



AGENDA OF THE GREEN BAY PLAN COMMISSION

MONDAY, MAY 8, 2023, 6:00 PM
City Hall, Room 604 - The Harry Maier Room.
Virtual attendance is also available via Zoom.

A. Zoom Meeting Information.

- I. This item contains Zoom information, instructions, and a link to the Virtual Comment Form.

B. Roll Call.

- I. Members: Lisa Hanson - Chair, Jacob Miller - Vice-Chair, Ald. Jim Hutchison, Sidney Bremer, Derius Daniels, Ken Rovinski, and Michael Poradek.

C. Approval of the Agenda.

- I. Approval of the agenda for the May 8, 2023, meeting of the Green Bay Plan Commission.

D. Approval of Minutes.

- I. Approval of the minutes from the April 24, 2023, meeting of the Green Bay Plan Commission.

E. Regular Business.

- I. (ZP 23-11) Public Hearing on the request to allow a Conditional Use Permit for townhomes to be established in the Low-Density Residential (R1) zoning district located at Richmond Street (Parcel 21-1361-6), submitted by Mau & Associates, on behalf of Habitat for Humanity, property owner (Ald. Morgan, District 3).
2. (ZP 23-11) Consideration with possible action on the request to allow a Conditional Use Permit for townhomes to be established in the Low-Density Residential (R1) zoning district located at Richmond Street (Parcel 21-1361-6), submitted by Mau & Associates, on behalf of Habitat for Humanity, property owner (Ald. Morgan, District 3).
3. (ZP 23-14) Public Hearing on a request to allow a Conditional Use Permit to exceed the maximum building height in the Business Park District located at 825 Hinkle Street,

submitted by Bayland Builders, on behalf of Russel Metals, property owner (Ald. Eck, District 11).

4. (ZP 23-14) Consideration with possible action on a request to allow a Conditional Use Permit to exceed the maximum building height in the Business Park District located at 825 Hinkle Street, submitted by Bayland Builders, on behalf of Russel Metals, property owner (Ald. Eck, District 11).
5. (TA 23-03) Public Hearing on amendments to various sections of the Zoning Code, Chapter 44, Article XVI, Section 44-1580 (j) related to Development Standards for Short Term Rentals.
6. (TA 23-03) Consideration with possible action on amendments to various sections of the Zoning Code, Chapter 44, Article XVI, Section 44-1580 (j) related to Development Standards for Short Term Rentals.

F. Informational.

1. Director's Report.
2. Date of next meeting: May 22, 2023

G. Adjournment.

- 1) THIS MEETING IS RECORDED: THE VIDEO OF THIS MEETING AND MINUTES ARE AVAILABLE ONLINE AT www.greenbaywi.gov
- 2) ACCESSIBILITY: Any person wishing to attend who requires special accommodation because of a disability, should contact the City Safety Manager at 920-448-3125 at least 48 hours before the scheduled meeting time so that arrangements can be made.
- 3) QUORUM: Please take notice that a majority or quorum of the Common Council will attend this Plan Commission meeting and will constitute a meeting of the Common Council for purposes of discussion and information gathering relative to this agenda.
- 4) REPRESENTATION: The party requesting the communication, or their representative, should be present at this meeting.

Virtual Meeting Instructions



Plan Commission

Zoom Meeting Information

Join Zoom Meeting

<https://us02web.zoom.us/j/84137675822?pwd=L2EyVlpDSlZGZ1FjcmlpWnZlOEVnUT09>

Meeting ID: 841 3767 5822

Passcode: 483400

One tap mobile

+13126266799,,84137675822# US (Chicago)

+16468769923,,84137675822# US (New York)

Dial by your location

+1 312 626 6799 US (Chicago)

+1 646 876 9923 US (New York)

+1 301 715 8592 US (Washington DC)

+1 408 638 0968 US (San Jose)

+1 669 900 6833 US (San Jose)

+1 253 215 8782 US (Tacoma)

+1 346 248 7799 US (Houston)

Meeting ID: 841 3767 5822

Passcode: 483400

Find your local number: <https://us02web.zoom.us/j/kc8xd2MWP>

Public Comments

If you wish to speak at this public meeting or leave a comment, please fill out the online [Comment Form](#) prior to the meeting.

Additional Information

1. Wisconsin Open Meetings Law still applies
 - a. Persons interested in speaking to an item must state their name and address for the minutes.
 - b. Committee/Commission/Board members will still follow *Roberts Rules of Order Newly Revised 12th edition*.
2. Please log into the Zoom meeting at least 10 minutes before the meeting begins to ensure a proper connection and that your technology is working.
 - a. If you are a Board Member, please log into [CivicClerk](#) with a computer, laptop, or tablet device.
3. Once you are in the meeting please mute yourself.
 - a. You may unmute yourself when you are called upon to speak.
4. Waiting room
 - a. When you call in or connect via web or Zoom app, you will be placed in a “waiting room.”
 - b. The meeting host will then admit you to the meeting, and mute you upon entrance (you will still be able to hear and or otherwise observe the meeting).
5. Registering
 - a. The host may ask you to register for the meeting. A registration link will be sent to you along with the invite. You'll receive another email confirming that you're registered for the meeting.
 - b. If you're using a phone, your registration will be tied to an email.
6. Raising your hand
 - a. Committee/Commission/Board members—you can either use CivicClerk and request to speak or you can also utilize the “raise your hand” tool in the Zoom platform (you'd need to use a computer or tablet) to let the host know you would like to speak. You can also un-mute yourself and start speaking.
 - b. Persons with items on the agenda or other interested parties—you can also utilize the “raise your hand” tool on the Zoom platform via computer or mobile device. You will be allowed to speak once the committee, commission, or board has moved to “open the floor for interested parties to speak.” Once discussion on your agenda item has concluded, the host will mute you, unless the committee opens the floor again.
7. What devices should I use?
 - a. Smart phone (please see more detailed instructions on page 3)
 - b. Land line
 - c. Tablet—in advance of the meeting, please download the Zoom Meeting app by using either the Apple Store or the Play Store. You will be asked to input your name, to identify you for the meeting.
 - d. Computer—you can access the meeting through a web browser by clicking on the meeting link, or through the Zoom Meeting app. If using the app, please download it in advance of the meeting. You will be asked to input your name, to identify yourself for the meeting.
 - e. For tablet and computer users--if you download the app you may be asked to verify your email.

8. Zoom etiquette
 - a. Muting yourself when you're not speaking will prevent your background noise from interfering with others' ability to listen to and participate in the meeting.
 - b. If you're using a telephone, please identify yourself with your phone number and state your name and address before you speak. Zoom meeting hosts can see only your telephone number and will ask you to identify yourself.
9. Closed session
 - a. Persons in the Zoom meeting will be put into a waiting room while the committee/commission/board meets in Closed Session. Participants will be admitted back into the Zoom meeting once the committee reconvenes in Open Session.
 - b. Persons watching a Common Council meeting live on YouTube will see a gray screen with the City logo during closed session.
10. Persons interested in attending anonymously or listening to the meeting may call in by dialing *67 followed by the phone number in the Zoom Meeting Information box.

Calling into the Zoom meeting using a smartphone

1. Dial the phone number listed at the beginning of this document.
2. When prompted, enter the Meeting ID number followed by #
3. Once you are in the meeting, notify the meeting host that you are in and state your name.
4. If you do not wish to speak, please make sure your phone is on **Mute**
 - a. If you're using a smartphone, look at your screen and click the Mute button





Report to the Green Bay Plan Commission

MEETING DATE

May 8, 2023

PREPARED BY

AGENDA ITEM # E.1

(ZP 23-11) Public Hearing on the request to allow a Conditional Use Permit for townhomes to be established in the Low-Density Residential (R1) zoning district located at Richmond Street (Parcel 21-1361-6), submitted by Mau & Associates, on behalf of Habitat for Humanity, property owner (Ald. Morgan, District 3).

BACKGROUND

RECOMMENDATION

FISCAL IMPACT

ATTACHMENTS

None



Report to the Green Bay Plan Commission

MEETING DATE

May 8, 2023

PREPARED BY

Stephanie Hummel, Staff

AGENDA ITEM # E.2

(ZP 23-11) Consideration with possible action on the request to allow a Conditional Use Permit for townhomes to be established in the Low-Density Residential (R1) zoning district located at Richmond Street (Parcel 21-1361-6), submitted by Mau & Associates, on behalf of Habitat for Humanity, property owner (Ald. Morgan, District 3).

BACKGROUND

Primary Address: 0 Richmond Street

Aldersperson/District: Ald. Morgan, District 3

Reason for Request: To allow for single-family attached homes in the Low-Density Residential (R1) zoning district

Surrounding Zoning and Land Uses:

SUBJECT: Low-Density Residential (R1); Vacant

NORTH: Varied-Density (R3) and Low-Density Residential (R1); Single-, Two-, and Multi-Family Homes

SOUTH: Low-Density Residential (R1); Single-Family Homes

EAST: Low-Density Residential (R1); Single-Family Homes

WEST: Varied-Density Residential (R3); Multi-Family Complex

Comprehensive Plan: The 2022 Smart Growth Plan currently designates this area for Medium-High Density Residential uses. The CUP request is consistent with the recommendations of the Comprehensive Plan.

Report: The subject parcel, 0 Richmond Street, is the proposed site for Habitat Homestead, a new housing project from Habitat for Humanity. This is a 14-lot subdivision that includes eight (8) single-family detached homes and six (6) single-family attached homes (townhomes). The Plan Commission approved a street vacation of the neighboring cul-de-sac as part of the development, as well as a Subdivision Variance for lot frontage and lot size, on April 24, 2023.

Single-family attached homes (townhomes) required a Conditional Use Permit (CUP) in the R1 zoning district. With a CUP, the townhomes lots have a minimum lot width of 25-feet and size of 2,500-square feet. The proposed lots (Lots 1-6 on the Plat) meet these requirements. The building height maximum is the same throughout the R1 district at 35-feet/2.5 stories. All of the housing in this development is below this. The townhomes and detached homes are of similar architectural styles and form (see attached renderings).

A neighborhood meeting was held on March 21, 2023 with four community members attending. There were concerns of the local children being “displaced” as they like to play in this vacant lot. In addition to this being a private lot, the closest park is VT Pride Park, which is .3 miles/6 minute walk from the site. The Kroc center is also .6 miles/12 minute walk from the site. There were also concerns about increased traffic. The

only traffic generated should be from the new neighbors and their visitors since Bader Street is the main connection between Manitowoc Road and Main Street for this neighborhood.

The neighbors also expressed their desire to see more “single-family homes”. These townhomes would be single-family homes; they are just attached buildings versus detached. They would all be single-family and initially placed through Habitat for Humanity, who have programming requirements for their families. Additionally, the Comprehensive Plan has this area designated for Medium and High Density Housing. This specifically calls out townhomes. There is also an expected density greater than eight (8) housing units per acre for Medium and High Density Housing areas. With the R1 zoning district for this area, an expected density would be between four (4) and eight (8) housing units per acre. As proposed, there are 5.2 housing units per acre. Staff believes this is an appropriate density.

Outside of the City’s standard site plan review, there are also the following land use development standards for single-family attached homes in the R1 district:

1. *A maximum of six units shall be permitted within a single building.*
2. *Townhouses shall have sufficient frontage per Table 44-2. No parking lot shall be located in the front yard or between the front facade and the street.*
3. *If the primary entrance of a structure is not facing the street, the Community and Economic Development Director may choose to require its location face a public street.*
4. *New housing types should be introduced in limited quantities to increase diversity and housing choice, not to replace whole blocks of existing housing. Therefore, no more than one-quarter of the lineal frontage of a block may be converted to townhouse units, and no further townhouse development is permitted once this threshold is reached.*
5. *Townhouse units shall be designed to reflect the general architectural style of surrounding buildings on the block, including front yard depth, height and roof pitch, primary materials, facade detailing, and size and placement of window and door openings. Exact replication of attributes of existing buildings is not expected, but rather sensitivity to neighborhood context.*
6. *Common open space for use by all residents or private open space adjacent to each unit shall be provided. Such open space shall comprise of a minimum of 1,500 square feet per unit.*

Conditional use approval may be recommended by the Plan Commission with reasonable consideration of the following:

- *The establishment, maintenance, or operation of the conditional use will not be detrimental to or endanger the public health, safety, or general welfare.*
- *The establishment of the conditional use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.*
- *The conditional use, its exterior architectural design, and functional plan of any proposed structure will not be injurious to the use of other property in the immediate vicinity nor substantially diminish or impair property values within the surrounding neighborhood.*
- *Adequate utilities, access roads, drainage, and/or necessary facilities have been or are being provided.*
- *Adequate measures have been or will be taken to provide ingress and egress and so designed as to minimize traffic congestion.*
- *Adequate parking facilities as specified in Article XVIII of Section 44-83 within the Municipal Code.*
- *The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located and all other applicable City ordinances.*

Staff supports the CUP for townhomes. This neighborhood has a mix of residential uses and the addition of townhomes is an appropriate progression of the neighborhood. Additionally, the townhomes meet all other sections of code, were specially designed to be complimentary to the neighborhood, and do not exceed density expectations for this area. Ald. Morgan and adjacent property owners within 200 ft. of the subject area have been noticed of the request. There have been no inquiries regarding this request as of the drafting of this report.

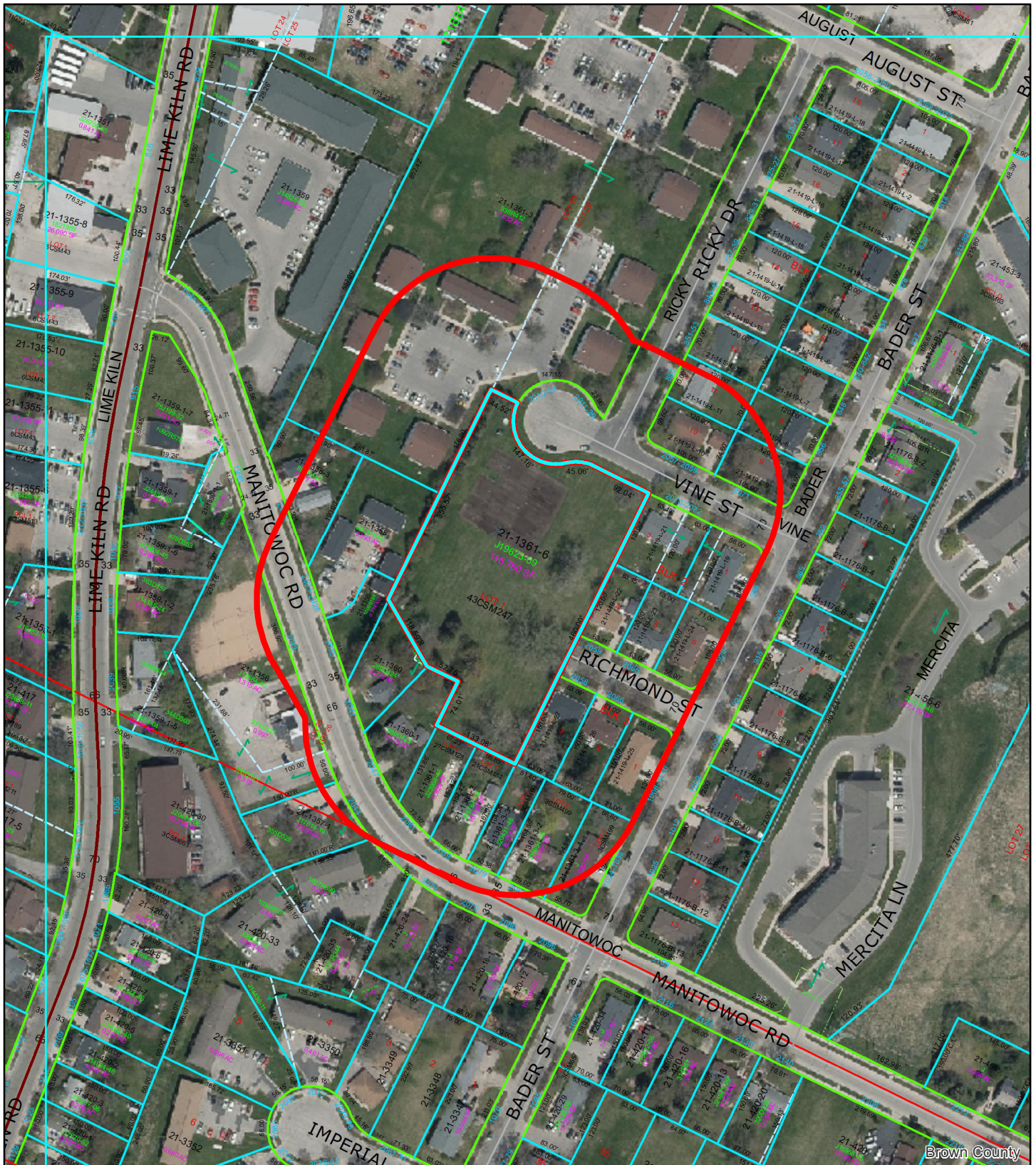
RECOMMENDATION

Approval of the request, subject to compliance with all other regulations of the Green Bay Municipal Code.

FISCAL IMPACT

ATTACHMENTS

1. ZP 23-11 Map
2. SV 23-01 Preliminary Plat, Habitat Homestead
3. ZP 23-11 Townhouse Exhibit
4. ZP 23-11 Site Plan and Renderings
5. ZP 23-11 Application



(ZP 23-11) CUP for Townhomes 0 Richmond Street (#21-1361-6)

This is a compilation of records and data located in various City of Green Bay offices and is to be used for reference purposes only. The City of Green Bay is not responsible for any inaccuracies or unauthorized use of the information contained within. No warranties are implied. Map prepared by City of Green Bay Department of Community and Economic Development. E.R. 26 Apr 2023 X:\Planning\Basemaps\template_8.5x11.mxd

0 55 110 220 Feet



- 0 Richmond Street
- 200-ft. Notification Area



3 PLEX UNIT A (1-3)

3 PLEX UNIT B (1-3)



☐ PRELIMINARY
DESIGN CONCEPT ONLY

☐ PRELIM BID
NOT FOR CONSTRUCTION
REVIEW PLAN BEFORE PRICING

☐ BID PLAN
NOT FOR CONSTRUCTION
ONLY FOR PRICING

☐ FINAL PLAN
VERIFY PLAN DATE WITH ALL
CONTRACTORS PRIOR TO
CONSTRUCTION

© 2023 EVER AFTER DESIGN LLC

ALTHOUGH EVERY EFFORT
HAS BEEN MADE IN PREPARING
THESE PLANS AND CHECKING
THEM FOR ACCURACY,
THE CONTRACTOR MUST
CHECK ALL DETAILS AND
DIMENSIONS AND BE
RESPONSIBLE FOR THE SAME.
ANY DISCREPANCIES MUST
BE BROUGHT TO THE ATTENTION
OF THE DESIGNER.

GENERAL NOTES:



NICOLE EVERS
450 HIGH ST. STE. 5A
WRIGHTSTOWN, WI 54180
(920) 419-7326

EVERAFTERDESIGNREALTY@GMAIL.COM

PROPOSED NEW PROJECT:
HABITAT FOR HUMANITY
3 PLEX

REVISION DATES:

△ 2/21/23
△
△
△
△
△
△

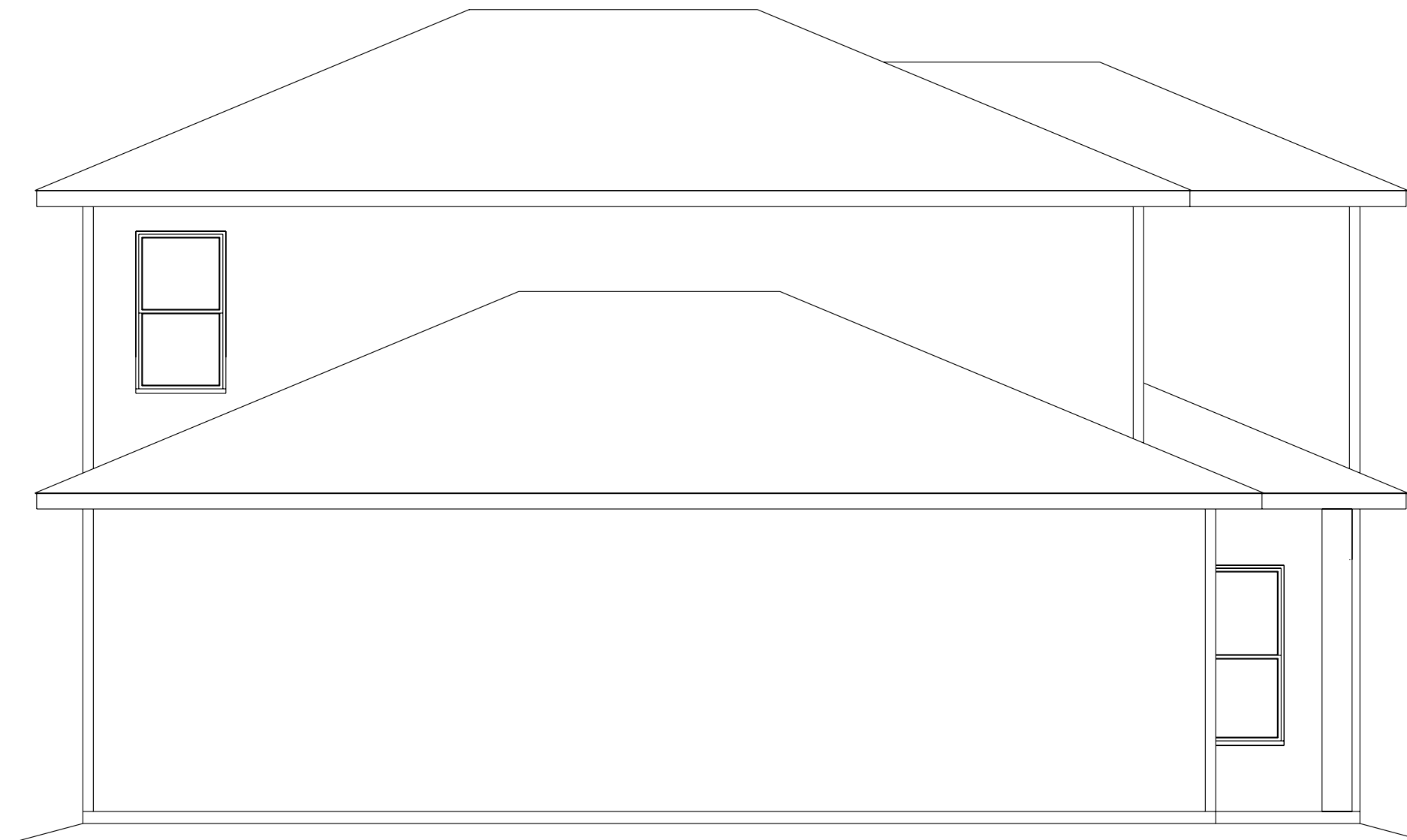
4 Plex

SHEET NUMBER

COVER



FRONT ELEVATION
SCALE: 1/4" = 1'-0"



LEFT ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"

☐ PRELIMINARY
DESIGN CONCEPT ONLY

☐ PRELIM BID
NOT FOR CONSTRUCTION
REVIEW PLAN BEFORE PRICING

☒ BID PLAN
NOT FOR CONSTRUCTION
ONLY FOR PRICING

☐ FINAL PLAN
VERIFY PLAN DATE WITH ALL
CONTRACTORS PRIOR TO
CONSTRUCTION

© 2023 EVER AFTER DESIGN LLC

ALTHOUGH EVERY EFFORT
HAS BEEN MADE IN PREPARING
THESE PLANS AND CHECKING
THEM FOR ACCURACY,
THE CONTRACTOR MUST
CHECK ALL DETAILS AND
DIMENSIONS AND BE
RESPONSIBLE FOR THE SAME.
ANY DISCREPANCIES MUST
BE BROUGHT TO THE ATTENTION
OF THE DESIGNER.

GENERAL NOTES:



NICOLE EVERS
450 HIGH ST. STE. 5A
WRIGHTSTOWN, WI 54180
(920) 419-7326

EVERAFTERDESIGNREALTY@GMAIL.COM

PROPOSED NEW PROJECT:
HABITAT FOR HUMANITY
3 PLEX

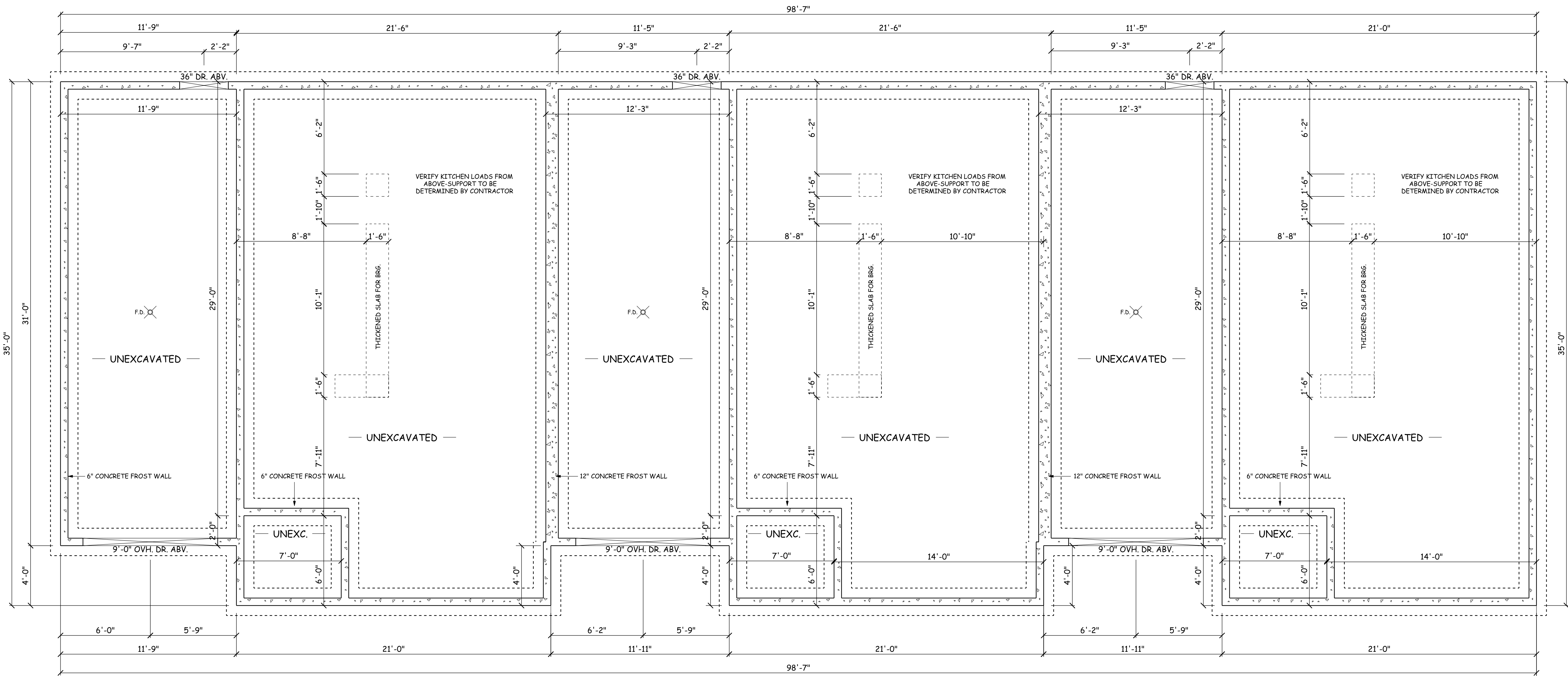
REVISION DATES:

△ 12/1/22
△ 12/8/22
△ 1/6/22
△ 1/9/22
△ 2/20/23
△
△

4 Plex

SHEET NUMBER

A1



6" FROST WALL

Windows or Doors to be set in concrete wall make R.O. 3" bigger in width & height.

FOUNDATION PLAN

NOTE: MASON TO LOCATE PILASTERS AND SIZE FOOTINGS PER CODE & SOIL CONDITIONS

6" FROST WALL

Windows or Doors to be set in concrete wall make R.O. 3" bigger in width & height.

FOUNDATION PLAN

NOTE: MASON TO LOCATE PILASTERS AND SIZE FOOTINGS PER CODE & SOIL CONDITIONS

6" FROST WALL

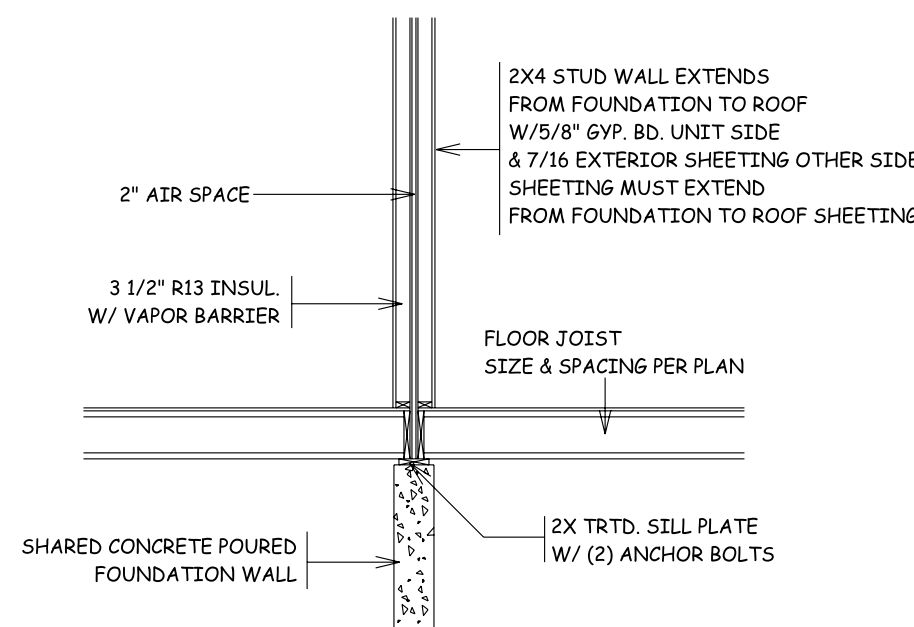
Windows or Doors to be set in concrete wall make R.O. 3" bigger in width & height.

FOUNDATION PLAN

NOTE: MASON TO LOCATE PILASTERS AND SIZE FOOTINGS PER CODE & SOIL CONDITIONS

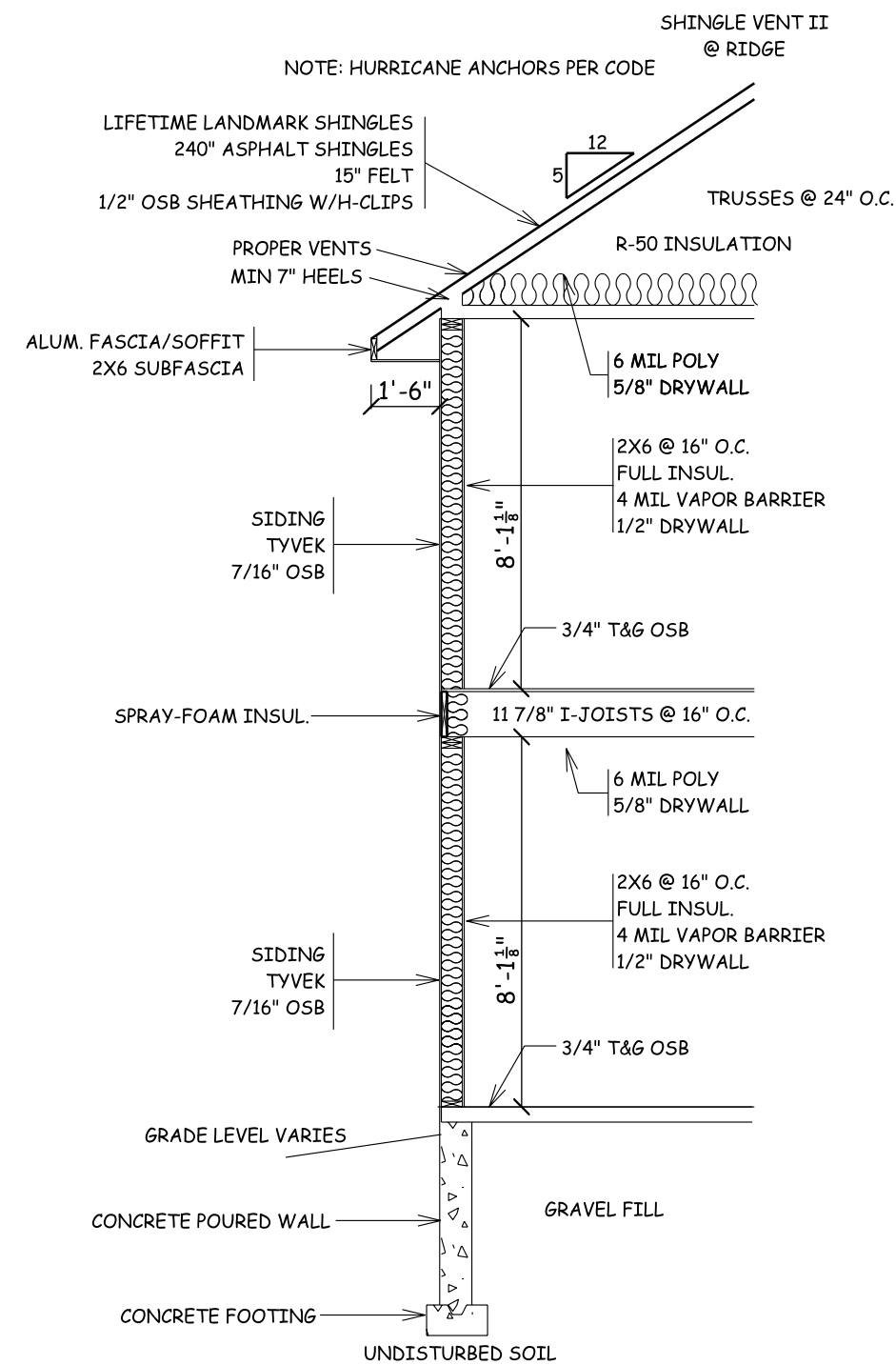
FOUNDATION

SCALE: 1/4" = 1'-0"



PARTY WALL DETAIL

TYPICAL PARTY WALL DETAIL
DETAILS MAY VARY
RESPONSIBILITY OF CONTRACTOR



TYPICAL WALL DETAIL

ACTUAL DETAILS MAY VARY
RESPONSIBILITY OF CONTRACTOR

SECTIONS

SCALE: 1/4" = 1'-0"

☐ PRELIMINARY
DESIGN CONCEPT ONLY

☐ PRELIM BID
NOT FOR CONSTRUCTION
REVIEW PLAN BEFORE PRICING

☒ BID PLAN
NOT FOR CONSTRUCTION
ONLY FOR PRICING

☐ FINAL PLAN
VERIFY PLAN DATE WITH ALL
CONTRACTORS PRIOR TO
CONSTRUCTION

© 2023 EVER AFTER DESIGN LLC

ALTHOUGH EVERY EFFORT
HAS BEEN MADE IN PREPARING
THESE PLANS AND CHECKING
THEM FOR ACCURACY,
THE CONTRACTOR MUST
CHECK ALL DETAILS AND
DIMENSIONS AND BE
RESPONSIBLE FOR THE SAME.
ANY DISCREPANCIES MUST
BE BROUGHT TO THE ATTENTION
OF THE DESIGNER.

GENERAL NOTES:



NICOLE EVERS
450 HIGH ST. STE. 5A
WRIGHTSTOWN, WI 54180
(920) 419-7326

EVERAFTERDESIGNREALTY@GMAIL.COM

PROPOSED NEW PROJECT:
**HABITAT FOR HUMANITY
3 PLEX**

REVISION DATES:

Δ	12/1/22
Δ	12/8/22
Δ	1/6/22
Δ	1/9/22
Δ	2/20/23
Δ	
Δ	

4 Plex

SHEET NUMBER

A2

☐ PRELIMINARY
DESIGN CONCEPT ONLY

☐ PRELIM BID
NOT FOR CONSTRUCTION
REVIEW PLAN BEFORE PRICING

☒ BID PLAN
NOT FOR CONSTRUCTION
ONLY FOR PRICING

☐ FINAL PLAN
VERIFY PLAN DATE WITH ALL
CONTRACTORS PRIOR TO
CONSTRUCTION

© 2023 EVER AFTER DESIGN LLC

ALTHOUGH EVERY EFFORT
HAS BEEN MADE IN PREPARING
THESE PLANS AND CHECKING
THEM FOR ACCURACY,
THE CONTRACTOR MUST
CHECK ALL DETAILS AND
DIMENSIONS AND BE
RESPONSIBLE FOR THE SAME.
ANY DISCREPANCIES MUST
BE BROUGHT TO THE ATTENTION
OF THE DESIGNER.

GENERAL NOTES:



NICOLE EVERS
450 HIGH ST. STE. 5A
WRIGHTSTOWN, WI 54180
(920) 419-7326

EVERAFTERDESIGNREALTY@GMAIL.COM

PROPOSED NEW PROJECT:
**HABITAT FOR HUMANITY
3 PLEX**

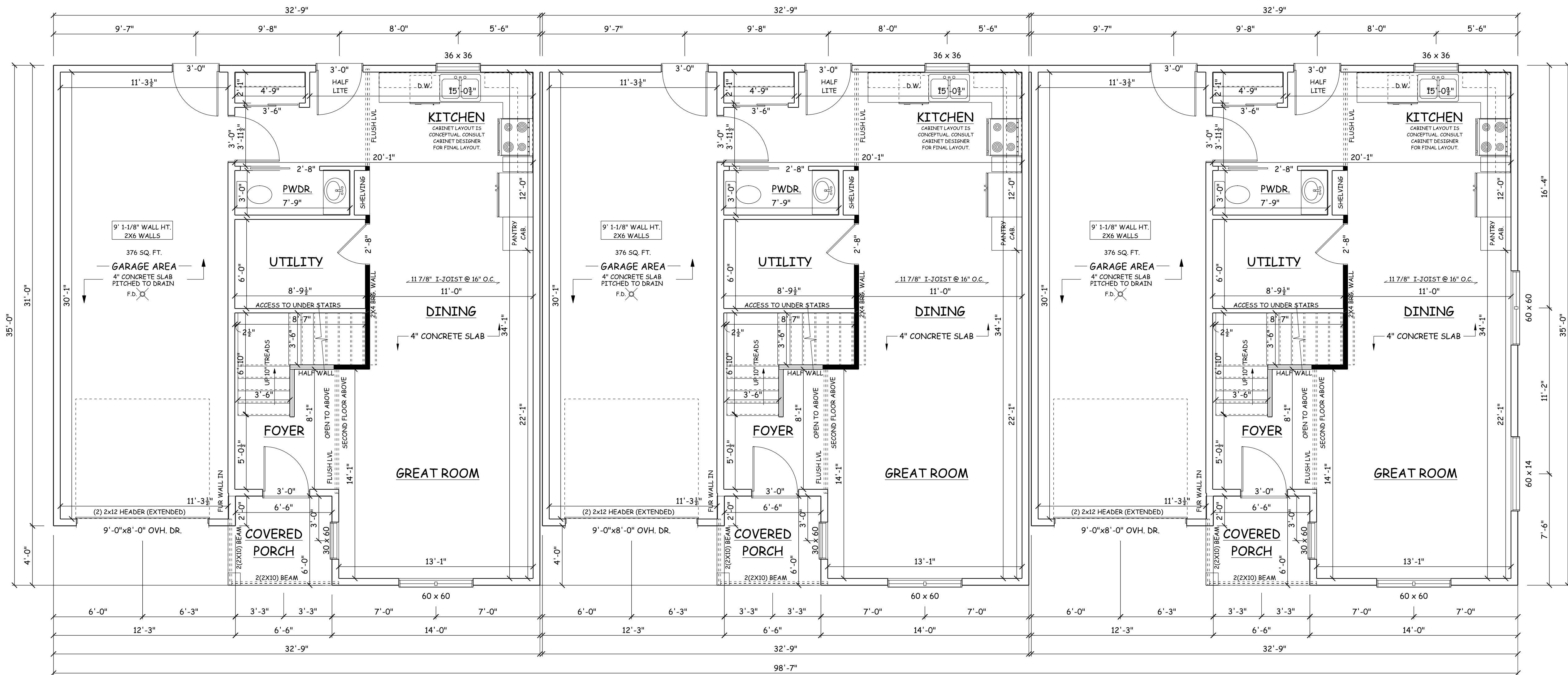
REVISION DATES:

△ 2/20/23
△
△
△
△
△
△

4 Plex

SHEET NUMBER

A3



**FIRST
FLOOR PLAN**

8'-1 1/8" WALL HGT.
MAIN FLOOR- 680 SQ. FT.
SECOND FLOOR- 582 SQ. FT.
TOTAL- 1,262 SQ. FT.

****CONSTRUCTION NOTES****

- 1) ALL WINDOWS AT 6'-10" WINDOW HEADER HEIGHT U.O.N.
- 2) ALL POCKET DOORS IN 2X4 WALLS
- 3) STD. HEADERS (2)-2X10 HEM-FIR #1
- 4) ALL DIMENSIONS SHOWN ARE FACE TO FACE STUD.
- 5) FIRE SEPARATION MUST BE PROVIDED BETWEEN THE HOUSE AND GARAGE (SEE CODE FOR DETAILS)
- 6) A MIN. (2) SHOULDER STUDS FOR ANY OPENING 6'-0" OR GREATER
- 7) BUILDER RESPONSIBLE TO TRANSFER POINT LOADS THROUGH FLOOR SYSTEM WITH SOLID BLOCKING DOWN TO THE FOUNDATION WALLS OR BEARINGS BELOW
- 8) EXTERIOR WALLS ARE NOT SHOWN TO ACCOMMODATE FOAM, ALL FOAM MODIFICATIONS BY CONTRACTOR/SUPPLIER
- 9) FRAMER TO REFERENCE TRUSS LAYOUT PLANS FOR EXACT LOCATIONS OF GIRDER TRUSSES AND THEIR RESPECTIVE BEARING LOCATIONS & ANCHORS
- 10) WINDOW SUPPLIER TO VERIFY ALL SAFETY GLASS LOCATIONS PER CODE

**FIRST
FLOOR PLAN**

8'-1 1/8" WALL HGT.
MAIN FLOOR- 680 SQ. FT.
SECOND FLOOR- 582 SQ. FT.
TOTAL- 1,262 SQ. FT.

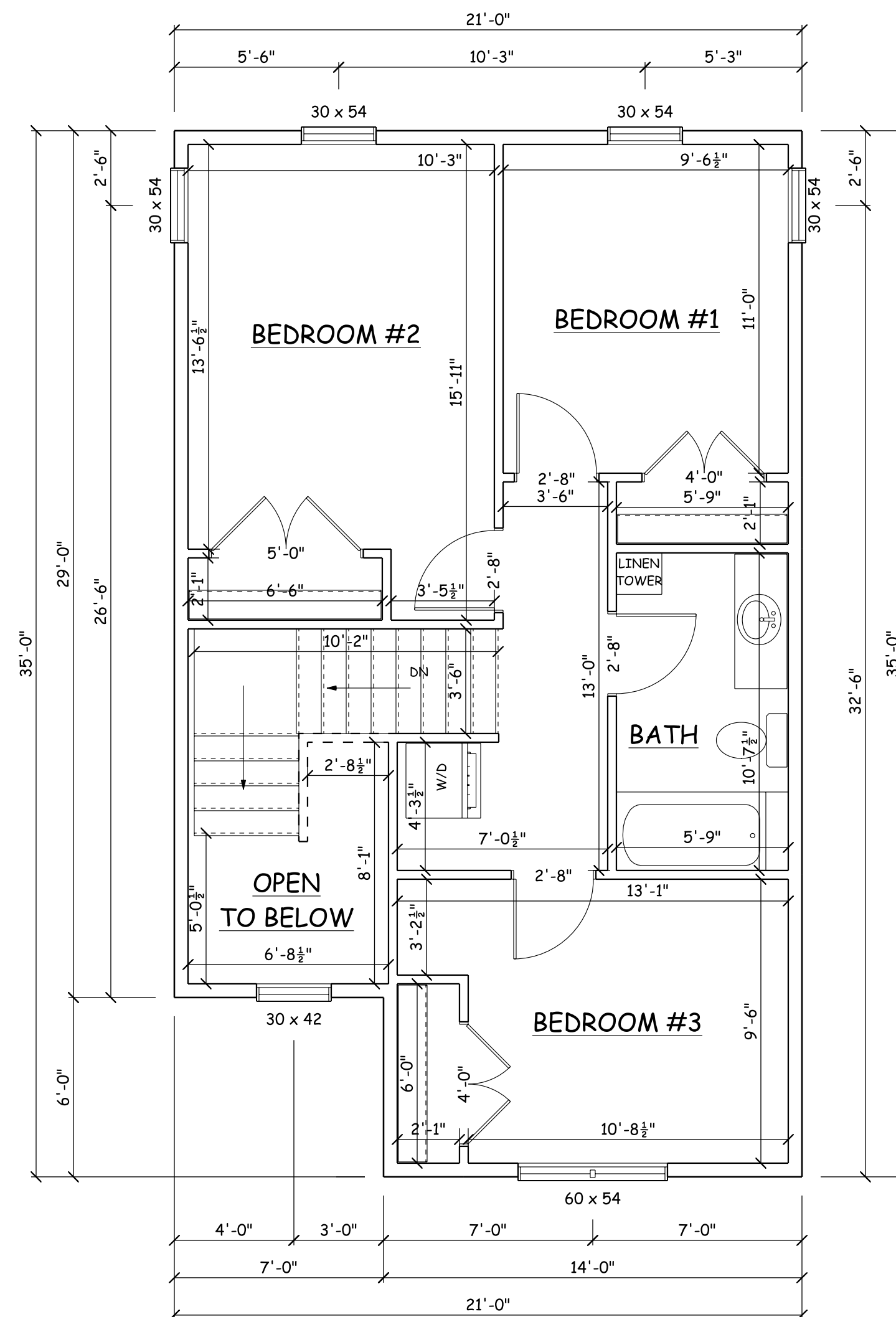
****CONSTRUCTION NOTES****

- 1) ALL WINDOWS AT 6'-10" WINDOW HEADER HEIGHT U.O.N.
- 2) ALL POCKET DOORS IN 2X4 WALLS
- 3) STD. HEADERS (2)-2X10 HEM-FIR #1
- 4) ALL DIMENSIONS SHOWN ARE FACE TO FACE STUD.
- 5) FIRE SEPARATION MUST BE PROVIDED BETWEEN THE HOUSE AND GARAGE (SEE CODE FOR DETAILS)
- 6) A MIN. (2) SHOULDER STUDS FOR ANY OPENING 6'-0" OR GREATER
- 7) BUILDER RESPONSIBLE TO TRANSFER POINT LOADS THROUGH FLOOR SYSTEM WITH SOLID BLOCKING DOWN TO THE FOUNDATION WALLS OR BEARINGS BELOW
- 8) EXTERIOR WALLS ARE NOT SHOWN TO ACCOMMODATE FOAM, ALL FOAM MODIFICATIONS BY CONTRACTOR/SUPPLIER
- 9) FRAMER TO REFERENCE TRUSS LAYOUT PLANS FOR EXACT LOCATIONS OF GIRDER TRUSSES AND THEIR RESPECTIVE BEARING LOCATIONS & ANCHORS
- 10) WINDOW SUPPLIER TO VERIFY ALL SAFETY GLASS LOCATIONS PER CODE

**FIRST
FLOOR PLAN**

8'-1 1/8" WALL HGT.
MAIN FLOOR- 680 SQ. FT.
SECOND FLOOR- 582 SQ. FT.
TOTAL- 1,262 SQ. FT.

MAIN FLOOR
SCALE: 1/4" = 1'-0"

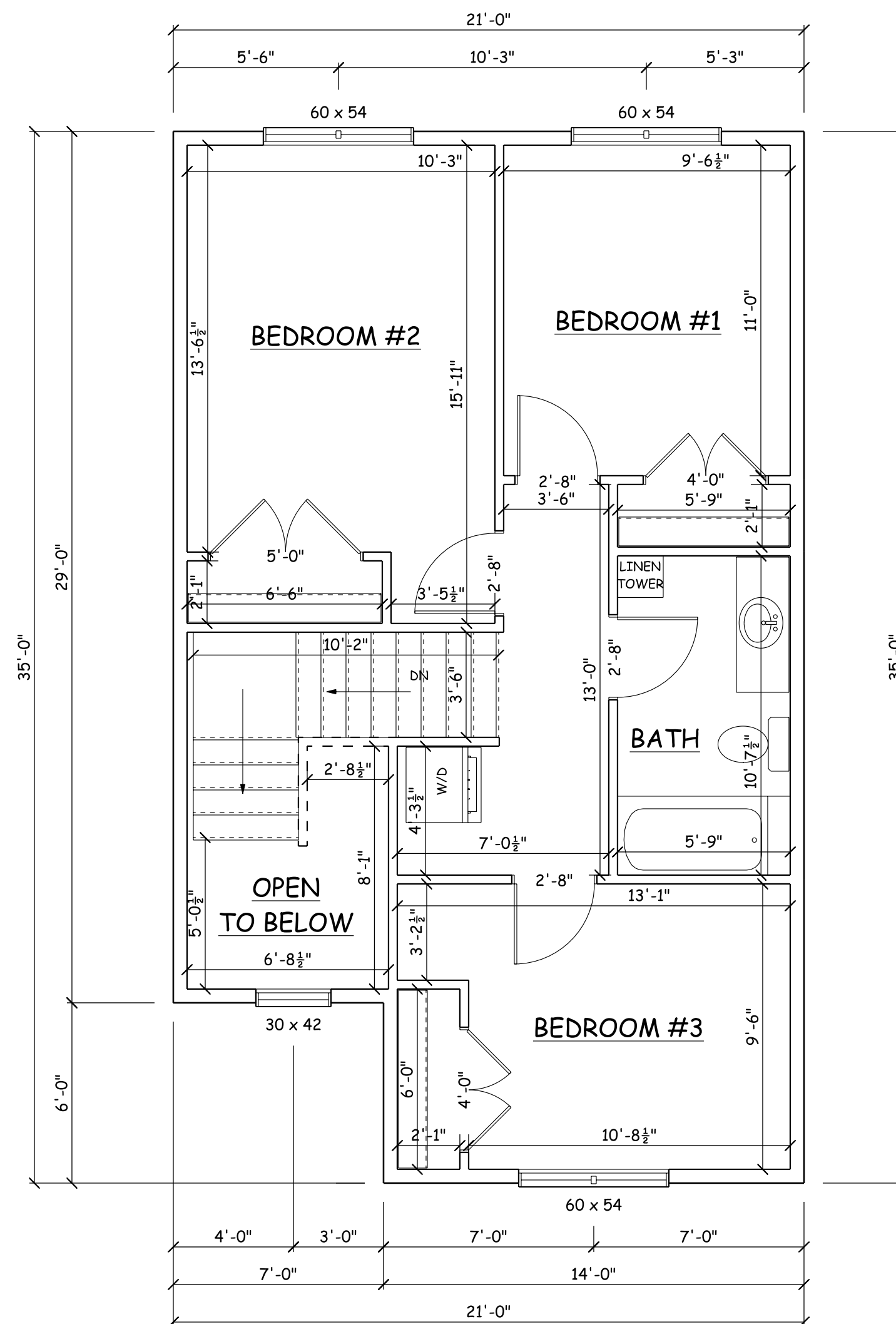


SECOND FLOOR PLAN

8'-1 1/8" WALL HGT.
582 SQ. FT.

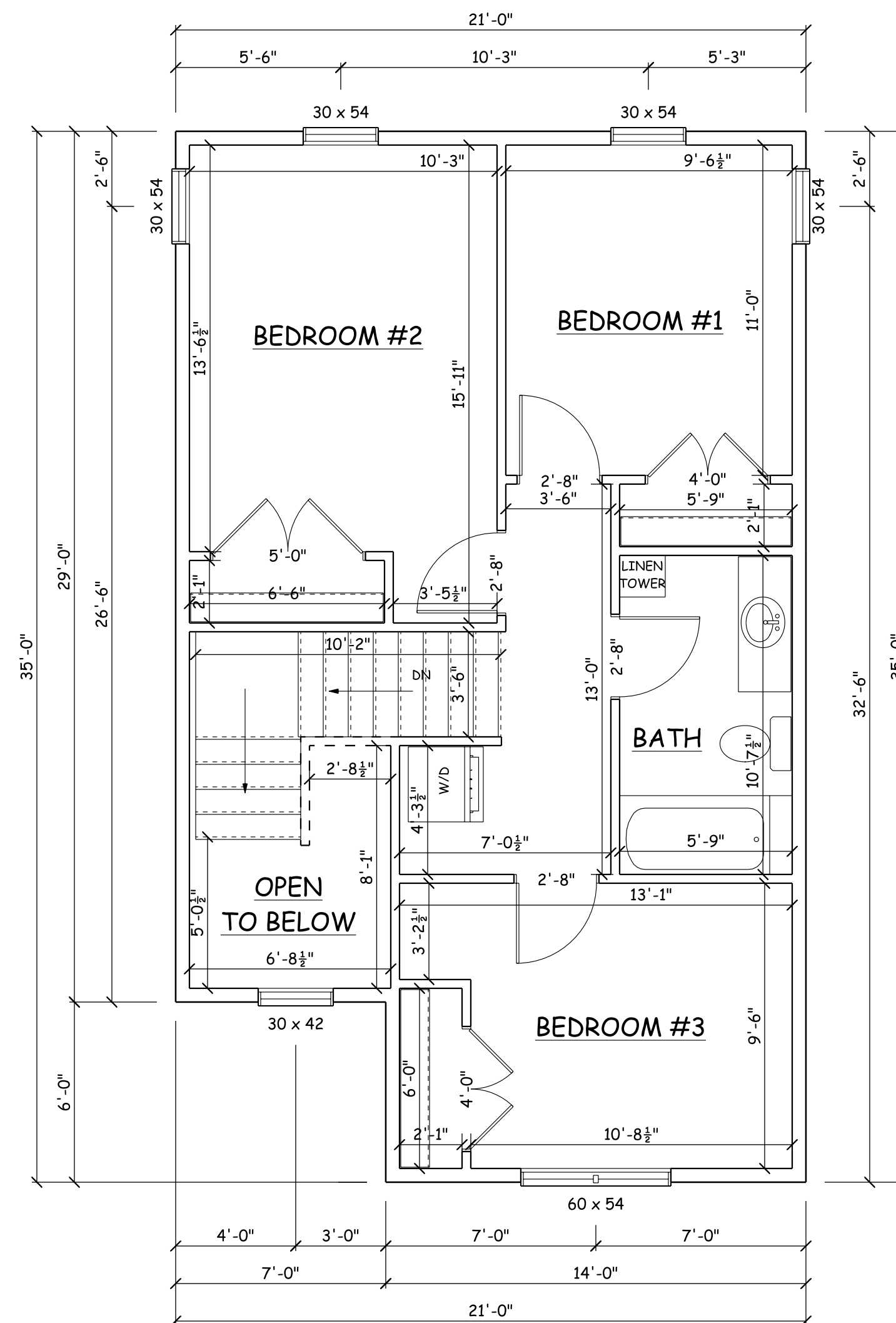
SECOND FLOOR

SCALE: 1/4" = 1'-0"



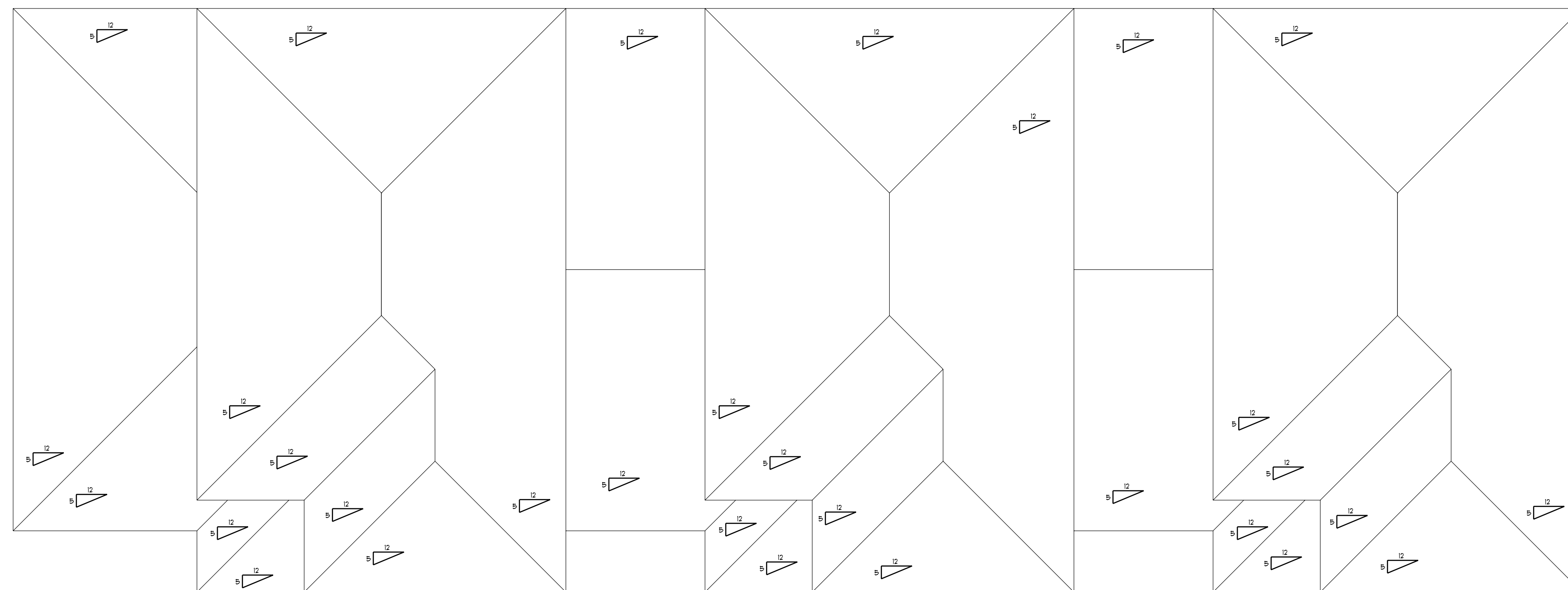
SECOND FLOOR PLAN

8'-1 1/8" WALL HGT.
582 SQ. FT.



SECOND FLOOR PLAN

8'-1 1/8" WALL HGT
582 SQ. FT.



ROOF PLAN

SCALE: 3/16" = 1'-0"

PRELIMINARY
DESIGN CONCEPT ONLY

DESIGN CONCEPT ONLY

PRELIM BID
NOT FOR CONSTRUCTION
REVIEW PLAN BEFORE PRICING

NOT FOR CONSTRUCTION
REVIEW PLAN BEFORE PROCEED

X **BID PLAN**
NOT FOR CONSTRUCTION
ONLY FOR PRICING

ONLY FOR PRICING

FINAL PLAN

VERIFY PLAN DATE WITH ALL
CONTRACTORS PRIOR TO
CONSTRUCTION

CONTRACTORS PRIOR TO CONSTRUCTION

2023 EVER AFTER DESIGN LLC

ALTHOUGH EVERY EFFORT
S BEEN MADE IN PREPARING
ESE PLANS AND CHECKING
THEM FOR ACCURACY,
THE CONTRACTOR MUST
CHECK ALL DETAILS AND
DIMENSIONS AND BE
RESPONSIBLE FOR THE SAME.
ANY DISCREPANCIES MUST
BROUGHT TO THE ATTENTION
OF THE DESIGNER.

AL NOTES:



Ever After
Design LLC

NICOLE EVERS
450 HIGH ST. STE. 5A
WRIGHTSTOWN, WI 54180
(920) 419-7326

FTERDESIGNREALTY@GMAIL.COM

PROPOSED NEW PROJECT:
HABITAT FOR HUMANITY
3 PLEX

REVISION DATES:

2/20/23

4 Plex

SHEET NUMBER

A4











REQUEST FOR CITY ACTION PLAN COMMISSION

Community and Economic
Development Department
100 N. Jefferson Street, Rm 608
Green Bay, WI 54301-5026
(920) 448-3400 - phone
(920) 448-3426 - fax
www.greenbaywi.gov

Location of Property: 0 Richmond Street, Green Bay, WI, 54302

Parcel Number(s): 21-1361-6

Petitioner(s): Steve Bieda

Date: _____

Email: sbieda@mau-associates.com

Phone Number: (920)434-9670

Address: 400 Security Blvd. Suite 1

City: Green Bay

State: WI

Zip: 54313

Property Owner: Greater Green Bay Habitat For Humanity

Phone Number: (920)593-3921

Submit this Request Form and all required attachments to the Community and Economic Development Department, Room 608, City Hall

To: Honorable Mayor and Common Council, c/o City Clerk

I, _____, respectfully request that the City of Green Bay take the following action:

- | | |
|-------------------------------------|--|
| ☐ | Rezone Property (\$375.00 Review Fee) |
| ☒ | Conditional Use and CUP Amendment, including Single Lot Duplexes (\$375.00 Review Fee) |
| ☐ | PUD and PUD Amendments (\$425.00 Review Fee) |
| ☒ | Approve Preliminary City/Extraterritorial Subdivision Plat (\$150.00 + \$35.00 per Lot/Outlot Review Fee) |
| ☐ | Approve Preliminary Condominium Plat (\$250.00 + \$35.00 per Lot/Outlot/Lot Equivalent Review Fee) |
| ☐ | Approve Preliminary City/Extraterritorial Certified Survey Map (\$250.00 Review Fee) |
| ☐ | Approve Final City/Extraterritorial Subdivision Plat (\$150.00 Review Fee) |
| ☐ | Approve Final Condominium Plat (\$150.00 Review Fee) |
| ☒ | Grant a City/Extraterritorial Subdivision/CSM Variance (\$150.00 Review Fee) |
| ☐ | Development District Map Amendment (\$200.00 Administration Fee) |
| ☐ | Official Map Amendment (\$200.00 Administration Fee) |
| ☐ | Plat of Right-of-Way (\$200.00 Administration Fee) |
| ☐ | Discontinue a Public Utility Easement (\$200.00 Administration Fee) |
| ☐ | Street Name Change (\$200.00 Administration Fee) |
| ☐ | Declare City Property "City Surplus" (\$200.00 Administration Fee) |
| ☒ | Vacate a Street/Alley/Pedestrian Way (\$300.00 Administration Fee) PLEASE FILL OUT PAGE 2 OF APPLICATION |
| ☐ | Closure of Street/Alley/Pedestrian Way (\$300.00 Administration Fee) PLEASE FILL OUT PAGE 2 OF APPLICATION |
| ☐ | Comprehensive Plan Amendments (\$275.00 Review Fee) |
| ☐ | Other (\$200.00 Administration Fee): _____ |

Owner Signature: _____

Date: 3/27/23

Petitioner Signature(s): _____

3/23/23

Checklist of required attachments:

- Map
- Legal Description
- Applicant Narrative Describing Project
- All Other Pertinent Information

For office use only:

Review Fee: _____

Receipt No.: _____

Zoning Petition No.: _____

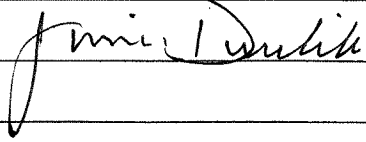
REQUEST FOR CITY ACTION PLAN COMMISSION

PLEASE FILL OUT FOR: VACATE OR CLOSE STREET/ALLEY/PEDESTRIAN WAY

Per WI State Statute 66.1003:

All owners who abut the area proposed for vacation or closure, including all members of LLCs or ownership groups, must sign below before submitting this application.

If you are **NOT** vacating or closing a full street/alley/pedestrian way, you must also get signatures from one-third of owners of parcels within 2,650 ft. of the end of the vacation/closure area.

SIGNATURE	PRINTED NAME	ADDRESS
	Logan Rankin	2010 Vine Street, Green Bay, WI 54302
	Jessica Diederich	1967 Allouez Ave, Green Bay, WI 54311 for Habitat Homestead

Please contact the Community and Economic Development Department at (920) 448-3400 with any questions.



Report to the Green Bay Plan Commission

MEETING DATE

May 8, 2023

PREPARED BY

AGENDA ITEM # E.3

(ZP 23-14) Public Hearing on a request to allow a Conditional Use Permit to exceed the maximum building height in the Business Park District located at 825 Hinkle Street, submitted by Bayland Builders, on behalf of Russel Metals, property owner (Ald. Eck, District 11).

BACKGROUND

RECOMMENDATION

FISCAL IMPACT

ATTACHMENTS

None



Report to the Green Bay Plan Commission

MEETING DATE

May 8, 2023

PREPARED BY

Stephanie Hummel, Staff

AGENDA ITEM # E.4

(ZP 23-14) Consideration with possible action on a request to allow a Conditional Use Permit to exceed the maximum building height in the Business Park District located at 825 Hinkle Street, submitted by Bayland Builders, on behalf of Russel Metals, property owner (Ald. Eck, District 11).

BACKGROUND

Primary Address: 825 Hinkle Street

Aldersperson/District: Ald. Eck, District 11

Reason for Request: To exceed the maximum building height in the Business Park (BP) district

Surrounding Zoning and Land Uses:

SUBJECT: Business Park (BP); Industrial

NORTH: Business Park (BP); Industrial

SOUTH: Business Park (BP); Industrial

EAST: Business Park (BP); Industrial

WEST: Community Center Commercial (C3); Big-Box Commercial

Comprehensive Plan: The 2022 Smart Growth Plan currently designates this area for Commercial and Light Industry uses. The CUP request is consistent with the recommendations of the Comprehensive Plan.

Report: 825 Hinkle Street has an existing light industrial business, Russel Metals. As part of an expansion project, a building addition is proposed. The maximum height in the Business Park (BP) district is 35-feet. This can be exceeded (with no maximum) by Conditional Use Permit (CUP). The building addition is proposed to be 38-feet, 6-inches at its highest point. Building details are attached.

Conditional use approval may be recommended by the Plan Commission with reasonable consideration of the following:

- *The establishment, maintenance, or operation of the conditional use will not be detrimental to or endanger the public health, safety, or general welfare.*
- *The establishment of the conditional use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.*
- *The conditional use, its exterior architectural design, and functional plan of any proposed structure will not be injurious to the use of other property in the immediate vicinity nor substantially diminish or impair property values within the surrounding neighborhood.*
- *Adequate utilities, access roads, drainage, and/or necessary facilities have been or are being provided.*
- *Adequate measures have been or will be taken to provide ingress and egress and so designed as to minimize traffic congestion.*
- *Adequate parking facilities as specified in Article XVIII of Section 44-83 within the Municipal Code.*
- *The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is*

located and all other applicable City ordinances.

The proposed building height will not have a negative impact on the surrounding properties. This parcel is surrounded by large buildings, most of which are industrial. Staff feels the CUP is appropriate. Ald. Eck and adjacent property owners within 200 ft. of the subject area have been noticed of the request. There have been no inquiries regarding this request as of the drafting of this report.

RECOMMENDATION

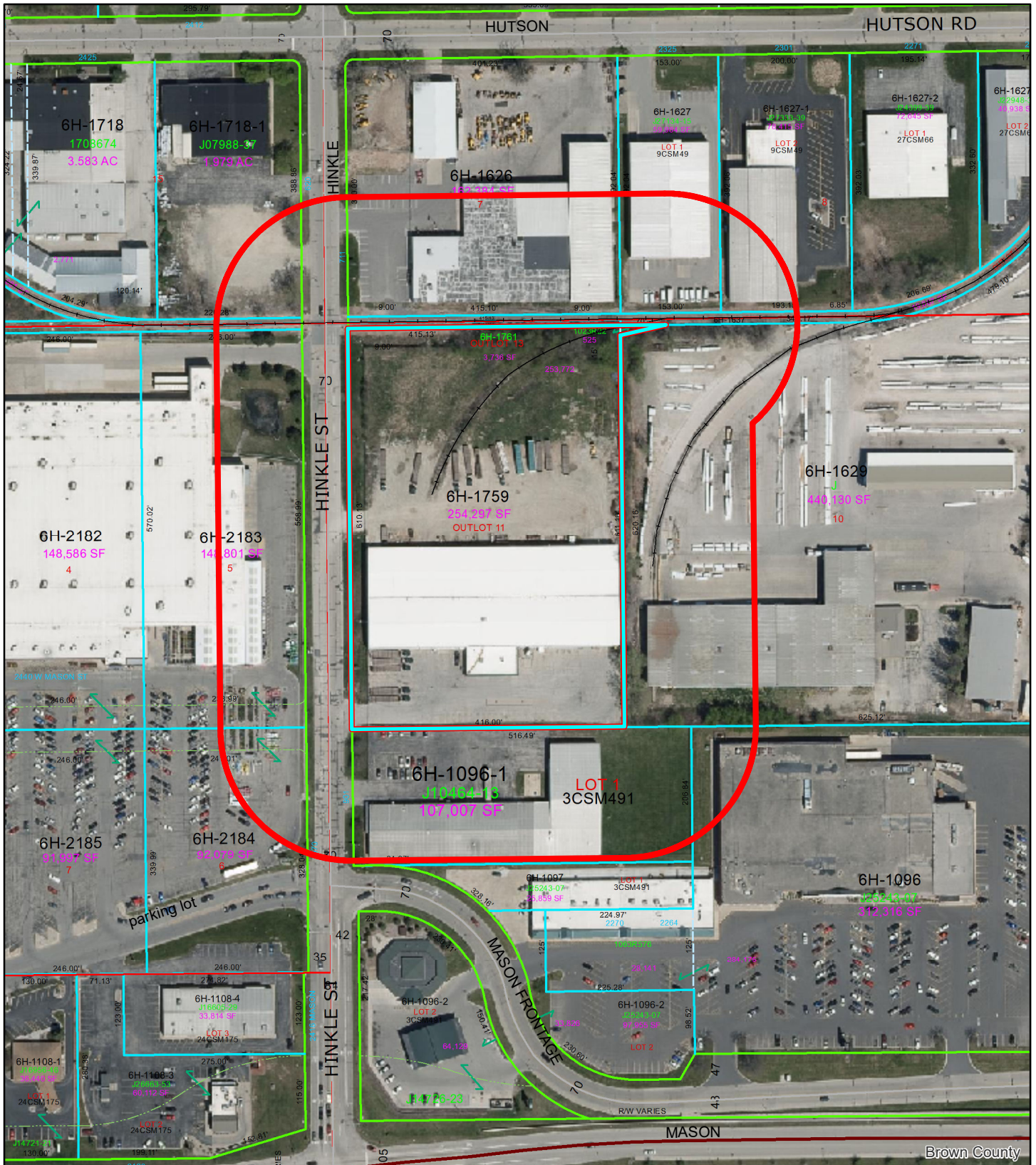
Approval of the request, subject to:

- a. A maximum building height of 38-feet, 6-inches is allowed under this permit. Any increases in height will require Plan Commission and Common Council approval.
- b. Compliance with all other regulations of the Green Bay Municipal Code.

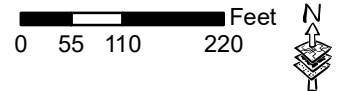
FISCAL IMPACT

ATTACHMENTS

1. ZP 23-14 Map
2. ZP 23-14 Building Details
3. ZP 23-14 Application



(ZP 23-14) CUP for Building Height, 825 Hinkle Street



This is a compilation of records and data located in various City of Green Bay offices and is to be used for reference purposes only. The City of Green Bay is not responsible for any inaccuracies or unauthorized use of the information contained within. No warranties are implied. Map prepared by City of Green Bay Department of Community and Economic Development. E.R. 26 Apr 2023 X:\Planning\Basemaps\template_8.5x11.mxd

- 825 Hinkle Street
- 200-ft. Notification Area

PROPOSED PROJECT FOR:

19-0980

CITY, STATE

PROJECT LOCATION MAP

ENLARGED MAP



PROJECT LOCATION

PROJECT PERSPECTIVE (NTS)

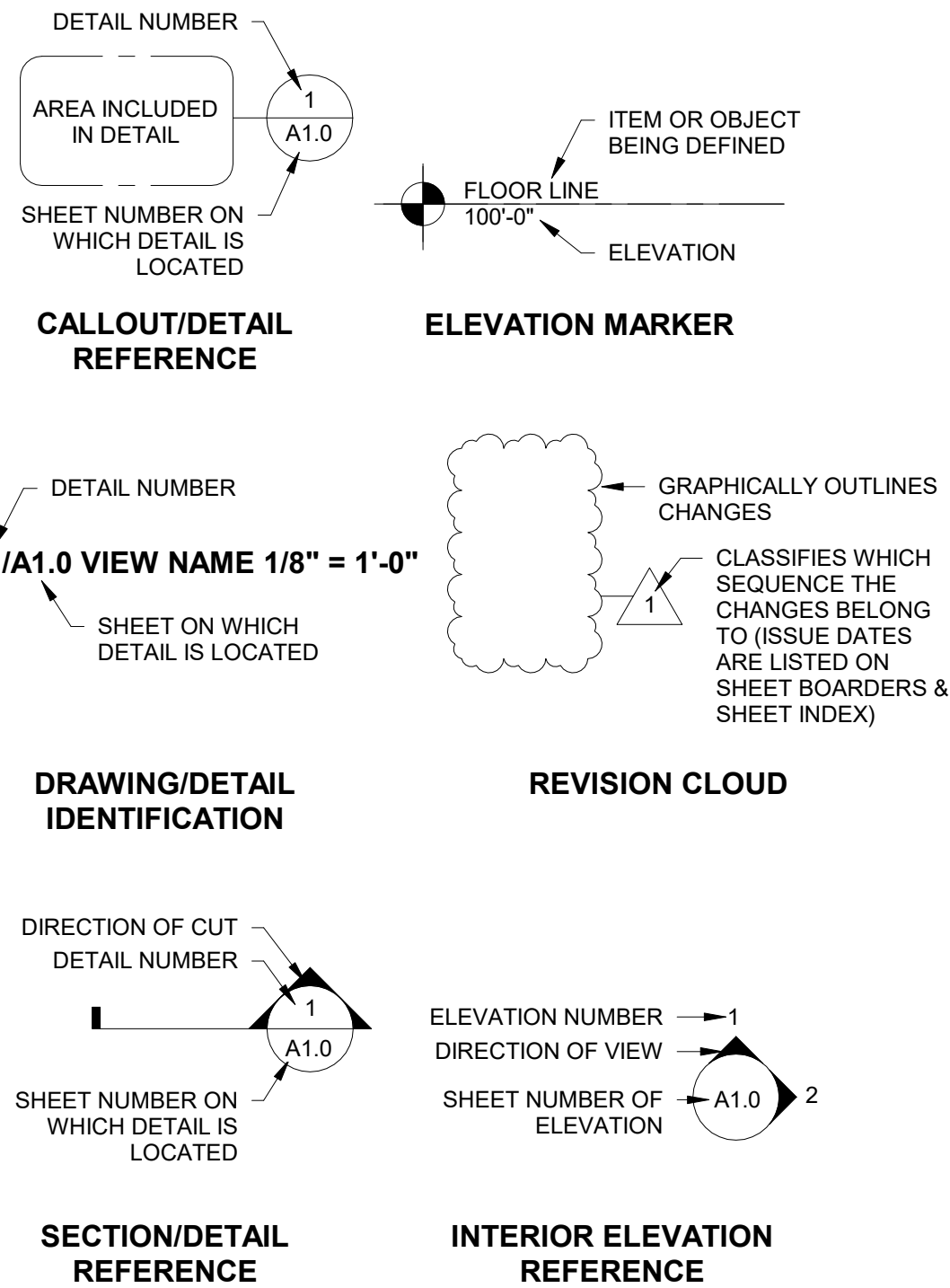
- FOR CONCEPTUAL PROPOSES ONLY!
REFERENCE FLOOR PLANS, ELEVATIONS, SECTIONS, ETC. FOR MORE INFORMATION

SHEET INDEX

PROJECT INFORMATION

NUMBER	SHEET NAME / DESCRIPTION	LATEST SHEET REVISION		
		DATE	ISSUED BY	NUMBER
001 TITLE				
T1.0	TITLE SHEET	04/07/23	DV	1
002 CIVIL				
C1.0	SITE PLAN	04/07/23	DV	1
004 ARCHITECTURAL				
A0.1	PLAN NOTES			
A0.2	PLAN NOTES			
A1.0	EXISTING/DEMO FLOOR PLAN/PROPOSED	04/07/23	DV	1
A1.1	PROPOSED FLOOR PLAN	04/07/23	DV	1
A1.2	ENLARGED FLOOR PLANS	04/07/23	DV	1
A1.3	ENLARGED FLOOR PLANS	04/07/23	DV	1
A2.0	EXTERIOR ELEVATIONS			
A3.0	BUILDING SECTIONS	04/07/23	DV	1

SYMBOLS LEGEND



GENERAL CODE INFORMATION

BUILDING USE & OCCUPANCY:
BUSINESS GROUP: B
FACTORY GROUP: F-2 (MODERATE)

CONSTRUCTION TYPE:
EXISTING BUILDING: IIB
NEW BUILDING: IIB

FIRE PROTECTION SYSTEM:
PROPOSED BUILDING: FULLY SPRINKLERED NFPA 13 SYSTEM
EXISTING WAREHOUSE: (CURRENTLY NON-SPRINKLERED)
NEED TO INSTALL NFPA 13 SYSTEM
EXISTING OFFICE: NO SPRINKLER SYSTEM REQ.

FIRE & SMOKE PROTECTION FEATURES:
EXISTING WAREHOUSE IS SEPARATED FROM
EXISTING OFFICE w/ FIRE SEPARATION

BUILDING AREA:
FIRST FLOOR (EXISTING)
BUSINESS AREAS 3,000 SQ. FT.
INDUSTRIAL AREAS 57,000 SQ. FT.
FIRST FLOOR (ADDITION)
BUSINESS AREAS N/A
INDUSTRIAL AREA 39,900 SQ. FT.
EXTERIOR COVERED ALT. 3,750 SQ. FT.

TOTAL BUILDING AREA 103,650 SQ. FT.

ALLOWABLE AREA CALCULATION
TABULATED AREA: 23,000 SQ. FT.
PERIMETER: 1,442 FT.
FRONTAGE: 1,101 FT.
FRONTAGE FACTOR: 1.51 = 14[(1,101/1,442)-0.25]
SPRINKLER FACTOR: 3
INCREASE FACTOR: 4.51
ALLOWABLE FACTOR: 103,730 SQ. FT.

OCCUPANT LOAD TABULATED
FIRST FLOOR (EXISTING)
BUSINESS AREAS 2,000 SQ. FT. 100 GROSS 20 OCC
INDUSTRIAL AREA 57,000 SQ. FT. 200 GROSS 285 OCC
FIRST FLOOR ADDITION
BUSINESS AREAS N/A
INDUSTRIAL AREAS 39,900 SQ. FT. 200 GROSS 200 OCC
TOTAL OCCUPANT LOAD 505 OCC

OCCUPANT LOAD (ACTUAL)
TOTAL NUMBER OF EMPLOYEES: 47 TOTAL (27 SHOP, 7 OFFICE AND 13 DRIVERS)
EMPLOYEE'S PER SHIFT: (DRIVERS ONLY ONSITE TO PICKUP PARTS)
1ST SHIFT: 9 SHOP, 5 OFFICE, AND 11 DRIVERS (24 MEN AND 1 WOMEN)
2ND SHIFT: 9 SHOP, 1 OFFICE, AND 2 DRIVERS (11 MEN AND 1 WOMEN)
3RD SHIFT: 9 SHOP, 1 OFFICE (9 MEN AND 1 WOMEN)

PLUMBING FIXTURE REQUIRED
BUSINESS GROUP B
7 / 2 = 4 MEN AND 4 WOMEN
15 / 1 PER 25 FIRST 50 THEN 1 PER 50 = .16 WATER CLOSETS FOR MEN
15 / 1 PER 25 FIRST 50 THEN 1 PER 50 = .16 WATER CLOSETS FOR WOMEN
15 / 1 PER 40 FIRST 80 THEN 1 PER 80 = .1 LAVATORIES FOR MEN
15 / 1 PER 40 FIRST 80 THEN 1 PER 80 = .1 LAVATORIES FOR WOMEN
7 / 100 = .07 DRINKING FOUNTAINS

FACORY GROUP F-2
47 / 2 = 24 MEN AND 24 WOMEN
24 / 100 = .24 WATER CLOSETS FOR MEN
24 / 100 = .24 WATER CLOSETS FOR WOMEN
24 / 100 = .24 LAVATORIES FOR MEN
24 / 100 = .24 LAVATORIES FOR WOMEN
47 / 100 = .47 DRINKING FOUNTAINS

TOTAL PLUMBING FIXTURES REQUIRED
.4 (1) WATER CLOSETS FOR MEN
.4 (1) WATER CLOSETS FOR WOMEN
.34 (1) LAVATORIES FOR MEN
.34 (1) LAVATORIES FOR WOMEN
.54 (1) DRINKING FOUNTAINS

PLUMBING FIXTURE PROVIDED
(1) WATER CLOSETS FOR WOMEN
(1) LAVATORIES FOR WOMEN
(3) WATER CLOSETS AND (1) URINAL FOR MEN
(4) LAVATORIES FOR MEN
(1) HILOW DRINKING FOUNTAIN
(1) SERVICE SINK

BAYLAND

BAYLAND BUILDINGS

P.O. BOX 13571 GREEN BAY, WI 54307
(920) 498-9300 FAX (920) 498-3033
www.baylandbuildings.com

DESIGN & BUILD GENERAL CONTRACTOR

PROPOSED PROJECT FOR:

19-0980

CITY, WISCONSIN; COUNTY OF:

SCALE VERIFICATION

THIS BAR MEASURES 1" ON ORIGINAL
ADJUST SCALE ACCORDINGLY

NOTICE OF COPYRIGHT
THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO
COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER
SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.C. AS AMENDED
DECEMBER 1976 AND KNOWN AS ARCHITECTURAL WORKS
COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION
INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL
AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND
ELEMENTS OF THE DESIGN. UNDER SUCH PROTECTION,
UNAUTHORIZED USE OF THESE PLANS, WORK OR BUILDING
REPRESENTED, CAN LEGALLY RESULT IN THE CESSATION OF
CONSTRUCTION OR BUILDINGS BEING SEIZED AND/OR MONETARY
COMPENSATION TO BAYLAND BUILDINGS, INC.

JOB NUMBER: 19-0980

PROJECT EXECUTIVE: MITCH BEILFUSS

DRAWN BY: DBV

DATE: 04/11/2023

Revision Schedule

Rev. No.	Revision Description	Rev. Date
1	Bid Rev1	04/07/23

ISSUED FOR: **CHECKED BY:** **DATE:**

- ☐ PRELIMINARY
☒ BID SET
☐ DESIGN REVIEW
☐ CHECKSET
☐ CONSTRUCTION

TITLE SHEET

T1.0



BAYLAND BUILDINGS

P.O. BOX 13571 GREEN BAY, WI 54307
(920) 498-9300 FAX (920) 498-3033
www.baylandbuildings.com

DESIGN & BUILD GENERAL CONTRACTOR

PROPOSED PROJECT FOR:

19-0980

CITY, WISCONSIN; COUNTY OF:

SCALE VERIFICATION

THIS BAR MEASURES 1" ON ORIGINAL.
ADJUST SCALE ACCORDINGLY.

NOTICE OF COPYRIGHT
THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO
COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER
SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.C. AS AMENDED
DECEMBER 1990 AND KNOWN AS ARCHITECTURAL WORKS
COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION
INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL
AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND
ELEMENTS OF THE DESIGN. UNDER SUCH PROTECTION
UNAUTHORIZED USE OF THESE PLANS, WORK OR BUILDING
REPRESENTED, CAN LEGALLY RESULT IN THE CESSATION OF
CONSTRUCTION OR BUILDINGS BEING SEIZED AND/OR MONETARY
COMPENSATION TO BAYLAND BUILDINGS, INC.

JOB NUMBER: 19-0980

PROJECT
EXECUTIVE: MITCH BEILFUSS

DRAWN BY: DBV

DATE: 04/11/2023

REVISIONS:

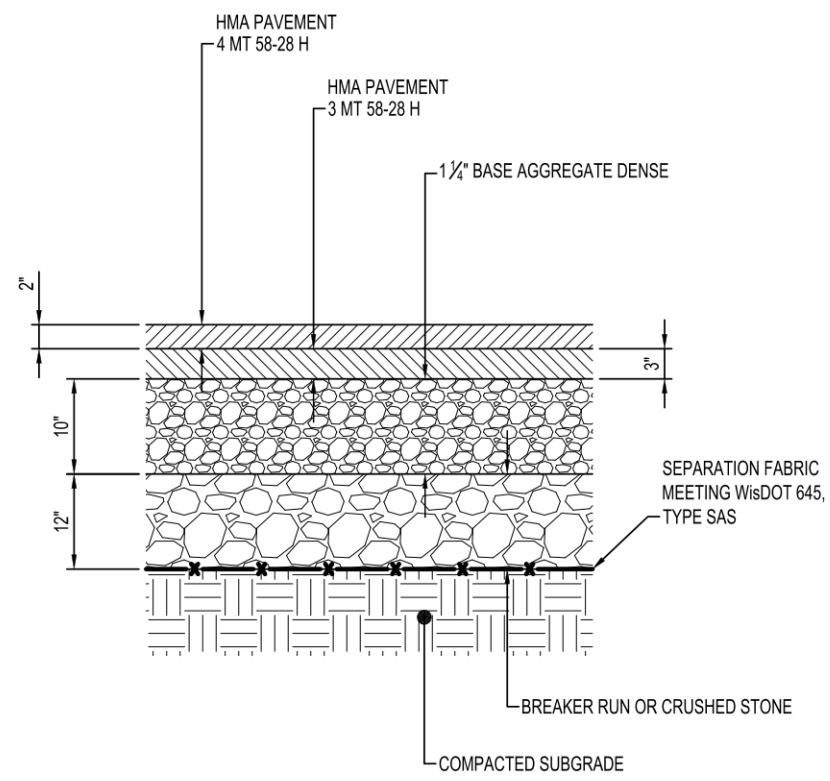
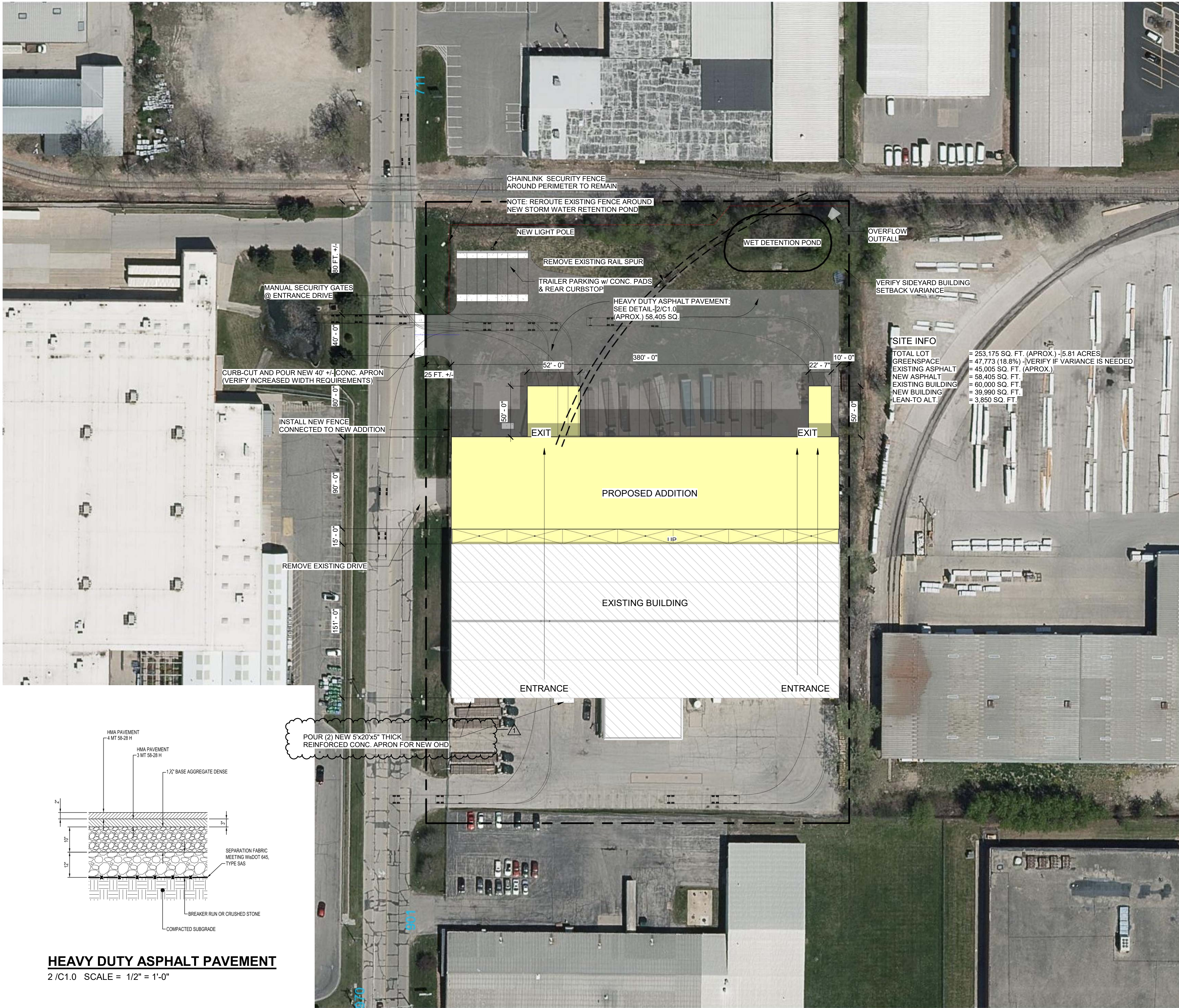
1 04/07/23 DV

ISSUED FOR: CHECKED DATE:
BY:

- ☐ PRELIMINARY
☒ BID SET
☐ DESIGN REVIEW
☐ CHECKSET
☐ CONSTRUCTION

SITE PLAN

C1.0



HEAVY DUTY ASPHALT PAVEMENT

2/C1.0 SCALE = 1/2" = 1'-0"



SITE PLAN - OVERALL

1/C1.0 SCALE = 1" = 50'-0"

COMcheck Software Version 4.1.5.5

Envelope Compliance Certificate

Project Information

Energy Code:	2015 IECC
Project Title:	
Location:	Green Bay, Wisconsin
Climate Zone:	6a
Project Type:	Addition

Construction Site: Owner/Agent: Designer/Contractor:

Building Area	Floor Area
1-Warehouse : Nonresidential	39900

Envelope Assemblies

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Proposed U-Factor	Budget U- Factor _{req}
Roof 1: Other Metal Building Roof, [Bldg. Use 1 - Warehouse] (b)	27879	---	---	0.029	0.031
Roof 2: Insulation Entirely Above Deck, [Bldg. Use 1 - Warehouse]	1189	---	30.0	0.032	0.032
Floor 1: Slab-On-Grade/Unheated, Vertical 4 ft., [Bldg. Use 1 - Warehouse] (c)	590	---	2.6	0.630	0.540
NORTH					
Exterior Wall 1: Other Metal Building Wall, [Bldg. Use 1 - Warehouse] (b)	13680	---	---	0.052	0.052
Door 1: Insulated Metal, Swinging, [Bldg. Use 1 - Warehouse]	105	---	---	0.290	0.370
Door 2: Insulated Metal, Non-Swinging, [Bldg. Use 1 - Warehouse]	672	---	---	0.170	0.179
EAST					
Exterior Wall 3: Other Metal Building Wall, [Bldg. Use 1 - Warehouse] (b)	3589	---	---	0.052	0.052
SOUTH					
Exterior Wall 4: Other Metal Building Wall, [Bldg. Use 1 - Warehouse] (b)	5454	---	---	0.052	0.052
WEST					
Exterior Wall 2: Other Metal Building Wall, [Bldg. Use 1 - Warehouse] (b)	3589	---	---	0.052	0.052

(a) Budget U-factors are used for software baseline calculations ONLY, and are not code requirements.
(b) Other components require supporting documentation for proposed U-factors.
(c) Slab-On-Grade proposed and budget U-factors shown in table are F-factors.

Project Title: Report date: 03/06/23
Data filename: M:\Mitch Beilfuss\Prelim\19-0980 Russel Metals - Redesign\07 Calcs\19-0980 Russel Metals.cck Page 1 of 9

Envelope PASSES: Design 1% better than code

Envelope Compliance Statement

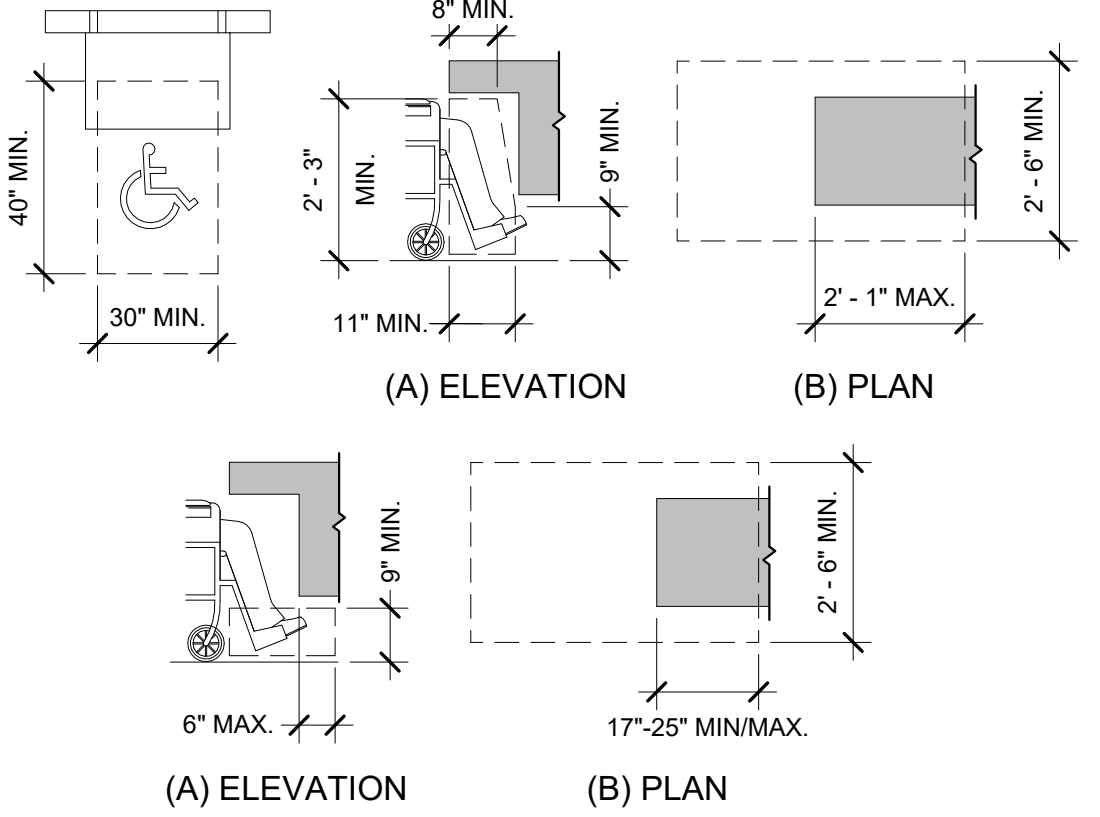
Compliance Statement: The proposed envelope design represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed envelope systems have been designed to meet the 2015 IECC requirements in COMcheck Version 4.1.5.5 and to comply with any applicable mandatory requirements listed in the Inspection Checklist.

Name - Title	Signature	Date
--------------	-----------	------

Project Title: Report date: 03/06/23
Data filename: M:\Mitch Beilfuss\Prelim\19-0980 Russel Metals - Redesign\07 Calcs\19-0980 Russel Metals.cck Page 2 of 9

- ALL NEW CONTROLS FOR USE BY OCCUPANTS SHALL BE MOUNTED BETWEEN 15" A.F.F. MIN. TO 48" A.F.F. MAX. TO TOP EDGE OF OPERATING COMPONENT AND PROVIDE A CLEAR FLOOR SPACE OF 30"x48" AT CONTROLS, OUTLETS, FIXTURES, ETC. CONTROLS LOCATED OVER AN OBSTRUCTION DEEPER THAN 10" MUST BE MOUNTED NO HIGHER THAN 46" A.F.F. ACCESSIBLE CONTROLS MUST NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST TO OPERATE. ALL CONTROLS SHALL COMPLY WITH THE CURRENT ADA STANDARDS IN TYPE AND INSTALLATION.
- TAKE MEASURES TO ENSURE THAT EXPOSED EDGES OF CARPET (INCLUDING FLOOR MATS) ARE SECURELY ATTACHED, FASTENED OR WEIGHTED DOWN TO THE FLOOR WITH TRIM ALONG ENTIRE LENGTH OF ALL EDGES.
- ALL NEW DOORS ALONG THE PATH OF TRAVEL SHALL NOT REQUIRE MORE THAN 5 POUND OF FORCE TO PUSH/PULL OPEN DOORS PER CURRENT ADA STANDARDS
- CONTRACTOR TO CONTRACT WITH PROPERTY'S LIFE SAFETY VENDOR TO FURNISH, INSTALL, AND/OR RELOCATE VISUAL ALARM DEVICES, IF REQUIRED. DEVICES SHALL BE MOUNTED TO 80" A.F.F. TO CENTER OF BOTTOM OR 6" BELOW FINISHED CEILING, WHICHEVER IS LOWER, UNLESS INDICATED OTHERWISE. DEVICES SHALL COMPLY WITH CURRENT ADA STANDARDS, NFPA 72 AND LOCAL/STATE CODES.
- ALL FINISHES , INCLUDING FLOOR FINISHES, SHALL COMPLY WITH CURRENT ADA STANDARDS IN TYPE AND INSTALLATION
- FURNITURE CONFIGURATIONS AT PUBLIC SPACES SHALL FOLLOW THE CLEAR FLOOR SPACE AND CIRCULATION SPACE REQUIREMENTS PER 2010 ADA STANDARDS. SEE ADDITIONAL NOTES THIS SHEET FOR ADDITIONAL INFORMATION AND CLARIFICATIONS
- ALL PUBLIC RESTROOM FIXTURES, ACCESSORIES, ETC. SHALL BE ADA COMPLIANT IN TYPE AND INSTALLATION PER CURRENT ADA STANDARDS. SEE NOTES, ELEVATIONS/DETAILS, AND FIXTURE SCHEDULE FOR ADDITIONAL INFORMATION AND SPECS.
- NOTE THAT ALL ADA INSTALLATION RANGES (i.e. WATER CLOSET DIMENSIONS) AS INDICATED ON THESE DRAWINGS ARE PER CURRENT ADA STANDARDS. LOCAL AND STATE CODES MAY CONFLICT. G.C. SHALL VERIFY DURING PERMIT PROCESS AND/OR PRE-CONSTRUCTION DISCUSSION WITH LOCAL AUTHORITIES.
- GC SHALL COORDINATE WITH PROPERTY SIGNAGE VENDOR TO PROVIDE NEW ADA COMPLIANT SIGNAGE AT ACCESSIBLE DOORS.
- NEW ROOM I.D. AND/OR DIRECTIONAL SIGNAGE SHALL BE TACTILE TYPE MOUNTED AT 48" A.F.F. TO THE BASELINE OF THE LOWEST TACTILE CHARACTERS AND 60" A.F.F. TO THE BASELINE OF THE HIGHEST TACTILE CHARACTER. SIGNAGE TO BE LOCATED AT THE LATCH SIDE OF DOOR, IF THERE IS NO WALL SPACE AT THE LATCH SIDE OF DOOR THEN SIGNAGE SHALL BE LOCATED ON THE NEAREST ADJACENT WALL. SIGNAGE AT DOUBLE DOORS WITH INACTIVE LEAF SHALL BE LOCATED ON THE INACTIVE LEAF. DOUBLE DOORS WITH TWO ACTIVE LEAFS, LOCATE SIGNAGE TO THE RIGHT OF THE RIGHT HAND DOOR PER CURRENT ADA STANDARDS.
- BRAILLE ON SIGNAGE SHALL BE CONTRACTED (GRADE 2) BRAILLE DOTS SHALL HAVE DOMED OR ROUNDED SHAPE. THERE SHOULD BE A MIN. OF 3/8" BETWEEN BRAILLE AND ANY OTHER RAISED CHARACTER, BORDER OR ELEMENT PER CURRENT ADA STANDARDS.
- ALL OBJECTS MOUNTED BETWEEN 27" A.F.F. AND 80" A.F.F. SHALL NOT PROTRUDE MORE THAN 4" FROM THE FACE OF THE WALL PER CURRENT ADA STANDARDS.

10 /A0.1 ADA GENERAL CONSTRUCTION NOTES N.T.S.



SALES & SERVICE COUNTER (ICC ANSI A117.1)

904.3.1 PARALLEL APPROACH. A PORTION OF THE COUNTER SURFACE 36 INCHES MINIMUM IN LENGTH AND 36 INCHES MAXIMUM IN HEIGHT ABOVE THE FLOOR SHALL BE PROVIDED. WHERE THE COUNTER SURFACE IS LESS THAN 36 INCHES IN LENGTH, THE ENTIRE COUNTER SURFACE SHALL BE 36 INCHES MAXIMUM IN HEIGHT ABOVE THE FLOOR. A CLEAR FLOOR SPACE COMPLYING WITH SECTION 305, POSITIONED FOR A PARALLEL APPROACH ADJACENT TO THE ACCESSIBLE COUNTER, SHALL BE PROVIDED.

904.3.2 FORWARD APPROACH. A PORTION OF THE COUNTER SURFACE 30 INCHES MINIMUM IN LENGTH AND 36 INCHES MAXIMUM IN HEIGHT ABOVE THE FLOOR SHALL BE PROVIDED. A CLEAR FLOOR SPACE COMPLYING WITH SECTION 305, POSITIONED FOR A FORWARD APPROACH TO THE ACCESSIBLE COUNTER, SHALL BE PROVIDED. KNEE AND TOE CLEARANCE COMPLYING WITH SECTION 306 SHALL BE PROVIDED UNDER THE ACCESSIBLE COUNTER.

DINING SURFACES AND WORK SURFACES (ICC ANSI A117.1)

902.2 CLEAR FLOOR SPACE. A CLEAR FLOOR SPACE COMPLYING WITH SECTION 305, POSITIONED FOR A FORWARD APPROACH, SHALL BE PROVIDED. KNEE AND TOE CLEARANCE COMPLYING WITH SECTION 306 SHALL BE PROVIDED.

902.4 HEIGHT. THE TOPS OF DINING SURFACES AND WORK SURFACES SHALL BE 28 INCHES MINIMUM AND 34 INCHES MAXIMUM IN HEIGHT ABOVE THE FLOOR.

8 /A0.1 SERVICE, DINING, & WORKSURFACE COUNTERS N.T.S.

MEANS OF EGRESS ILLUMINATION (IBC 1008)

ILLUMINATION LEVEL UNDER NORMAL POWER. THE MEANS OF EGRESS ILLUMINATION LEVEL WHICH SHALL NOT BE LESS THAN 1 FOOT-CANDLE AT THE WALKING SURFACE DURING ALL PERIODS OF OCCUPANCY, UNLESS MEETING THE EXCEPTION FOR AISLES IN ASSEMBLY USES AND SELECT SLEEPING AND DWELLING UNITS. IN THE EVENT OF POWER SUPPLY FAILURE IN ROOMS AND SPACES THAT REQUIRE TWO OR MORE MEANS OF EGRESS, AN EMERGENCY ELECTRICAL SYSTEM SHALL AUTOMATICALLY ILLUMINATE AISLES, CORRIDORS, AND EXIT ACCESS STAIRWAYS AND RAMPS

FIRE EXTINGUISHERS (IBC 906)

PORTABLE FIRE EXTINGUISHERS SHALL BE SELECTED, INSTALLED, AND MAINTAINED IN ACCORDANCE WITH IBC 906 AND NFPA 10. FOR OCCUPANCIES OF ORDINARY HAZARD THE MAX. TRAVEL DISTANCE TO A FIRE EXTINGUISHER IS 75'.

3 /A0.1 EGRESS LIGHTING & FIRE EXTINGUISHERS N.T.S.

IBC 1210.2 FLOORS AND WALL BASES. IN OTHER THAN DWELLING UNITS, TOILET, BATHING AND SHOWER ROOM FLOOR FINISH MATERIALS SHALL HAVE A SMOOTH, HARD, NONABSORBENT SURFACE. THE INTERSECTIONS OF SUCH FLOORS WITH WALLS SHALL HAVE SMOOTH, HARD NONABSORBENT VERTICAL BASE THAT EXTENDS UPWARD ONTO THE WALL NOT LESS THAN 4 INCHES.

1210.2.2 WALLS AND PARTITIONS. WALLS AND PARTITIONS WITHIN 2 FEET OF SERVICE SINKS, URINALS AND WATER CLOSETS SHALL HAVE A SMOOTH, HARD, NONABSORBENT SURFACE, TO A HEIGHT OF NOT LESS THAN 4 FEET ABOVE THE FLOOR, AND EXCEPT FOR STRUCTURAL ELEMENTS, THE MATERIALS USED IN SUCH WALL SHALL BE OF A TYPE THAT IS NOT ADVERSELY AFFECTED BY MOISTURE. ACCESSORIES SUCH AS GRAB BARS, TOWEL BARS, PAPER DISPENSERS AND SOAP DISHES, PROVIDED ON OR WITHIN WALLS, SHALL BE INSTALLED AND SEALED TO PROTECT STRUCTURAL ELEMENTS FROM MOISTURE.

ICC A117.1 606.6 WATER SUPPLY AND DRAINPIPES UNDER LAVATORIES AND SINKS SHALL BE INSULATED OR OTHERWISE CONFIRMED TO PROTECT AGAINST CONTACT. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES AND SINKS.

7 /A0.1 BATHROOM REQUIREMENTS N.T.S.

- ANY DEVIATION FROM PLANS SHALL HAVE BEEN CONSULTED WITH AND DOCUMENTED BY THE SUPERVISING PROFESSIONAL OF RECORD.
- THIS IS A DESIGN-BUILD PROJECT. ALL MATERIALS, WORKMANSHIP AND DETAILS SHALL CONFORM TO INDUSTRY STANDARDS. THE SUBCONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE SPECIFICATIONS REFERENCED HEREIN AND SHALL CLARIFY ANY DISCREPANCIES WITH BAYLAND BUILDINGS, INC. PRIOR TO BEGINNING WORK.
- NON-CONTRACT ITEMS MAY APPEAR ON THESE PLANS THAT ARE DONE BY OTHERS AND ARE NOT PART OF THE BAYLAND BUILDINGS, INC. CONTRACT.
- PLUMBING, ELECTRICAL, & MECHANICAL CONTRACTORS THIS IS A DESIGN BUILD PROJECT. EACH SUBCONTRACTOR SHALL PROVIDE PLANS TO THE PROJECT MANAGER AND THE SUPERVISING PROFESSIONAL FOR REVIEW PRIOR TO THE PLANS BEING SUBMITTED TO THE AUTHORITY HAVING JURISDICTION (AHJ). EACH SUBCONTRACTOR SHALL MAINTAIN A SET OF DRAWINGS AT THE JOB SITE TO RECORD ANY CHANGES TO THE DESIGN. THIS DRAWING OF RECORD AND THE AHJ APPROVED PLANS SHALL BE TURNED OVER TO THE PROJECT MANAGER AT THE END OF THE PROJECT.
- ALL MATERIALS, WORKMANSHIP AND DETAILS SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST EDITION OF THE COMMERCIAL BUILDING CODE.
- SUBCONTRACTOR SHALL FAMILIARIZE HIMSELF WITH ALL ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS TO VERIFY THE LOCATION AND DIMENSIONS OF CHASES, INSERTS, OPENINGS, SLEEVES, REGLETS, DEPRESSIONS AND OTHER PROJECT REQUIREMENTS NOT SHOWN ON THE STRUCTURAL DRAWINGS.
- FIELD VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS AND NOTIFY THE SUPERVISING PROFESSIONAL OF RECORD OF ANY DISCREPANCIES.

1 /A0.1 GENERAL REQUIREMENTS N.T.S.

A.B.(s)	anchor bolt (s)	HDR	header
A/C	air conditioning	HORZ	horizontal
A.C.T	acoustical tile	HSS	hollow structural section
AFF	above finished floor	HT	height
ALT	alternate	HVAC	heating, ventilating & a/c
ALUM	aluminum		
ARCH	architectural	ID	inside diameter
ASPH	asphalt	INSUL	insulation
		INT	interior
B.BD	base board		
BBP	block between purlins	JST(S)	joist(s)
B-FD	bi-folding		
BD(S)	board(s)	K.O.	knockout
BIT	bituminous		
BLDG	building	L	angle
BLK(G)	block(ing)	LAM	laminated(d)
BM	bench mark or beam	LAV	lavatory
BR	brace	L.L.H.	long leg horiz.
BRG	bearing	L.L.V.	long leg vertical
BRK	brick	LTG	lighting
B.S.	both sides		
BSMT	basement	MECH	mechanical
		MH	manhole
CL	centerline	MISC	miscellaneous
C	channel	M.O.	masonry opening
CB	catch basin		
C.H.	ceiling height	N.I.C.	not in contract
C.J.	control joint	N.T.S.	not to scale
CLG	ceiling		
CLR	clear	O.A.	overall
CMU	concrete masonry unit	O.C.	on center
COL	column	O.D.	outside diameter
CONC	concrete	O.H.	overhead
CONN	connection(s)	O/O	out to out
CONST	construction	OPG	opening
CONT	continue(uous)	OPP	opposite
OPT	carpet		
C.T.	ceramic tile	PEMB	pre-engineered metal building
QVR	cont. varied ridge	PERI	perimeter
CYD	cubic yard	PL	property line
		PLWD	plywood
d	penny	PPE	polypropylene
DBL	double	PSF	pounds per square foot
D.F.	drinking fountain	PSI	pounds per square inch
DIA	diameter	P.T.	pressure treated
DIAG	diagonal	PTN	partition
DIM	dimension	PVC	polyvinyl chloride
DN	down	PVMT	pavement
DR	door		
DS	downspout	R	radius
		RECP	receptacles
E.E.	each end	REM	remove
EIFS	ext. insul. & finish system	REV	revise(ion)(s)(d)
ELEC	electric(al)	RH	right hand
ELEV	elevation	RM	room
EQ	equal	R.O.	rough opening
EQPT	equipment	R.O.W.	right of way
EQV	equivalent	RQ'D	required
E.W.	each way		
EXG	existing	SCH	schedule
EXP	exposed	SGL	single
EXT	exterior	S.O.G.	slab on grade
		SQ	square
F.A.	fire alarm	STAG	staggered
F.D.	floor drain	STD	standard
FE	fire extinguisher	STL	steel
FEC	fire exting. w/ cabinet	STR	structural
FFE	finished floor elevation		
FLR(G)	floor(ing)	TB	thermal broke
FNDR	foundation	T&B	top and bottom
F.O.C.	face of concrete	T&G	tongue and groove
F.O.M.	face of masonry	T.O.M.	top of masonry
F.O.S.	face of studs	T.O.S.	top of steel
FT	foot	T.O.S.J.	top of steel joist
FTG	footing	T.O.W.	top of wall
		T.S.	tube steel
GA	gauge	TYP	typical
GYP	gypsum		
HC	handicapped	U.N.O.	unless noted otherwise
		UTIL	utility
		V.B.	vapor barrier
		V.C.T.	vinyl composition tile
		W.I.C.	walk in closet
		WH	water heater
		WWF	welded wire fabric

2 /A0.1 ABBREVIATIONS N.T.S.

IBC 1013.1 EXIT SIGNS

EXITS AND EXIT ACCESS DOORS SHALL BE MARKED BY AN APPROVED EXIT SIGN READILY VISIBLE FROM ANY DIRECTION OF EGRESS TRAVEL. THE PATH OF EGRESS TRAVEL TO EXITS AND WITHIN EXITS SHALL BE MARKED BY READILY VISIBLE EXIT SIGNS TO CLEARLY INDICATE THE DIRECTION OF EGRESS TRAVEL IN CASES WHERE THE EXIT OR THE PATH OF EGRESS TRAVEL IS NOT IMMEDIATELY VISIBLE TO THE OCCUPANTS. INTERVENING MEANS OF EGRESS DOORS WITHIN EXITS SHALL BE MARKED BY EXIT SIGNS. EXIT SIGN PLACEMENT SHALL BE SUCH THAT NO POINT IN AN EXIT ACCESS CORRIDOR OR EXIT PASSAGEWAY IS MORE THAN 100 FEET OR THE LISTED VIEWING DISTANCE FOR THE SIGN, WHICHEVER IS LESS, FROM THE NEAREST VISIBLE EXIT SIGN. THE SYMBOL TO DENOTE AN EXIT SIGN LOCATION IS THAT OF A CIRCLE CONTAINING AN "X".

4 /A0.1 EXIT SIGNS N.T.S.



BAYLAND BUILDINGS

P.O. BOX 13571 GREEN BAY, WI 54307
(920) 498-9300 FAX (920) 498-3033
www.baylandbuildings.com

DESIGN & BUILD GENERAL CONTRACTOR

PROPOSED PROJECT FOR:

19-0980

CITY, WISCONSIN; COUNTY OF:

SCALE VERIFICATION

THIS BAR MEASURES 1" ON ORIGINAL.
ADJUST SCALE ACCORDINGLY

NOTICE OF COPYRIGHT
THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO
COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER
SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.C. AS AMENDED
DECEMBER 1990 AND KNOWN AS ARCHITECTURAL WORKS
COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION
INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL
AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND
ELEMENTS OF THE DESIGN. UNDER SUCH PROTECTION,
UNAUTHORIZED USE OF THESE PLANS, WORK OR BUILDING
REPRESENTED, CAN LEGALLY RESULT IN THE CESSATION OF
CONSTRUCTION OR BUILDINGS BEING SEIZED AND/OR MONETARY
COMPENSATION TO BAYLAND BUILDINGS, INC.

JOB NUMBER: 19-0980

PROJECT
EXECUTIVE: MITCH BEILFUSS

DRAWN BY: DBV

DATE: 04/11/2023

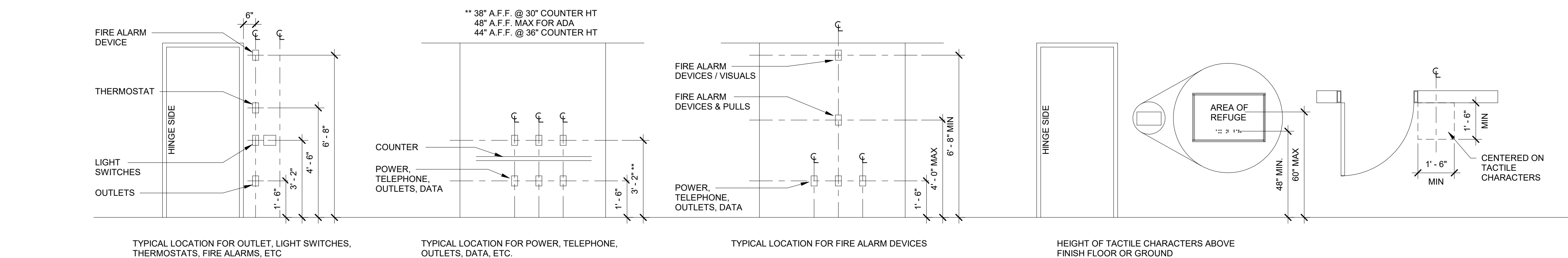
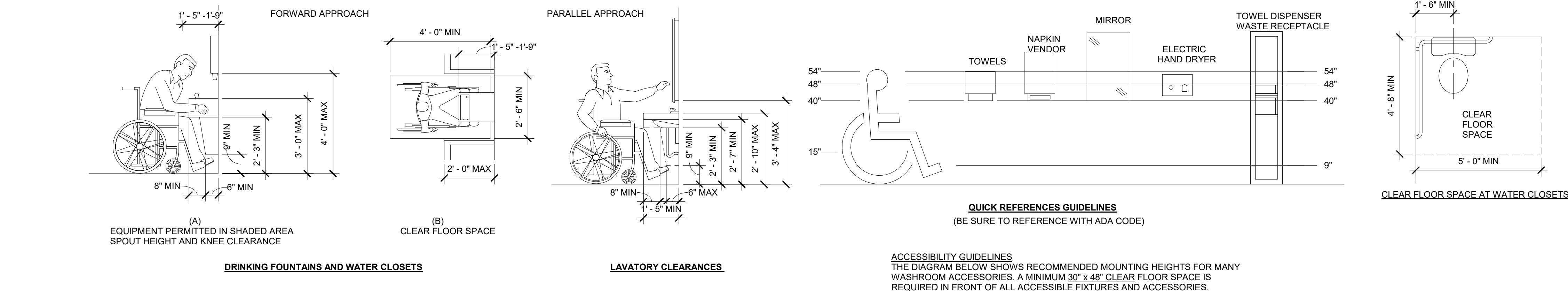
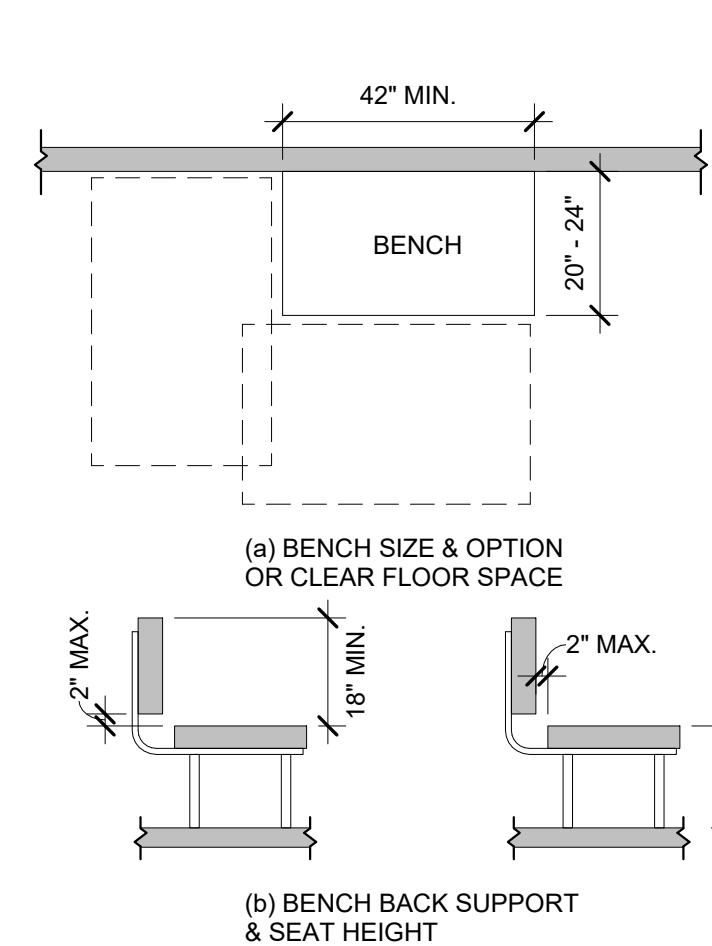
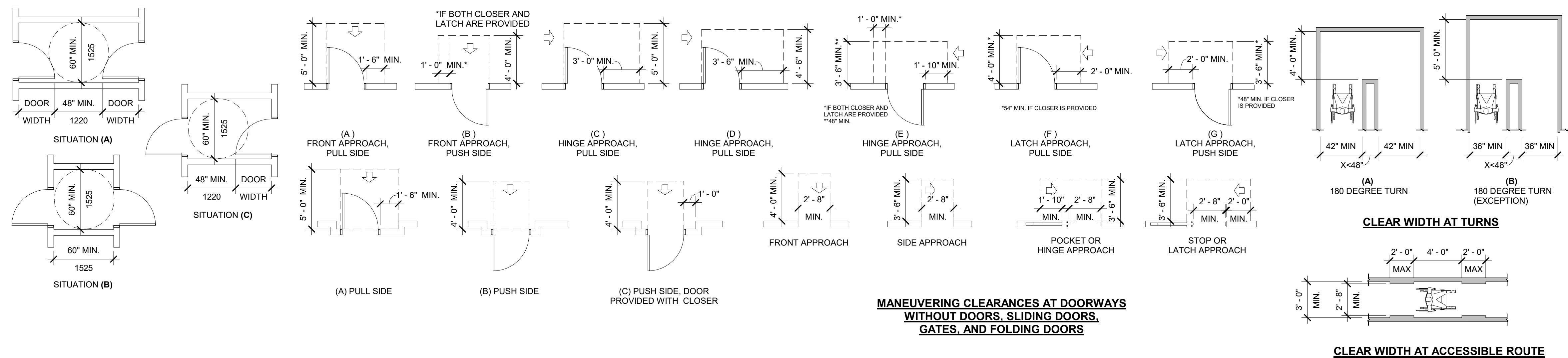
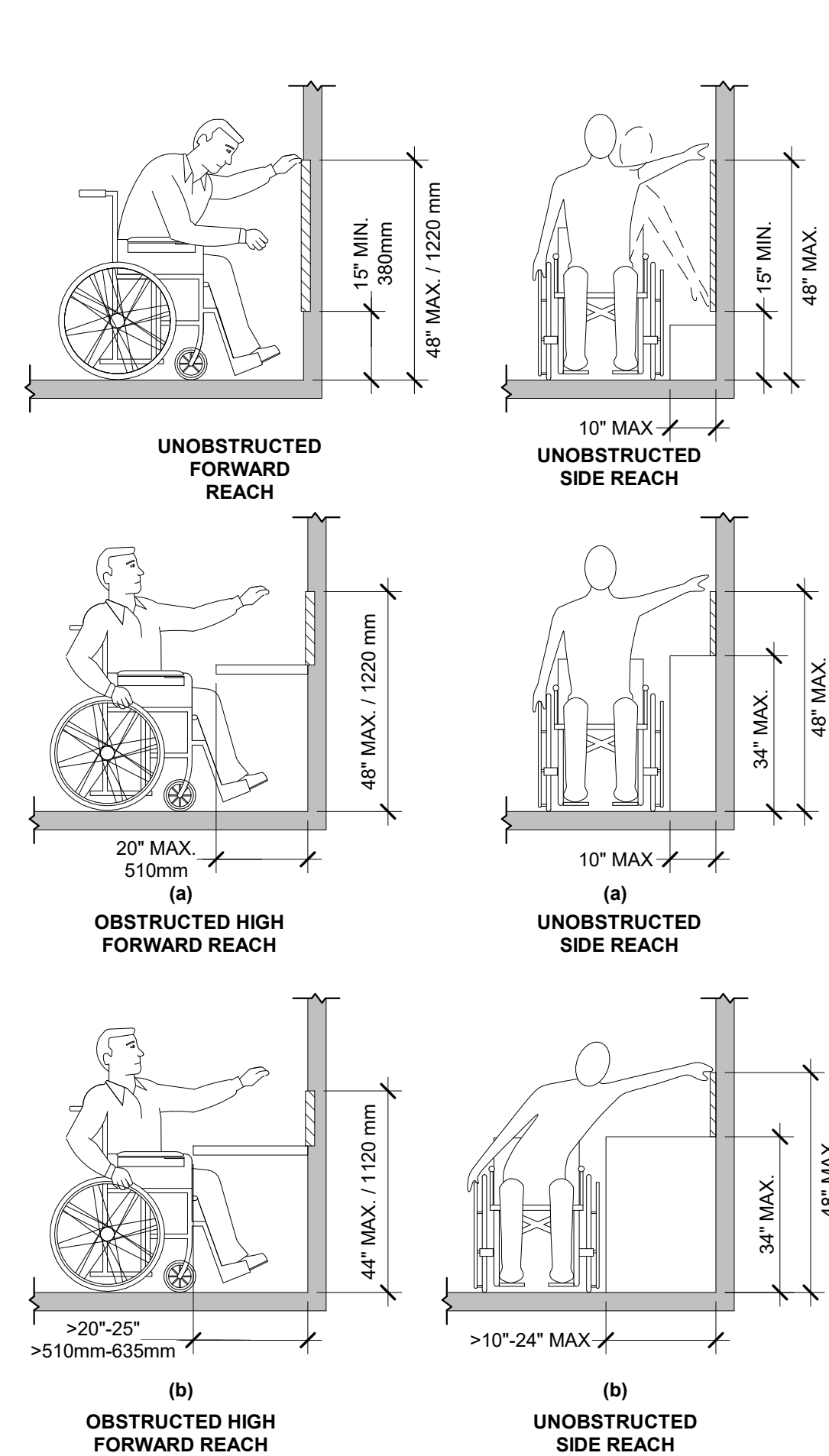
REVISIONS:

ISSUED FOR: CHECKED DATE:
BY:

- ☐ PRELIMINARY
☒ BID SET
☐ DESIGN REVIEW
☐ CHECKSET
☐ CONSTRUCTION

PLAN NOTES

A0.1



PROPOSED PROJECT FOR:
19-0980
CITY, WISCONSIN; COUNTY OF:

SCALE VERIFICATION
THIS BAR MEASURES 1" ON ORIGINAL.
ADJUST SCALE ACCORDINGLY

NOTICE OF COPYRIGHT
THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.O. AS AMENDED DECEMBER 1990 AND KNOWN AS ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS. VIOLATION, UNDER SUCH PROTECTION, OF AN UNAUTHORIZED USE OF THESE PLANS, WORK OR BUILDING REPRESENTED, CAN LEGALLY RESULT IN THE CESSATION OF CONSTRUCTION OR BUILDINGS BEING SEIZED AND/OR MONETARY COMPENSATION TO BAYLAND BUILDINGS, INC.

JOB NUMBER: 19-0980

PROJECT EXECUTIVE: MITCH BEILFUSS

DRAWN BY: DBV

DATE: 04/11/2023

REVISIONS:

ISSUED FOR: CHECKED DATE:
BY:

- ☐ PRELIMINARY
☒ BID SET
☐ DESIGN REVIEW
☐ CHECKSET
☐ CONSTRUCTION

PLAN NOTES

A0.2

PROPOSED PROJECT FOR:

19-0980

CITY, WISCONSIN; COUNTY OF:

SCALE VERIFICATION

THIS BAR MEASURES 1" ON ORIGINAL
ADJUST SCALE ACCORDINGLY

NOTICE OF COPYRIGHT
 THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO
 COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER
 SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.O. AS AMENDED
 DECEMBER 1990 AND KNOWN AS ARCHITECTURAL WORKS
 COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION
 INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL
 AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND
 ELEMENTS OF THE DESIGN. UNDER SUCH PROTECTION,
 UNAUTHORIZED USE OF THESE PLANS, WORK OR BUILDING
 REPRESENTED, CAN LEGALLY RESULT IN THE CESSATION OF
 CONSTRUCTION OR BUILDINGS BEING SEIZED AND/OR MONETARY
 COMPENSATION TO BAYLAND BUILDINGS, INC.

JOB NUMBER: 19-0980

PROJECT EXECUTIVE: MITCH BEILFUSS

DRAWN BY: DBV

DATE: 04/11/2023

REVISIONS:

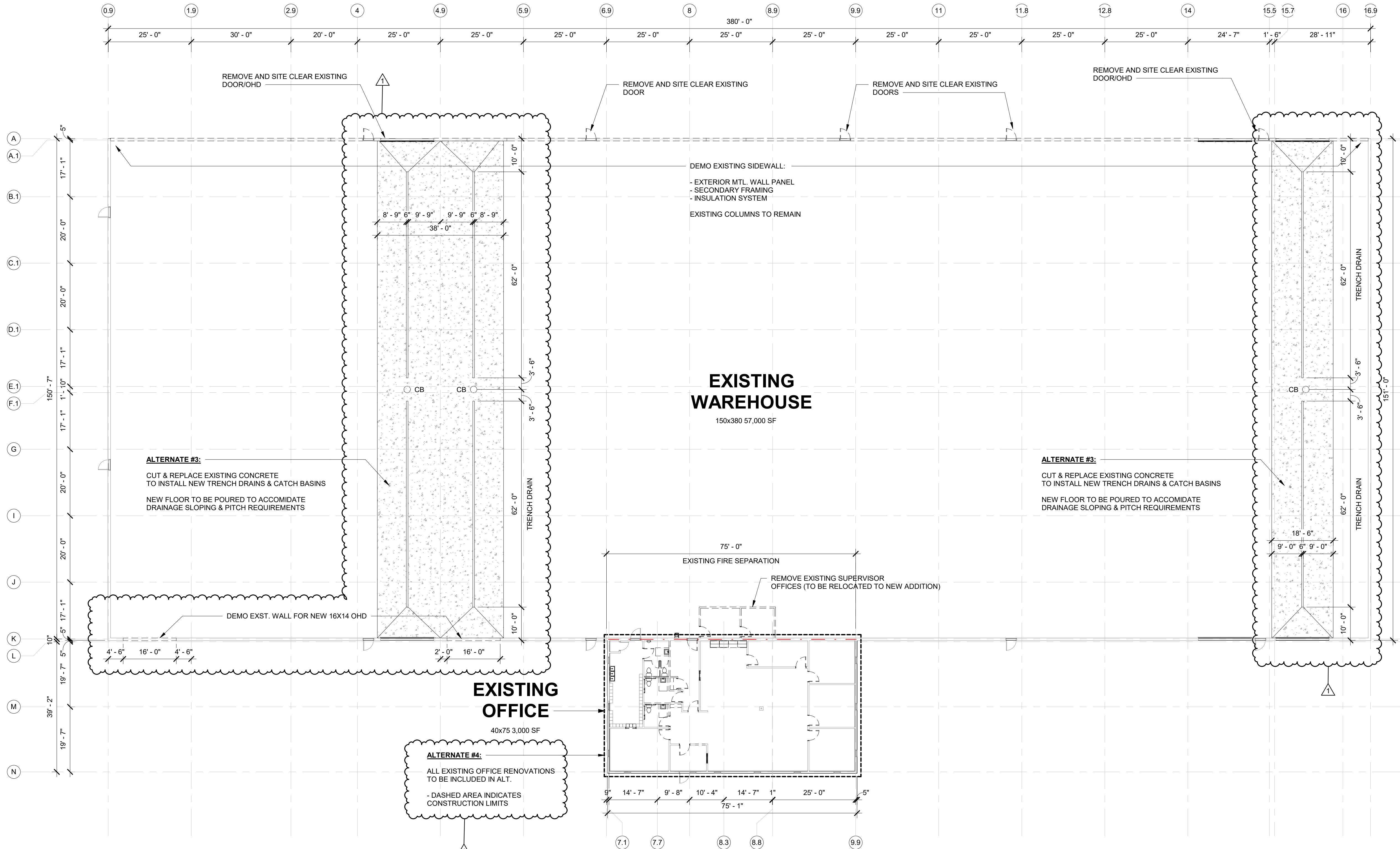
1 04/07/23 DV

ISSUED FOR: CHECKED DATE:
BY:

☐ PRELIMINARY
☒ BID SET
☐ DESIGN REVIEW
☐ CHECKSET
☐ CONSTRUCTION

EXISTING/DEMO FLOOR
PLAN/PROPOSED

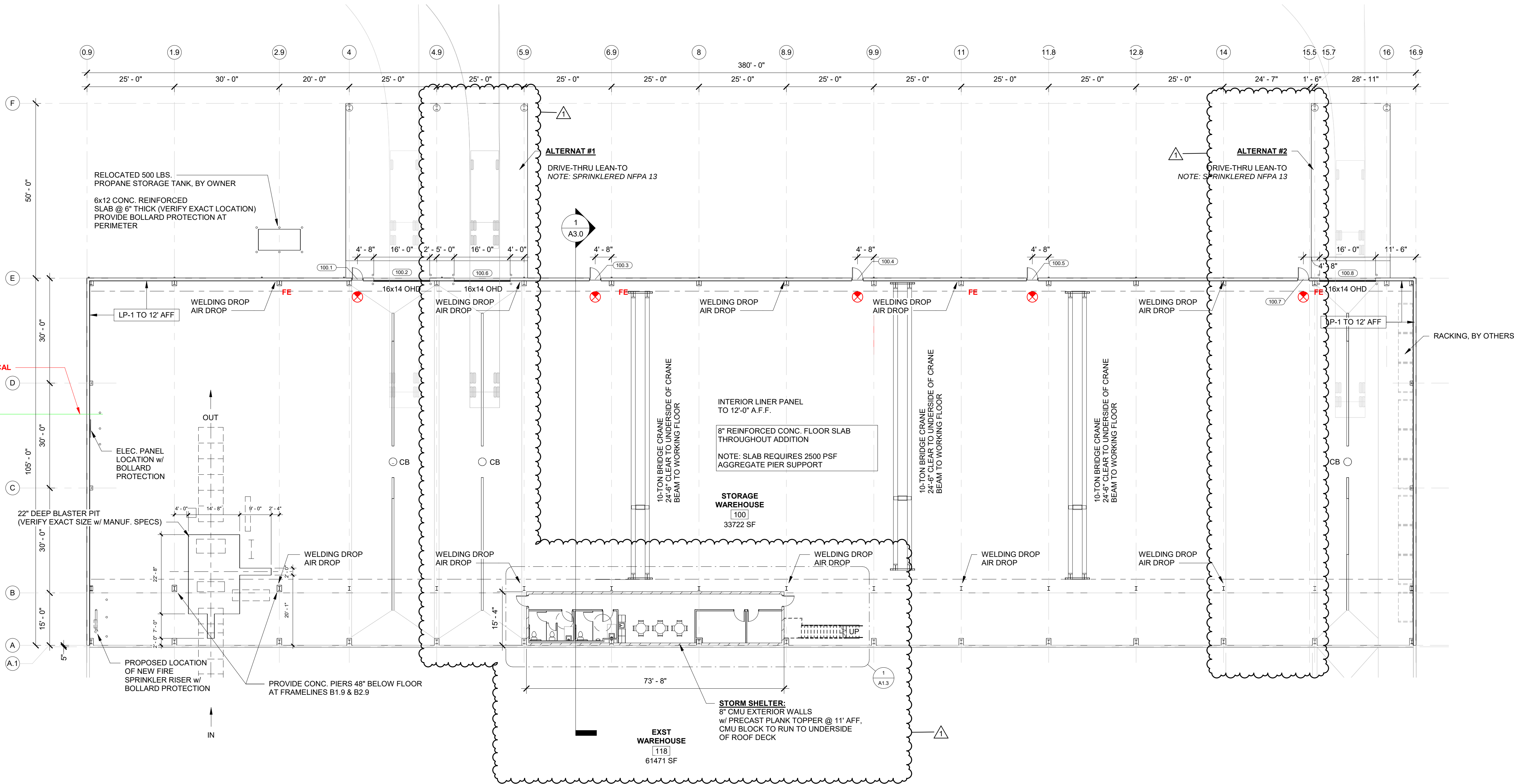
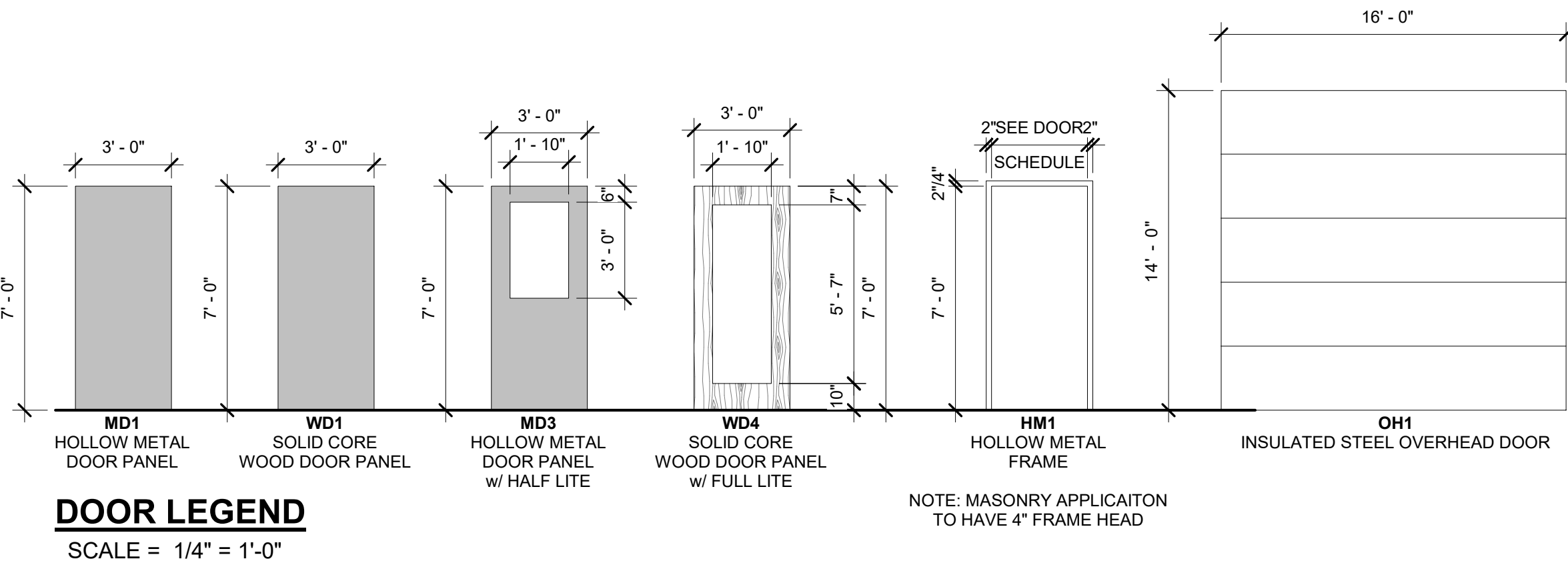
A1.0



FLOOR PLAN - EXISTING/DEMO

1 /A1.0 SCALE = 1/16" = 1'-0"

DOOR SCHEDULE											
NUMBER	WIDTH	HEIGHT	DOOR TYPE	FRAME TYPE	FIRE RATING	LOCK	PASSAGE	CLOSER	PANIC	PRIVACY	REMARKS
100.1	3' - 0"	7' - 0"	MD1	HM1		■		■			Provide Latch Guard
100.2	16' - 0"	14' - 0"	OHD								
100.3	3' - 0"	7' - 0"	MD1	HM1		■		■			Provide Latch Guard
100.4	3' - 0"	7' - 0"	MD1	HM1		■		■			Provide Latch Guard
100.5	3' - 0"	7' - 0"	MD1	HM1		■		■			Provide Latch Guard
100.6	16' - 0"	14' - 0"	OHD								
100.7	3' - 0"	7' - 0"	MD1	HM1							Provide Latch Guard
100.8	16' - 0"	14' - 0"	OHD								
101.1	3' - 0"	7' - 0"	MD3	HM1			■	■			
101.2	3' - 0"	7' - 0"	MD3	HM1			■	■			
102.1	3' - 0"	7' - 0"	MD1	HM1				■			Push-Pull Handles
103.1	3' - 0"	7' - 0"	MD1	HM1				■			Push-Pull Handles
104.1	3' - 0"	7' - 0"	MD3	HM1		■					Provide Wall Stop
105.1	3' - 0"	7' - 0"	MD3	HM1		■					Provide Wall Stop
106.1	3' - 0"	7' - 0"	WD4	HM1			■				Provide Wall Stop (Alternate bid #4)
107.1	3' - 0"	7' - 0"	WD1	HM1			■				Push-Pull Handles (Alternate bid #4)
108.1	3' - 0"	7' - 0"	WD1	HM1				■			Push-Pull Handles (Alternate bid #4)
109.1	3' - 0"	7' - 0"	WD1	HM1				■			Provide Wall Stop (Alternate bid #4)
111.1	3' - 0"	7' - 0"	WD1	HM1			■	■			Provide Wall Stop (Alternate bid #4)
111.2	3' - 0"	7' - 0"	WD1	HM1			■	■			Provide Wall Stop (Alternate bid #4)
112.1	3' - 0"	7' - 0"	WD1	HM1			■	■			Push-Pull Handles (Alternate bid #4)
114.1	3' - 0"	7' - 0"	WD1	HM1		■					Provide Wall Stop (Alternate bid #4)
115.1	3' - 0"	7' - 0"	WD1	HM1		■					Provide Wall Stop (Alternate bid #4)
116.1	3' - 0"	7' - 0"	WD1	HM1		■					Provide Wall Stop (Alternate bid #4)
117.1	3' - 0"	7' - 0"	WD1	HM1		■					Provide Wall Stop (Alternate bid #4)
117.2	3' - 0"	7' - 0"	WD1	HM1		■					Provide Wall Stop (Alternate bid #4)
118.1	16' - 0"	14' - 0"	OHD								Location: Exst. Warehouse (New Drive)
118.2	16' - 0"	14' - 0"	OHD								Location: Exst. Warehouse (SW corner of building)
200.1	3' - 0"	7' - 0"	MD1	HM1		■		■			Location: Equip. Platform



PROPOSED PROJECT FOR:

19-0980

CITY, WISCONSIN; COUNTY OF:

SCALE VERIFICATION
THIS BAR MEASURES 1" ON ORIGINAL.
ADJUST SCALE ACCORDINGLY.

NOTICE OF COPYRIGHT
THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO
COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER
SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.C. AS AMENDED
DECEMBER 1990 AND KNOWN AS ARCHITECTURAL WORKS
COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION
INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL
AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND
ELEMENTS OF THE DESIGN. UNDER SUCH PROTECTION
UNAUTHORIZED USE OF THESE PLANS, WORK OR BUILDING
REPRESENTED, CAN LEGALLY RESULT IN THE CESSATION OF
CONSTRUCTION OR BUILDINGS BEING SEIZED AND/OR MONETARY
COMPENSATION TO BAYLAND BUILDINGS, INC.

JOB NUMBER: 19-0980
PROJECT EXECUTIVE: MITCH BEILFUSS

DRAWN BY: DBV
DATE: 04/11/2023

REVISIONS:
1 04/07/23 DV

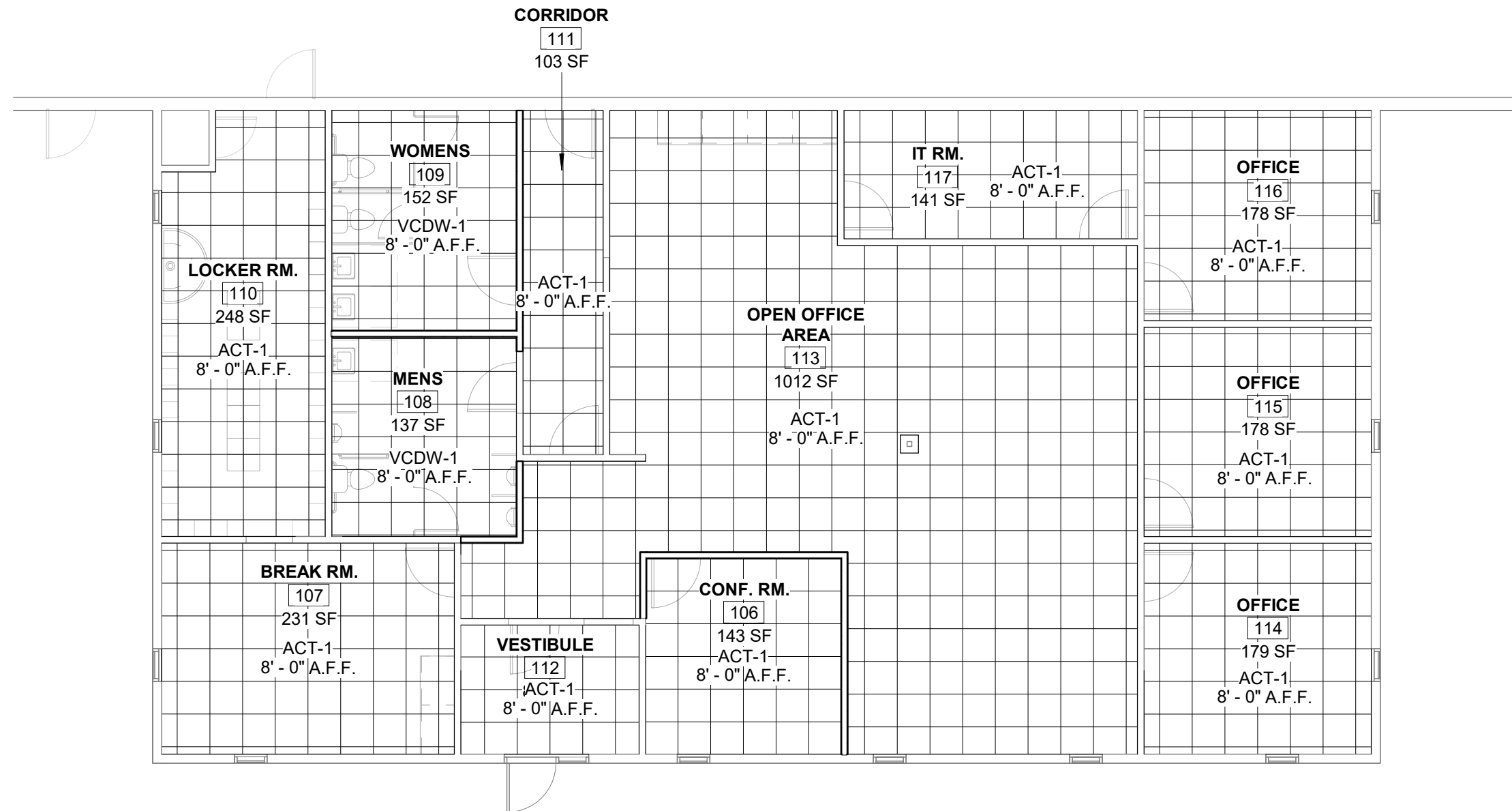
ISSUED FOR: CHECKED DATE:
BY:

- ☐ PRELIMINARY
- ☒ BID SET
- ☐ DESIGN REVIEW
- ☐ CHECKSET
- ☐ CONSTRUCTION

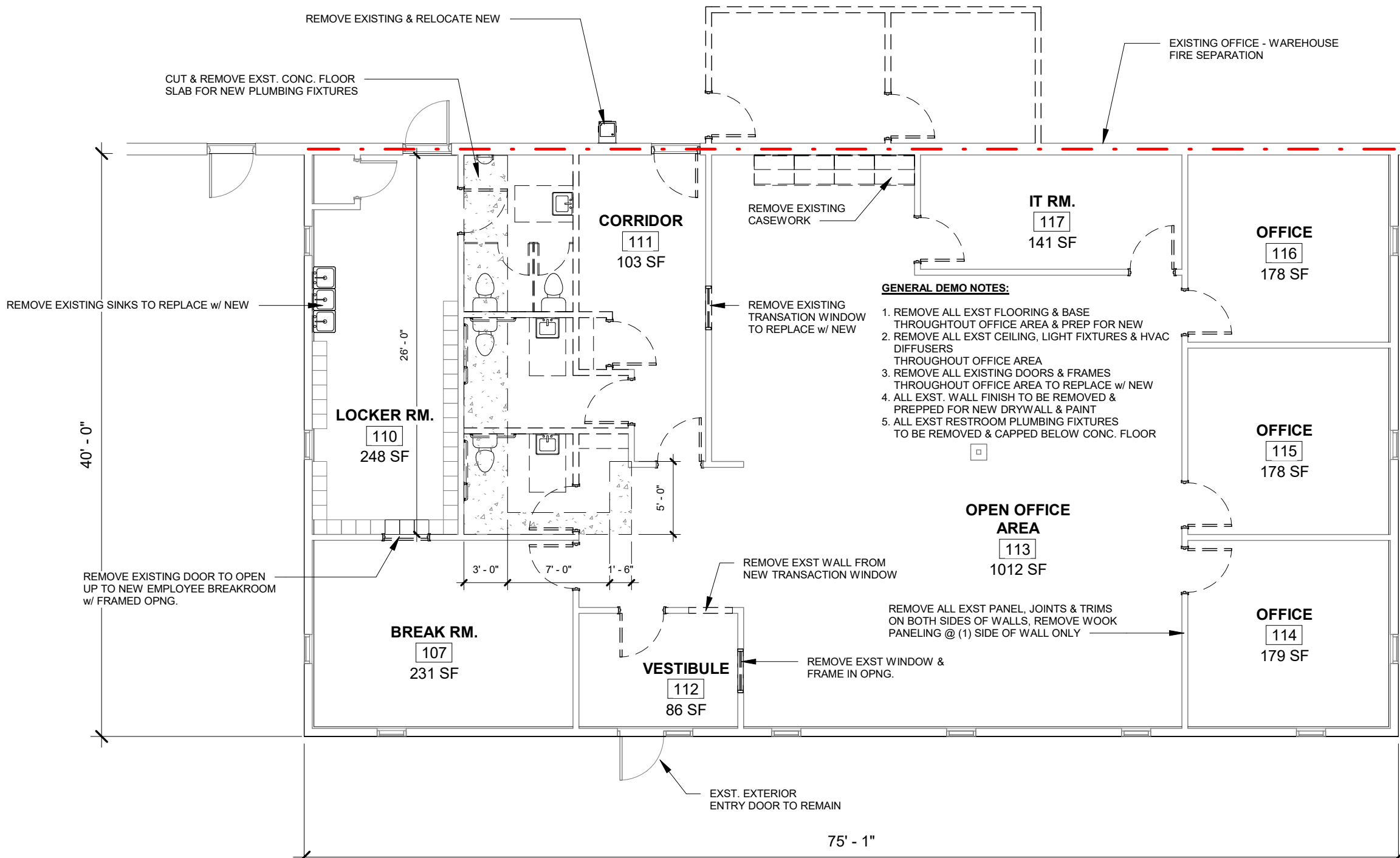
PROPOSED FLOOR PLAN

FLOOR PLAN - PROPOSED
NORTH 1/A1.1 SCALE = 1/16" = 1'-0"

A1.1



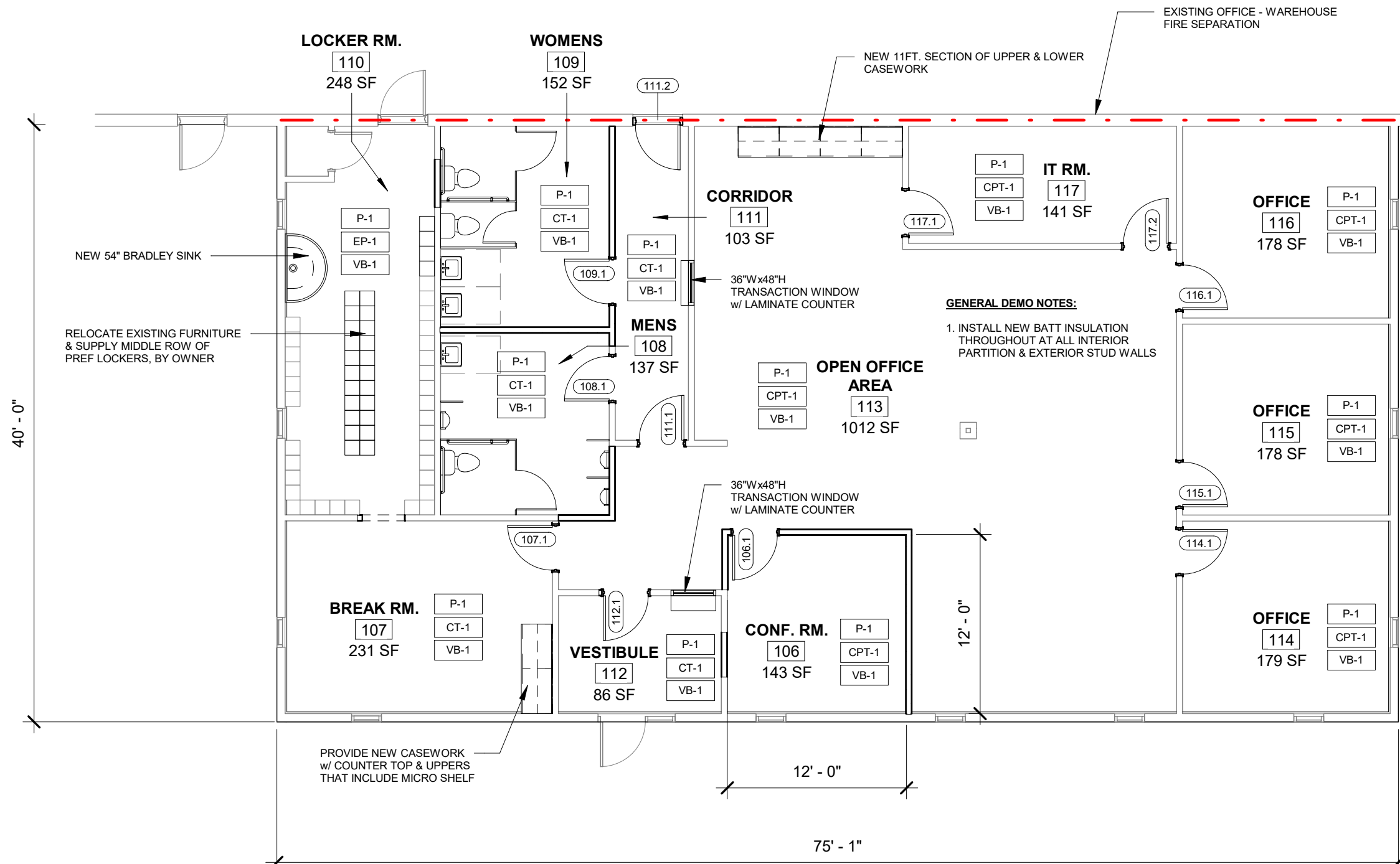
RCP - ENLARGED OFFICE AREA
3 / A1.2 SCALE = 1/8" = 1'-0"



FLOOR PLAN - EXST./ DEMO ENLARGED OFFICE
2 / A1.2 SCALE = 1/8" = 1'-0"

MATERIAL LEGEND

FLOORING FINISH		WALL FINISH	
MARK	DESCRIPTION	MARK	DESCRIPTION
CPT-1	FINISH: CARPET TILE STYLE: VERIFY MANUF: VERIFY COLOR: VERIFY INSTALLATION METHOD: VERIFY REMARKS: VERIFY CONTACT: VERIFY	P-1	FINISH: PAINTED GYP. BD. STYLE: VERIFY COLOR: VERIFY INSTALLATION METHOD: VERIFY REMARKS: VERIFY
CT-1	FINISH: CERAMIC TILE STYLE: VERIFY MANUF: VERIFY COLOR: VERIFY INSTALLATION METHOD: VERIFY REMARKS: VERIFY CONTACT: VERIFY	P-2	FINISH: PAINTED BLOCK STYLE: VERIFY MANUF: VERIFY COLOR: VERIFY INSTALLATION METHOD: VERIFY REMARKS: VERIFY
EP-1	FINISH: EPOXY STYLE: VERIFY MANUF: VERIFY COLOR: VERIFY INSTALLATION METHOD: VERIFY REMARKS: VERIFY CONTACT: VERIFY	LP-1	FINISH: 29 GA LINER PANEL STYLE: VERIFY MANUF: VERIFY COLOR: VERIFY INSTALLATION METHOD: VERIFY REMARKS: TO 12 FT. A.F.F.
CONC-1	FINISH: CONCRETE STYLE: SMOOTH TROWEL/ STAINED MANUF: VERIFY COLOR: VERIFY INSTALLATION METHOD: VERIFY REMARKS: SEALER APPLIED U.N.O.	EXP-WF	EXPOSED WALL/ STRUCTURE
EXIST-FLR	EXISTING FLOOR FINISH CONDITIONS	EXIST-WF	EXISTING WALL FINISH CONDITIONS
WALL BASE FINISH		CEILING FINISH	
MARK	DESCRIPTION	MARK	DESCRIPTION
VB-1	FINISH: VINYL BASE STYLE: 4" HIGH MANUF: VERIFY COLOR: VERIFY INSTALLATION METHOD: VERIFY REMARKS:	ACT-1	FINISH: SUSPENDED ACOUSTICAL CEILING SYSTEM STYLE: 2x2 STANDARD REVEALED EDGE MANUF: VERIFY COLOR: VERIFY INSTALLATION METHOD: VERIFY REMARKS:
CTB-1	FINISH: CERAMIC TILE BASE STYLE: 4" HIGH MANUF: VERIFY COLOR: VERIFY INSTALLATION METHOD: VERIFY REMARKS:	VCDW-1	FINISH: SUSPENDED ACOUSTICAL CEILING SYSTEM STYLE: 2x2 VINYL COVE DRYWALL USG MANUF: VERIFY COLOR: VERIFY INSTALLATION METHOD: VERIFY REMARKS:
EXIST-WB	EXISTING WALL BASE FINISH CONDITIONS	EXIST-CF	EXISTING CEILING FINISH CONDITIONS



FLOOR PLAN - PROPOSED ENLARGED OFFICE
1 / A1.2 SCALE = 1/8" = 1'-0"

ALTERNATE #4:

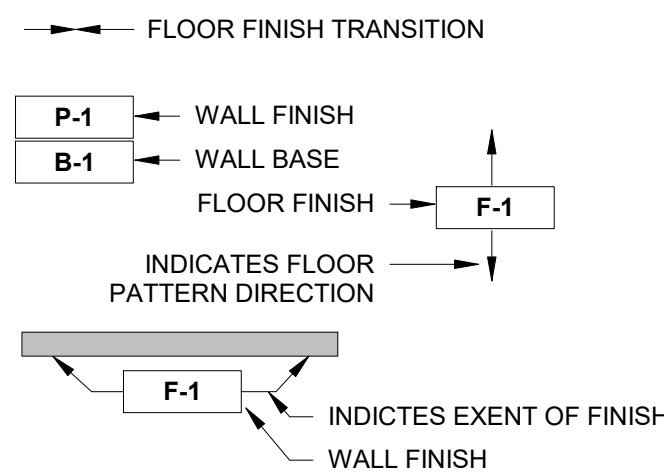
ALL EXISTING OFFICE RENOVATIONS
TO BE INCLUDED IN ALT.

(FIELD VERIFY EXISTING OFFICE
& RESTROOMS LAYOUTS)

FINISH GENERAL NOTES

- ALL FINISH SELECTIONS IDENTIFIED IN LEGENDS, SCHEDULES, AND SPECIFICATIONS ARE NOT SUBJECT TO 'OR EQUAL' SUBSTITUTIONS U.N.O. THE CONTRACTOR AND SUBCONTRACTORS SHALL SUBMIT PRODUCTS AND FINISHES AS INDICATED IN THE DOCUMENTS.
- NOTIFY ARCHITECT OF SCHEDULED FINISHES THAT ARE UNAVAILABLE OR DISCONTINUED AT THE EARLIEST OPPORTUNITY SUCH THAT A SUBSTITUTION CAN BE SELECTED WITHOUT JEOPARDIZING THE CONSTRUCTION SCHEDULE.
- REFER TO THE MATERIAL SCHEDULE FOR MANUFACTURER, PRODUCT/STYLE NAME, COLOR SPECIFICATION.
- INSTALL ALL FINISH MATERIALS IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED SPECIFICATIONS, SURFACE PREPARATION, ADHESIVES AND BACKINGS: INCLUDING WALLCOVERINGS, COATINGS, FLOORING MATERIALS, LAMINATES, ETC.
- THE CONTRACTOR SHALL REPAIR ALL ROUGH FLOOR SLAB UNEVENNESS SUITABLE FOR PROPER FLOOR COVERING INSTALLATION.
- FLOOR MATERIAL TRANSITIONS AT DOOR OPENINGS ARE TO BE CENTERED BELOW THE DOOR IN THE CLOSED POSITION. U.N.O.
- THE PAINTING SUBCONTRACTOR SHALL ENSURE THAT ALL PAINTS COMPLY WITH THE MUNICIPAL & STATE CODES AND BUILDING REGULATIONS FOR LOW VOC EMISSIONS.
- ELECTRICAL SWITCH AND OUTLET COVER PLATES, SURFACE HARDWARE, ETC. SHALL BE INSTALLED AFTER PAINTING AND/OR APPLICATION OF WALL COVERINGS AND SCOTED CARPET.
- STAINED AND PAINTED SURFACES SHALL BE FINISHED SUCH THAT JOINTS/IMPERFECTIONS ARE NOT VISIBLE.
- CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES IN THE FIELD. GO TO GET CLARIFICATION FROM ARCHITECT BEFORE CONTINUING WITH ANY WORK.
- PROVIDE VINYL TRANSITION STRIPS AT ALL FLOORING MATERIAL CHANGES. U.N.O. REFER TO PLAN FOR DETAIL LOCATIONS.
- HARD FLOORING GROUT IS TO BE SEALED WITH MANUFACTURER'S RECOMMENDED SEALERS.
- RUBBER VINYL BASE SHALL BE STRAIGHT BASE AT ALL LOCATIONS FOR CARPET AND COVE BASE AT TILE AND RESILIENT FLOORS.
- ALL ELECTRICAL PANELS IN THE CORRIDORS SHALL BE PAINTED TO MATCH THE ADJACENT WALL FINISH.
- PAINT CEILING ACCESS PANELS TO MATCH ADJACENT CEILING FINISH.
- UNDERSIDE OF SOFFITS (WHERE OCCURS) TO BE PAINTED TO RECEIVE FINISH TO MATCH WALL, U.N.O.
- FINISH FLOORING TO EXTEND FROM WALL TO WALL INCLUDING UNDER CABINETS AND UNDERCABINET EQUIPMENT.
- ALL INTERIOR WALL & CEILING FINISHES AND TRIM OF PUBLIC AREAS TO COMPLY WITH CLASS A MATERIAL CLASSIFICATION: FLAME SPREAD RATING 0 TO 25. SMOKE DEVELOPED 200. ALL INTERIOR WALL AND CEILING FINISHES AND TRIM IN NON PUBLIC AREAS TO COMPLY WITH CLASS B MATERIAL CLASSIFICATION: FLAME SPREAD RATING 26-75. SMOKE DEVELOPED 450.
- ALL PAINTED SURFACES ARE TO RECEIVE A PRIME COAT AND A MINIMUM OF TWO COATS FINAL COLOR, U.N.O.
- CARPET CONTRACTOR SHALL VERIFY THAT ALL CARPET OF EACH VARIETY IS TO BE SHIPPED FROM THE SAME DYE-LOT.
- ALL WALLS PAINTED WITH A LATEX PAINT TO HAVE AN EGGSHELL FINISH. U.N.O. REFER TO THE MATERIAL SCHEDULE AND FINISH LEGEND FOR MANUFACTURER'S PRODUCT NAME.
- GYP SUM BOARD CEILINGS SCHEDULED TO RECEIVE PAINT SHALL HAVE A FLAT FINISH, U.N.O.
- PROVIDE ARCHITECT WITH A MINIMUM OF (3) 8" X 10" BRUSH-OUTS OF EACH COLOR AND FINISH FOR ARCHITECT'S APPROVAL PRIOR TO APPLICATION.
- ALL PLASTIC LAMINATE MILLWORK CABINET INTERIORS TO BE WHITE MELAMINE, U.N.O.
- ARCHITECTURAL ADHESIVES, SEALANTS AND SEALANT PRIMERS MUST COMPLY WITH SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT (SCAQM) RULE #1168. VOLATILE ORGANIC COMPOUND (VOC) LIMITS LISTED IN THE TABLE BELOW CORRESPOND TO RULE AMENDMENT DATE OF JANUARY 7, 2005.
- PAINTS AND COATINGS: APPLIED TO INTERIOR WALLS AND CEILINGS MUST NOT EXCEED THE VOLATILE ORGANIC COMPOUND (VOC) CONTENT LIMITS ESTABLISHED IN GREEN SEAL STANDARD GS-11, PAINTS, 1ST EDITION, MAY 20, 1993.
- ANTI-CORROSIVE AND ANTI-RUST PAINTS: APPLIED TO INTERIOR FERROUS METAL SUBSTRATES MUST NOT EXCEED THE VOC CONTENT LIMIT OF 250 G/L ESTABLISHED IN GREEN SEAL STANDARD GC-03, ANTI-CORROSIVE PAINTS, 2ND EDITION, JANUARY 7, 1997.
- CLEAR WOOD FINISHES, FLOOR COATINGS, STAINS, PRIMERS, SEALERS, AND SHELLACS: APPLIED TO INTERIOR ELEMENTS MUST NOT EXCEED THE VOC CONTENT LIMITS ESTABLISHED FOR THOSE COATING TYPES IN SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT (SCAQM) RULE 1113, ARCHITECTURAL COATINGS, AMENDED FEBRUARY 5, 2016.

FINISH PLAN LEGEND



FINISH PLAN KEYNOTES

- NO FINISH WORK IN THIS AREA.
- CARPET TO BE INSET WITHIN CERAMIC TILE. VERIFY DIMS. AS SHOWN.
- PROVIDE 1/8" THICK ZINC TRANSITION STRIP BETWEEN CERAMIC TILE AND CARPET. FEATHER FLOORING BENEATH CARPET AS REQUIRED FOR A SMOOTH TRANSITION.
- PROVIDE VINYL STRIP AT CARPET TO VINYL TRANSITION. SUBMIT COLOR SAMPLES TO ARCHITECT FOR APPROVAL.
- PATH/EXTEND FINISHES WITHIN COMMON CORRIDOR. ANY NEW FLOOR AND/OR WALL FINISHES TO MATCH EXISTING FOR A SEAMLESS TRANSITION.

PROPOSED PROJECT FOR:

19-0980

CITY, WISCONSIN; COUNTY OF:

SCALE VERIFICATION
THIS BAR MEASURES 1" ON ORIGINAL.
ADJUST SCALE ACCORDINGLY.

NOTICE OF COPYRIGHT
THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO
COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER
SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.C. AS AMENDED
DECEMBER 1990 AND KNOWN AS ARCHITECTURAL WORKS
COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION
INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL
AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND
ELEMENTS OF THE DESIGN. UNDER SUCH PROTECTION,
UNAUTHORIZED USE OF THESE PLANS, WORK OR BUILDING
REPRESENTED, CAN LEGALLY RESULT IN THE CESSATION OF
CONSTRUCTION OR BUILDINGS BEING SEIZED AND/OR MONETARY
COMPENSATION TO BAYLAND BUILDINGS, INC.

JOB NUMBER: 19-0980

PROJECT
EXECUTIVE: MITCH BEILFUSS

DRAWN BY: DBV

DATE: 04/11/2023

REVISIONS:

1 04/07/23 DV

ISSUED FOR: CHECKED DATE:
BY:

- ☐ PRELIMINARY
- ☒ BID SET
- ☐ DESIGN REVIEW
- ☐ CHECKSET
- ☐ CONSTRUCTION

ENLARGED FLOOR PLANS

A1.2

MATERIAL LEGEND

FLOORING FINISH

MARK	DESCRIPTION
CPT-1	FINISH: CARPET TILE STYLE: VERIFY MANUF: VERIFY COLOR: VERIFY INSTALLATION METHOD: VERIFY REMARKS: VERIFY CONTACT: VERIFY
CT-1	FINISH: CERAMIC TILE STYLE: VERIFY MANUF: VERIFY COLOR: VERIFY INSTALLATION METHOD: VERIFY REMARKS: VERIFY CONTACT: VERIFY
EP-1	FINISH: EPOXY STYLE: VERIFY MANUF: VERIFY COLOR: VERIFY INSTALLATION METHOD: VERIFY REMARKS: VERIFY CONTACT: VERIFY
CONC-1	FINISH: CONCRETE STYLE: SMOOTH TROWEL/ STAINED MANUF: VERIFY COLOR: VERIFY INSTALLATION METHOD: VERIFY REMARKS: SEALER APPLIED U.N.O.
EXIST-FLR	EXISTING FLOOR FINISH CONDITIONS

WALL BASE FINISH

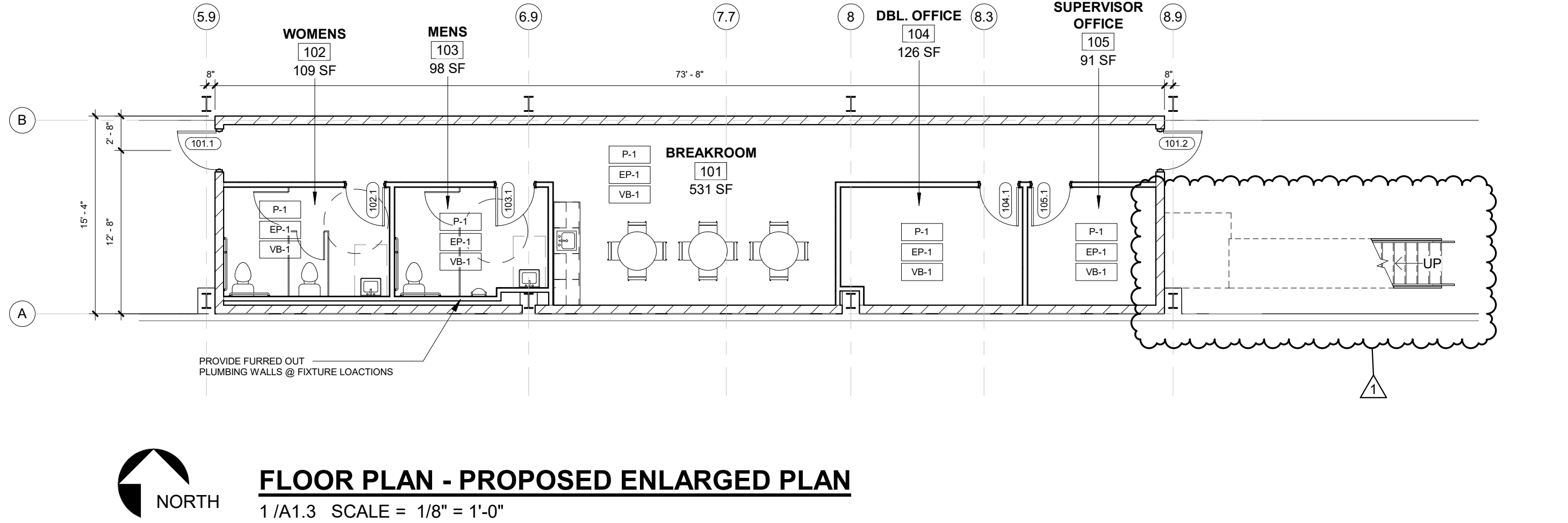
MARK	DESCRIPTION
VB-1	FINISH: VINYL BASE STYLE: 4" HIGH MANUF: VERIFY COLOR: VERIFY INSTALLATION METHOD: VERIFY REMARKS:
CTB-1	FINISH: CERAMIC TILE BASE STYLE: 4" HIGH MANUF: VERIFY COLOR: VERIFY INSTALLATION METHOD: VERIFY REMARKS:
EXIST-WB	EXISTING WALL BASE FINISH CONDITIONS

WALL FINISH

MARK	DESCRIPTION
P-1	FINISH: PAINTED GYP. BD. STYLE: VERIFY LEVEL OF FINISH COLOR: VERIFY INSTALLATION METHOD: VERIFY REMARKS:
P-2	FINISH: PAINTED BLOCK STYLE: VERIFY MANUF: VERIFY COLOR: VERIFY INSTALLATION METHOD: VERIFY REMARKS:
LP-1	FINISH: 29 GA LINER PANEL STYLE: VERIFY MANUF: VERIFY COLOR: VERIFY INSTALLATION METHOD: VERIFY REMARKS: TO 12 FT. A.F.F.
EXP-WF	EXPOSED WALL/ STRUCTURE
EXIST-WF	EXISTING WALL FINISH CONDITIONS

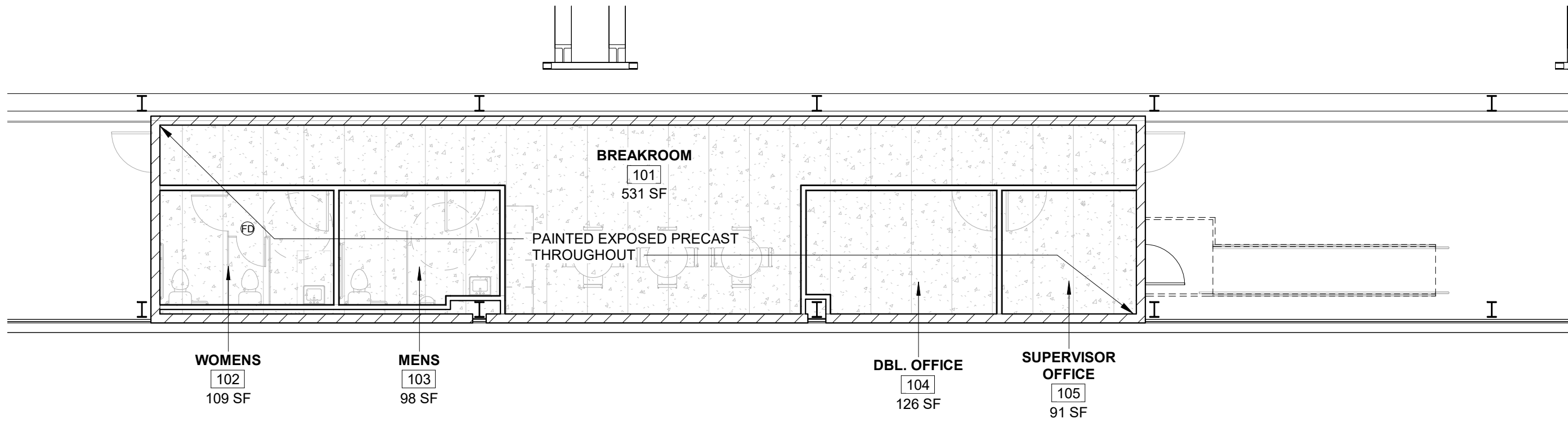
CEILING FINISH

MARK	DESCRIPTION
ACT-1	FINISH: SUSPENDED ACOUSTICAL CEILING SYSTEM STYLE: 2x2 STANDARD REVEALED EDGE MANUF: VERIFY COLOR: VERIFY INSTALLATION METHOD: VERIFY REMARKS:
VCDW-1	FINISH: SUSPENDED ACOUSTICAL CEILING SYSTEM STYLE: 2x2 VINYL COVE DRYWALL USG MANUF: VERIFY COLOR: VERIFY INSTALLATION METHOD: VERIFY REMARKS:
EXIST-CF	EXISTING CEILING FINISH CONDITIONS



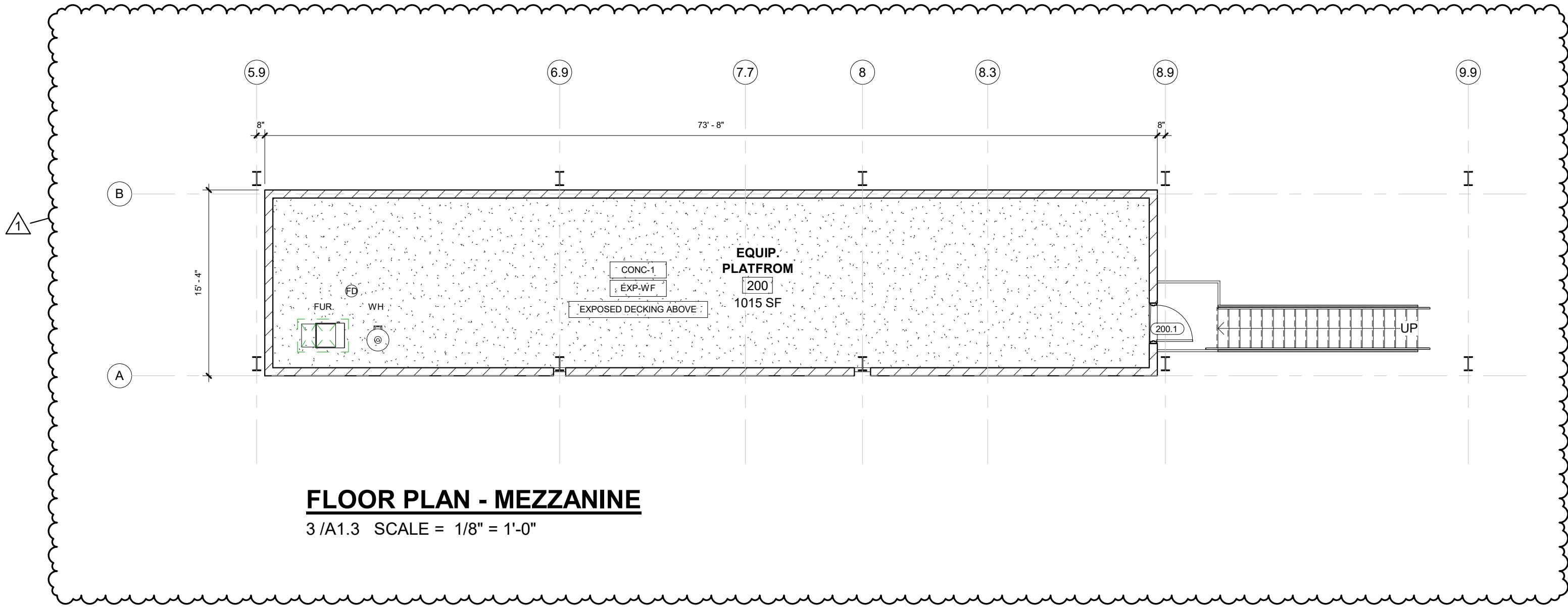
FLOOR PLAN - PROPOSED ENLARGED PLAN

1 /A1.3 SCALE = 1/8" = 1'-0"



RCP - ENLARGED WAREHOUSE ADD. OFFICE & BREAK RM.

2 /A1.3 SCALE = 1/8" = 1'-0"



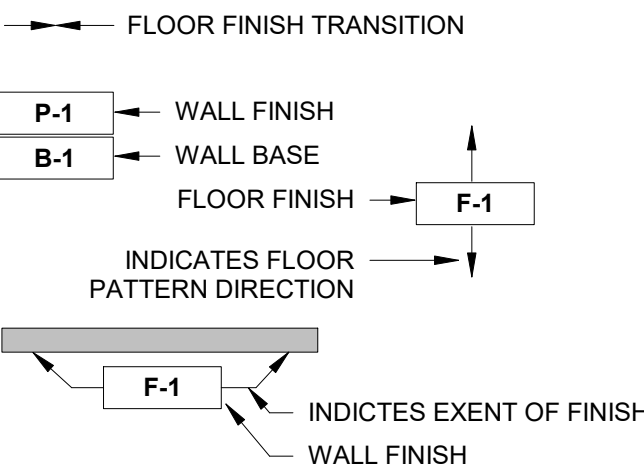
FLOOR PLAN - MEZZANINE

3 /A1.3 SCALE = 1/8" = 1'-0"

FINISH GENERAL NOTES

- ALL FINISH SELECTIONS IDENTIFIED IN LEGENDS, SCHEDULES, AND SPECIFICATIONS ARE NOT SUBJECT TO 'OR EQUAL' SUBSTITUTIONS U.N.O. THE CONTRACTOR AND SUBCONTRACTORS SHALL SUBMIT PRODUCTS AND FINISHES AS INDICATED IN THE DOCUMENTS. NOTIFY ARCHITECT OF SCHEDULED FINISHES THAT ARE UNAVAILABLE OR DISCONTINUED AT THE EARLIEST OPPORTUNITY SUCH THAT A SUBSTITUTION CAN BE SELECTED WITHOUT JEOPARDIZING THE CONSTRUCTION SCHEDULE.
- REFER TO THE MATERIAL SCHEDULE FOR MANUFACTURER, PRODUCT/STYLE NAME, COLOR SPECIFICATION, INSTALL ALL FINISH MATERIALS IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED SPECIFICATIONS, SURFACE PREPARATION, ADHESIVES AND BACKINGS: INCLUDING WALLCOVERINGS, COATINGS, FLOORING MATERIALS, LAMINATES, ETC.
- THE CONTRACTOR SHALL REPAIR ALL ROUGH FLOOR SLAB UNEVENNESS SUITABLE FOR PROPER FLOOR COVERING INSTALLATION.
- FLOOR MATERIAL TRANSITIONS AT DOOR OPENINGS ARE TO BE CENTERED BELOW THE DOOR IN THE CLOSED POSITION. U.N.O.
- THE PAINTING SUBCONTRACTOR SHALL ENSURE THAT ALL PAINTS COMPLY WITH THE MUNICIPAL & STATE CODES AND BUILDING REGULATIONS FOR LOW VOC EMISSIONS.
- ELECTRICAL SWITCH AND OUTLET COVER PLATES, SURFACE HARDWARE, ETC. SHALL BE INSTALLED AFTER PAINTING AND/OR APPLICATION OF WALL COVERINGS AND SPECIFIED CARPET.
- STAINED AND PAINTED SURFACES SHALL BE FINISHED SUCH THAT JOINTS/IMPERFECTIONS ARE NOT VISIBLE.
- CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES IN THE FIELD. GO TO GET CLARIFICATION FROM ARCHITECT BEFORE CONTINUING WITH ANY WORK.
- PROVIDE VINYL TRANSITION STRIPS AT ALL FLOORING MATERIAL CHANGES. U.N.O. REFER TO PLAN FOR DETAIL LOCATIONS.
- HARD FLOORING GROUT IS TO BE SEALED WITH MANUFACTURER'S RECOMMENDED SEALERS.
- RUBBER/VINYL BASE SHALL BE STRAIGHT BASE AT ALL LOCATIONS FOR CARPET AND COVE BASE AT TILE AND RESILIENT FLOORS.
- ALL ELECTRICAL PANELS IN THE CORRIDORS SHALL BE PAINTED TO MATCH THE ADJACENT WALL FINISH.
- PAINT CEILING ACCESS PANELS TO MATCH ADJACENT CEILING FINISH.
- UNDERSIDE OF SOFFITS (WHERE OCCURS) TO BE PAINTED TO RECEIVE FINISH TO MATCH WALL, U.N.O.
- FINISH FLOORING TO EXTEND FROM WALL TO WALL INCLUDING UNDER CABINETS AND UNDERCABINET EQUIPMENT.
- ALL INTERIOR WALL & CEILING FINISHES AND TRIM OF PUBLIC AREAS TO COMPLY WITH CLASS A MATERIAL CLASSIFICATION: FLAME SPREAD RATING 0 TO 25, SMOKE DEVELOPED 200. ALL INTERIOR WALL AND CEILING FINISHES AND TRIM IN NON PUBLIC AREAS TO COMPLY WITH CLASS B MATERIAL CLASSIFICATION: FLAME SPREAD RATING 26-75, SMOKE DEVELOPED 450.
- ALL PAINTED SURFACES ARE TO RECEIVE A PRIME COAT AND A MINIMUM OF TWO COATS FINAL COLOR, U.N.O.
- CARPET CONTRACTOR SHALL VERIFY THAT ALL CARPET OF EACH VARIETY IS TO BE SHIPPED FROM THE SAME DYE-LOT.
- ALL WALLS PAINTED WITH A LATEX PAINT TO HAVE AN EGGSHELL FINISH. U.N.O. REFER TO THE MATERIAL SCHEDULE AND FINISH LEGEND FOR MANUFACTURER'S PRODUCT NAME.
- GYPSON BOARD CEILINGS SCHEDULED TO RECEIVE PAINT SHALL HAVE A FLAT FINISH, U.N.O.
- PROVIDE ARCHITECT WITH A MINIMUM OF (3) 8" X 10" BRUSH-OUTS OF EACH COLOR AND FINISH FOR ARCHITECT'S APPROVAL PRIOR TO APPLICATION.
- ALL PLASTIC LAMINATE MILLWORK CABINET INTERIORS TO BE WHITE MELAMINE, U.N.O.
- ARCHITECTURAL ADHESIVES, SEALANTS AND SEALANT PRIMERS MUST COMPLY WITH SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT (SCAQMD) RULE #1168. VOLATILE ORGANIC COMPOUND (VOC) LIMITS LISTED IN THE TABLE BELOW CORRESPOND TO RULE AMENDMENT DATE OF JANUARY 7, 2005.
- PAINTS AND COATINGS: APPLIED TO INTERIOR WALLS AND CEILINGS MUST NOT EXCEED THE VOLATILE ORGANIC COMPOUND (VOC) CONTENT LIMITS ESTABLISHED IN GREEN SEAL STANDARD GS-11, PAINTS, 1ST EDITION, MAY 20, 1993.
- ANTI-CORROSIVE AND ANTI-RUST PAINTS: APPLIED TO INTERIOR FERROUS METAL SUBSTRATES MUST NOT EXCEED THE VOC CONTENT LIMIT OF 250 G/L ESTABLISHED IN GREEN SEAL STANDARD GC-03, ANTI-CORROSIVE PAINTS, 2ND EDITION, JANUARY 7, 1997.
- CLEAR WOOD FINISHES, FLOOR COATINGS, STAINS, PRIMERS, SEALERS, AND SHELLACS: APPLIED TO INTERIOR ELEMENTS MUST NOT EXCEED THE VOC CONTENT LIMITS ESTABLISHED FOR THOSE COATING TYPES IN SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT (SCAQMD) RULE 1113, ARCHITECTURAL COATINGS, AMENDED FEBRUARY 5, 2016.

FINISH PLAN LEGEND



FINISH PLAN KEYNOTES

- NO FINISH WORK IN THIS AREA.
- CARPET TO BE INSET WITHIN CERAMIC TILE. VERIFY DIMS. AS SHOWN. PROVIDE 1/8" THICK ZINC TRANSITION STRIP BETWEEN CERAMIC TILE AND CARPET. FEATHER FLOORING BENEATH CARPET AS REQUIRED FOR A SMOOTH TRANSITION.
- PROVIDE VINYL STRIP AT CARPET TO VINYL TRANSITION. SUBMIT COLOR SAMPLES TO ARCHITECT FOR APPROVAL.
- PATH/EXTEND FINISHES WITHIN COMMON CORRIDOR. ANY NEW FLOOR AND/OR WALL FINISHES TO MATCH EXISTING FOR A SEAMLESS TRANSITION.

BAYLAND

BAYLAND BUILDINGS

P.O. BOX 13571 GREEN BAY, WI 54307
(920) 498-9300 FAX (920) 498-3033
www.baylandbuildings.com

DESIGN & BUILD GENERAL CONTRACTOR

PROPOSED PROJECT FOR:

19-0980

CITY, WISCONSIN; COUNTY OF:

SCALE VERIFICATION

THIS BAR MEASURES 1" ON ORIGINAL.
ADJUST SCALE ACCORDINGLY

NOTICE OF COPYRIGHT
THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO
COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER
SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.C. AS AMENDED
DECEMBER 1990 AND KNOWN AS ARCHITECTURAL WORKS
COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION
INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL
AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND
ELEMENTS OF THE DESIGN. UNDER SUCH PROTECTION,
UNAUTHORIZED USE OF THESE PLANS, WORK OR BUILDING
REPRESENTED, CAN LEGALLY RESULT IN THE CESSATION OF
CONSTRUCTION OR BUILDINGS BEING SEIZED AND/OR MONETARY
COMPENSATION TO BAYLAND BUILDINGS, INC.

JOB NUMBER: 19-0980

PROJECT
EXECUTIVE: MITCH BEILFUSS

DRAWN BY: DBV

DATE: 04/11/2023

REVISIONS:

1 04/07/23 DV

ISSUED FOR: CHECKED DATE:
BY:

- ☐ PRELIMINARY
- ☒ BID SET
- ☐ DESIGN REVIEW
- ☐ CHECKSET
- ☐ CONSTRUCTION

ENLARGED FLOOR PLANS

A1.3



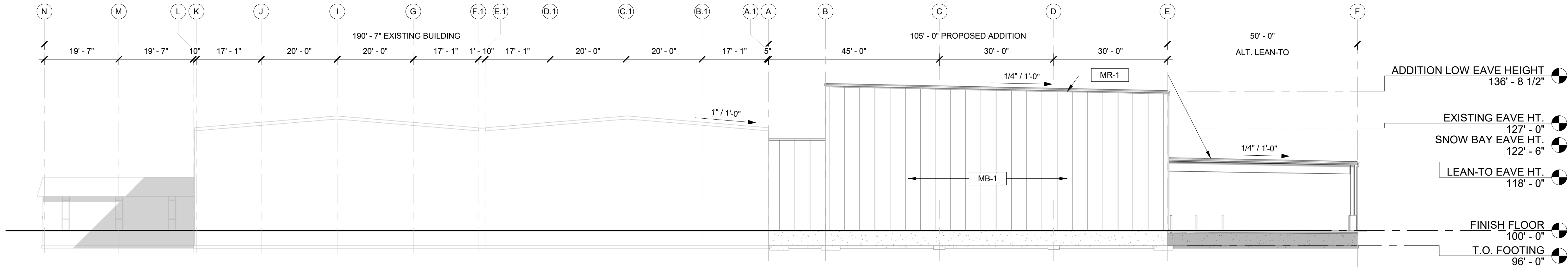
BAYLAND BUILDINGS

P.O. BOX 13571 GREEN BAY, WI 54307
(920) 498-9300 FAX (920) 498-3033
www.baylandbuildings.com

DESIGN & BUILD GENERAL CONTRACTOR

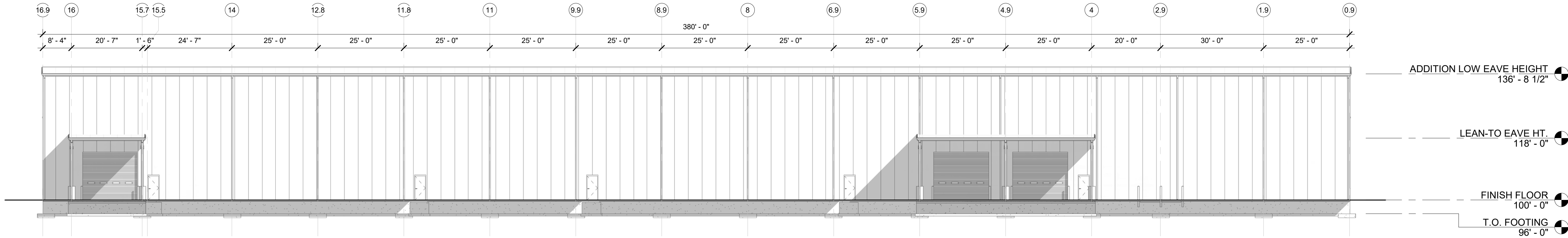
EXTERIOR FINISH LEGEND

MARK	DESCRIPTION
MT-2	LOCATION: RAKE, GUTTERS & TRIMS MATERIAL: VERIFY SUPPLIER: VERIFY COLOR: COLOR TO MATCH EXISTING COMMENTS:
MB-1	LOCATION: PREFINISHED MTL. WALL PANEL MATERIAL: VERIFY SUPPLIER: VERIFY COLOR: COLOR TO MATCH EXISTING COMMENTS:
MR-1	LOCATION: ROOF PANEL MATERIAL: 28GA SSR SUPPLIER: VERIFY COLOR: COLOR TO MATCH EXISTING COMMENTS:



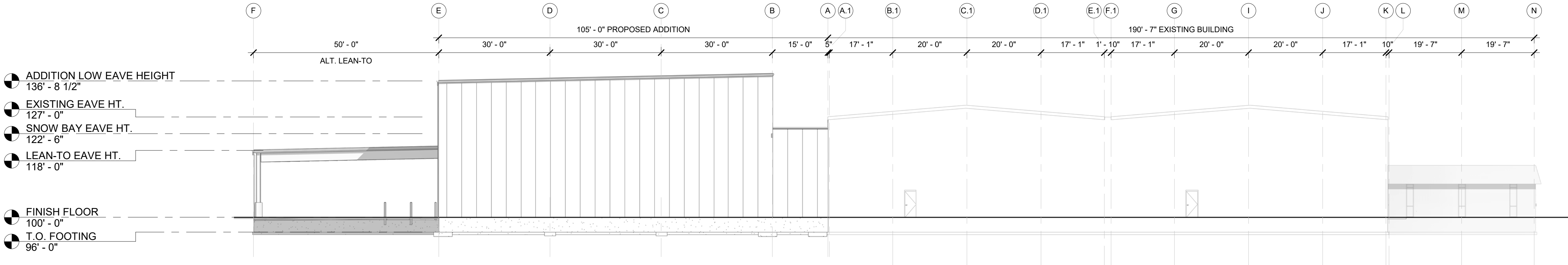
BUILDING ELEVATION - EAST

1/A2.0 SCALE = 1/16" = 1'-0"



BUILDING ELEVATION - NORTH

2/A2.0 SCALE = 1/16" = 1'-0"



BUILDING ELEVATION - WEST

3/A2.0 SCALE = 1/16" = 1'-0"

PROPOSED PROJECT FOR:
19-0980
CITY, WISCONSIN; COUNTY OF:

SCALE VERIFICATION

THIS BAR MEASURES 1" ON ORIGINAL.
ADJUST SCALE ACCORDINGLY

NOTICE OF COPYRIGHT
THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO
COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER
SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.C. AS AMENDED
DECEMBER 1990 AND KNOWN AS ARCHITECTURAL WORKS
COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION
INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL
AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND
ELEMENTS OF THE DESIGN. UNDER SUCH PROTECTION
UNAUTHORIZED USE OF THESE PLANS, WORK OR BUILDING
REPRESENTED, CAN LEGALLY RESULT IN THE CESSATION OF
CONSTRUCTION OR BUILDINGS BEING SEIZED AND/OR MONETARY
COMPENSATION TO BAYLAND BUILDINGS, INC.

JOB NUMBER: 19-0980

PROJECT
EXECUTIVE: MITCH BEILFUSS

DRAWN BY: DBV

DATE: 04/11/2023

REVISIONS:

ISSUED FOR: CHECKED DATE:
BY:

- ☐ PRELIMINARY
☒ BID SET
☐ DESIGN REVIEW
☐ CHECKSET
☐ CONSTRUCTION

EXTERIOR ELEVATIONS

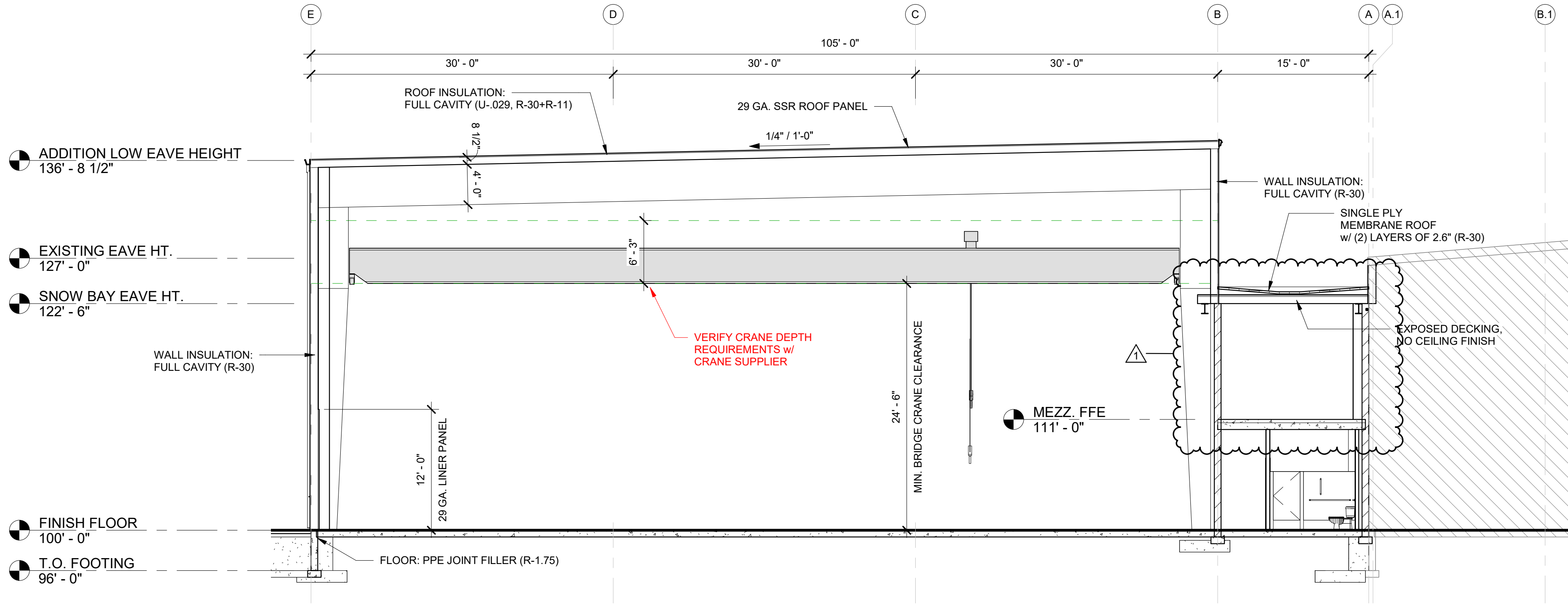
A2.0



BAYLAND BUILDINGS

P.O. BOX 13571 GREEN BAY, WI 54307
(920) 498-9300 FAX (920) 498-3033
www.baylandbuildings.com

DESIGN & BUILD GENERAL CONTRACTOR



BUILDING SECTION
1 / A3.0 SCALE = 1/8" = 1'-0"

PROPOSED PROJECT FOR:

19-0980

CITY, WISCONSIN; COUNTY OF:

SCALE VERIFICATION

THIS BAR MEASURES 1" ON ORIGINAL.
ADJUST SCALE ACCORDINGLY

NOTICE OF COPYRIGHT
THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO
COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER
SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.C. AS AMENDED
DECEMBER 1990 AND KNOWN AS ARCHITECTURAL WORKS
COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION
INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL
AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND
ELEMENTS OF THE DESIGN. UNDER SUCH PROTECTION
UNAUTHORIZED USE OF THESE PLANS, WORK OR BUILDING
REPRESENTED, CAN LEGALLY RESULT IN THE CESSATION OF
CONSTRUCTION OR BUILDINGS BEING SEIZED AND/OR MONETARY
COMPENSATION TO BAYLAND BUILDINGS, INC.

JOB NUMBER: 19-0980

PROJECT
EXECUTIVE: MITCH BEILFUSS

DRAWN BY: DBV

DATE: 04/11/2023

REVISIONS:

1	04/07/23	DV
---	----------	----

ISSUED FOR: CHECKED BY: DATE:

- ☐ PRELIMINARY
- ☒ BID SET
- ☐ DESIGN REVIEW
- ☐ CHECKSET
- ☐ CONSTRUCTION

BUILDING SECTIONS

A3.0



REQUEST FOR CITY ACTION PLAN COMMISSION

Community and Economic
Development Department
100 N. Jefferson Street, Rm 608
Green Bay, WI 54301-5026
(920) 448-3400 - phone
(920) 448-3426 - fax
www.greenbaywi.gov

Location of Property: 825 Hinkle Street Green Bay, WI

Parcel Number(s): 6H-1759

Petitioner(s): Bayland Buildings, Inc. - David Obrien

Date: 4/12/2023

Email: DObrien@Baylandbuildings.com

Phone Number: 920 371 6200

Address: 3323 Bay Ridge Court

City: Hobart

State: WI

Zip: 54155

Property Owner: Russel Metals Williams Bahcall

Phone Number: 920 497 1020

Submit this Request Form and all required attachments to the Community and Economic Development Department, Room 608, City Hall

To: Honorable Mayor and Common Council, c/o City Clerk

I, Bayland Buildings, Inc., respectfully request that the City of Green Bay take the following action:

- ☐ Rezone Property (\$375.00 Review Fee)
- ☒ Conditional Use and CUP Amendment, including Single Lot Duplexes (\$375.00 Review Fee)
- ☐ PUD and PUD Amendments (\$425.00 Review Fee)
- ☐ Approve Preliminary City/Extraterritorial Subdivision Plat (\$150.00 + \$35.00 per Lot/Outlot Review Fee)
- ☐ Approve Preliminary Condominium Plat (\$250.00 + \$35.00 per Lot/Outlot/Lot Equivalent Review Fee)
- ☐ Approve Preliminary City/Extraterritorial Certified Survey Map (\$250.00 Review Fee)
- ☐ Approve Final City/Extraterritorial Subdivision Plat (\$150.00 Review Fee)
- ☐ Approve Final Condominium Plat (\$150.00 Review Fee)
- ☐ Grant a City/Extraterritorial Subdivision/CSM Variance (\$150.00 Review Fee)
- ☐ Development District Map Amendment (\$200.00 Administration Fee)
- ☐ Official Map Amendment (\$200.00 Administration Fee)
- ☐ Plat of Right-of-Way (\$200.00 Administration Fee)
- ☐ Discontinue a Public Utility Easement (\$200.00 Administration Fee)
- ☐ Street Name Change (\$200.00 Administration Fee)
- ☐ Declare City Property "City Surplus" (\$200.00 Administration Fee)
- ☐ Vacate a Street/Alley/Pedestrian Way (\$300.00 Administration Fee) PLEASE FILL OUT PAGE 2 OF APPLICATION
- ☐ Closure of Street/Alley/Pedestrian Way (\$300.00 Administration Fee) PLEASE FILL OUT PAGE 2 OF APPLICATION
- ☐ Comprehensive Plan Amendments (\$275.00 Review Fee)
- ☐ Other (\$200.00 Administration Fee): _____

Owner Signature: _____

Date: 4/12/2023

Petitioner Signature(s): _____

Checklist of required attachments:

- Map
- Legal Description
- Applicant Narrative Describing Project
- All Other Pertinent Information

For office use only:

Review Fee: _____

Receipt No.: _____

Zoning Petition No.: _____



Report to the Green Bay Plan Commission

MEETING DATE

May 8, 2023

PREPARED BY

AGENDA ITEM # E.5

(TA 23-03) Public Hearing on amendments to various sections of the Zoning Code, Chapter 44, Article XVI, Section 44-1580 (j) related to Development Standards for Short Term Rentals.

BACKGROUND

RECOMMENDATION

FISCAL IMPACT

ATTACHMENTS

None



Report to the Green Bay Plan Commission

MEETING DATE

May 8, 2023

PREPARED BY

David Buck, Staff

AGENDA ITEM # E.6

(TA 23-03) Consideration with possible action on amendments to various sections of the Zoning Code, Chapter 44, Article XVI, Section 44-1580 (j) related to Development Standards for Short Term Rentals.

BACKGROUND

Reason for Request: The Zoning Ordinance text amendment is a response to a communication to the Plan Commission by Alderperson Chris Wery/District 8 received by Plan Commission on October 10, 2022 requesting review and recommendations for amendment to the City's policy and regulations related to Short Term Rentals.

Comprehensive Plan: The 2022 Smart Growth Green Bay Comprehensive Plan does not provide specific guidance regarding the proposed text amendments.

Analysis: In 2016 the city adopted regulations in General Ordinance 20-16 associated with short term rentals (STR), often referred to as AirB&Bs. It was necessitated by the proliferation of individuals utilizing their homes for short term rentals and the pending Wisconsin legislatures legislation authorizing and specifically providing legal guidelines for municipal regulations on STRs in 2017 Wisconsin Act 59, also known as the "Right to Rent" Act. Since GO 20-16 was adopted the City has regulated and permitted STRs through the Zoning Code, Chapter 44, Article XVI, Section 44-1580 (j): Land Development Standards for Residential Uses but has not revisited the code.

Alderperson Wery's communication was forwarded from the Plan Commission to the Community and Economic Development Department to:

"Review for possible modifications to Sec. 44-1580. – Residential uses, (j) Short-term Rentals (STRs). Review application fees, renewal fees, penalties for running an STR with no application, taxing properties as commercial, process to suspend or remove license based on complaints and public access to list of owners/contracts of properties so that public can direct complaints to the source. Review for any other changes that would improve the ordinance for both the license holder, citizens living near them and the city of Green Bay"

The Law Department first reviewed State Statutes to determine what rights and ability the municipality has to regulate short-term rentals and then staff drafted a text amendment that we feel will most efficiently and effectively regulate and manage short-term rentals in our community. Attached to this staff report please find a Short Term Rental memo from the City's Law Department outlining the limitations on regulation based on State Statute and draft ordinance with suggested changes to Chapter 44, Article XVI, Section 44-1580 (j). The draft code has differentiated text: bolded underlined text is new content that did not exist in or is augmented from the current ordinance and strikethrough text are regulations that have been revised and/or removed.

The attached Draft Chapter 44, Article XVI, Section 44-1580 (j) has been reviewed by Community and

Economic Development staff (Planning, Economic Development, Enforcement, Housing/Zoning, Neighborhoods) as well as the Law Department and is felt to be the most appropriate changes to the municipal code with the constraints placed upon us at Statute.

RECOMMENDATION

Approve amending Green Bay Municipal Code Chapter 44, Article XVI, Section 44-1580 (j) related to Development Standards for Short Term Rentals as proposed.

FISCAL IMPACT

ATTACHMENTS

1. Draft G.O. 12-23 relating to Short-term rentals
2. Memorandum on Short-Term Rentals 5.3.23

GENERAL ORDINANCE NO. 12-23

AN ORDINANCE
AMENDING SECTION 44-1580(j),
GREEN BAY MUNICIPAL CODE,
RELATING TO SHORT-TERM RENTALS (STRS)

THE COMMON COUNCIL OF THE CITY OF GREEN BAY DOES ORDAIN AS FOLLOWS:

SECTION 1. Section 44-1580(j), Green Bay Municipal Code, is hereby amended to read:

(j) *Short-term rentals (STRs).*

- (1) **Advertising, including but not limited to, through a third-party, is prima facia evidence that the dwelling unit is used for a short-term rental.** Prior to **advertising or occupancy of a dwelling unit for use** as a short-term rental, the following **permits, registrations, and other information** shall be obtained by the **property owner or** local representative:
 - a. ~~State of Wisconsin tourist rooming house permit.~~
 - b. ~~State of Wisconsin sale and use tax permit.~~
 - e **a.** Proof of registration with the City of Green Bay Treasurer regarding Brown County room tax requirements.
 - d **b.** Proof of registration with the Brown County Health Department.
 - e **c.** A lease agreement example provided that ~~indicates~~ **includes** language regarding compliance with parking, noise and other applicable City of Green Bay ordinances ~~being met during~~ **relevant to** occupancy of the structure.
 - d. Proof of condominium association approval if the property is part of one.**
 - e. Proof of approval from property owner if applicant is the local representative.**
 - f. City of Green Bay short-term rental permit (STRP).
- (2) **An application** ~~submittal~~ for **a short-term rental permit (STRP)** **may be an initial application or a renewal application, and** shall **be complete prior to submittal.** **STRP applications shall** include **all of** the following:
 - a. Initial application.
 1. Completed STRP application on a form established by the City.
 2. Application/~~review~~ fee as provided in the City Fee Schedule.
 3. Proof of insurance.
 4. ~~Necessary permits and proof of registration as~~ **Documentation** required in subsection (j)(1) of this section.
 - b. Renewal of ~~a~~ STRP. A STRP is valid for one year and shall expire on **July** 1 of the calendar year. **A STRP not renewed prior to July 1 shall be deemed expired,**

and subject to the initial application requirements. Prior to July 1, a STRP may be renewed on an annual basis, provided that no material changes have occurred to the initial application, A and shall meet the following standards:

1. Proof of insurance.
 2. Necessary permits and proof of registration as required in subsection (j)(1 2) of this section.
 3. Renewal fee as provided in the City Fee Schedule.
 4. **All required application material must be submitted at the same time. Applications that are not complete at submission will be returned to the applicant without processing.**
-
- (3) The number of occupants in STRs shall not exceed the limits set forth in the State of Wisconsin Uniform Dwelling Code and other applicable County and City of Green Bay housing regulations for residential structures based on the number of bedrooms within the unit.
 - (4) STRPs are issued to a specific **property owner, or local representative**, of a short-term rental, **referred to as the permit holder**. STRs shall be **immediately** terminated when the permit holder sells or transfers the real property which was ~~rented~~ **advertised or used as a short-term rental**, except for a change in ownership where the title is held in survivorship or transfers on the owner's death.
 - (5) Availability of STRs to the public shall not be advertised on site, **except for as provided in subsection (6) below**.
 - (6) A STRP **placard** shall be visible from the ~~exterior of the~~ **street right-of-way on which the principal structure is addressed on**, and shall **The placard shall** contain the name and telephone number of the local representative **responsible for managing short-term rental property**.
 - (7) STRs shall not violate any applicable conditions, covenants, or other restrictions on real property.
 - (8) Alcohol may not be sold on site.
 - (9) **STRPs granted by the City may be** ~~are~~ **are** subject to review on a yearly basis **during renewal**. **Additionally, STRs may be reviewed at any time** when the Community and Economic Development Director or Plan Commission has reason to believe that the regulations are not being adhered to or that there are problems associated with the STRs that warrant review by the Plan Commission and the Green Bay Common Council. STRs may be revoked based on the findings of the Plan Commission. STRs denied by the Planning staff may be appealed to the Plan Commission and Common Council.
 - (10) No recreational vehicle (RV), camper, tent or any other temporary lodging arrangement shall be permitted on site for the means of providing accommodations for occupants and/or guests of a short-term rental.

- (11) STRs shall comply with all requirements of this article and all applicable standards of this Code.
- (12) Violations. Failure to comply with the requirements above shall constitute a violation of the provisions of this section. Disturbances or nuisances caused by the tenants of an approved STR which violate this Code, including, but not limited to, outdoor events ~~and existing~~ noise ordinances or state law, shall also constitute a violation. Penalties for each violation shall be imposed in an amount not to exceed \$500.00, including court costs, and may result in permit suspension or revocation.

SECTION 2. All ordinances or parts of ordinances in conflict herewith are hereby repealed.

SECTION 3. Effective date. This ordinance shall take effect on and after its passage and publication.

Dated at Green Bay, Wisconsin, this _____ day of _____, 2023.

APPROVED:

Mayor

ATTEST:

Clerk

law

CITY OF GREEN BAY

TO: City of Green Bay Plan Commission

FROM: City of Green Bay Law Department

DATE: May 3, 2023

RE: Short Term Rentals

SHORT TERM RENTALS OVERVIEW

Background:

- Wisconsin's Act 59 in 2017 codified the "Right to Rent" which allows for Short Term Rentals.
 - Municipalities cannot prohibit rentals of seven consecutive days or longer.

Legal Authority:

- Wisconsin and other state courts have recognized both the validity of Short-term Rentals as well as ordinances that regulate them.
 - The Wisconsin Supreme Court has affirmed that Short Term Rentals are not commercial activities, but are private uses of residences, which cannot be regulated to the same extent as businesses.
 - Wisconsin Courts have upheld local ordinances so long as they meet a four-part test that ultimately requires that the ordinance not conflict with state law.

Issues:

- Short Term Rentals oversight requires municipalities to regulate an industry that is predominately private. This leaves municipalities being reactive in nature to resulting issues.
 - Online advertising is increasingly more accessible, but advertisers routinely fail to notify users of the permits and regulations that their property must comply with.
 - State statutes largely preempt municipalities from enacting stricter ordinances.

City of Green Bay Ordinance:

- The current version of the Code is well equipped to manage existing issues.
- Increased inspections and increased fees could be undertaken for greater compliance.
- The Common Council has the authority to adjust the yearly fee.
- Other issues that arise out of Short-term Rentals such as noise and parking issues can be addressed through enforcement of other ordinances.

Additional Requirements:

- A proposed text amendment is available that would incorporate some of the authorized changes.

Background:

A communication from Alder Wery was sent to the Plan Commission to do the following:

Review for possible modifications to Sec. 44-1580. – Residential uses, (j) Short-term Rentals (STRs). Review application fees, renewal fees, penalties for running an STR with no application, taxing properties as commercial, process to suspend or remove license based on complaints and public access to list of owners/contracts of properties so that public can direct complaints to the source. Review for any other changes that would improve the ordinance for both the license holder, citizens living near them and the city of Green Bay.

Answer:

The Wisconsin legislature has passed legislation that authorizes STRs. The authorization of STRs was codified by the enactment of Act 59 in 2017. Since the adoption of Act 59, also known as the “Right to Rent” Act, several advancements have been made. Notably, the property right to STRs of seven or more days has been codified. Additionally, municipalities have the authority to place some restrictions on STRs that are consistent with the Wisconsin state legislature’s intent. Finally, state agencies have dropped requirements surrounding water attractions on STRs. The City of Green Bay Municipal Code (“Code”) is still well organized to address the various questions that currently exist. With that in mind, there are a few updates that could be made to the Code.

Overview:

The STR industry has exponentially grown in a short amount of time with companies such as Airbnb, VRBO, HomeAway, OneFineStay, Wimbu, and Houstrip offering easy and fast advertising. To address the sudden rise in STR’s, in 2017, Wisconsin adopted Act 59 which established regulations. Specifically, Act 59 recognized and authorized STRs of residential dwellings in Wisconsin. This Act — also known as the “Right to Rent Law”— states that a municipality cannot prohibit STRs of seven consecutive days or longer. Additionally, the municipality may limit the total number of days to be rented to no fewer than 180 days. Notably, the state statute notes that “nothing in this subsection limits the authority of a political subdivision to enact an ordinance regulating the rental of a residential dwelling in a manner that is not inconsistent with the provisions of pars. (a) and (d)” [listed above]. This would leave the regulation of STRs of six or less days up to municipalities. The big takeaway from this Act is that STRs of more than seven days are expressly authorized.

It is worth noting that the 2017 Act 59 was not the first version of legislature acting on STR’s. In 2016, the Wisconsin Assembly passed Bill 583, which would have “restricted a local government’s ability to prohibit or restrict a person from renting out of the person’s residential dwelling of any duration.” While the Bill did not pass the Senate, it is notable, because it reveals a pattern of conduct by the legislature to authorize STR’s and to preempt local government’s authority to ban STR’s.

Updates:

Since the Act has gone into effect, several developments have occurred. The overall theme is that the state legislature expressly authorizes STRs of seven or more days to exist.

In 2018, and not specifically addressing this statute, the Wisconsin Supreme court weighed in on whether STRs could be considered “commercial activity”. The owners had a property on a lake that had a restrictive covenant that prohibited “commercial activity.” The Court was clear to point out that “public policy of the State of Wisconsin ‘favors the free and unrestricted use of property’ ...[and] ‘accordingly, restrictions contained in deeds and in zoning ordinances must be strictly construed to favor unencumbered and free use of property.’” Ruling based on the actual words used, the Court opined that “commercial activity” was an ambiguous term that was not further defined in the restrictive covenant, and thus, STRs are not commercial activity.

In 2019, a Sheboygan County Circuit Court heard the first challenge to the statute. The Town of Holland, in response to a growing trend of STRs, enacted an ordinance that placed a number of restrictions upon STRs, one of which included revocation of the permit for any violation of state or local laws depending on the number, frequency, and severity of the violations. In its review, the Court expressed that municipalities are not preempted merely by the fact that the legislature has addressed a particular area. The Court determined that the Town’s ordinance was not preempted and was upheld. The Court came to this conclusion by using a four-part test to determine whether the legislature expressly intended to withdraw the power of municipalities from enacting ordinances in the same area. Having found that the Town’s ordinance survived the entirety of the four-part test, the Court reasoned that the Town was entitled to regulate within Wis. Stat. 66.1014, provided that the statute and ordinance do not conflict. Additionally, the Court was sympathetic to both sides, noting that there is a balancing act between ensuring property rights (of a STR of seven or more days) as well as the interest and quality of life of the long-term residents. Notably, the Town removed any restriction on the number of days a property could be rented, eliminated any restriction on outdoor events on the property, eliminated insurance coverage, eliminated the requirement for property managers to be licensed with the Town, removed annual building and fire inspections, and created an appeal process.

In 2022, a change was proposed to ATCP Ch. 76 which governs the Safety, Maintenance, and Operation of Public Pools and Water Attractions and applied to, in particular, “tourist rooming houses.” DATCP proposed, and ultimately approved, a repeal and recreation of ATCP ch.76 to remove tourist rooming houses from having to comply with the chapter. This means that STRs no longer need to comply with any state regulations to pools, hot tubs, or other water attractions. This action is in line with the trend of deregulation and free flow of enterprise.

General Issues with STR:

While STRs are here to stay, they are not without their own issues. The main issue is that STR’s requires municipalities to regulate an industry that occurs in private residences but creates public impacts. Another issue that plagues municipalities is the fact that not every STR obtains the necessary permits prior to advertising online. Most online rental sites do not make their users aware of what, if any, permits they need to obtain to comply with state and local regulations. This causes unregulated STRs to often fly under the radar and go undetected unless an issue arises that gets reported. The public impacts of these unregulated STRs can be felt in the housing market, through nuisances, and overall neighborhood decline. Given that STR’s occur in private, municipalities are often left to be reactive rather than proactive in addressing issues. Given that the Wisconsin state legislature has already codified legislation on STRs, there are a limited number of actions that

municipalities can take to address issues with STRs. Additionally, national trends are still positive toward STRs.

National Trends:

While local municipalities have the authority to make certain regulations on STRs, not all regulations have passed judicial review. In particular, the City of New Orleans faced judicial review after they updated their ordinances to better address the issues caused by houses being purchased and used as STRs by non-residents. In 2016, the City of New Orleans first began to allow STRs, which quickly resulted in an increase in nuisances, lowered residents' quality of life, and resulted in loud visitors who did not clean up after themselves, which ultimately led to the loss of neighborhood character. Additionally, the City of New Orleans contends that STRs also lead to unaffordable housing. In 2019, the City of New Orleans updated their ordinance to, in particular, require that in order to be eligible for a STR, the property owner must be a resident of the City of New Orleans, and the property must be the resident's primary residence. Non-residents of the City of New Orleans filed a lawsuit against the city, alleging that STR's are a property right and the refusal to issue a STR amounted to a taking by the government, and that the residency requirement violated the Interstate Commerce Clause.

The federal court ruled easily that STR's are not property rights. For there to be a taking by the government "the property interest must be so deeply rooted in custom that 'just compensation' for appropriating necessarily includes money damages." The court noted that no deeply rooted custom of STR's exists, and further noted that STR's were not even allowed until 2019.

The federal court also easily ruled that the City of New Orleans residency requirement violated the Interstate Commerce Clause. Only Congress has the authority to regulate commerce with foreign Nations, and among the several States, and with the Indian Tribes. Because the City of New Orleans ordinance regulated interstate commerce, it is per se illegal. The burden to overcome interstate commerce is "if it advances a legitimate local purpose that cannot be adequately served by nondiscriminatory alternatives. This means that if there is any available alternative method of enforcement, the government's actions are unconstitutional. Given that the court reasoned that the City of New Orleans could increase enforcement of their ordinance to lessen nuisances, requiring property operators (not owners) to be on site, and increasing fees. Additionally, the court reasoned that if STRs are impacting the affordability of houses, that the City of New Orleans has other options to help mitigate, such as reducing housing regulations, providing incentives for construction, and overall increasing the supply of houses.

The court found that STR's are not property rights. The court also found that an ordinance ban on non-residents from obtaining STR's violates the Interstate Commerce Clause and is per se illegal.

City of Green Bay Municipal Code:

The City of Green Bay currently regulates STRs under GBMC Sec. 44-1580(j). Currently, the code already requires a substantial amount of compliance prior to obtaining a STR. Notably, all STRs require that the permit be visible from the exterior of the building which shall include the name and telephone number of the local representative. Additionally, the code requires that prior to applying for a STR, the local representative obtain a State of Wisconsin tourist rooming house permit, obtain a State of Wisconsin sale and use tax permit, and provide a copy of a lease agreement

that provides proof of language that complies with parking, noise, and other codes. Finally, the code provides that granted STRs are subject to yearly review or when there is reason to believe the code is not being followed.

When there is reason to believe the code is not being followed, a successful enforcement action relies on eyewitnesses, police reports, and other credible evidence to substantiate a code violation.

Additional Requirements to the Code:

While the code already has a substantial number of provisions that are helpful, there are some additional provisions that could be added to enhance the overall code. We could amend our ordinance to include that advertising is prima facie evidence that a unit is being used as a STR. In the case of dwelling units that are condominiums or units within a building, we could require proof of bylaws or other documents that verify that a STR is authorized in the dwelling unit. Requiring applicants to list all websites and places where the STR is anticipated to be advertised. Requiring a guest registry be kept for up to ninety (90) to ensure accountability of code violations. Finally, there could be an increase in inspections as well as the costs associated with a permit fee, yearly renewal fees, and increased fines for properties found to be operating without a permit.

Other Considerations:

There have been several questions or concerns raised by Council members. The following is a list of those concerns followed by their respective answers.

First, taxes cannot be increased beyond eight percent (8%) on STRs. There are strict restrictions regarding taxing STRs. Presently, taxes may not exceed eight percent (8%) of the sales price. Additionally, there are limited exceptions to increase taxes, namely, for a municipality of less than 380,000 population, the tax increase must be for the renovation or construction of a convention center or for the payment of long-term debt outstanding associated with the construction or renovation of a convention center.

Second, concerns over whether a property should continue to have a short-term rental permit can be addressed by existing processes. STRs are currently subject to yearly review, or when the Community Economic Development Director or Plan Commission has reason to believe the regulations are not adhered to or that there are problems associated with the short-term rental that warrant a review.

Third, concerns about absentee ownership can be addressed by existing ordinances. STRs are required to have a local representative and are currently required to make their permit visible from the exterior of the principal structure and shall contain the name and telephone number of the local representative.

Fourth, fees can be adjusted accordingly by the Common Council.

Fifth, and finally, if short-term renters' actions rise to the level of becoming a nuisance, they are subject to the Green Bay Municipal Code Chapter 24 on Nuisances. The violation for failure to comply with this ordinance may result in a penalty not to exceed \$500.00.