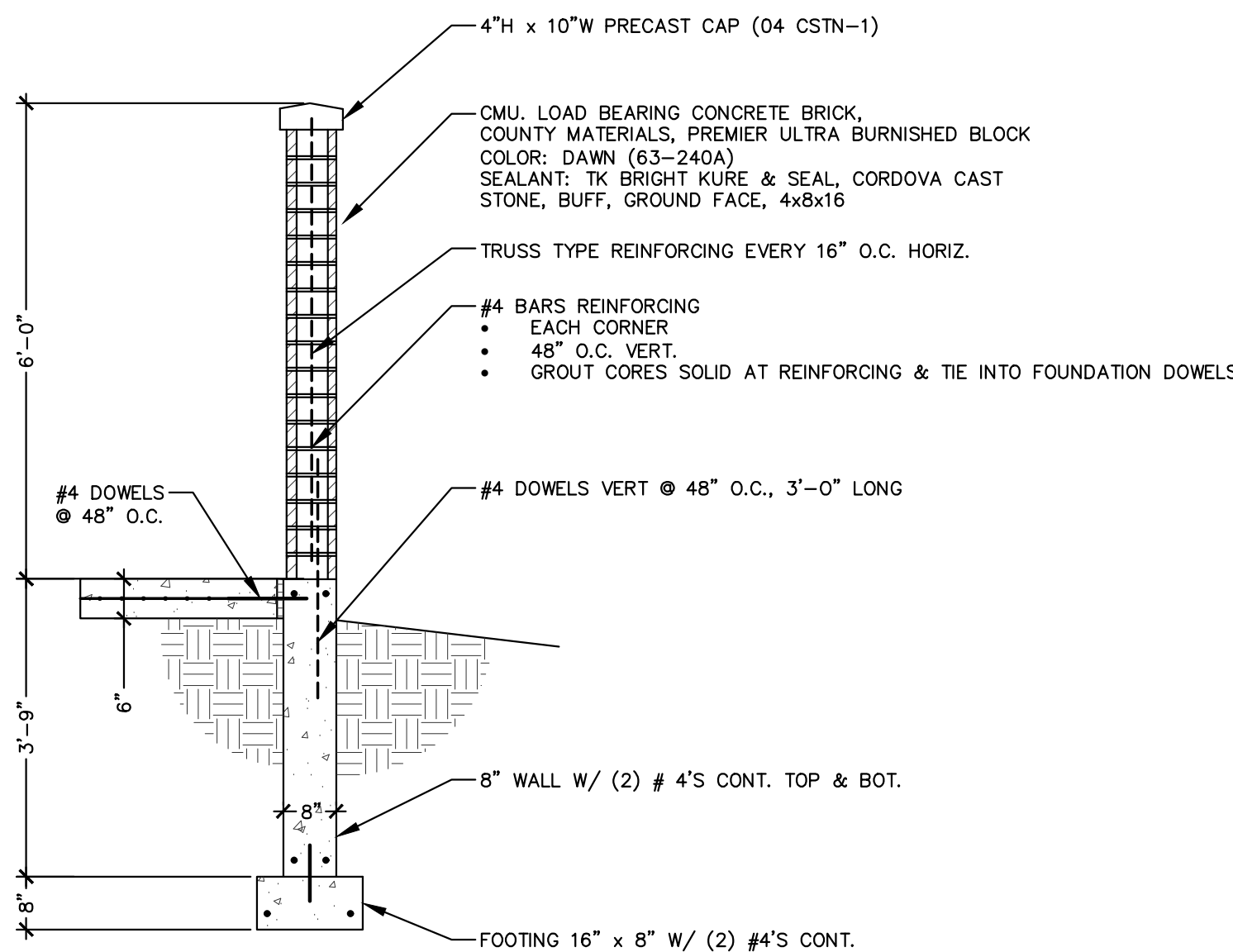
GENERAL NOTES:

1. UNDERDRAINS SHALL BE INSTALLED ON ALL INLET/CATCH BASINS LOCATED WITHIN IMPERVIOUS PAVEMENTS.
2. UNDERDRAIN CONNECTIONS SHALL BE CORED ONSITE.
3. UNDERDRAIN VERTICAL LOCATION MAY VARY DEPENDING ON STORM SEWER PIPE LOCATION.
4. ALTERNATIVE DESIGN MAY BE SUBSTITUTED IF SHOP DRAWINGS ARE SUBMITTED AND APPROVED BY CITY OF GREEN BAY.

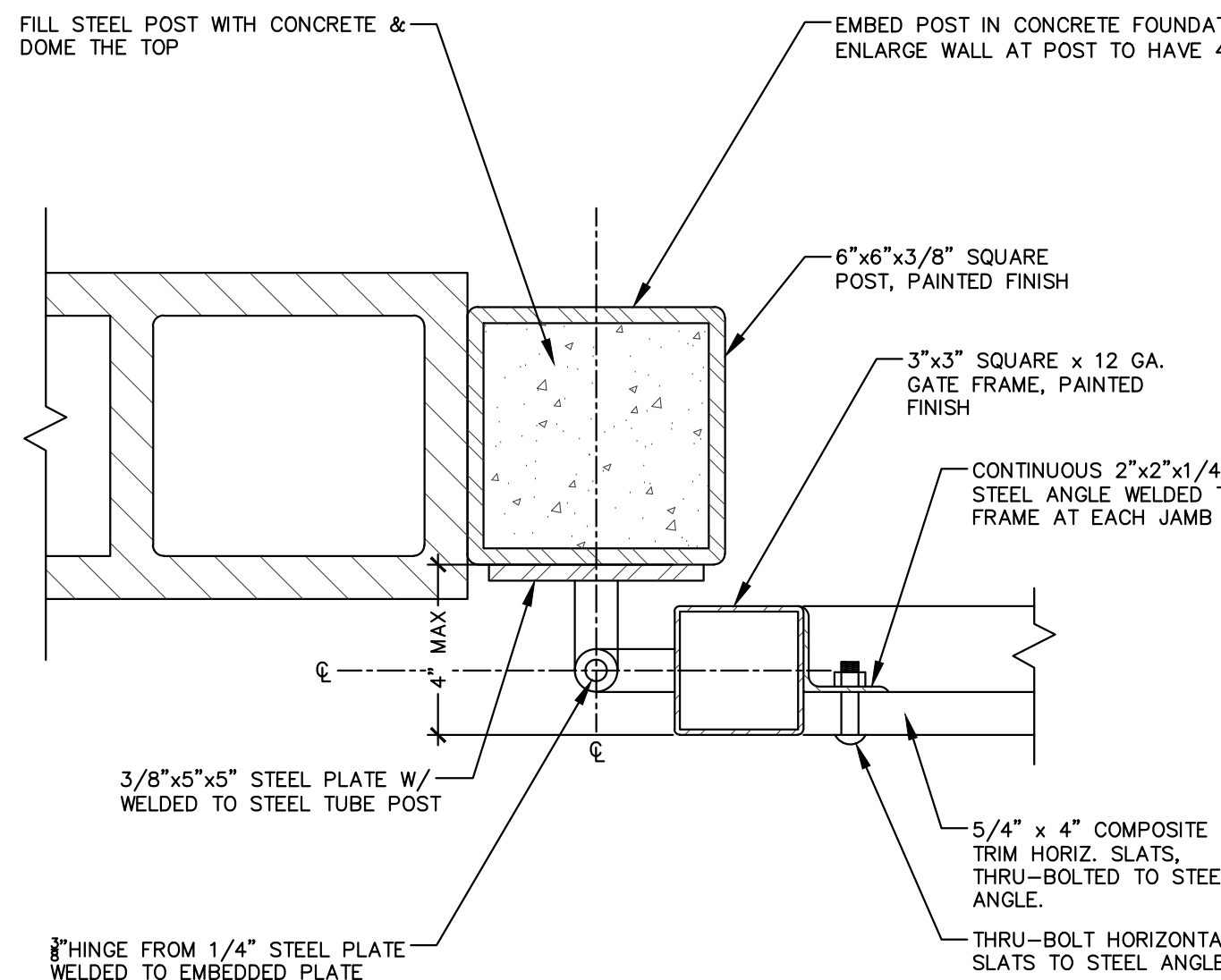
CATCH BASIN/INLET UNDERDRAIN



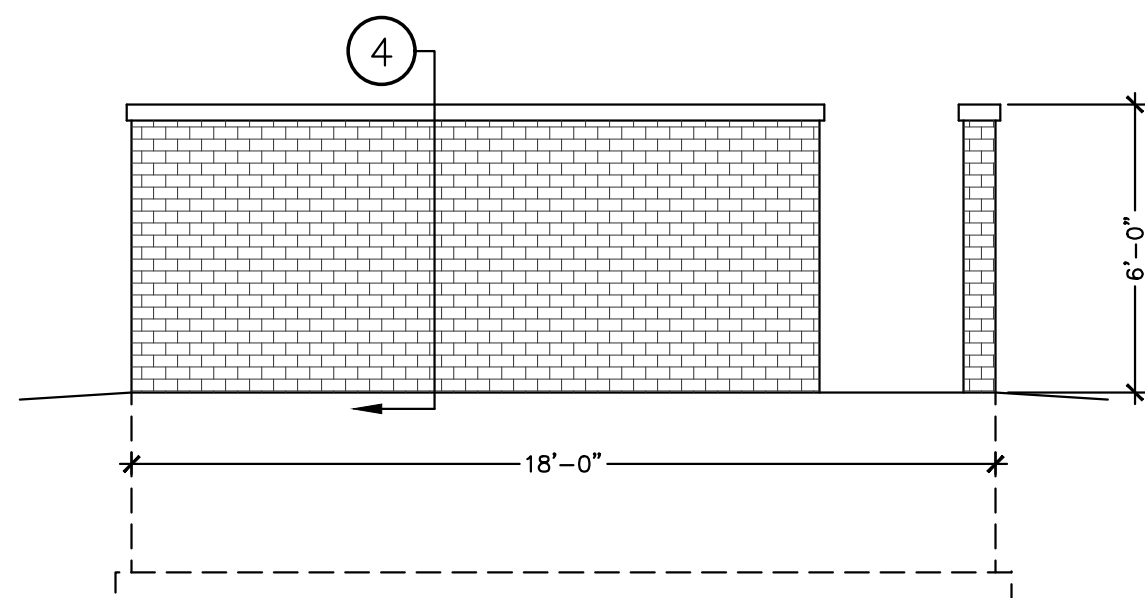
1 TRASH ENCLOSURE PLAN



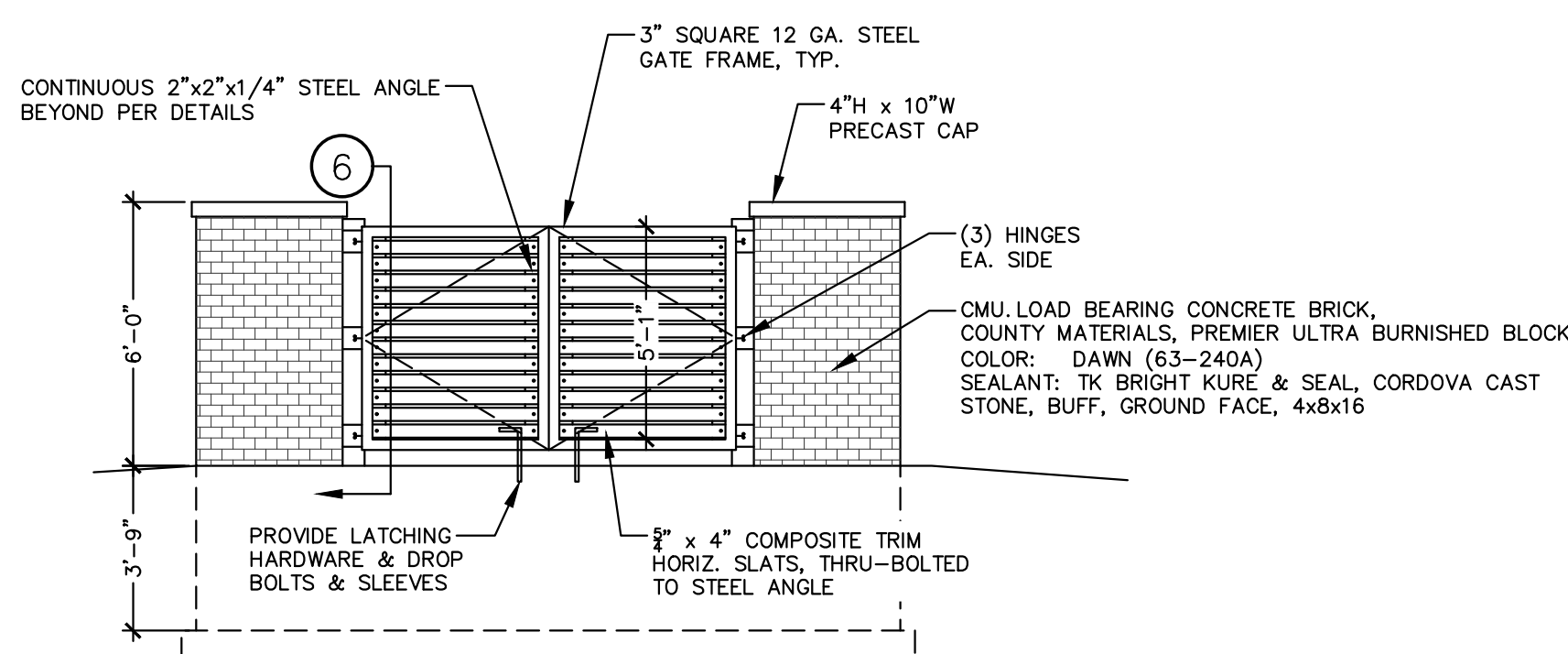
4 TRASH ENCLOSURE WALL SECTION



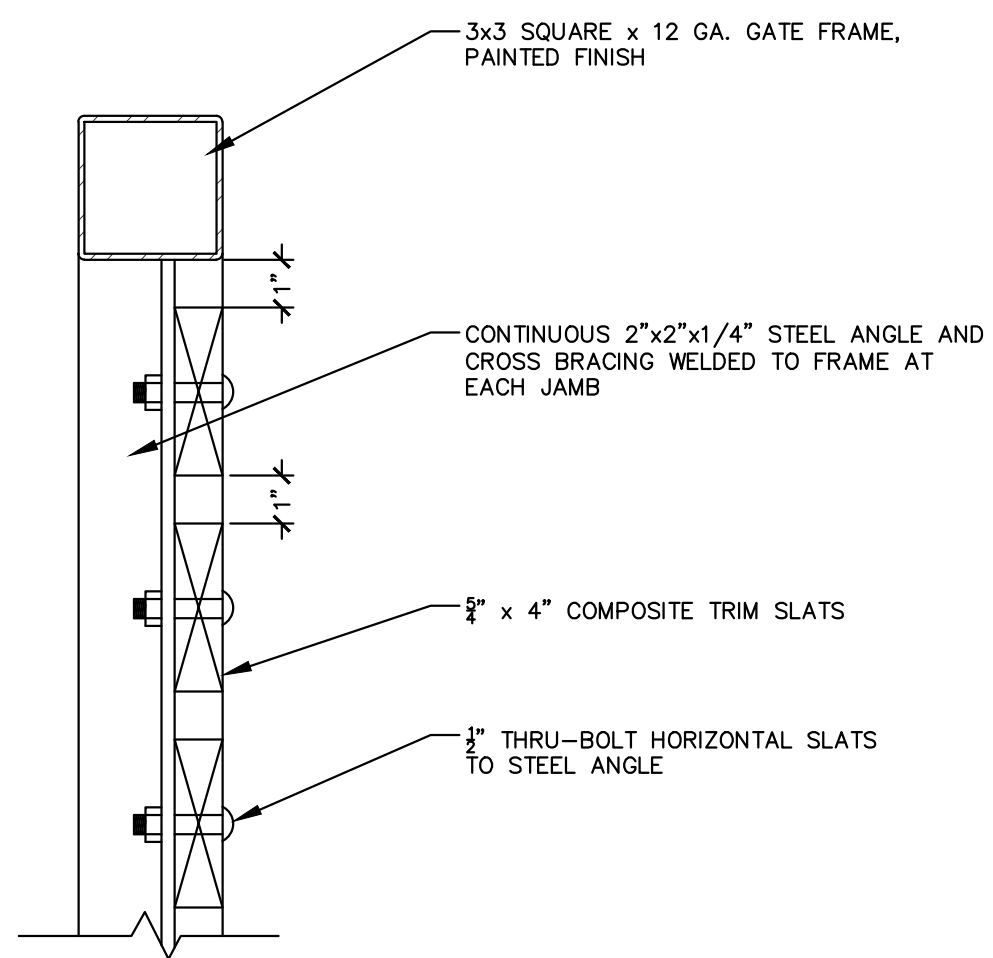
5 TRASH ENCLOSURE GATE JAMB



2 TRASH ENCLOSURE SIDE ELEVATION



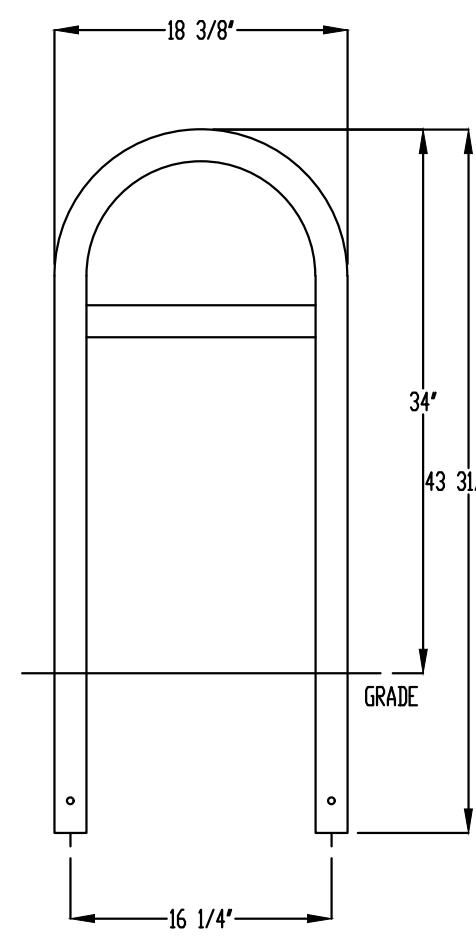
3 TRASH ENCLOSURE FRONT ELEVATION



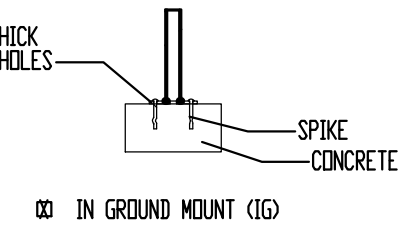
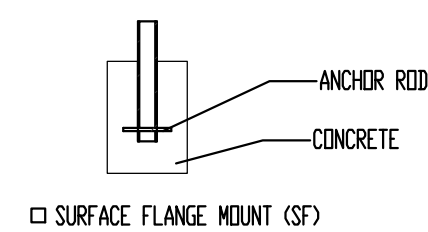
6 TRASH ENCLOSURE GATE HEAD

TRASH ENCLOSURE DETAIL

N.T.S.



CHECK DESIRED MOUNT



PRODUCT: 1200-SF
DESCRIPTION: PHOENIX SINGLE SIDED BIKE RACK
2 BOX, SURFACE MOUNT
DATE: 10-22-18
ENG: DMC

NOTES:
1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
2. COLOR SHALL BE BLACK POWDER COATED. SEE MANUFACTURER'S SPECIFICATIONS.
3. SEE SITE PLAN FOR LOCATION OF CONDUIT RUNS.
CONFIDENTIAL DRAWING AND INFORMATION IS NOT TO BE COPIED OR DISCLOSED TO OTHERS WITHOUT THE CONSENT OF GRABER MANUFACTURING, INC. SPECIFICATIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE.
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SQUARE 'U' BIKE RACK

N.T.S.



DESIGN REVIEW - NOT FOR CONSTRUCTION -

PROJECT:
BAY CITY LOFTS
216 S. MILITARY AVE.
GREEN BAY, WI

OWNER:
GORMAN & COMPANY
200 N Main Street
Oregon, WI 53575

ARCHITECT:
KORB + ASSOCIATES
ARCHITECTS
648 N. PLANKINTON AVE
SUITE 240
MILWAUKEE, WI 53203

CIVIL ENGINEER:
JSD PROFESSIONAL
SERVICES, INC.
7402 STONE RIDGE DRIVE
WESTON, WI 54476

STRUCTURAL ENGINEER:
SPIRE ENGINEERING, INC.
305 N Plankinton Avenue
Suite 101
Milwaukee, WI 53203

DATE REVISION

PROJ. NO.	220204
SCALE	AS INDICATED
PHASE	95% CONSTR. DOC.
DATE	10.14.2022

CONSTRUCTION
DETAILS

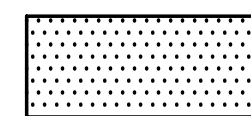
C5.1

DIGGERS HOTLINE
Toll Free (800) 242-8511

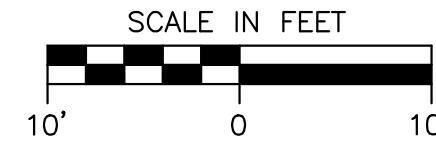
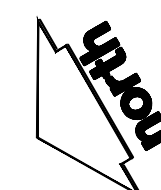


1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
2. ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE MUNICIPAL STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
3. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OF THE REGULATORY AGENCIES.
4. DRAWING FOR REVIEW – NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
5. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR
6. REFER TO "LANDSCAPE DETAILS AND NOTES" SHEET FOR ADDITIONAL DETAILS, NOTES AND SPECIFICATION INFORMATION INCLUDING MATERIALS, GUARANTEE AND EXECUTION RELATED TO LANDSCAPE PLAN
7. CONTRACTOR SHALL REVIEW SITE CONDITIONS FOR UTILITY CONFLICTS, DRAINAGE ISSUES, SUBSURFACE ROCK, AND PLANT PLACEMENT CONFLICTS PRIOR TO PLANT INSTALLATION. REPORT ANY CONDITIONS THAT MAY HAVE ADVERSE IMPACT ON PLANTING OPERATIONS TO LANDSCAPE ARCHITECT
8. DO NOT COMMENCE PLANTING OPERATIONS UNTIL ALL ADJACENT SITE IMPROVEMENTS, IRRIGATION SYSTEMS ARE COMPLETE AND FUNCTIONING.

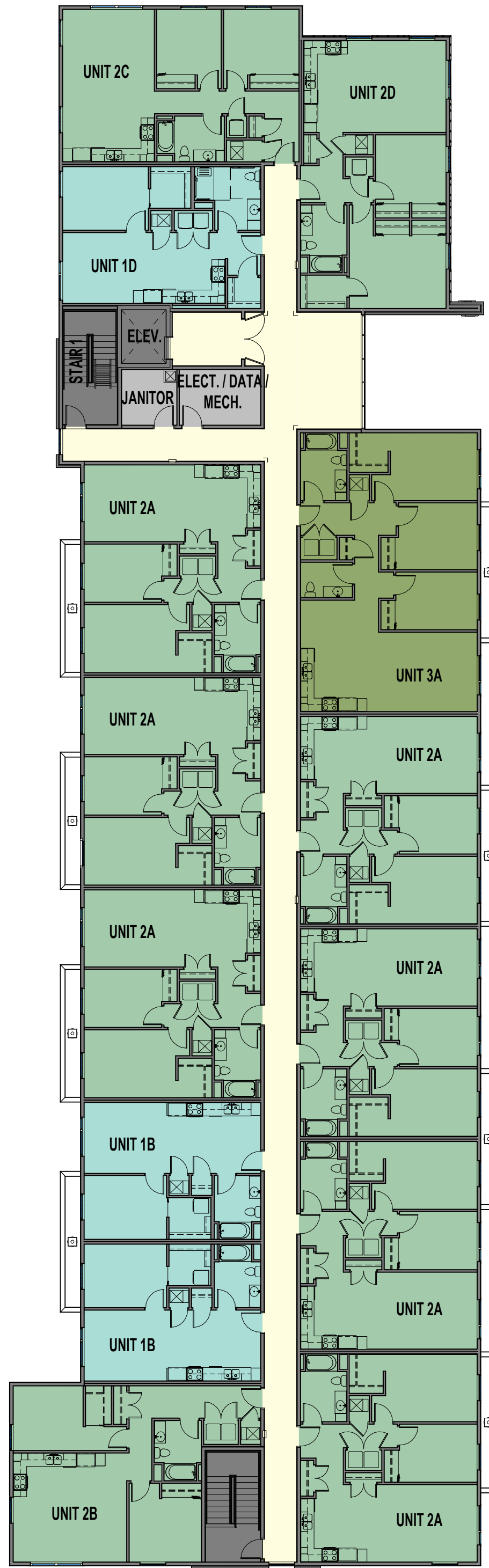
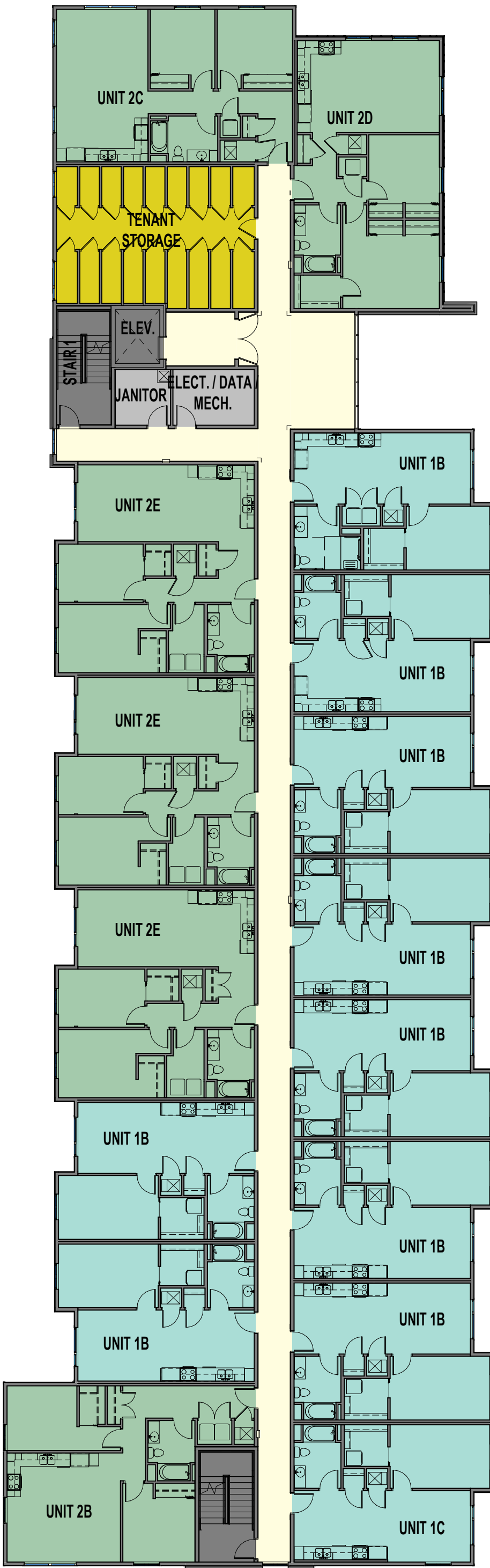
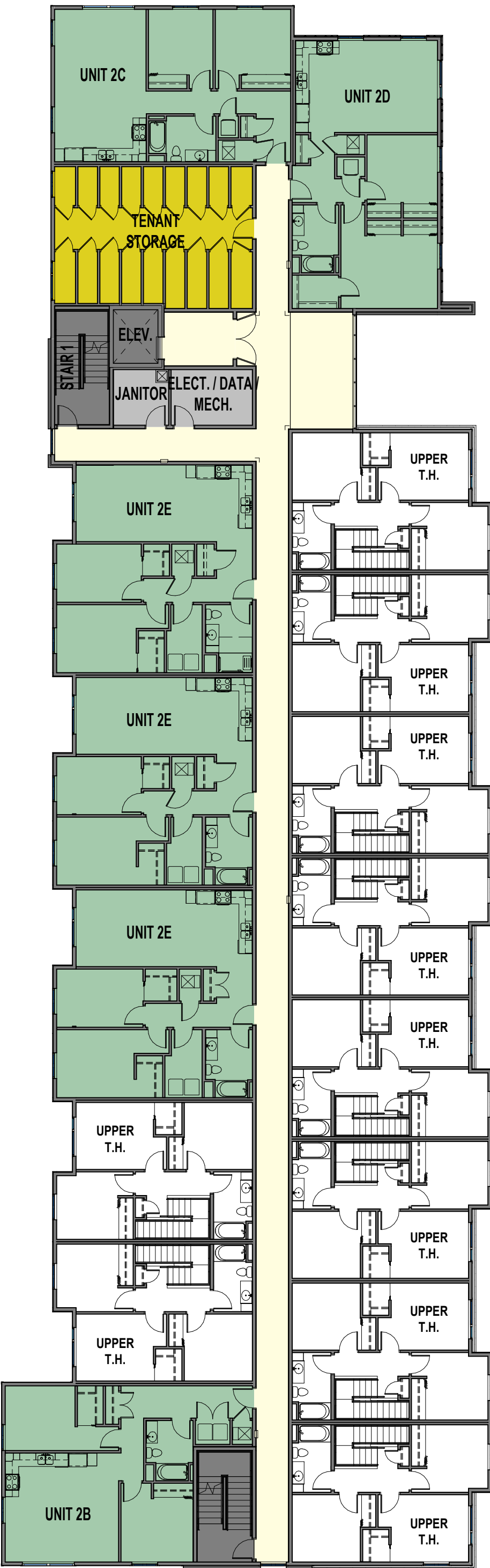
LEGEND



KENTUCKY BLUEGRASS BLEND (SOD)



Toll Free (800) 242-8511



UNIT SUMMARY		
UNIT	Beds/Baths	Unit Type
UNIT 308	1BR 1BA	1C
UNIT 307	1BR 1BA	1B
UNIT 306	1BR 1BA	1B
UNIT 305	1BR 1BA	1B
UNIT 304	1BR 1BA	1B
UNIT 303	1BR 1BA	1B
UNIT 302	1BR 1BA	1B
UNIT 301	1BR 1BA	1B
UNIT 311	1BR 1BA	1B
UNIT 310	1BR 1BA	1B
UNIT 412	1BR 1BA	1D
UNIT 407	1BR 1BA	1B
UNIT 408	1BR 1BA	1B
1BR 1BA: 13		
UNIT 209	2BR 1BA	2B
UNIT 212	2BR 1BA	2E
UNIT 213	2BR 1BA	2E
UNIT 214	2BR 1BA	2E
UNIT 215	2BR 1BA	2C
UNIT 216	2BR 1BA	2D
UNIT 109	2BR 1BA	2B
UNIT 112	2BR 1BA	2A
UNIT 316	2BR 1BA	2D
UNIT 315	2BR 1BA	2C
UNIT 314	2BR 1BA	2E
UNIT 313	2BR 1BA	2E
UNIT 312	2BR 1BA	2E
UNIT 309	2BR 1BA	2B
UNIT 413	2BR 1BA	2C
UNIT 414	2BR 1BA	2D
UNIT 402	2BR 1BA	2A
UNIT 403	2BR 1BA	2A
UNIT 404	2BR 1BA	2A
UNIT 405	2BR 1BA	2A
UNIT 406	2BR 1BA	2B
UNIT 408	2BR 1BA	2A
UNIT 410	2BR 1BA	2A
UNIT 411	2BR 1BA	2A
2BR 1BA: 24		
UNIT 101.1 (LOWER)	3BR 1.5BA	TH-A
UNIT 102.1 (LOWER)	3BR 1.5BA	TH-A
UNIT 103.1 (LOWER)	3BR 1.5BA	TH-A
UNIT 104.1 (LOWER)	3BR 1.5BA	TH-A
UNIT 105.1 (LOWER)	3BR 1.5BA	TH-A
UNIT 106.1 (LOWER)	3BR 1.5BA	TH-A
UNIT 107.1 (LOWER)	3BR 1.5BA	TH-A
UNIT 108.1 (LOWER)	3BR 1.5BA	TH-A
UNIT 110.1 (LOWER)	3BR 1.5BA	TH-A
UNIT 111.1 (LOWER)	3BR 1.5BA	TH-A
UNIT 401	3BR 1.5BA	3A
3BR 1.5BA: 11		
TOTAL OF ALL UNITS: 48		



PERSPECTIVE - S. MILITARY AVE NE CORNER



PERSPECTIVE - S. MILITARY AVE ENTRY



PERSPECTIVE - SOUTH WEST CORNER



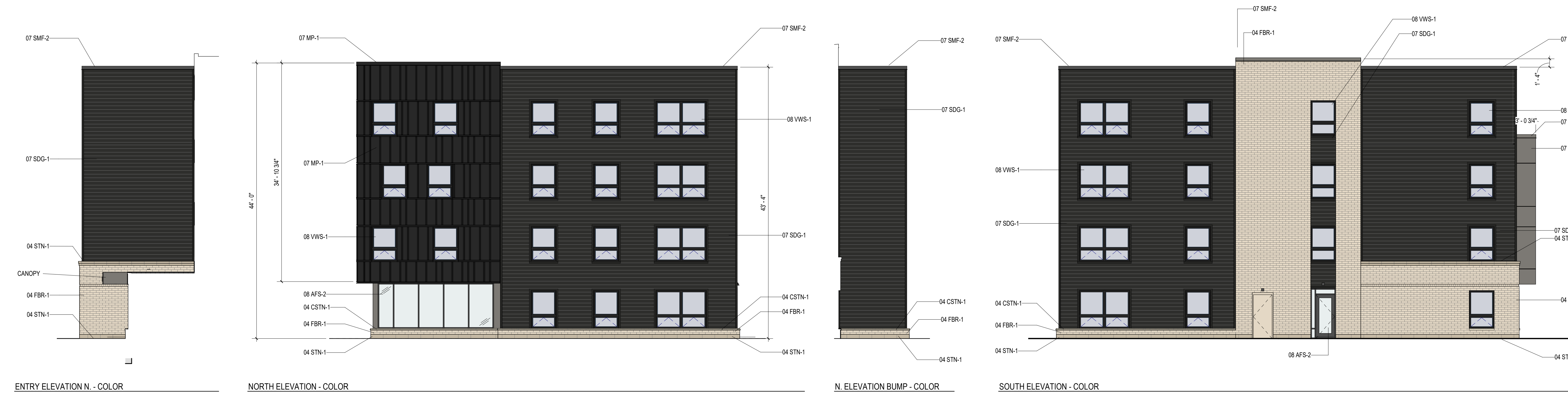
PERSPECTIVE - S. MILITARY AVE SOUTH EAST CORNER



PERSPECTIVE - NORTH WEST CORNER

NOT FOR CONSTRUCTION

KEYNOTE	DESCRIPTION
04 CSTM-1	04 72 00 / CAST STONE SILL - TO MATCH CORDEOVA BUFF
04 FBR-1	04 26 13 / FACE BRICK - UTILITY SIZE (BEDDEN 481-463 SMOOTH)
04 STN-1	04 53 13 / CORDEOVA STONE - BUFF GROUND FACE 4" X 8" X 24"
07 FC-1	07 46 48 / HARDIE ARCHITECTURAL FIBER CEMENT BOARD PANEL - FINE SAND - AGED PEPPER
07 MP-1	07 46 19 / METAL PANEL (MAC METAL ARCHITECTURAL, MS1 & MS12 MODULAR - TITANIUM BLACK)
07 SDG-1	07 46 06 / PLANK PLANK FIBER CEMENT LAP SIDING - SMOOTH - IRON GRAY
07 SMF-2	07 82 00 / SHEET METAL FLASHING - PREFINISHED ALUMINUM
08 AFS-2	07 41 13 / ALUMINUM FRAMING SYSTEM - EXTERIOR, THERMALLY BROKEN (KNAIVER 451T - ANOZODIZED BLACK #29)
08 VWS-1	08 53 13 / VINYL WINDOW SYSTEM - QUAKER 3000 - BLACK



COLOR ELEVATIONS

BAY CITY LOFTS

22002-04

10.10.2022

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Report to the Green Bay Plan Commission

MEETING DATE

November 7, 2022

PREPARED BY

AGENDA ITEM # E.4

(ZP 22-38) Public Hearing on a request for a Conditional Use Permit (CUP) to allow Automobile Salvage operations at 1330 Tomlin Street, submitted by Robert, Theodore & Eric Burrows, petitioner, Sal Bs Scrap Metals on Velp, LLC, Property Owner (Ald. Steuer, District 10).

BACKGROUND

RECOMMENDATION

FISCAL IMPACT

ATTACHMENTS

None



Report to the Green Bay Plan Commission

MEETING DATE

November 7, 2022

PREPARED BY

David Buck, Staff

AGENDA ITEM # E.5

(ZP 22-38) Consideration with possible action on the request for a Conditional Use Permit (CUP) to allow Automobile Salvage operations at 1330 Tomlin Street, submitted by Robert, Theodore & Eric Burrows, petitioner, Sal Bs Scrap Metals on Velp, LLC, Property Owner (Ald. Steuer, District 10).

BACKGROUND

Reason for Request: To permit the use of the property for automobile & metal salvage operations.

Zoning and Land Uses:

Subject Property: GI General Industrial Former Tire Recycling

North: GI General Industrial Rail Operations
South: GI General Industrial Manufacturing & Warehousing
East: GI General Industrial Trucking Outdoor Storage
West: GI General Industrial Auto Salvage & Warehousing

Comprehensive Plan: The 2022 Smart Growth Plan designates the subject site and those areas adjacent to the north, east and west for general industrial use. Area to the south fronting Velp Avenue is General Commercial uses. Additionally, the Velp Avenue Areawide Plan (adopted in June 2017) designates the property adjacent to the south (Alwin Manufacturing property) as Transformative Opportunity Site #3 with the most desirable and compatible land-uses to include commercial, office, mixed-use and modern industrial uses. The proposed use of the property for salvage operations is consistent with the recommendations of the Comprehensive & Velp Avenue Plans.

Report: The subject property is an existing 604,000 sq. ft. / 13.87 acre parcel located on the east side of Tomlin Street at its northernmost terminus abutting the 10-track Canadian National rail yard. The lot is currently vacant but contains a 2,700 square foot office/shop building, 12,000 square foot warehouse, 500 square foot trailer office, and a industrial truck scale.

The property currently has 26% of its area as impervious surface (2.5% buildings & 23.5% pavement) with the remaining 74% of its area being open space. The open space area is heavily vegetated and a small detention pond with approximately 40% of the area designated by the WI DNR as wetlands. The entire lot is currently located in the FEMA 100 Year Floodplain but is removed on the draft FEMA Flood Insurance Rate Maps anticipated to be adopted early next year.

The request for the Conditional Use Permit (CUP) is to permit a material recovery use to include automobile salvage/scrap yard operations, both defined in the Zoning Code as:

- Material recovery facility (major): A facility for the deposit, sorting, or batching, but not processing, of post-consumer recyclable materials, including limited compacting or crushing of recyclable materials.
- Auto salvage yard, scrap yard: A facility where scrap or salvage materials, including used motor vehicles, are sorted, stored, dismantled, assembled, and distributed, including wholesale and retail sales of such

materials. Scrap or salvage materials include, but are not limited to, scrap iron and other metals, paper, rags, rubber tires, bottles, plastics, and aluminum cans.

The petitioner intends to relocate their existing operations currently at 1156 Velp Avenue and establish the site at 1330 Tomlin as a scrap yard for the collection of metals and junk/salvaged vehicles. Services also provided include lugger and roll-box/trailer as described in the submitted application. Automobile processing such as draining fluids, removal of batteries, etc. will be conducted and storage of these products will be inside the warehouse structure.

Anticipated public operating hours for salvage are Monday-Friday from 7 a.m. to 6 p.m. and Saturdays from 7 a.m. to 5 p.m. Anticipated site modifications would be the removal of the 500 square foot trailer office and installation of an 8-foot tall fence affixed with a heavy-duty tarp along the perimeter of the property, locked and gated entrances, installation of security lighting and addition of an off-road diesel above-ground storage tank. Machinery and other items to be stored at various location on-site includes cranes, payloaders, skid steer, forklifts, semi-trailers and other machinery/equipment necessary for business operations, as indicated within the submitted application and site plan.

Although auto and metal salvage is generally not the most desirable within the city limits due to its potential impacts, the subject site on Tomlin Street is appropriate as it is deep within a general industrial zoning district, surrounded by similar industrial uses (including an auto salvage operation directly across the street), is not in close proximity or visible from any residential area, is near a highway interchange, is at the end of a “dead-end” right-of-way minimizing traffic impacts, and was previously the site of a very similar use requiring minimal site modifications to establish operations. Additionally, though not a factor in staff’s recommendation, the relocation of the existing operations on Velp Avenue will help to reduce impacts that operation has on dissimilar uses near it. Therefore, staff is supporting the CUP request.

Ald. Steuer and property owners within 400 feet have been notified of the request. Staff has not received any inquiries as of the drafting of this report.

RECOMMENDATION

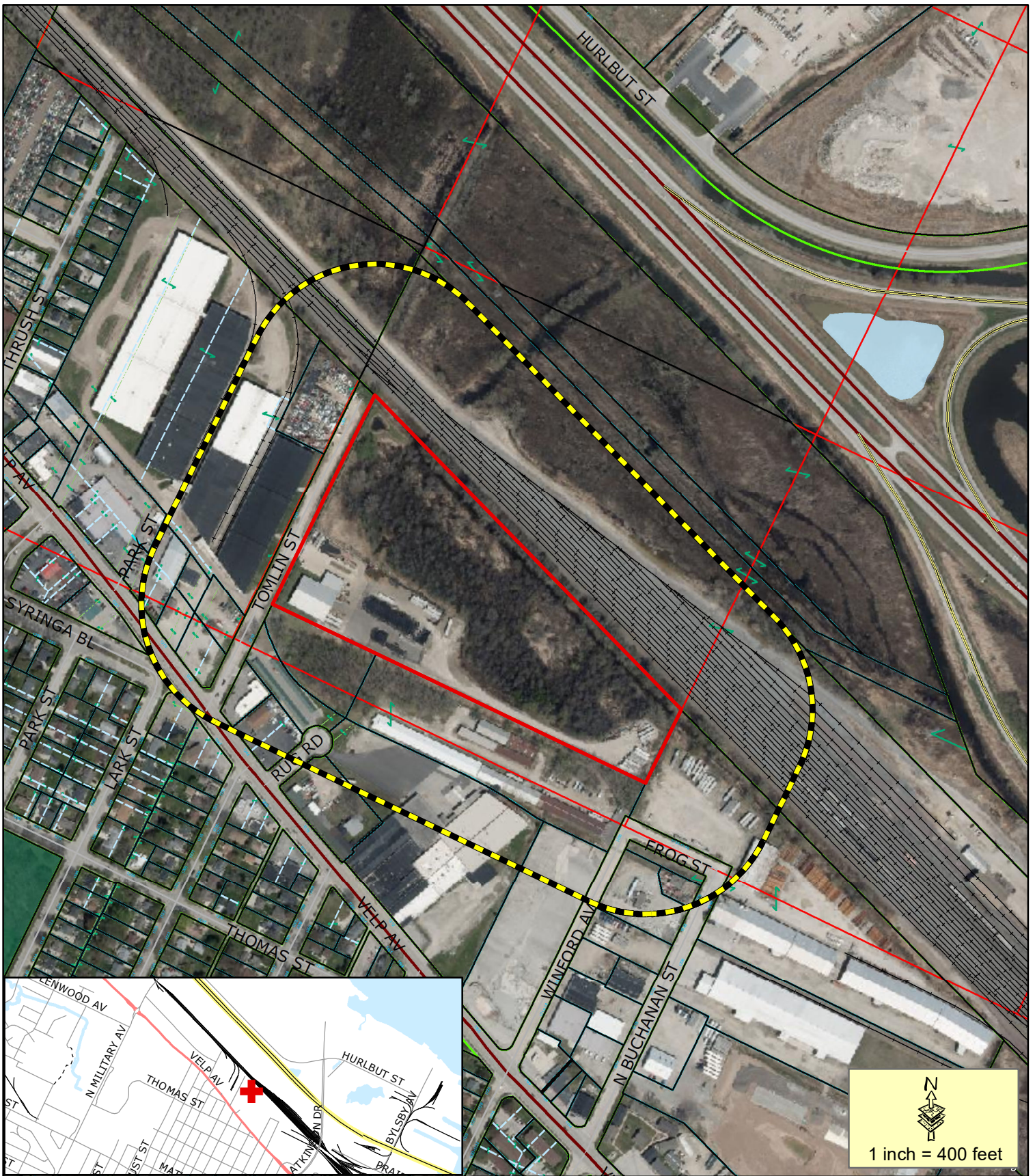
Approval of the CUP request with the following condition:

- I. Compliance with all regulations of the Green Bay Municipal Code not covered under the Conditional Use Permit, including standard site plan review and approval.

FISCAL IMPACT

ATTACHMENTS

1. ZP 22-38 PropMap
2. ZP 22-38 Application
3. ZP 22-38 Site Plan



Proposed CUP



400' Property Owner Notice

This is a compilation of records and data located in various City of Green Bay offices and is to be used for reference purposes only. The City of Green Bay is not responsible for any inaccuracies or unauthorized use of the information contained within. No warranties are implied.
Map prepared by DB

Zoning Petition (ZP 22-38)
Proposed Conditional Use
Permit (CUP) at
1330 Tomlin Street





REQUEST FOR CITY ACTION PLAN COMMISSION

Community and Economic
Development Department
100 N. Jefferson Street, Rm 608
Green Bay, WI 54301-5026
(920) 448-3400 - phone
(920) 448-3426 - fax
www.greenbaywi.gov

Location of Property: 1330 Tomlin St, Green Bay, WI

Parcel Number(s): 18-11

Petitioner(s): Robert, Theodore & Eric Burrows

Date: _____

Email: erburrows@bbmetalsprocessing.com

Phone Number: 920-374-1125

Address: 14520 Pioneer Rd

City: Newton

State: WI

Zip: 53063

Property Owner: Sal Bs Scrap Metals on Velp LLC

Phone Number: 920-374-1125

Submit this Request Form and all required attachments to the Community and Economic Development Department, Room 608, City Hall

To: Honorable Mayor and Common Council, c/o City Clerk

I, Robert, Theodore & Eric Burrows, respectfully request that the City of Green Bay take the following action:

- ☐ Rezone Property (\$300.00 Review Fee)
- ☒ Conditional Use and CUP Amendment, including Single Lot Duplexes (\$300.00 Review Fee)
- ☐ PUD and PUD Amendments (\$350.00 Review Fee)
- ☐ Approve Preliminary City/Extraterritorial Subdivision Plat (\$150.00 + \$35.00 per Lot/Outlot Review Fee)
- ☐ Approve Preliminary Condominium Plat (\$150.00 + \$35.00 per Lot/Outlot/Lot Equivalent Review Fee)
- ☐ Approve Preliminary City/Extraterritorial Certified Survey Map (\$150.00 Review Fee)
- ☐ Approve Final City/Extraterritorial Subdivision Plat (\$100.00 Review Fee)
- ☐ Approve Final Condominium Plat (\$100.00 Review Fee)
- ☐ Grant a City/Extraterritorial Subdivision/CSM Variance (\$150.00 Review Fee)
- ☐ Grant a Postponement of Development Fees (\$100.00 Review Fee) [Review by I&S and/or Park Committees]
- ☐ Development District Map Amendment (\$200.00 Administration Fee)
- ☐ Official Map Amendment (\$200.00 Administration Fee)
- ☐ Plat of Right-of-Way (\$200.00 Administration Fee)
- ☐ Discontinue a Public Utility Easement (\$200.00 Administration Fee)
- ☐ Street Name Change (\$200.00 Administration Fee)
- ☐ Declare City Property "City Surplus" (\$200.00 Administration Fee)
- ☐ Vacate a Street/Alley/Pedestrian Way (\$200.00 Administration Fee) – PLEASE FILL OUT PAGE 2 OF APPLICATION
- ☐ Closure of Street/Alley/Pedestrian Way (\$200 Administration Fee) – PLEASE FILL OUT PAGE 2 OF APPLICATION
- ☐ Comprehensive Plan Amendments (\$200.00 Review Fee)
- ☐ Other (\$200.00 Administration Fee): _____

Owner Signature: _____

Date: Oct 12 2022

Petitioner Signature(s): _____

Checklist of required attachments:

- Map
- Legal Description
- Applicant Narrative Describing Project
- All Other Pertinent Information

For office use only:

Review Fee: 300.00

Receipt No.: _____

Zoning Petition No.: 22-38

Rec'd 10/12
by SH.

Conditional Use Permit (CUP)

Business Plan, Conceptual Site Plan, and Additional Pertinent Information

The following information is provided as a supplement to the City of Green Bay and Conditional Use Permit Applications prepared by:

Burrows Midwest, LLC
1330 Tomlin St
Green Bay, WI

Legal Description: 13.869 AC M/L MILITARY RESERVE LOT 55 EX RR R-O-W & EX 172 D 326 & EX 646 R 194 & EX 692 R 595 & EX S 145 FT & EX HWY & EX RDS

Enclosed with this written Business Plan, outline of site operations, and description of anticipated changes, we have also attached the following:

- Site Figure depicting future land use

Introduction

The owners of Burrows Midwest, LLC (Robert, Theodore and Eric Burrows) are requesting a Conditional Use Permit (CUP) to utilize as a scrap yard to collect ferrous and non-ferrous metals and junk/salvaged vehicles at the above referenced property.

Burrows Midwest would like to move the operations from 1156 Velp Ave to 1330 Tomlin St to show the City of Green Bay and its residents they support the City's initiative to revitalize the area and be good neighbors and stewards. Moving operations from 1156 Velp Ave to 1330 Tomlin St will allow the business operations to be more secluded and less visible and to individuals driving on Velp Ave and to the residents residing in close proximity to the property.

1330 Tomlin St property is located on the north side of Velp Ave. Alwin Manufacturing Co Inc. is the property owner on the southern property line. Alwin Manufacturing's trees, shrubs and buildings block the majority of the 1330 Tomlin St property from the public view.

Burrows Midwest will move all scrap metal recycling business operations from 1156 Velp Ave to 1330 Tomlin St once all required local and state permits and licenses are received. Within 24 months of the scrap metal recycling business vacating 1156 Velp Ave, Burrows Midwest will redevelop the property for other general industrial use or place the property for sale.

The purpose of this CUP addendum is to provide the City of Green Bay information needed to make a CUP determination.

Background

Robert, Theodore and Eric Burrows currently own and operate the following scrap metal businesses in Wisconsin:

- B&B Metals Processing Company, Inc., 14520 Pioneer Rd, Newton, WI
 - Licensed WDOT Motor Vehicle Salvage Dealer or Recycler
 - Permits: WDNR Air Operation Permit; WDNR Industrial Stormwater Discharge Permit
 - The facility is the primary scrap yard for the processing and recycling of ferrous and non-ferrous metals.

The goal is to develop a secondary scrap yard for the collection of ferrous and non-ferrous metals, together with junk/salvaged vehicles, similar to their existing sites in Brokaw, Howard, and Marinette, WI.

Burrows Midwest, LLC opened for operations in August 2020. Current operating hours are Monday through Friday from 7:00am to 6:00pm. All outdoor scrap processing operations are currently occurring on the central and north side of the property located at 1156 Velp Ave, Green Bay, WI. These operations consist of acceptance and unloading of scrap from a variety of local commercial accounts. The scrap materials are received directly at the facility when incoming loads are weighed at the scale house. Vehicles are then directed to the appropriate unloading/storage area on the property. Commercial vehicles with ferrous metals typically unload outdoors in segregated scrap areas. The scrap is either placed on the ground on paved surfaces, or placed directly in dumpsters (if the threat of stormwater contamination is apparent).

Ferrous metals accepted include but not limited to the following:

- Farm Machinery
- Clean Steel Rebar
- Machine Cast
- Transformers/Welders
- Prepared Foundry Steel
- Stove, Motor, Auto Cast & Brake Drums
- Unclean Auto Blocks
- Baling Wire/Fencing
- Electric Motors

Non-Ferrous metals accepted include the following:

- Aluminum
- Die Cast
- Lead
- Magnesium
- Radiators
- Brass
- Copper
- Stainless
- Zinc
- Sealed Units
- Auto Batteries

The following items are NOT accepted:

- Light bulbs
- Small household batteries
- Precious Metals

Anticipated public operating hours are Monday through Friday from 7:00am to 6:00pm and Saturday from 7:00am until 5:00pm.

Residential items to be accepted includes the following:

- Appliances (any refrigerant remaining in appliances is removed indoors in a Refrigerant Removal Area by qualified technicians)
 - Air Conditioners
 - Dehumidifiers
 - Freezers
 - Refrigerators
- Grills
- Propane tanks (only if obvious holes are present)
- Snow blowers and lawn mowers (if all fluids are drained and tires removed)
- Bikes (with tires removed)
- Junk /salvage vehicles

For commercial accounts, Burrows Midwest, LLC also offers lugger and roll-off boxes and/or trailers. Covers for lugger boxes are provided upon request. They also provide fork lift boxes and self-dumping hoppers to use inside facilities. In addition, they also provide semi-trailers and large containers for large amounts of scrap from major scrap clean ups, and can pick up large obsolete machines and equipment.

Once received, all scrap is segregated into common piles or containers and held for shipment to B&B Metals Processing Company, Inc. (B&B Metals) in Newton, WI. B&B Metals operates a large metal shredder capable of shredding large metal objects (including vehicles) to facilitate the reintroduction of the waste metals into various recycling streams and uses, primarily the smelting and metal industries.

As indicated the facility also plans to accept vehicles for recycling. Upon arrival, vehicles will be temporarily parked to the east of the "*Car Bay/Non-Ferrous Building*" in the location marked as "*Vehicle Storage*" on the attached figure. From there they are moved via forklift indoors into the "*Car Bay/Non-Ferrous Building*." This warehouse area will be completely covered and not exposed to weather or precipitation. Vehicles will be drained of their fluids (e.g., gasoline/diesel fuel; antifreeze; used oil), and other materials (e.g., batteries; radiators; mercury switches; tires) are removed. All fluids and materials are temporarily stored indoors until disposal. All vehicles are stored within indoor warehouses adjacent the vehicle processing area until they are removed and loaded on trucks for transportation to B&B Metals in Newton, WI for further processing (i.e., run through metal shredder).

Anticipated Site Modifications

It is the Burrows goal to begin scrap operations, and make site improvements over time as income is produced. However, as noted below, equipment will be purchased or leased during fall 2022 through summer of 2023.

Buildings

The following buildings currently exist at the property:

- Shop/Non-Ferrous/Office – 62.17' x 42.67'
- Warehouse/Car Bay/Non-Ferrous – 120.50' x 99.50'
- Scale Office/Trailer – To be removed

The following buildings will be developed and built at the property:

- None

Scale

An industrial truck scale is installed north of Shop/Non-Ferrous.

Vehicles/Machinery and Parking

Employee parking will be just west and adjacent of the warehouse. Site machinery will be parked just east of warehouse or inside the Car Bay/Non-Ferrous warehouse. To enable full operations at the site the machinery will consist of the following:

- Cranes (1 to 2)
- Payloader (1)
- Skid steer (1 to 2)
- Forklifts (1 to 3)

A single 1,000-gallon off-road diesel aboveground storage tank used to fuel site machinery will be located east of the Car Bay/Non-Ferrous Building.

Lighting

There is lighting at the site for safety and to deter vandalism. At this time, all lighting is building mounted on the Shop/Non-Ferrous or the Car Bay/Non-Ferrous Building.

Landscaping and Site Resurfacing

The site is already paved throughout much of the property. The pavement will act as a storage pad for piles of segregated scrap materials. The piles are typically:

- Unprepared material (e.g., farm machinery, construction debris)
- Appliances and tin
- New construction steel (e.g., laser cut-outs)
- General miscellaneous

The pavement will also facilitate the parking of roll-off boxes, luggers and trailers.

Site Perimeter and Fencing

A site fence has been installed around a majority of the facility perimeter to deter vandalism and theft. The fence is a professionally manufactured and installed steel fence, approximately 8 feet high. Barbed wire may be added. For aesthetics, a heavy-duty green tarp has been affixed to the fence thus eliminating the general public from having to view the active scrap yard as they drive by. All entrances will be equipped with lockable gates.

Specific Areas of Operation as Referenced on Figure

- Commercial unloading area
 - Just east of Shop/Non-Ferrous & Car Bay/Non-Ferrous Building
- Residential unloading area
 - Inside Shop/Non-Ferrous & Car Bay/Non-Ferrous Building
- Car drop-off area; awaiting processing
 - Just east of Shop/Non-Ferrous & Car Bay/Non-Ferrous Building
- Metal roll-off boxes, luggers and trailers
 - East of Shop/Non-Ferrous & Car Bay/Non-Ferrous Building

- Processing of vehicles (e.g., draining of fluids; removal of battery)
 - Inside Car Bay/Non-Ferrous Building
- Storage of used gasoline, used oil, used anti-freeze/washer fluid, used batteries,
 - Inside Car Bay/Non-Ferrous Building
 - Storage tanks will be purchased and installed
 - All handling of these used products will be completed in accordance with state and federal regulations

Miscellaneous Storage

- Miscellaneous 55-gallon drums or totes of various oils, greases, motor oil, etc., will be stored inside the Car Bay/Non-Ferrous Building

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Figure No.
2

Title
Site Layout

Client/Project
Burrows Midwest LLC
Burrows Midwest
SWPPP
19370784

Project Location
T24N, R20E, S23
City of Green Bay, Brown Co., WI

Prepared by JDS on 2022-09-28
TR by SP on 2022-09-28
IR by ER on 2022-09-30



0 60 120 Feet
(At original document size of 11x17)
1:1,440

Legend

- Site Boundary
- Parcel Boundary
- Antifreeze Drums (Up to 5)
- Gas Drums (Up to 5)
- Hydraulic Tote/Fuel Tote
- Non-ferrous Auto Draining
- Used Oil
- Culvert
- Drain
- Surface Flow Direction
- Scale
- Shop/Non-Ferrous/Office
- Warehouse/Car Bay/Non-Ferrous
- Commercial and Vehicle Unloading Zone
- Roll-off Boxes, Luggers, and Trailers
- Scrap Metal Piles
- Ditch
- Holding Pond



Notes
1. Coordinate System: NAD 1983 StatePlane Wisconsin Central FIPS 4802 Feet
2. Data Sources: Stantec, WisDOT, WDNR, SCO
3. Background: NAIP 2020





Report to the Green Bay Plan Commission

MEETING DATE

November 7, 2022

PREPARED BY

Neil Stechschulte, Director

AGENDA ITEM # F.2

Discussion regarding in-person and hybrid meetings.

BACKGROUND

RECOMMENDATION

FISCAL IMPACT

ATTACHMENTS

None