



# **AGENDA OF THE GREEN BAY HOUSING AUTHORITY**

**THURSDAY, SEPTEMBER 21, 2023, 10:30 AM**  
**City Hall, Room 604 - The Harry Maier Room.**  
**Virtual attendance is also available via Zoom.**

## **A. Zoom Meeting Information.**

- I. Join Zoom Meeting Online:  
<https://us02web.zoom.us/j/81434999289?pwd=N0dIMGxWSS85SGswK2lZeGhZZUN0UT09>

Or call in by phone: +1 312 626 6799  
Meeting ID: 814 3499 9289  
Passcode: 483400

If you wish to speak at this public meeting or leave a comment, please fill out the online [Comment Form](#) prior to the meeting. More detailed [Zoom Instructions](#) can be found online.

## **B. Roll Call.**

- I. William VandeCastle - Chair, Terri Refsguard Vice-Chair, Sandra Popp, Erin Edwards and Stephen Srubas

## **C. Approval of the Agenda.**

- I. Approval of the agenda for the September 21, 2023 meeting of the Green Bay Housing Authority.

## **D. Approval of Minutes.**

- I. Approval of the minutes from the June 22, 2023, meeting of the Green Bay Housing Authority.

## **E. Regular Business.**

- I. Consideration with possible action on approval of the formation of a Wisconsin limited liability company to be named "Housing Authority Managing Member LLC", the sole member of which would be GBHA, for the purpose of acting as GBHA's entity in the managing

member of Green Bay Housing Authority Properties, LLC;

2. Consideration with possible action to adopt an Operating Agreement for Housing Authority Managing Member LLC substantially in the form attached to agenda.
3. Consideration with possible action to consider the Gateway Collective's formal request for the Housing Authority of the City of Green Bay to consider an Initial Resolution relating to conduit housing revenue bond financing for a housing project located at 700 Adams Street in the City of Green Bay.

#### **F. Informational.**

1. GBHA Bills.
2. GBHA Financial Report.
3. Langan Report.
4. Director's Report.
5. Occupancy Report.
6. Date of the next meeting: June 15, 2023.

#### **G. Adjournment.**

- 1) THIS MEETING IS RECORDED: THE VIDEO OF THIS MEETING AND MINUTES ARE AVAILABLE ONLINE AT [www.greenbaywi.gov](http://www.greenbaywi.gov)
- 2) ACCESSIBILITY: Any person wishing to attend who requires special accommodation because of a disability, should contact the City Safety Manager at 920-448-3125 at least 48 hours before the scheduled meeting time so that arrangements can be made.
- 3) QUORUM: Please take notice that a majority or quorum of the Common Council will attend this Green Bay Housing Authority meeting and will constitute a meeting of the Common Council for purposes of discussion and information gathering relative to this agenda.
- 4) REPRESENTATION: The party requesting the communication, or their representative, should be present at this meeting.



Report to the  
**Housing Authority  
of the City of Green Bay**

**MEETING DATE**

September 21, 2023

**PREPARED BY**

Cheryl Renier-Wigg, Staff

**AGENDA ITEM # E.I**

Consideration with possible action on approval of the formation of a Wisconsin limited liability company to be named "Housing Authority Managing Member LLC", the sole member of which would be GBHA, for the purpose of acting as GBHA's entity in the managing member of Green Bay Housing Authority Properties, LLC;

**BACKGROUND**

This action is needed for the redevelopment project underway for Mason Manor and our scattered site projects. PerAtty Dombrowski, the GBHA needs a separate entity for tax structuring reasons at the "managing member" level (Green Bay Housing Authority Properties MM, LLC,) of the property-owning LLC (Green Bay Housing Authority Properties, LLC). Since GBHA is the sole member of HAMM, the new entity is an "alter ego" of GBHA. It's needed for tax structuring purposes as we cannot have GBHA be a member in Green Bay Housing Authority Properties MM, LLC.

**RECOMMENDATION**

To approve the formation of a Wisconsin limited liability company to be named "Housing Authority Managing Member LLC", the sole member of which would be GBHA, for the purpose of acting as GBHA's entity in the managing member of Green Bay Housing Authority Properties, LLC;

**FISCAL IMPACT**

**ATTACHMENTS**

None



Report to the  
**Housing Authority  
of the City of Green Bay**

**MEETING DATE**

September 21, 2023

**PREPARED BY**

Cheryl Renier-Wigg, Staff

**AGENDA ITEM # E.2**

Consideration with possible action to adopt an Operating Agreement for Housing Authority Managing Member LLC substantially in the form attached to agenda.

**BACKGROUND**

Information will be provided by Atty. Dombrowski at the meeting.

**RECOMMENDATION**

To adopt an Operating Agreement for Housing Authority Managing Member LLC substantially in the form attached to the agenda.

**FISCAL IMPACT****ATTACHMENTS**

- I. Housing Authority Managing Member LLC - Operating Agreement

**OPERATING AGREEMENT**  
**OF**  
**HOUSING AUTHORITY MANAGING MEMBER LLC**

This Operating Agreement (the “**Agreement**”) dated as of September \_\_, 2023, by and between The Green Bay Housing Authority, as the sole member (the “**Member**”) and Housing Authority Managing Member LLC, a Wisconsin limited liability company (the “**Company**”), is effective as to the Member as of the date of the execution of this Agreement.

**RECITALS**

The Member formed the Company by having Articles of Organization filed with the Wisconsin Department of Financial Institutions, effective as of September 7, 2023, as provided in Chapter 183 of the Wisconsin Statutes, the Wisconsin Uniform Limited Liability Company Law (the “**WULLCL**”);

The Member affirms its membership in the Company, acknowledges the contributions and the values of the contributions made by it, and, except as set forth herein, assents to the operation of the Company under the WULLCL without amendment by an operating agreement; and the Member of the Company, states and agrees to the following:

1. The Member is the sole Member of the Company and owns 100% of its membership interests. No membership interest in the Company may be granted without the written consent of the Member.

2 Should the Company be dissolved, its business shall be wound up as provided in the WULLCL.

3. The provisions of the WULLCL relating to a limited liability company, the management of which has been vested in one or more members, shall apply in full force to the Company’s operations and management.

4. Except to the extent required by the WULLCL, the Member for, in the name of, on behalf of, and at the expense of the Company, is authorized to do on the Company’s behalf all acts reasonably necessary to carry out the Company's business, including, but not limited to, the right to:

(a) enter into contracts or agreements with persons for the operation of any aspect of the Company’s business and pay from the Company’s funds the consideration required under such contracts or agreements;

(b) buy, sell, or otherwise deal with Company property;

(c) make capital improvements to or otherwise rehabilitate the Company’s properties;

(d) insure the Company’s activities;

- (e) pay out of the Company's funds all fees and expenses incurred in the organization of the Company, as well as all operating expenses;
- (f) borrow money;
- (g) subject Company property to a security interest;
- (h) hire and discharge officers, employees, and other personnel;
- (i) hire and discharge consultants;
- (j) retain attorneys, accountants, and other professionals in the course of the performance of the Member's duties and the exercise of its powers;
- (k) invest Company funds; and
- (l) make changes or amendments to the Company's Articles of Organization.

5. Any person dealing with the Company or the Member may rely on a certificate signed by the Member as to:

- (a) the identity of the Member, and the officers of the Company, if any;
- (b) the existence or non-existence of any fact or facts that constitute a condition precedent to acts by the Member or any other matter germane to the Company's affairs;
- (c) the persons who are authorized to execute and deliver any instrument or document on the Company's behalf; or
- (d) any act or failure to act by the Company or the Member or as to any other matter whatsoever involving the Company or the Member.

6. Only the Member has the right, power, and authority to execute documents on behalf of and in the name of the Company, and no person shall be obligated to inquire into the authority of the Member to bind the Company.

7. This Agreement may not be amended without the consent of the Member.

IN WITNESS WHEREOF, this Operating Agreement has been executed as of the day and year first written above.

**MEMBER:**

THE GREEN BAY HOUSING  
AUTHORITY

By: 

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Cheryl Renier-Wigg, Executive Director



Report to the  
**Housing Authority  
of the City of Green Bay**

## MEETING DATE

September 21, 2023

## PREPARED BY

Stephanie Schmutzer, Staff, Cheryl Renier-  
Wigg, Staff

## AGENDA ITEM # E.3

Consideration with possible action to consider the Gateway Collective's formal request for the Housing Authority of the City of Green Bay to consider an Initial Resolution relating to conduit housing revenue bond financing for a housing project located at 700 Adams Street in the City of Green Bay.

## BACKGROUND

The GBHA has been approached to consider revenue bond financing for The Gateway Collective, Inc. ("Gateway Collective") housing project. The communication is Gateway Collective's formal request for the GBHA to consider an Initial Resolution relating to conduit housing revenue bond financing for Gateway Collective's housing project located at 700 Adams Street in the City of Green Bay. This project is requesting a not to Exceed \$12,150,000 GBHA, Wisconsin Housing Revenue Bonds, Series 2023 for The Gateway Collective, Inc. Project.

Information about the Gateway Collective Housing Project is attached. A representative from the organization will be available at the meeting to present the project.

## RECOMMENDATION

To be discussed at meeting.

## FISCAL IMPACT

This could create additional revenue for the GBHA in the form of an annual bond fee of \$12,150 for the life of the bond.

## ATTACHMENTS

1. Initial Resolution - The Gateway Collective, Inc.
2. 301 NORTH ADAMS STREET UPDATED 8-14-23 Plan
3. 2023 GWC One Page Overview 07032023
4. City Center Lofts - 3
5. GWC Exterior rendering a 06202023
6. GWC Interior rendering a 06202023
7. GWC Interior rendering d 06202023
8. GWC Socially Inclusive Housing Overview PP
9. GWC pic

HOUSING AUTHORITY OF THE CITY OF GREEN BAY, WISCONSIN

RESOLUTION NO. \_\_\_\_\_

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**INITIAL RESOLUTION REGARDING  
HOUSING REVENUE BOND FINANCING FOR  
THE GATEWAY COLLECTIVE, INC. PROJECT**

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WHEREAS, the Housing Authority of the City of Green Bay, Wisconsin (the “Authority”), is a public body corporate and politic duly organized and existing under the laws of the State of Wisconsin and vested with the powers under Sections 66.1201 to 66.1211 of the Wisconsin Statutes, as amended (the “Act”), to carry out housing projects in the City of Green Bay, Wisconsin (the “City”); and

WHEREAS, bonds issued pursuant to the Act are to be payable solely from the income, proceeds, revenues and funds of the Authority derived from projects under the Act; and

WHEREAS, The Gateway Collective, Inc., a Wisconsin nonstock, nonprofit corporation (the “Borrower”), desires to finance the (i) acquisition of a design-build housing facility located at 700 Adams Street, Green Bay, Wisconsin (the “Facility”) comprised of 72 units ranging from 1 to 4 bedroom apartment options, which will provide housing for mixed-income residents at affordable, workforce, and market rates, (ii) acquisition and installation of certain furniture, fixtures, and equipment at the Facility, and (iii) payment of professional fees and costs (the “Housing Project” or the “Project”), all of which will advance the Borrower’s exempt purpose, and would contribute to the well-being of the City of Green Bay, Wisconsin; and

WHEREAS, the total cost of the Housing Project proposed to be financed with one or more issues or series of tax-exempt revenue bonds issued under the Act does not exceed \$12,150,000 (the “Bonds”); and

WHEREAS, the Borrower has requested that the Authority now approve an initial resolution (the “Initial Resolution”) providing for the financing of the Housing Project with conduit revenue Bonds to be issued by the Authority in an amount not to exceed \$12,150,000; and

WHEREAS, the Authority wishes to promote the development of the Housing Project proposed by the Borrower and is willing to exercise its power to this end.

NOW, THEREFORE, BE IT RESOLVED by the Authority as follows:

1. Based upon representations of the Borrower, it is the finding and determination of the Authority that the Project is a housing project and is eligible for financing under the Act, and that the purpose of the Authority’s financing costs of the Project is and the effect thereof will be to promote the public purposes set forth in the Act. The Authority shall pursue a financing plan (the “Financing”) under which it will:

(a) Finance the Housing Project in an aggregate amount not to exceed \$12,150,000; and

(b) Issue conduit revenue Bonds in an amount not to exceed \$12,150,000 in order to finance costs of the Housing Project; and

(c) Enter into one or more agreements (the “Revenue Agreements”) with the Borrower to provide the Authority with revenue sufficient to pay the principal of, premium, if any, and interest on the Bonds when due; and

(d) Assign any Revenue Agreements to the owners of the Bonds or to a trustee for their benefit, and enter into any other appropriate arrangements to secure the payment of the Bonds.

2. The aforesaid plan of Financing contemplates and is conditioned upon the following:

(a) The Bonds shall not constitute an indebtedness of the Authority or the City within the meaning of the State constitutional provision or statutory limitation.

(b) The Bonds shall not constitute or give rise to a pecuniary liability of the Authority or the City or a charge against the City’s or Authority’s general credit or the City’s taxing powers.

(c) The Borrower shall be responsible for finding a purchaser or purchasers for all of the Bonds.

(d) Prior to the issuance of the Bonds, the Common Council of the City shall have approved the Housing Project pursuant to Section 66.1201(9)(a) of the Wisconsin Statutes.

(e) Prior to the issuance of the Bonds, this body, by further resolution, shall have (i) found, based on information provided by the Borrower, that the Housing Project provides dwelling accommodations for persons of low income in accordance with the income standards adopted by the Authority and (ii) authorized and approved all of the terms and conditions of the Bonds and the terms and conditions of the Financing.

(f) The Bonds shall be issued pursuant to the Act, and the delivery of the Bonds shall be accompanied by the unqualified approving legal opinion of a nationally recognized firm of bond attorneys as shall be acceptable to the Authority and the Borrower.

(g) All out-of-pocket costs of the Authority and City, including attorneys’ fees, in connection with the issuance and sale of the Bonds shall be paid either from the proceeds of the Bonds or by the Borrower.

(h) All documents in connection with the issuance of the Bonds shall have been duly executed and delivered by the parties.

3. The appropriate officers of the Authority are authorized to negotiate the terms of the Financing and all related documents will be subject to this Resolution and the Act, and said plan of Financing shall not be legally binding upon the Authority nor be finally implemented unless and until:

(a) The details and mechanics of the Financing are authorized and approved by a further resolution of the Authority;

(b) An unqualified approving legal opinion of bond counsel, Husch Blackwell LLP, and an opinion of the City Attorney of the City or special counsel to the City and Authority are executed and delivered; and

(c) All documents required to consummate the Financing have been duly authorized and delivered.

4. No Bonds shall be issued until the terms and conditions of any guidelines or resolutions governing the issuance of revenue bonds which may be adopted by the Authority have been complied with.

5. The appropriate officers of the Authority are hereby authorized and directed to publish or cause to be published in the official newspaper of the City, a Notice of Public Hearing substantially similar to that attached to this Resolution as Exhibit A, in order to comply with the requirements of Section 147(f) of the Internal Revenue Code of 1986, as amended.

6. This Initial Resolution is an “initial resolution” within the meaning of the Act and official action toward issuance of the Bonds for purposes of Sections 103 and 144 of the Internal Revenue Code of 1986, as amended, and the regulations promulgated thereunder. Furthermore, it is the reasonable expectation of the Authority that proceeds of the Bonds may be used to reimburse expenditures made on the Housing Project prior to the issuance of the Bonds. The maximum principal amount of debt expected to be issued for the Housing Project on the date hereof is \$12,150,000. This statement of official intent is made pursuant to Treasury Regulations §1.150-2.

7. This Resolution shall be effective immediately upon its passage and approval.

Dated: September 21, 2023

**HOUSING AUTHORITY OF THE CITY OF  
GREEN BAY, WISCONSIN**

By: \_\_\_\_\_  
William Vande Castle, Chairperson

By: \_\_\_\_\_  
Cheryl Renier-Wigg, Executive Director

CERTIFICATION BY EXECUTIVE DIRECTOR

I, Cheryl Renier-Wigg, being first duly sworn, hereby certify that I am the duly qualified and acting Executive Director of the Housing Authority of the City of Green Bay, Wisconsin (the "Authority"), and as such I have in my possession, or have access to, the complete corporate records of the Authority; that I have carefully compared the transcript attached hereto with the aforesaid records; and that said transcript attached hereto is a true, correct and complete copy of all the records in relation to the adoption of Resolution No. \_\_\_\_\_ entitled:

INITIAL RESOLUTION  
REGARDING HOUSING REVENUE BOND FINANCING  
FOR THE GATEWAY COLLECTIVE, INC. PROJECT

I hereby further certify as follows:

1. Said Resolution was considered for adoption by the Authority at a meeting held at City Hall, 100 North Jefferson Street, Green Bay, Wisconsin, at \_\_\_\_\_ .m. on September 21, 2023. Said meeting was a regular meeting of the Authority and was held in open session.

2. Said Resolution was on the agenda for said meeting and public notice thereof was given not less than twenty-four (24) hours prior to the commencement of said meeting in compliance with Section 19.84 of the Wisconsin Statutes, including, without limitation, by posting on the bulletin board in the City Hall, by notice to those news media who have filed a written request for notice of meetings, and by notice to the official newspaper of the City of Green Bay.

3. Said meeting was called to order by \_\_\_\_\_, who chaired the meeting. Upon roll, I noted and recorded that the following commissioners were present:

|       |       |
|-------|-------|
| _____ | _____ |
| _____ | _____ |
| _____ | _____ |

and that the following commissioners were absent:

|       |       |
|-------|-------|
| _____ | _____ |
| _____ | _____ |

I noted and recorded that a quorum was present. Various matters and business were taken up during the course of the meeting without intervention of any closed session. One of the matters taken up was said Resolution, which was introduced, and its adoption was moved by \_\_\_\_\_ and seconded by \_\_\_\_\_. Following discussion and after all commissioners who desired to do so had expressed their views for or against said Resolution, the question was called, and upon roll being called and the continued presence of a quorum being noted, the recorded vote was as follows:

AYE:

|       |       |
|-------|-------|
| _____ | _____ |
| _____ | _____ |
| _____ | _____ |

NAY:

|       |       |
|-------|-------|
| _____ | _____ |
| _____ | _____ |

ABSTAIN:

|       |       |
|-------|-------|
| _____ | _____ |
| _____ | _____ |

WHEREUPON, the meeting chair declared said Resolution adopted, and I so recorded it.

IN WITNESS WHEREOF, I have signed my name and affixed the seal of the Authority hereto on this 21st day of September, 2023.

**HOUSING AUTHORITY OF THE CITY OF  
GREEN BAY, WISCONSIN**

[SEAL]

By: \_\_\_\_\_  
Cheryl Renier-Wigg, Executive Director

## **EXHIBIT A**

### **NOTICE OF PUBLIC HEARING**

Notice is hereby given, in compliance with requirements of Section 147(f) of the Internal Revenue Code of 1986, as amended, that the Housing Authority of the City of Green Bay, Wisconsin (the “Authority”), will hold a public hearing at \_\_\_\_\_ .m., or as soon thereafter as the matter may be heard, on \_\_\_\_\_, 2023, at City Hall, 100 North Jefferson Street, Green Bay, Wisconsin, regarding the proposed issuance of the Housing Authority of the City of Green Bay, Wisconsin Housing Revenue Bonds, Series 2023 (The Gateway Collective, Inc. Project), in an aggregate amount not to exceed \$12,150,000, pursuant to Section 66.1201 of the Wisconsin Statutes, to finance a project to be owned by The Gateway Collective, Inc., a Wisconsin nonstock, nonprofit corporation (the “Borrower”).

The Borrower’s project consists of the (i) acquisition of a design-build housing facility located at 700 Adams Street, Green Bay, Wisconsin (the “Facility”) comprised of 72 units ranging from 1 to 4 bedroom apartment options, which will provide housing for mixed-income residents at affordable, workforce, and market rates, (ii) acquisition and installation of certain furniture, fixtures, and equipment at the Facility, and (iii) payment of professional fees and costs (the “Project”). The bonds will be special, limited obligations of the Authority and will not constitute an indebtedness of the Authority within the meaning of any state constitutional provision or statutory limitation or a charge against its general credit.

At the hearing, all persons will be afforded a reasonable opportunity to express their views, both orally and in writing, on the proposed bonds and the location and nature of the Project proposed to be financed. Comments made at the public hearing are for the consideration of the Authority but do not bind any legal action to be taken by it.

Published: \_\_\_\_\_, 2023

Cheryl Renier-Wigg, Executive Director  
Housing Authority of the City of Green Bay, Wisconsin

# PROPOSED BUILDING ALTERATIONS FOR : ADAMS STREET BUILDING 301 N. ADAMS STREET SECOND FLOOR GREEN BAY , WISCONSIN

## SHEET INDEX

### ARCHITECTURAL

#### TS - TITLE SHEET

#### G1.1 - GENERAL INFORMATION

#### C1.0 - OVERALL SITE PLAN

#### A1.01 - EXISTING GRADE LEVEL FLOOR PLAN

#### A1.02 - EXISTING SECOND FLOOR PLAN

#### D1.0 - DEMOLITION FLOOR PLAN

#### LS1.1 - LIFE SAFETY PLAN

#### A1.1 - PROPOSED FIRST FLOOR PLAN

#### A1.2 - OVERALL SECOND FLOOR PLAN

#### A1.3 - OVERALL MEZZANINE FLOOR PLAN

#### A1.4 - ENLARGED FLOOR PLAN

#### A1.5 - ENLARGED FLOOR PLAN

#### A1.6 - ENLARGED FLOOR PLAN

#### A1.7 - ENLARGED FLOOR PLAN

#### A1.8 - ENLARGED FLOOR PLAN

#### A1.9 - ENLARGED FLOOR PLAN

#### A1.10 - ENLARGED FLOOR PLAN

#### A1.11 - ENLARGED UNIT FLOOR PLAN

#### A1.12 - ENLARGED UNIT FLOOR PLAN

#### A1.13 - ENLARGED UNIT FLOOR PLAN

#### A1.14 - ENLARGED UNIT FLOOR PLAN

#### A1.15 - ENLARGED UNIT FLOOR PLAN

#### A2.1 - DOOR SCHEDULE & ELEVATIONS FRAME ELEVATIONS

#### A2.2 - ROOM FINISH SCHEDULE & INTERIOR ELEVATIONS

#### A2.3 - WALL TYPES

#### A3.1 - BUILDING ELEVATIONS

#### A4.1 - PARTIAL BUILDING SECTIONS

#### A4.2 - PARTIAL BUILDING SECTIONS

#### A4.3 - PARTIAL BUILDING SECTIONS

#### A4.4 - PARTIAL BUILDING SECTIONS

### STRUCTURAL

#### S1.0 - GENERAL NOTES & TYPICAL DETAILS

#### S1.1 - NOT USED

#### S1.2 - EXISTING SECOND FLOOR FRAMING PLAN

#### S1.3 - PROPOSED SECOND FLOOR FRAMING PLAN

#### S1.4 - PROPOSED THIRD FLOOR FRAMING PLAN

#### S1.5 - THIRD FLOOR FRAMING PLAN ENLARGED PLANS

#### S2.1 - STRUCTURAL DETAILS

#### S2.2 - STRUCTURAL DETAILS

### PLUMBING

THIS IS A DESIGN BUILD PROJECT FOR PLUMBING. THE PLUMBING CONTRACTOR SHALL PROVIDE PLANS TO THE PROJECT MANAGER & THE SUPERVISING PROFESSIONAL FOR REVIEW PRIOR TO THE PLANS BEING SUBMITTED TO WISCONSIN BUILDING OFFICIAL. THE PLUMBING CONTRACTOR SHALL MAINTAIN A SET OF DRAWINGS AT THE SITE TO RECORD ANY CHANGES TO THE DESIGN. THIS DRAWING OF RECORD & STATE APPROVED PLANS SHALL BE TURNED OVER TO THE PROJECT MANAGER AT THE END OF THE PROJECT.

### HVAC

THIS IS A DESIGN BUILD PROJECT FOR HVAC. THE HVAC CONTRACTOR SHALL PROVIDE PLANS TO THE PROJECT MANAGER & THE SUPERVISING PROFESSIONAL FOR REVIEW PRIOR TO THE PLANS BEING SUBMITTED TO WISCONSIN BUILDING OFFICIAL. THE HVAC CONTRACTOR SHALL MAINTAIN A SET OF DRAWINGS AT THE SITE TO RECORD ANY CHANGES TO THE DESIGN. THIS DRAWING OF RECORD & STATE APPROVED PLANS SHALL BE TURNED OVER TO THE PROJECT MANAGER AT THE END OF THE PROJECT.

### ELECTRICAL

THIS IS A DESIGN BUILD PROJECT FOR ELECTRICAL. THE ELECTRICAL CONTRACTOR SHALL PROVIDE PLANS TO THE PROJECT MANAGER & THE SUPERVISING PROFESSIONAL FOR REVIEW PRIOR TO THE PLANS BEING SUBMITTED TO WISCONSIN BUILDING OFFICIAL. THE ELECTRICAL CONTRACTOR SHALL MAINTAIN A SET OF DRAWINGS AT THE SITE TO RECORD ANY CHANGES TO THE DESIGN. THIS DRAWING OF RECORD & STATE APPROVED PLANS SHALL BE TURNED OVER TO THE PROJECT MANAGER AT THE END OF THE PROJECT.

## PROJECT INFORMATION

PROJECT: PROPOSED BUILDING ALTERATIONS FOR ADAMS STREET BUILDING

ADDRESS: 301 N. ADAMS STREET SECOND FLOOR GREEN BAY, WI

USE: RESIDENTIAL R-2 APARTMENTS

ZONING: (ZONING) -

OWNER: HCM LLC  
340 N BROADWAY SUITE 460  
GREEN BAY, WI 54303

P. -

CONTACT: PAUL B. BELSCHNER

DESIGNERS OF RECORD:

ARCHITECTURAL: FISHER & ASSOCIATES  
ARCHITECTS / PLANNERS  
WISCONSIN 54415  
GRVITZ, WI 54114  
P/(420) 532-4181  
C/(420) 576-0007

CONTACT: RICHARD J. FISHER AIA

STRUCTURAL ENGINEERS:  
LARSON ENGINEERING OF WISCONSIN  
2801 ENTERPRISE AVE  
APPLETON, WISCONSIN 54915  
P/(420) 734-4861  
F/(420) 734-4860

CONTACT: JIM RICHARDS

OCCUPANCY R2 SEPARATED FROM A3 SEPARATED AND NON SEPARATED A2 S1 B TYPE OF CONSTRUCTION: IIA (METAL FRAMED PROTECTED) SPRINKLED PER NFPA 13

TYPE OF CONSTRUCTION: IIA (METAL FRAMED PROTECTED) PRIMARY STRUCTURAL FRAMING BEARING WALLS INT. & EXT. EXTERIOR NON LOAD BEARING PARTITIONS FLOOR CONST. & SECONDARY FRAME ROOF CONSTRUCTION

OCCUPANT LOAD: --

EGRESS WIDTH REQUIRED: --

EXIT WIDTH REQUIRED SEE PLAN

EXIT ACCESS TRAVEL DISTANCE

250' PER TABLE 1004.2.4

#### BUILDING USE DIAGRAM

THIRD FLOOR WITHIN UNITS, LOFT AREAS EXCEED 1/2 OF OPEN AREA

SECOND FLOOR TYPE OF CONSTRUCTION TYPE II A USE GROUP R-2

IEBC 102112 OCCUPANCY SEPARATION 1 HOUR FIRE BARRIER SEPARATION PER TABLE 506.4

FIRST FLOOR TYPE OF CONSTRUCTION TYPE II A USE GROUP A3, A2 AND B

#### ALLOWABLE AREA PER FLOOR

USE GROUP A3 SEPARATED FROM A2, S1, AND B NON-SEPARATED THIS IS A LEVEL II ALTERATION WITH A CHANGE OF USE FOR R-2 NON TRANSIENT RESIDENTIAL ALLOWABLE AREA CALCULATION NOT APPLICABLE THE FIRE AREA CONTAINS NON-SEPARATED A-2 USE PER IEBC TABLE TABLE 1012.5

THIS BUILDING WAS CONSTRUCTED AS A 2 STORY MERCANTILE UNLIMITED AREA ANCHOR STORE AS PART OF A COVERED MALL BUILDING. THE CONSTRUCTION TYPE IS TYPE II A FIRE RATED STEEL. THE SECOND FLOOR IS SEPARATED FROM THE FIRST FLOOR BY AND EXISTING HORIZONTAL ASSEMBLY WITH FIRE RATED STRUCTURAL SUPPORT

#### ALLOWABLE AREA PER FLOOR PER TABLE 506.2

USE R2 TYPE IIA SPRINKLERED IS 12,000 S.F. AREA INCREASE PER CALCULATION

P=1200  
F=1200  
W=50  
I=(102/1200)-25X 20/30))  
I=0.2266  
AREA=0.2266X24,000=5438+12000=17,438 S.F.  
THIS BUILDING IS 17,465 S.F. - 2120 = 15,345 PER FLOOR

#### ALLOWABLE AREA PER FLOOR PER TABLE 506.2

W/ COMBINED PROPERTIES  
P=1200  
F=1200  
W=50  
I=(102/1200)-25X 20/30))  
I=0.2266  
AREA=0.2266X24,000=5438+12000=17,438 S.F.  
THIS BUILDING IS 17,465 S.F. PLUS 250 FOR PATIO PER FLOOR

| PROJECT AREA                   |             |
|--------------------------------|-------------|
| SECOND FLOOR ALTERATION        | 73215 S.F.  |
| THIRD FLOOR LOFTS WITHIN UNITS | 22220 S.F.  |
| SECOND FLOOR PATIO             | 250 S.F.    |
| FIRST FLOOR ALTERATION         | 1323 S.F.   |
| FIRST FLOOR PATIO              | 250 S.F.    |
| PROJECT AREA                   | 97,258 S.F. |

#### FIRE FIGHTING APPARATUS

THE BUILDING IS LIMITED IN AREA THE FIRE LANE IS UNOBSTRUCTED

THE FIRE LANE IS WITHIN 150' OF ALL PARTS OF THE EXTERIOR WALL WITH A MIN. UNOBSTRUCTED HEIGHT OF 13'-6"

THE BUILDING IS 36'-0" TALL

#### CONTROL AREAS

NO HAZARDOUS MATERIALS WILL BE STORED WITHIN THIS BUILDING PER TABLES 507.1(1) AND 507.1(2)

ALLOWABLE HEIGHT NOT REGULATED PER 505.1.1

GRADE PLAN DETERMINATION NUMBER OF STORIES: 3 THE GREATEST HGT. FROM GRADE TO TOP OF WALL IS 36'-0" THIS BUILDING HAS THREE FLOOR LEVELS

#### FIRE ALARM SYSTEM

907.2.41 MANUAL FIRE ALARM SYSTEM

#### PROJECT NARRATIVE

THIS BUILDING WAS CONSTRUCTED AS A 2 STORY MERCANTILE UNLIMITED AREA ANCHOR STORE AS PART OF A COVERED MALL BUILDING. THE CONSTRUCTION TYPE IS TYPE II A FIRE RATED STEEL. THE SECOND FLOOR IS SEPARATED FROM THE FIRST FLOOR BY AND EXISTING HORIZONTAL ASSEMBLY WITH FIRE RATED STRUCTURAL SUPPORT

THE PROJECT SCOPE IS TO MAINTAIN THE HORIZONTAL SEPARATION AND CONSTRUCT A CHANGE OF USE FOR THE SECOND FLOOR TO R-2 RESIDENTIAL. THE UNITS ARE A MIX OF SINGLE LEVEL ACCESSIBLE UNITS AND NON-ACCESSIBLE MULTI-LEVEL UNITS

THERE IS A BUILDING CODE VARIANCES THAT FOR THIS PROJECT RELATED TO THE BUILDING CONSTRUCTION TYPE FIRST THE ROOF ASSEMBLY IS BEING FIRE PROTECTED TO 1 HOUR FIRE RATING BY INCREASED SPRINKLER PROTECTION.

THERE WILL BE NO EXTERIOR SITE IMPROVEMENTS

#### PROJECT REVISIONS FOR 11/30/22

VARIANCE FOR NON- FIRE PROTECTED ROOF ASSEMBLY APPROVED SEE DSPS APPROVAL LETTER DATED NOVEMBER 9, 2022

UPDATE UNIT SIZES AND QUANTITIES SEE SHEET LS1.1

UPDATE FINISHES IN UNITS TO BE POLISHED CONCRETE IN BEDROOMS AND CLOSETS VS CERAMIC TILE. CHANGE TOILET ROOM FLOOR FINISH TO BE LVT VS CERAMIC TILE.

#### PROJECT REVISIONS FOR 3/1/23

REVISE BUILDING AREA CALCULATIONS TO PROVE HEIGHT AND AREA LIMITS WITHOUT EASEMENT

OMIT SOUTH SIDE EASEMENT

CHANGE NORTH SIDE ENTRANCE TO STAIR TO GRADE AND OMIT COVERED ENTRANCE.

#### PROJECT REVISIONS FOR 8/14/23

CHANGE NORTH SIDE ENTRANCE TO ORIGINAL DESIGN TO KEEP CANOPY CHANGE EXTERIOR WINDOWS PER PLAN

RELOCATED 'X' - BRACING

ADD 30 SKYLIGHTS TO INTERIOR UNITS AND UNIT 207 REVISE EXTERIOR WINDOW LOCATIONS UPDATE UNIT PLANS BASED ON EXISTING HVAC CONFLICTS ADD DETAIL FOR EXISTING STAIR OPENING INFILL

REVISED PER FIELD MEETING  
REVISED FOR CONSTRUCTION  
REVISED FOR CONSTRUCTION  
REVISED FOR VARIANCE  
RELEASE FOR CONST.  
RELEASED FOR CONSTRUCTION BUDGET 6/20/22

8/14/23

3/1/23

11/30/22

11/2/22

9/22/22

Wisconsin Department of Safety and Professional Services  
Division of Building Services  
P.O. Box 7877  
Madison, WI 53707

Phone: 608.266.2121  
Fax: 608.266.2122  
www.dps.wisconsin.gov

November 9, 2022

Richard Fisher  
2801 Enterprise Lake Road  
Crawls, Wisconsin, 54114

Trans: Denis, Governor  
Don Horvath, Secretary

APPROVAL OF PETITION FOR VARIANCE

Bar Laine Center  
301 N Adams Street  
Green Bay, WI 54303 (Green)

FOR: Petitioner for Variance  
BIC 602.1/606.01

The petitioner described above has been reviewed for equivalency to applicable Wisconsin Administrative Codes and compliance with Wisconsin Statutes. The petitioner has been CONDITIONALLY APPROVED. The owner, as defined in section 101.01(13), Wisconsin Statutes, is responsible for compliance with all conditions of this petition approved and other applicable code requirements. Plans submitted to and approved by the department or its agent may be necessary prior to construction undertaken per this petition. This petition approval may be affected if applicable codes are revised prior to plan submitted for any necessary construction work.

The code section petitioned requires that buildings and structures erected, to be erected, altered or extended in height or area shall be classified in one of the five construction types defined in sections 602.1 through 602.5. The building elements shall have a fire-resistance rating not less than that specified in table 601.

The variance requested is to allow a partial Change of Occupancy and Level 3 alterations to occur within an existing building shell that meets with all the requirements of Type IIA construction with the exception of the required 1 hour protected roof structure.

The intent of the code section petitioned is to provide an increased level of safety to the occupants by preserving the building stability through the protection of the building structural elements by rated fire resistant assemblies.

The petitioner submitted the 10-580 approval plan including the following additional supporting documents and/or plans:

1. DSS-082421558, Adams Street Alteration Drawings REVISED 11-2-22
2. DSS-082421559, Adams Street Variance additional information 10-30-22
3. DSS-082421559, Application for Variance 301 N Adams Street- signed- revised 11-2-22
4. DSS-082421559, Structural Calculations
5. DSS-082421559, Baylake Apartments Variance architect letter revised 11-2-22

Reviewer's Comments:

1. The existing two story, Type IIA building of approximately 73,215 square feet per floor was originally constructed as a Mercantile occupancy. As a later store, the first floor was altered to include A2, A3 and Business occupancies on the first floor, and the first project phase is intended to provide Apartments (R-2 occupancy) on the second floor. The Apartments will include loft areas which will create an additional level within the second story.
2. The Petitioner states that the building will be completely protected with an NFPA 13 sprinkler system which will be in excess of that required for the R-2 portion of the building. The NFPA 13 system will provide an increase in sprinkler density from 0.5 gpm/square foot to 1 gpm/square foot over the NFPA 13R system. Additionally, the Petitioner states that all spaces within the building will be sprinklered and any concealed spaces will be either filled with non-combustible insulation or sprinklered.
3. The Petitioner states that a complete manual fire alarm system per 907.2.5.1 will be provided throughout the building. The fire alarm system will be interconnected with the sprinkler system such that initiation of water flow into the sprinkler system will initiate the building notification system.
4. The Petitioner states that the existing first floor separating the R-2 Occupancies from the remainder of the building meets with the requirements for a 1 hour horizontal separation as required by IEBC 420 and 506.4.
5. The Petitioner states that the dwelling unit separation walls are to be constructed as 1 hour fire barriers which will be in excess of the requirements for fire partitions per IEBC 420.
6. The Petitioner states that the floor separating the loft from the area below will be a 1 hour horizontal assembly which, will meet a requirement within a single dwelling unit, is intended to provide some additional indirect protection to the existing unprotected roof structure.
7. The Petitioner states that the second floor of the building, as a direct result of the relatively small dwelling unit size, will be compartmentalized which will effectively limit the exposure of the existing protected roof structure to fire. A single fire event will impact only about 75% of the total roof area and only 1/4 of any single structural bay.
8. The Petitioner states that while the ceiling heights do not comply with footnote b) of table 602, which exempts the rating of the roof structure in Type IIA construction if 20' or more above the floor level, the ceiling height, which ranges from 10'0" to 17'4" over approximately 50% of the building second floor is still relatively high. The other approximately 50% is limited to the roof area directly above the lofts.
9. The Petitioner states that the existing protected roof structure will be exposed to all areas below which means there will be no fast load or close proximity to the roof structure as would be the case if a ceiling were to be installed. This will aid in limiting the effect a fire might have on the roof structural elements.
10. The Petitioner states that the corridor serving the second floor R-2 occupancies will be compartmentalized into 2 separate smoke zones to effect an additional level of safety to occupants while evacuating the building.
11. The Petitioner states that a minimum of 4 landscape locations will be provided in the building east corridor to afford better fire fighting capabilities for the responding fire department. This provision is in excess of that required in IEBC 905.
12. The local fire department and the municipal building inspection department have both provided a comment recommending, it is noted by the Petitioner that they have been working with the local fire department during the design process and will be implementing recommendations that have resulted from this coordinated effort.
13. Based on the statements provided by the Petitioner and design intent described within this conditional approval including the attached supporting documentation, the reviewer finds the equivalency being provided to the code of first compliance to meet with the general intention of the applicable codes.

Departmental Action: CONDITIONAL APPROVAL

Reviewer's Conditions of Approval:

All of the petitioner's statements of fact or intent included on the variance application form, any other documents submitted to the Department, as well as any other conditions of approval listed below, shall be carried out. Any recommended conditions of approval by the fire department and/or municipal building inspection department listed above shall also be carried out unless otherwise stated below. This variance is specific to the subject code section(s) petitioned and the building or object as well as existing conditions of the current construction project and shall not be used for any additional or future modifications, additions, or alterations to the subject building or object.

- SPS 383.32 - This petition for variance was conditionally approved electronically. The petitioner is responsible to download the documents, print out complete sets and permanently bind each set of the conditionally approved documents, as submitted to the Dept., for reference in the field. The petition for variance documents for field reference shall be the same size and scale as originally submitted to the Dept. per SPS 383.31(2)(a) and per SPS 383.31(2)(b) shall be clear and legible. The petition for variance documents shall be made available to a Dept. representative as-is upon request.

This decision will become final unless the department within 30 days from the date of this letter receives a written request for a hearing. A request for hearing should be sent to the address shown on this letterhead. A copy of this letter must be included with the request for a hearing. The request for hearing should state the reasons for objecting to the department's decision, because a request for hearing may be denied if it does not present a significant question in fact, law or policy.

Inquiries concerning this correspondence may be made to me at the telephone number listed below, or at the address on this letterhead.

Sincerely,

Eric D. Hansen, IA  
Building Systems Consultant  
Commercial Building Inspector  
Phone: 715.434.3035  
Email: eric.hansen@wisconsin.gov

Print, Prec. Review by IS

CC:  
Chief Architect - DE Inspection - 608-438-5255  
Collective Jeffery - MUNICIPAL CLERK - 920-843038  
Paul Belchner

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Architects / Planners

WISCONSIN 54415  
GRVITZ, WI 54114  
P/(420) 532-4181  
C/(420) 576-0007

PROJECT:

PROPOSED BUILDING ALTERATIONS FOR:

ADAMS STREET BUILDING  
301 NORTH ADAMS STREET  
CITY OF GREEN BAY

DRAWN BY:

RJF

CHK'D BY:

RJF

JOB NUMBER:

20059

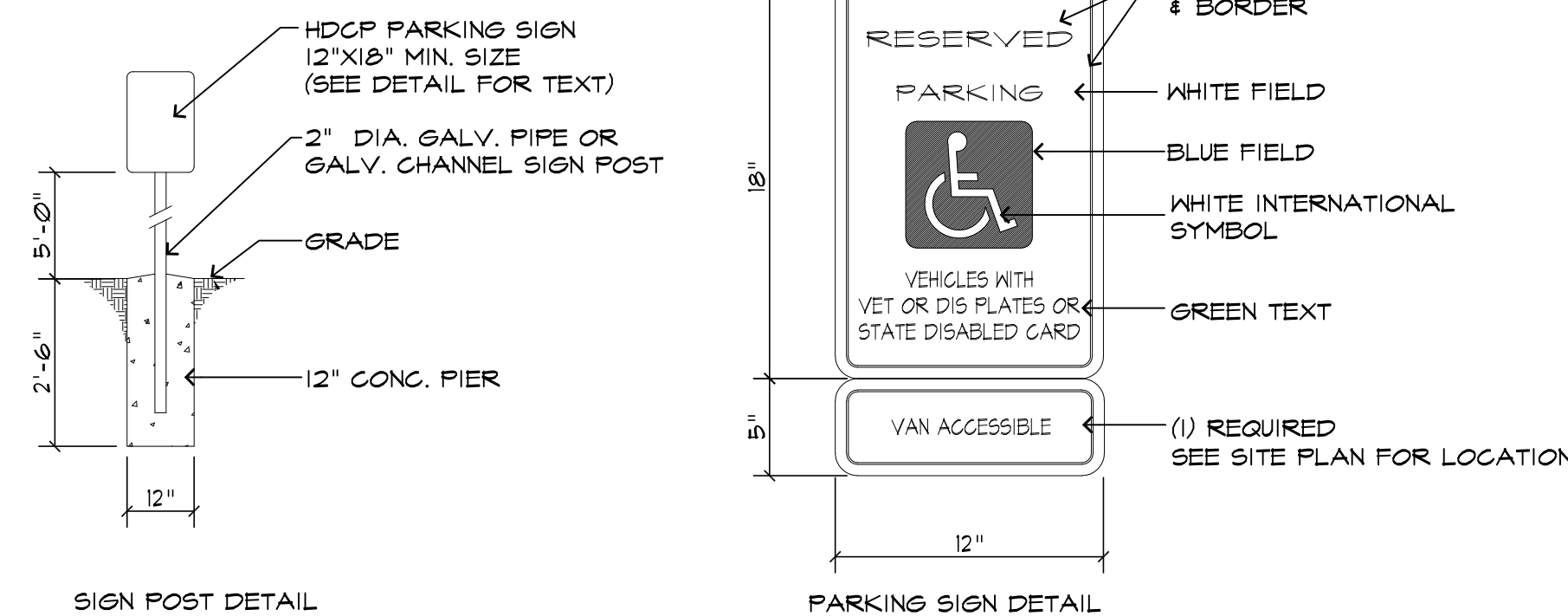
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12/8/20

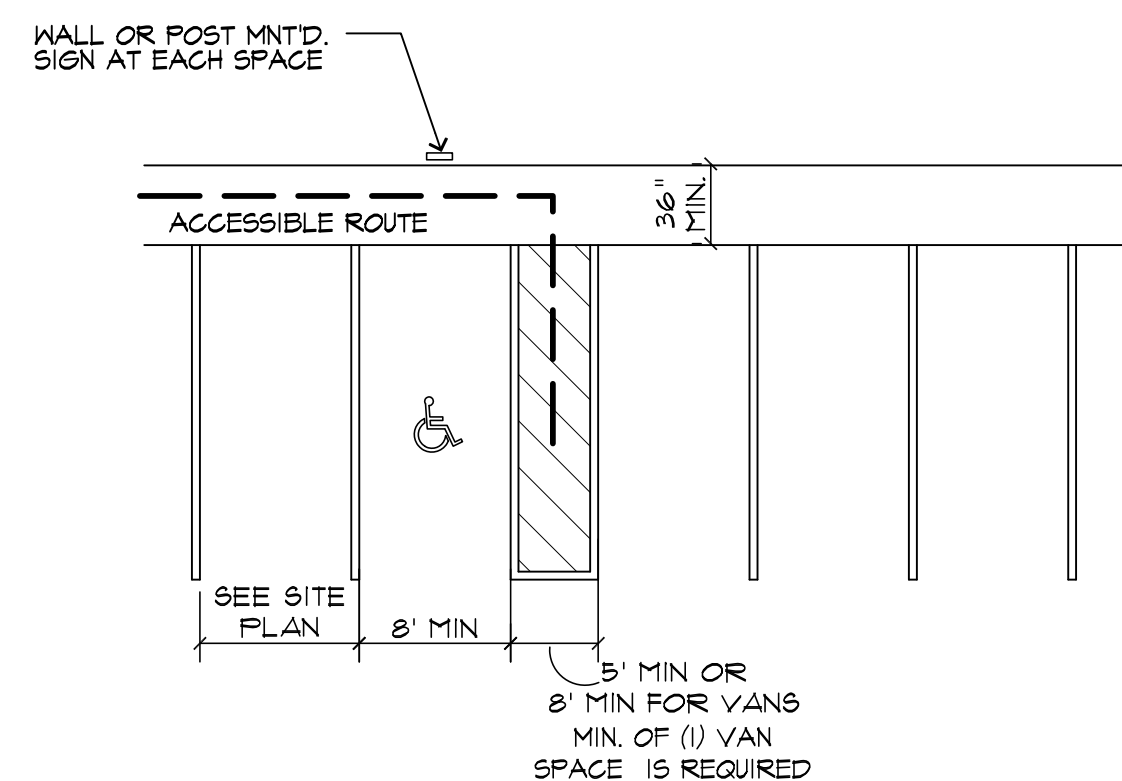
TS

[illegible]

IT SHALL BE THE RESPONSIBILITY OF THE OWNER TO  
INSTALL (WHERE SHOWN HEREON), BARRIER FREE PARKING  
SIGNS IN CONFORMITY TO WISCONSIN ADMINISTRATIVE  
CODE: TRANS #200.07



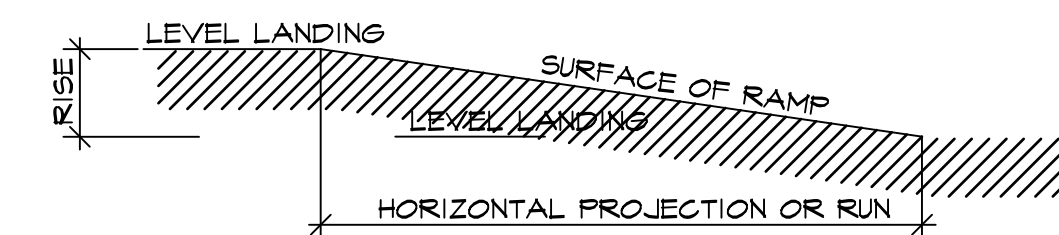
NOT TO SCALE



THE MAXIMUM SLOPE AT PARKING SPACES IS 1:50 (4.6.2)

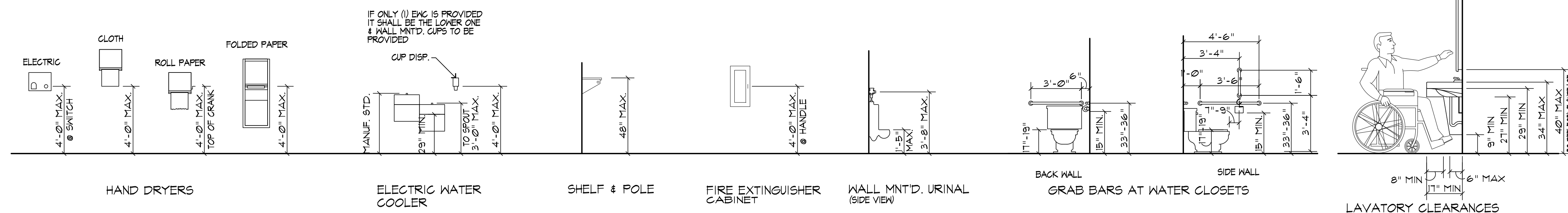
405.1 GENERAL.  
ANY PART OF AN ACCESSIBLE ROUTE WITH A SLOPE  
GREATER THAN 1:20 SHALL BE CONSIDERED A RAMP  
AND SHALL COMPLY WITH 405.

**SLOPE AND RISE.**  
THE LEAST POSSIBLE SLOPE SHALL BE USED FOR ANY RAMP. THE MAXIMUM SLOPE OF A RAMP IN NEW CONSTRUCTION SHALL BE 1:12. THE MAXIMUM RISE FOR ANY RUN SHALL BE 30 IN./760MM (SEE FIG. 16.). CURB RAMPS AND RAMPS TO BE CONSTRUCTED ON EXISTING SITES OR IN EXISTING BUILDINGS OF FACILITIES MUST HAVE SLOPES AND RISES AS ALLOWED IN 405.2 IF SPACE LIMITATIONS PROHIBIT THE USE OF A 1:12 SLOPE OR LESS.

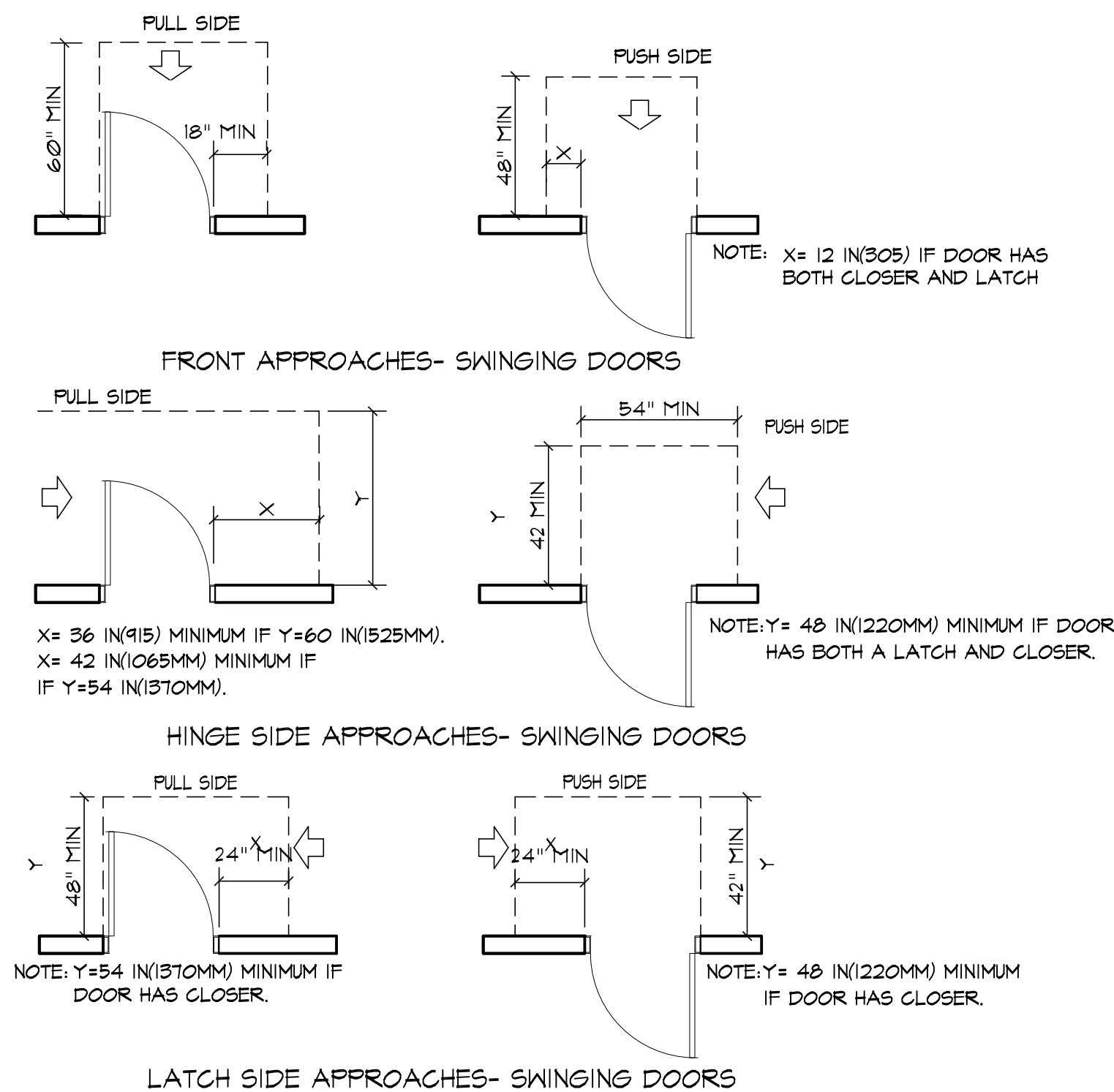


| SLOPE        | MAXIMUM RISE | MAXIMUM HORIZONTAL PROJECTION |
|--------------|--------------|-------------------------------|
|              | IN.          | FT.                           |
| 1:12 TO 1:16 | 30           | 30                            |
| 1:16 TO 1:20 | 30           | 40                            |

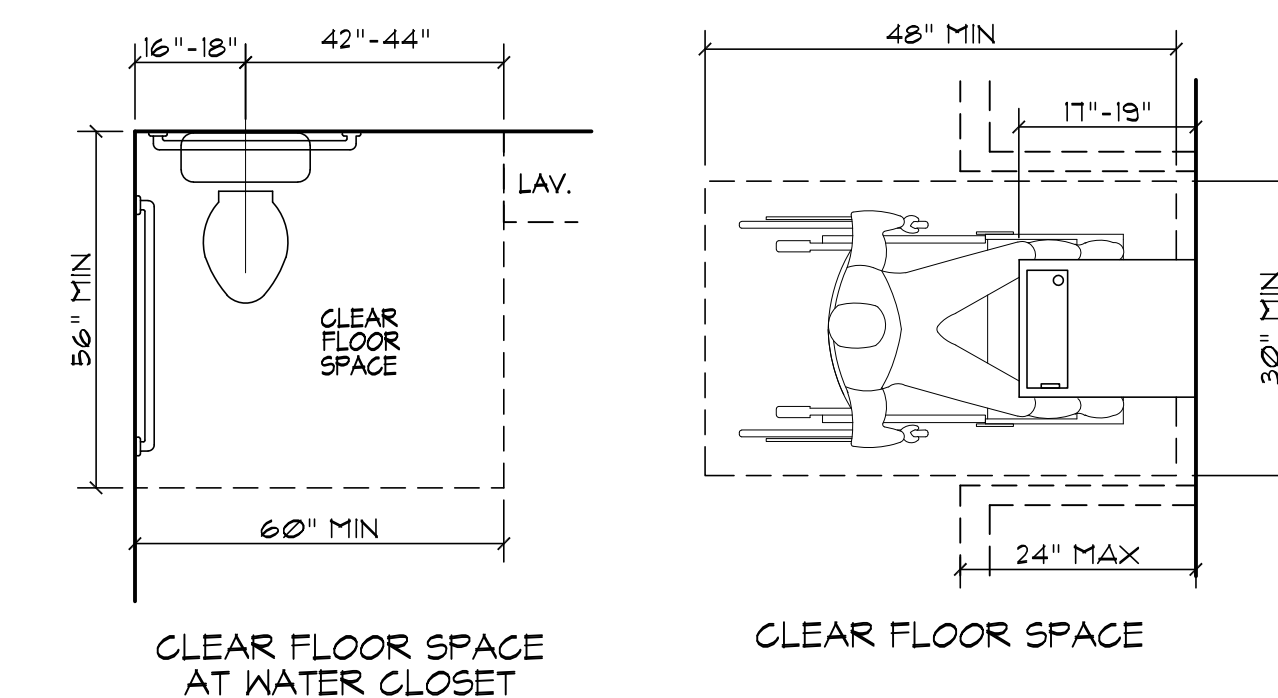
NO SCALE



NOT TO SCALE



NO SCALE



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WI 53007-1994  
Ph: (420) 532-4194  
fisherfisherandassociatesllc.com

WISCONSIN

**PROJECT:**

3/1/23  
11/30/22  
11/2/22

REVISED FOR CONSTRUCTION  
REVISED FOR CONSTRUCTION  
REVISED FOR VARIANCE

*DRAWN BY:*

CHK'D BY:

RJF

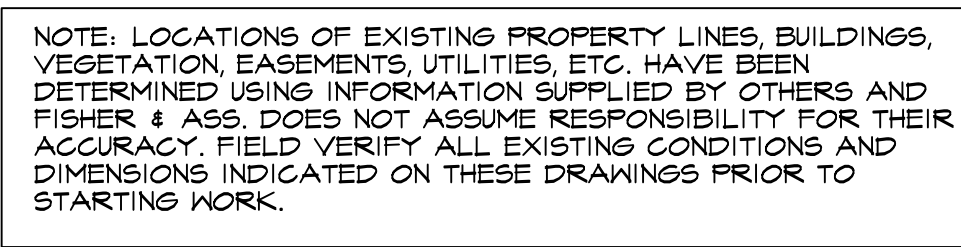
JOB NUMBER

20059

DATE \_\_\_\_\_

12/8/20

## G1.1



NORTH

A circular arrow pointing upwards, indicating North.

PROJECT: PROPOSED BUILDING ALTERATIONS FOR  
ADAMS STREET BUILDING

ADDRESS: 301 N. ADAMS STREET SECOND FLOOR  
GREEN BAY, WI

USE: RESIDENTIAL R-2 APARTMENTS

ZONING: (ZONING) -  
"

OWNER: HCN LLC  
340 N BROADWAY SUITE 460  
GREEN BAY, WI 54303

CONTACT: P. =

CONTACT: PAUL B. BELSCHNER

DESIGNERS OF RECORD:

ARCHITECTURAL  
FISHER & ASSOCIATES  
ARCHITECTS / PLANNERS  
19654 BALSAUM LAKE ROAD  
GRVITZ, WI 54114  
P(920) 552-1148  
C(920) 576-0007

CONTACT: RICHARD J. FISHER AIA

## SHEET INDEX

**C1.0 - OVERALL SITE PLAN**  
**LS1.1 - LIFE SAFETY PLAN**

## PROJECT NARRATIVE

THIS BUILDING IS UNDERGOING A CHANGE OF USE FROM A BUSINESS USE CALL CENTER TO 12 APARTMENTS ON THE SECOND FLOOR.

THE PROJECT SCOPE IS ALTER THE SECOND FLOOR WITH NO CHANGE IN BUILDING FOOTPRINT. THERE WILL BE NO EXTERIOR SITE IMPROVEMENTS.

PARKING FOR THIS FACILITY WILL BE USE PUBLIC PARKING IN THE AREA.

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 3654 BALSAM LAKE ROAD, CRIVITZ, WI  
 PH (420) 532-4144  
 rfisher@fisherandassociatesllc.com

***PROJECT:***

**PROPOSED BUILDING ALTERATIONS FOR:**

**ADAMS STREET BUILDING**

301 NORTH ADAMS STREET

*DRAWN BY:*

RJF

CHK'D BY:

RJF

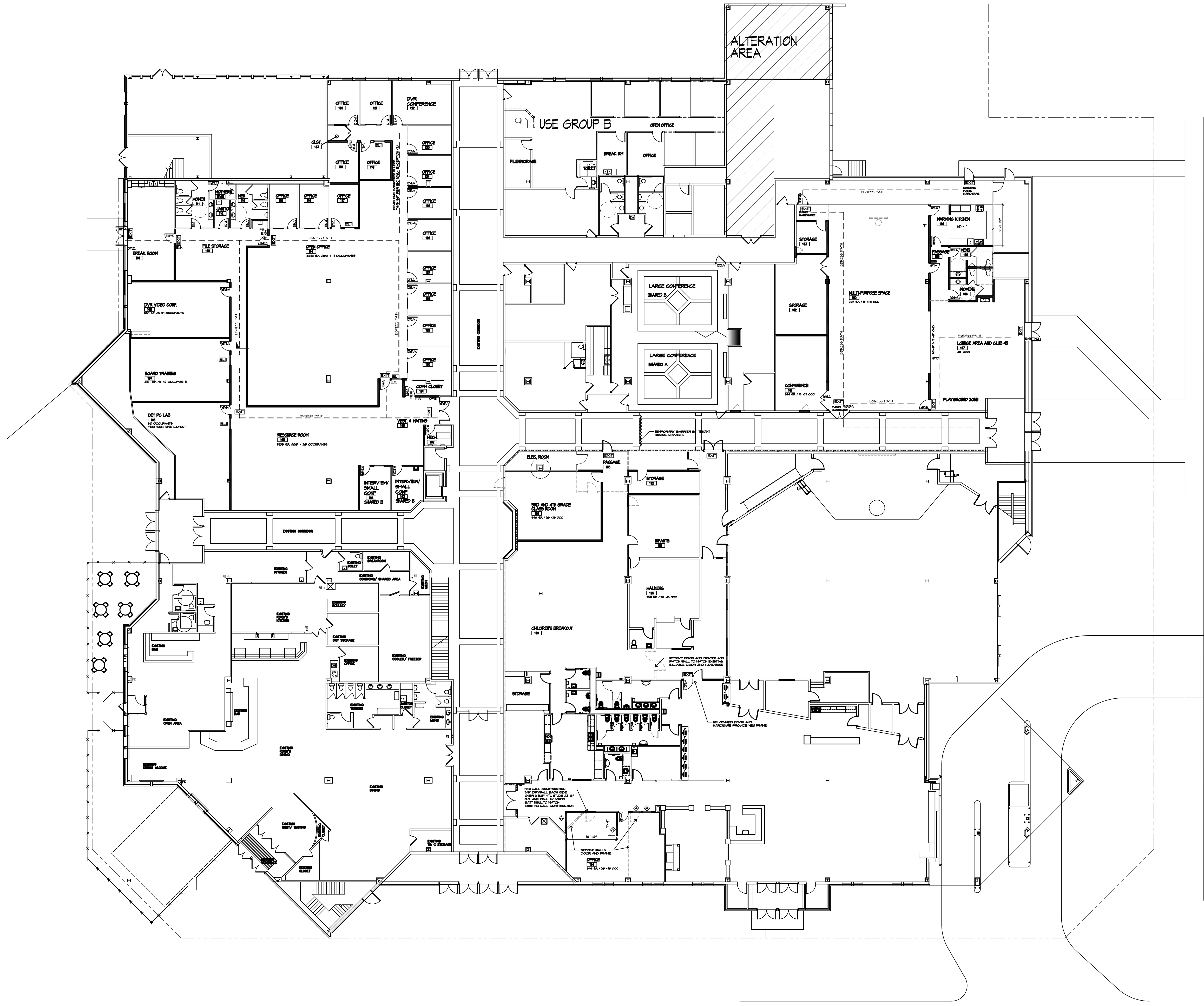
**JOB NUMBER**

20059

DATE \_\_\_\_\_

**1/8/21**

# C1.0

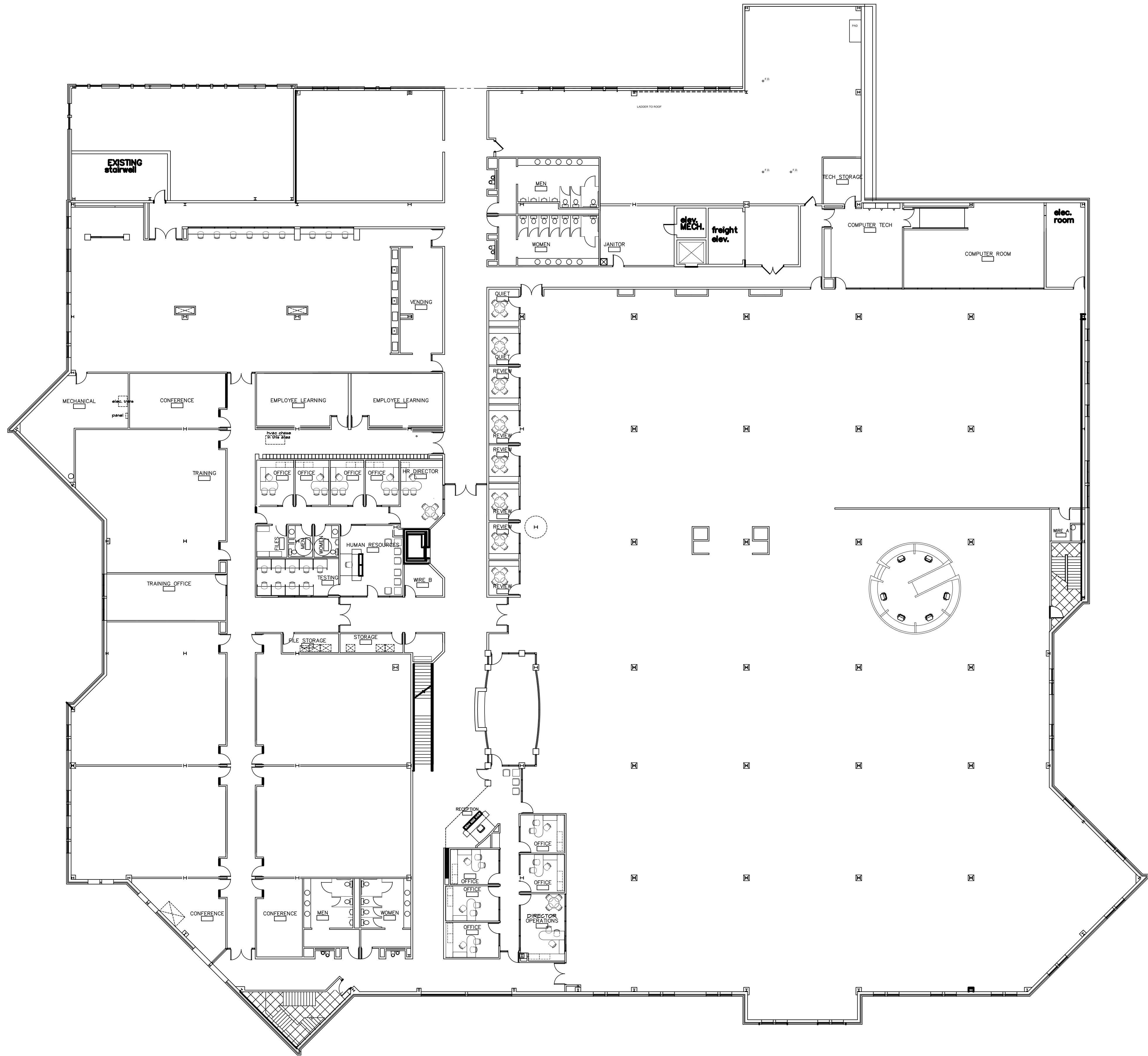


EXISTING  
GRADE LEVEL  
FLOOR PLAN  
1/16" = 1'-0"

REVISED PER FIELD MEETING 8/14/23  
REVISED PER FIELD INVESTIGATIONS 5/11/23  
REVISED FOR CONSTRUCTION 3/1/23

|                                                                                                                                                                                                                                                                                                                                    |  |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|
| PROJECT:                                                                                                                                                                                                                                                                                                                           |  |
| PROPOSED BUILDING ALTERATIONS FOR:<br><b>ADAMS STREET BUILDING</b><br>301 NORTH ADAMS STREET<br>CITY OF GREEN BAY                                                                                                                                                                                                                  |  |
| DRAWN BY:<br>R.F.                                                                                                                                                                                                                                                                                                                  |  |
| CHK'D BY:<br>R.F.                                                                                                                                                                                                                                                                                                                  |  |
| JOB NUMBER:<br>20059                                                                                                                                                                                                                                                                                                               |  |
| DATE:<br>12/8/20                                                                                                                                                                                                                                                                                                                   |  |
| REVISIONS:                                                                                                                                                                                                                                                                                                                         |  |
| FISHER & ASSOCIATES, LLC<br>Architects / Planners<br>1000 BAYVIEW LANE ROAD, GRANTZ, WI<br>93202-1524<br>fisher@fisherandassociatesllc.com                                                                                                                                                                                         |  |
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A1.01



EXISTING  
SECOND FLOOR  
FLOOR PLAN

1/16" = 1'-0"

REVISED PER FIELD MEETING 8/14/23  
REVISED PER FIELD INVESTIGATIONS 5/11/23  
REVISED FOR CONSTRUCTION 3/1/23

|                                    |
|------------------------------------|
| PROJECT:                           |
| PROPOSED BUILDING ALTERATIONS FOR: |
| ADAMS STREET BUILDING              |
| 301 NORTH ADAMS STREET             |
| CITY OF GREEN BAY                  |
| DRAWN BY:                          |
| R.F.                               |
| CHK'D BY:                          |
| R.F.                               |
| JOB NUMBER:                        |
| 20059                              |
| DATE:                              |
| 12/8/20                            |

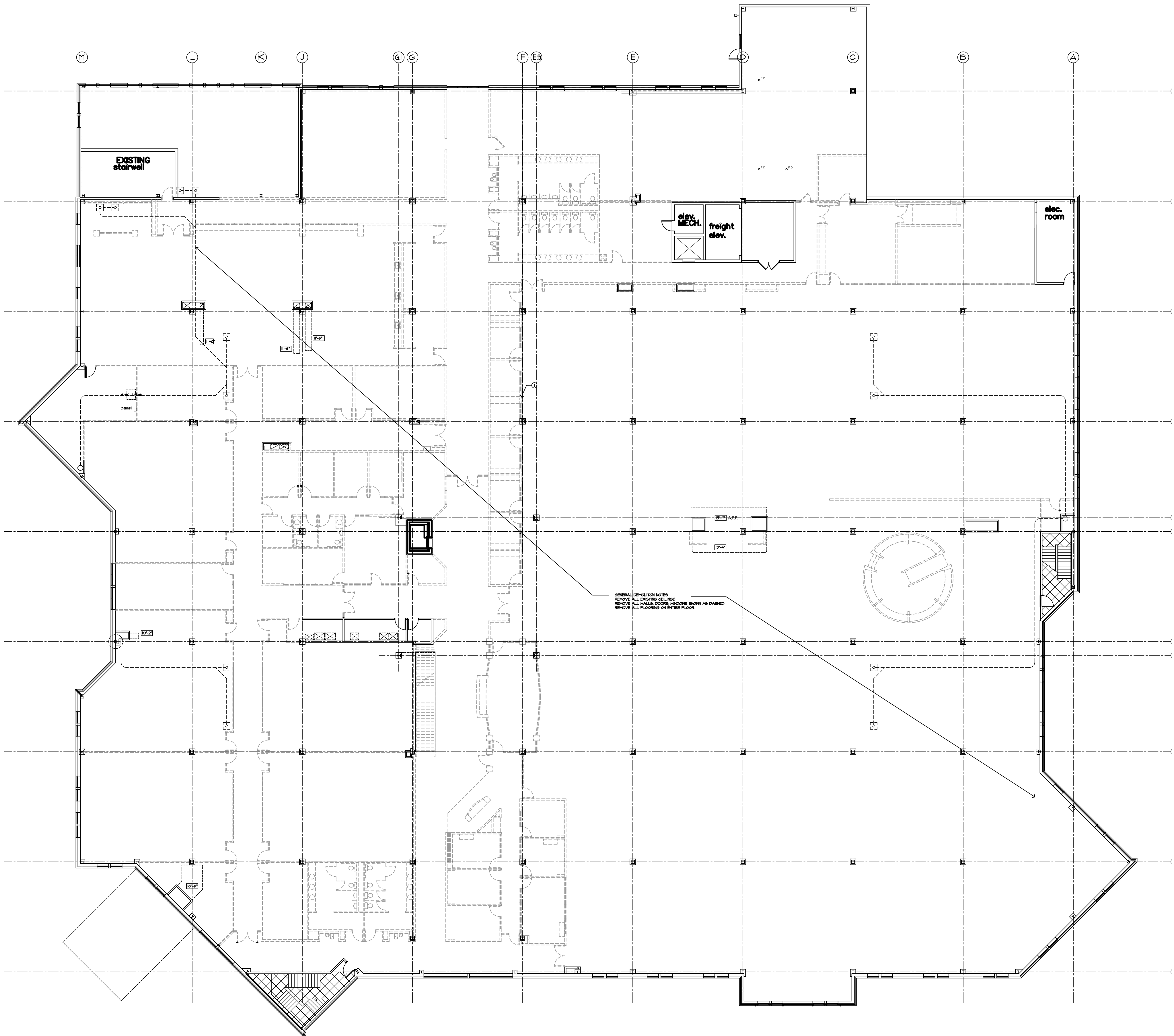
FISHER & ASSOCIATES, LLC

Architects / Planners

1000 BALSAM LAKE ROAD, CRIVITZ, WI 53007-1552  
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fisher@fisherandassociatesllc.com

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GENERAL DEMOLITION NOTES  
REMOVE ALL EXISTING CEILING  
REMOVE ALL WALLS, DOORS, WINDOWS SHOWN AS DASHED  
REMOVE ALL FLOORING ON ENTIRE FLOOR

**DEMOLITION NOTES**

- 1 REMOVE EXISTING WALLS INCLUDING ELECTRICAL DEVICES.
- 2 REMOVE DOOR AND FRAME AND HARDWARE. SALVAGE DOOR AND HARDWARE FOR REUSE ON THIS PROJECT.
- 3 REMOVE H.M. BORROWED LIGHT W/ GLASS. SALVAGE FOR REUSE ON THIS PROJECT.
- 4 REMOVE EXISTING FLOOR COVERING AND EXISTING BASE. PREP. FOR NEW CARPET.
- 5 REMOVE EXISTING FLOOR COVERING AND EXISTING BASE. PREP. FOR NEW VGT TILE.
- 6 REMOVE EXISTING FLOOR COVERING AND EXISTING BASE. PREP. FOR EXPOSED CONCRETE.
- 7 REMOVE EXISTING DRYWALL CEILING AND AND METAL FRAMING.
- 8 REMOVE EXISTING CEILING TILES AND GRID SAVE FULL TILES FOR REUSE. DEMOLITION CONTRACTOR TO TEMPORARY SUSPEND LIGHT FIXTURES AND HVAC GRILLES AND DIFFUSERS.
- 9 NOT USED
- 10 NOT USED
- 11 NOT USED

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fisher@fisherandassociatesllc.com

**PROJECT:**

PROPOSED BUILDING ALTERATIONS FOR:  
**ADAMS STREET BUILDING**  
301 NORTH ADAMS STREET  
CITY OF GREEN BAY

**DRAWN BY:**

R.F.

**CHK'D BY:**

R.F.

**JOB NUMBER:**

20059

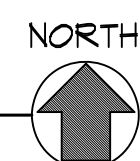
**DATE:**

12/8/20

**D1.0**

REVISED PER FIELD MEETING 8/14/23  
REVISED PER FIELD INVESTIGATIONS 5/11/23  
REVISED FOR CONSTRUCTION 3/1/23

DEMOLITION  
SECOND FLOOR  
FLOOR PLAN  
1/16" = 1'-0"







NORTH

A circular arrow pointing upwards, indicating North.

**PROJECT:**  
PROPOSED BUILDING ALTERATIONS FOR:  
**ADAMS STREET BUILDING**  
301 NORTH ADAMS STREET  
CITY OF GREEN BAY

|                    |
|--------------------|
| <i>DRAWN BY:</i>   |
| RJF                |
| <i>CHK'D BY:</i>   |
| RJF                |
| <i>JOB NUMBER:</i> |
| 20059              |
| <i>DATE:</i>       |
| 12/8/20            |

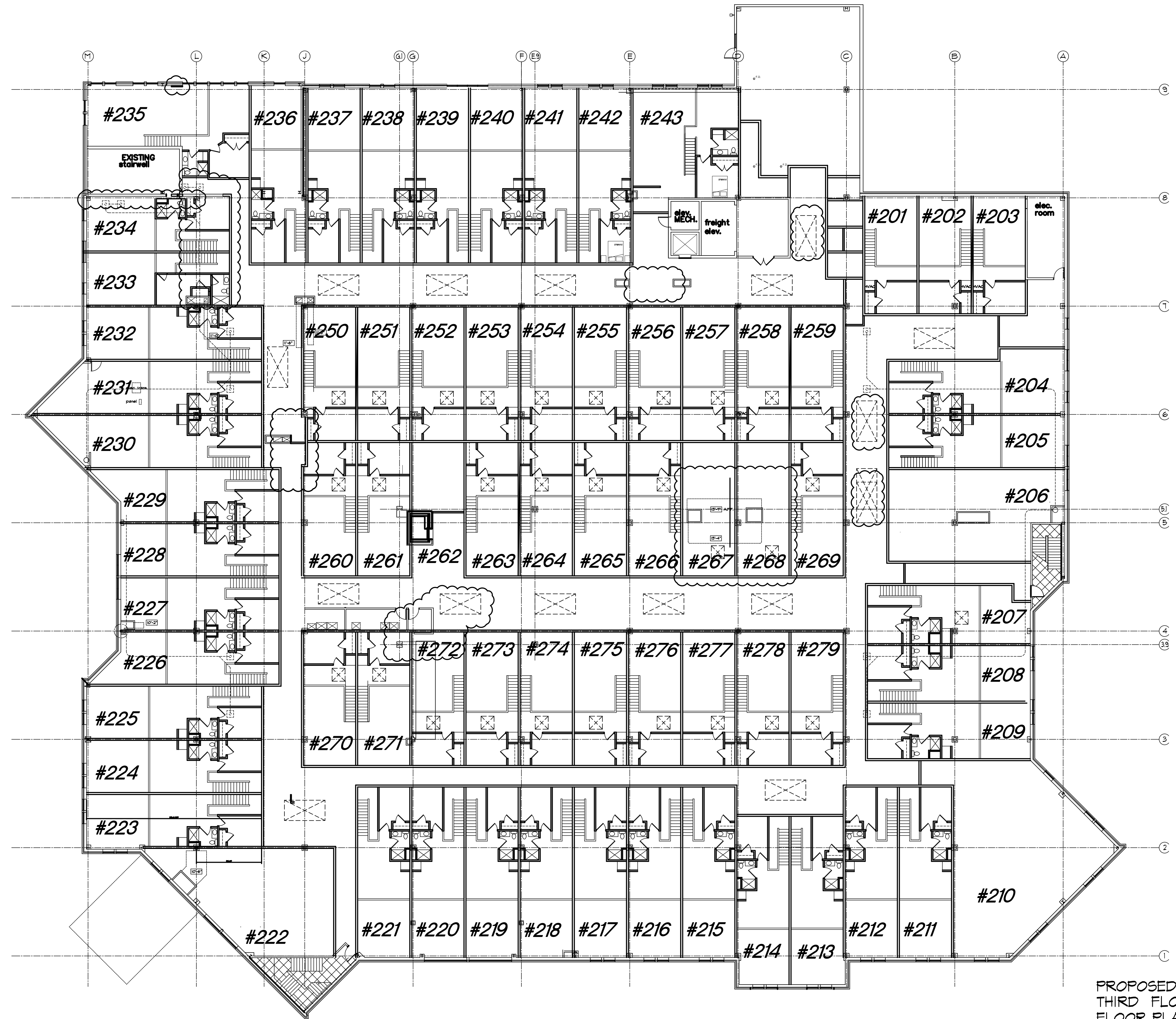
### A1.1

**FISHER & ASSOCIATES, LLC**  
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PH: (313) 532-4184  
r.fisher@fisherandassociatesllc.com

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PROPOSED  
THIRD FLOOR  
FLOOR PLAN  
1/16" = 1'-0"

REVISED PER FIELD MEETING 8/14/23  
REVISED PER FIELD INVESTIGATIONS 5/11/23  
REVISED FOR CONSTRUCTION 3/11/23

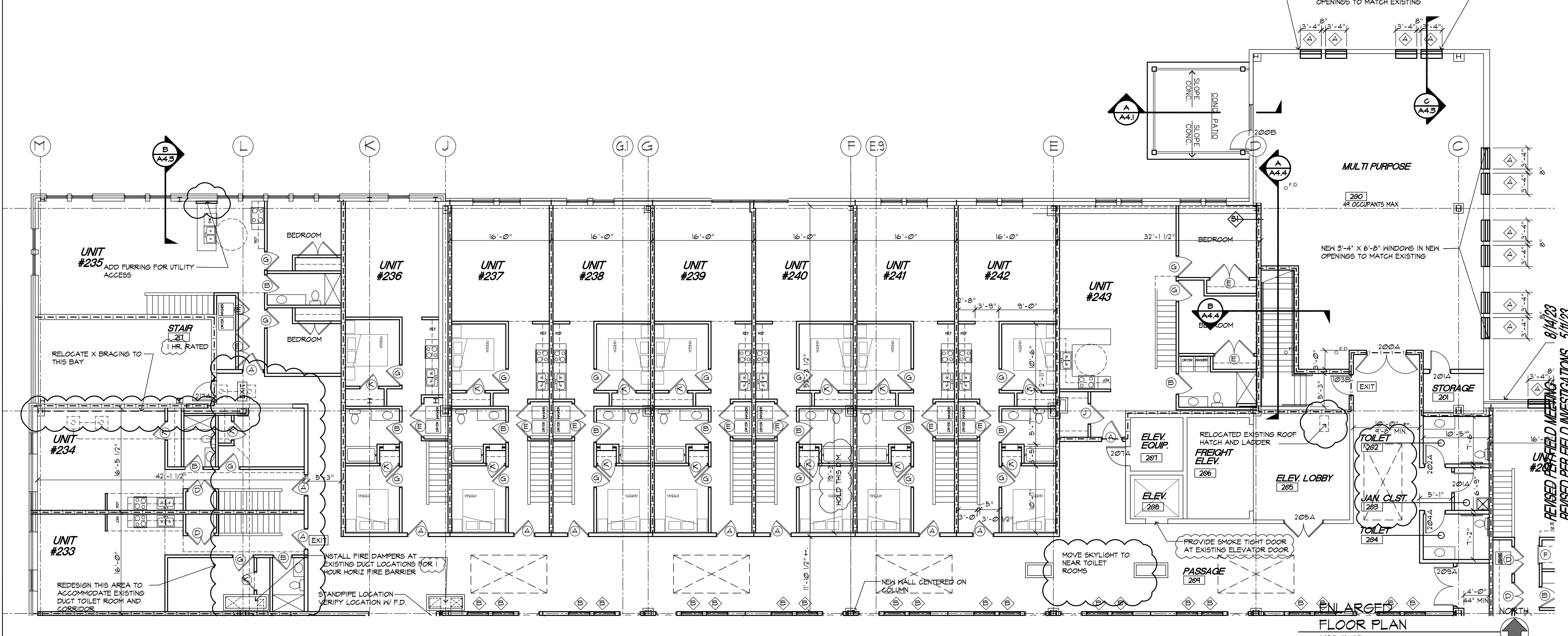
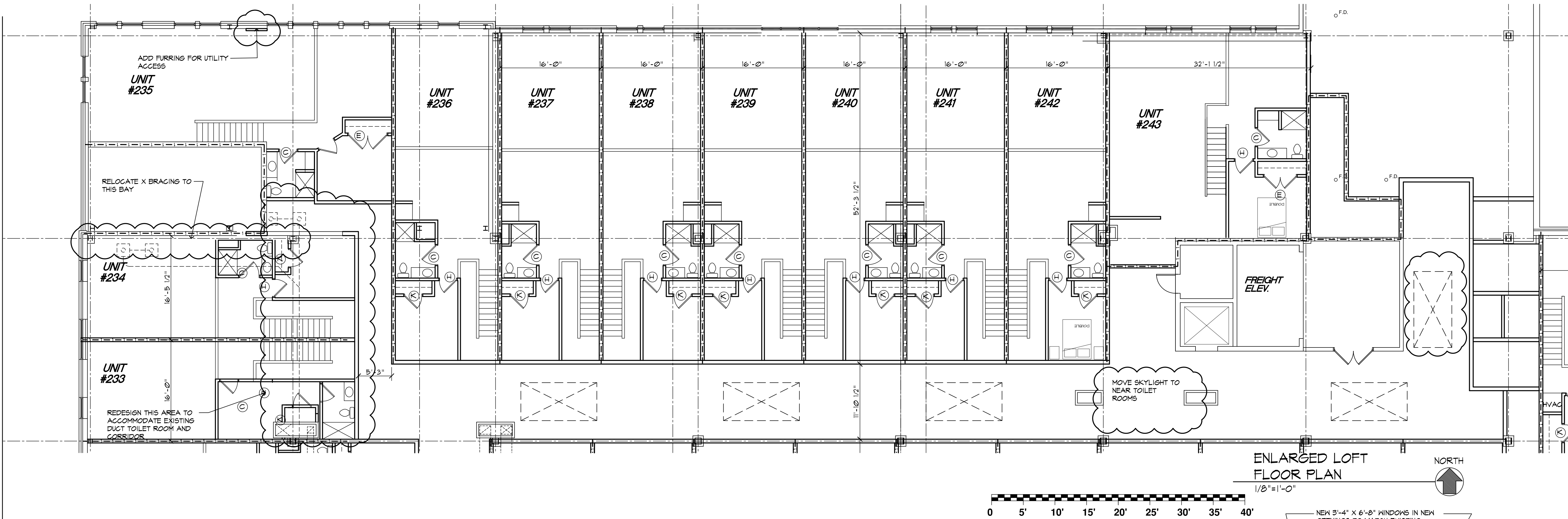
DRAWN BY:  
R.J.F.  
CHK'D BY:  
R.J.F.  
JOB NUMBER:  
20059  
DATE:  
12/8/20

PROJECT:  
PROPOSED BUILDING ALTERATIONS FOR:  
**ADAMS STREET BUILDING**  
301 NORTH ADAMS STREET  
CITY OF GREEN BAY

FISHER & ASSOCIATES, LLC  
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18651 BALSAM LAKE ROAD, CRIVITZ, WI  
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info@fisherandassociatesllc.com

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| 1   | ISSUED FOR PERMITS               | 8/14/23 |
| 2   | REVISED PER FIELD INVESTIGATIONS | 5/11/23 |
| 3   | REVISED FOR CONSTRUCTION         | 3/11/23 |

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18654 BALSAM LAKE ROAD, CRIVITZ, IN 46030-1922  
PH: 219-232-8888  
FISHER@FISHERANDASSOCIATESLLC.COM

WISCONSIN

PROJECT:  
PROPOSED BUILDING ALTERATIONS FOR:  
**ADAMS STREET BUILDING**  
301 NORTH ADAMS STREET  
CITY OF GREEN BAY

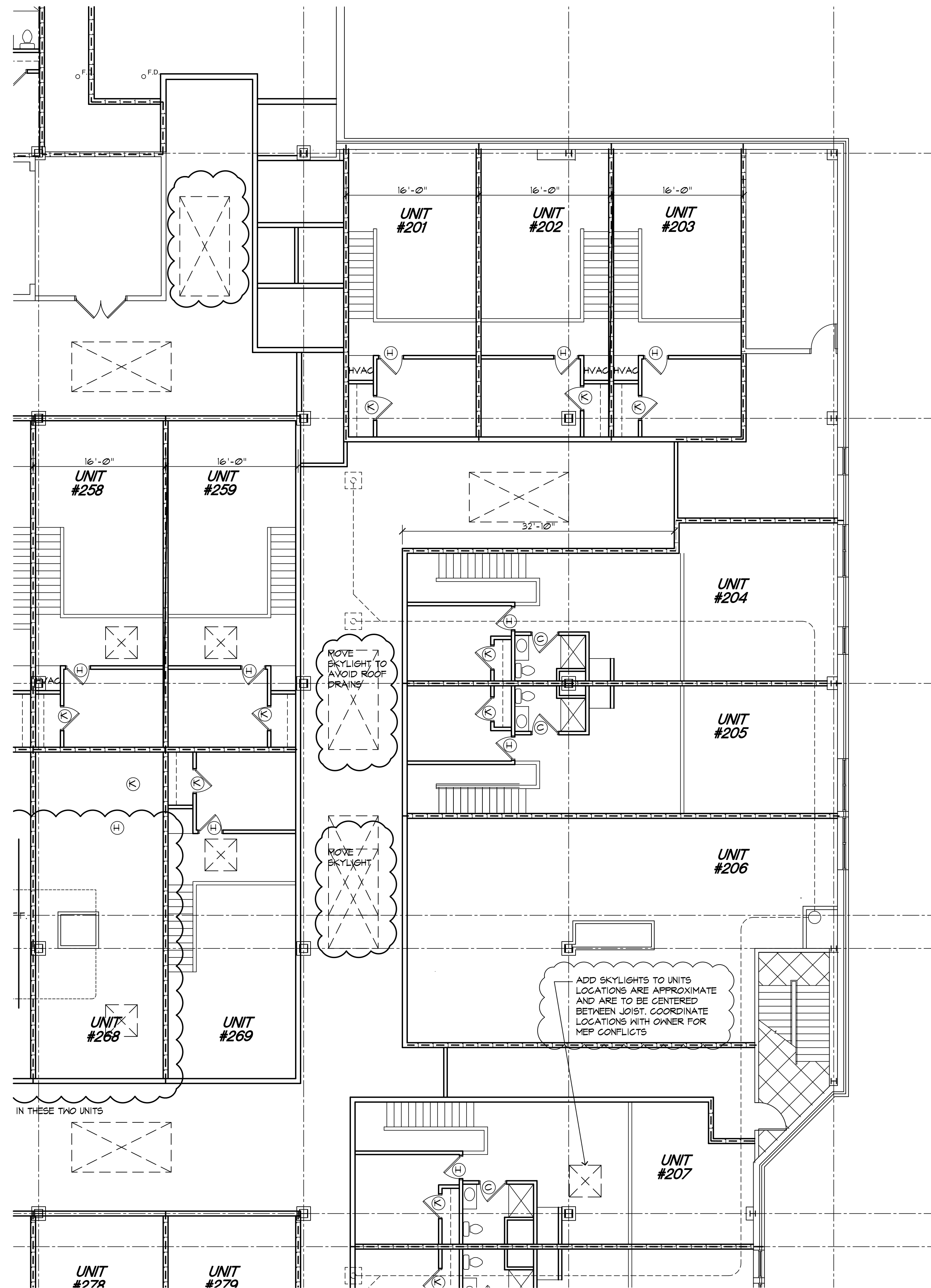
DRAWN BY:  
R.F.

CHK'D BY:  
R.F.

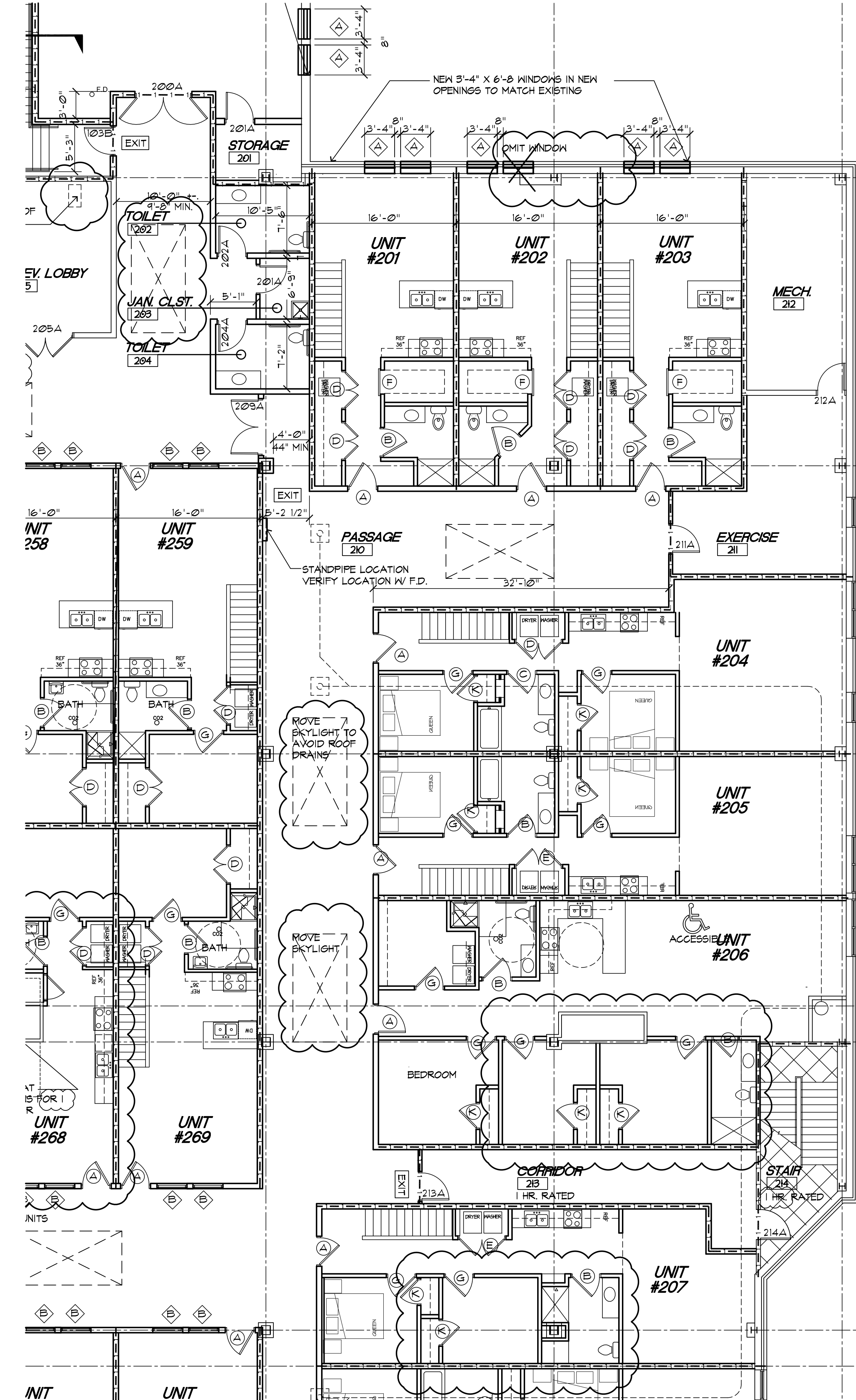
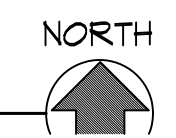
JOB NUMBER:  
20059

DATE:  
9/10/22

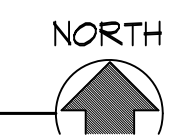
A1.4



ENLARGED LOFT FLOOR PLAN



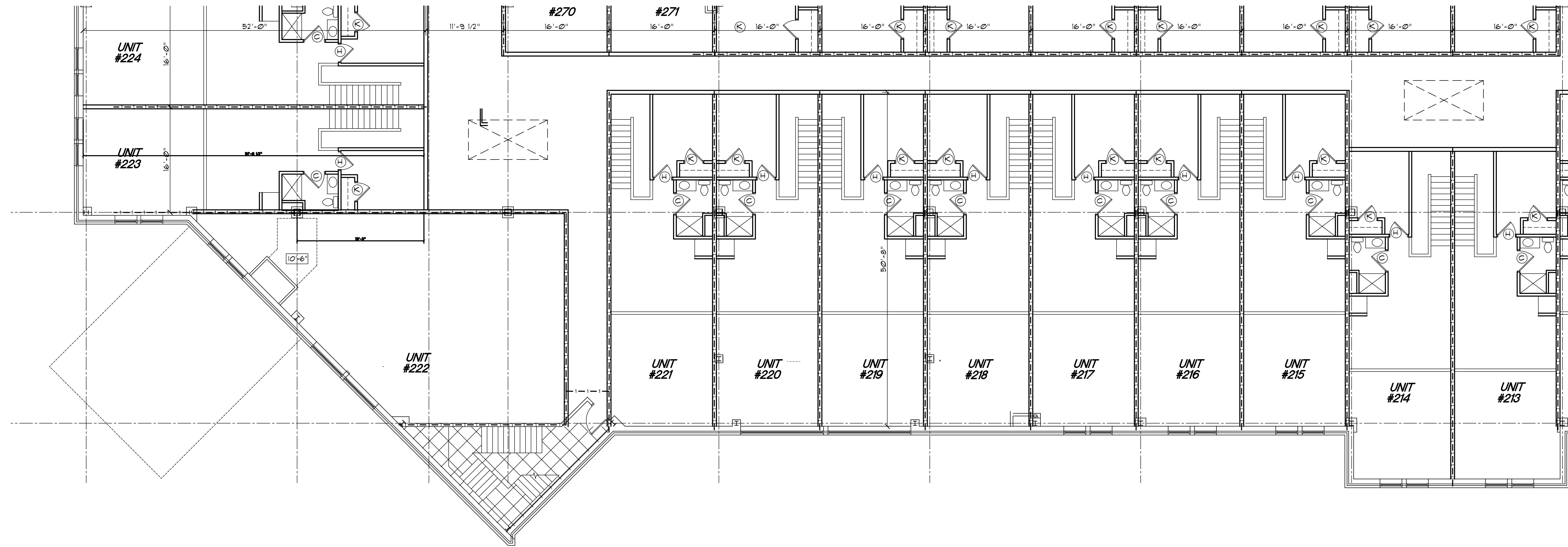
ENLARGED FLOOR PLAN



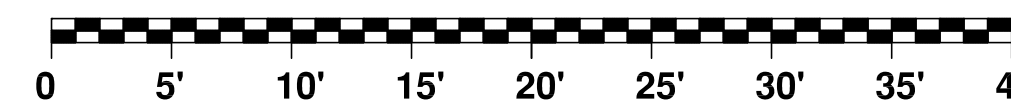
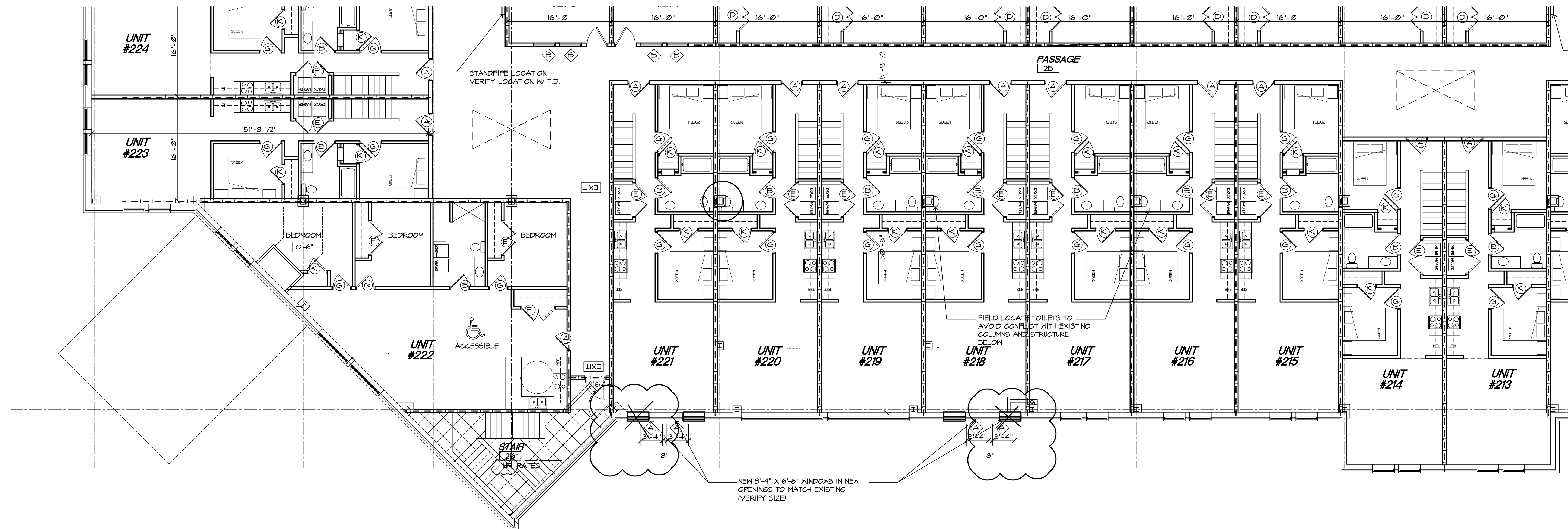
REVISED PER FIELD MEETING 8/14/23  
REVISED PER FIELD INVESTIGATIONS 5/11/23  
REVISED FOR CONSTRUCTION 3/11/23

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| <p>PROJECT: PROPOSED BUILDING ALTERATIONS FOR:<br/><b>ADAMS STREET BUILDING</b><br/>301 NORTH ADAMS STREET<br/>CITY OF GREEN BAY</p>                                                                                                                                                                         |                             |
| <p>WISCONSIN</p>                                                                                                                                                                                                                                                                                             |                             |
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| <p>REVISIONS:</p>                                                                                                                                                                                                                                                                                            |                             |
| <p>DRAWN BY:<br/>R.J.F.</p>                                                                                                                                                                                                                                                                                  | <p>CHK'D BY:<br/>R.J.F.</p> |
| <p>JOB NUMBER:<br/>20059</p>                                                                                                                                                                                                                                                                                 |                             |
| <p>DATE:<br/>9/10/22</p>                                                                                                                                                                                                                                                                                     |                             |





ENLARGED LOFT  
FLOOR PLAN  
1/8"=1'-0"



ENLARGED  
FLOOR PLAN  
1/8"=1'-0"

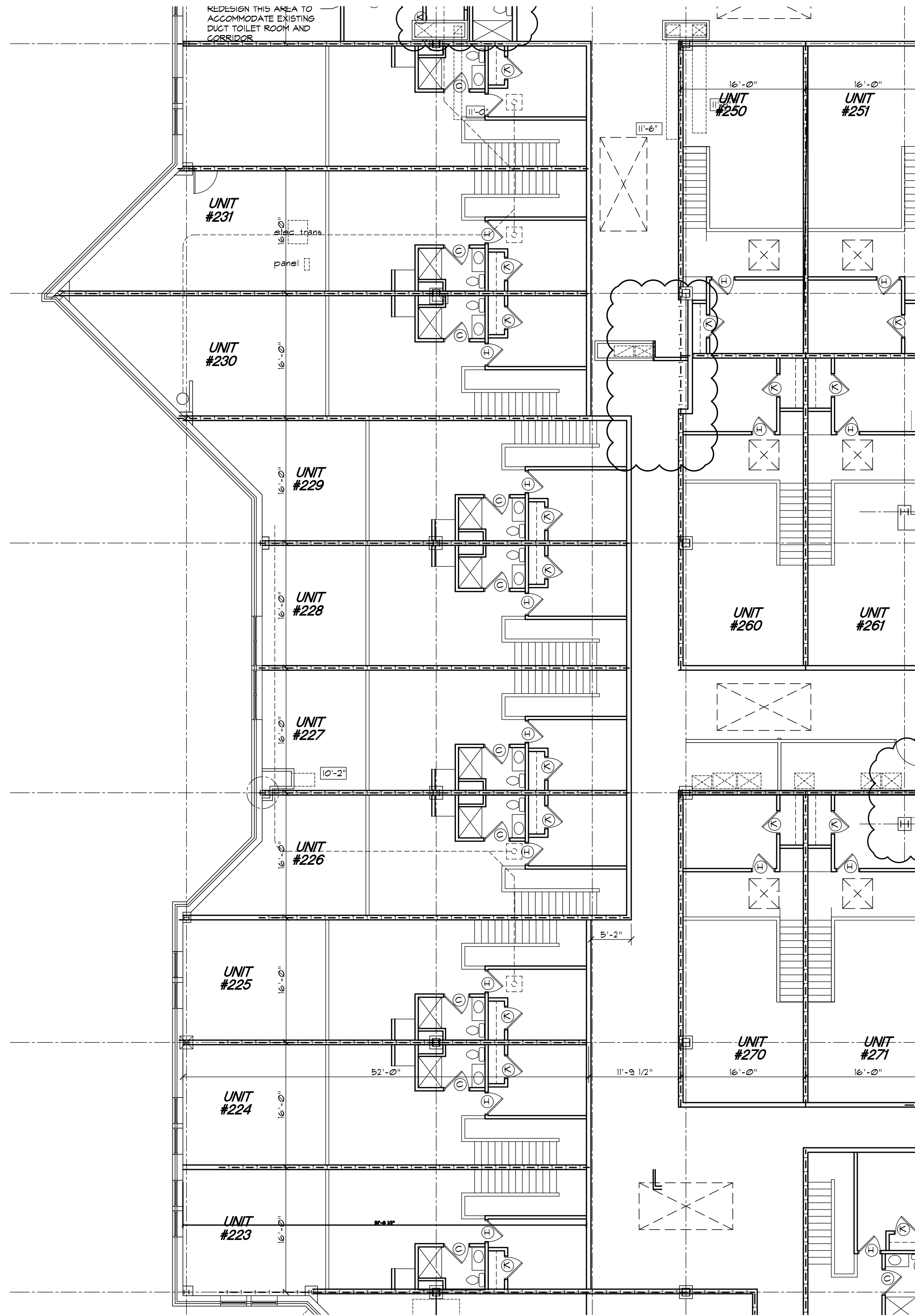


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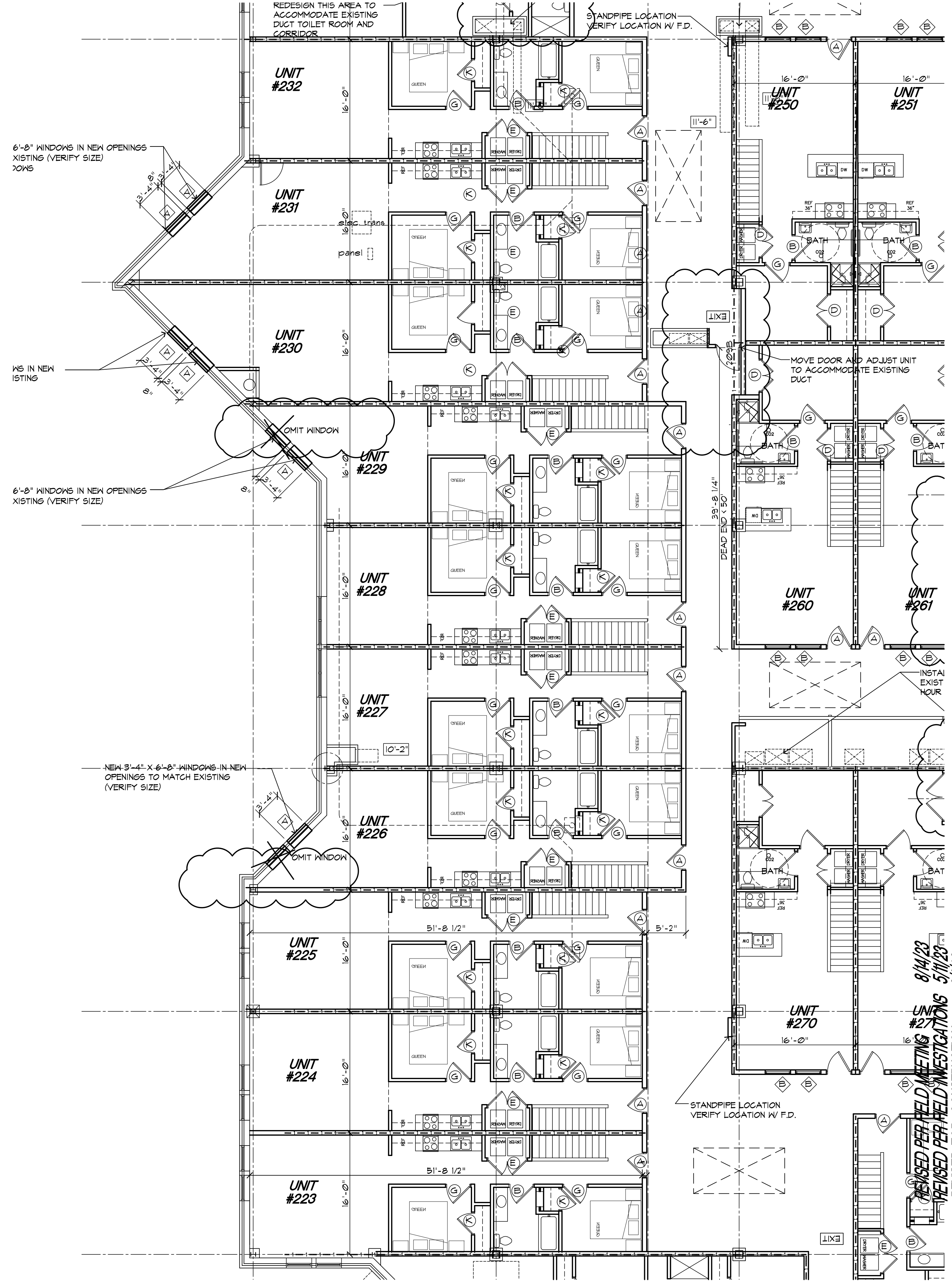
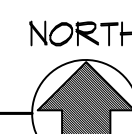
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PH: 426.532.4444  
info@fisherandassociatesllc.com

|                                    |         |
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| PROJECT:                           |         |
| PROPOSED BUILDING ALTERATIONS FOR: |         |
| ADAMS STREET BUILDING              |         |
| 301 NORTH ADAMS STREET             |         |
| CITY OF GREEN BAY                  |         |
| DRAWN BY:                          | RJF     |
| CHK'D BY:                          | RJF     |
| JOB NUMBER:                        | 20059   |
| DATE:                              | 9/10/22 |



ENLARGED LOFT  
FLOOR PLAN



ENLARGED  
FLOOR PLAN



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WISCONSIN

PROJECT:  
PROPOSED BUILDING ALTERATIONS FOR:  
ADAMS STREET BUILDING  
301 NORTH ADAMS STREET  
CITY OF GREEN BAY

DRAWN BY:

RJF

CHK'D BY:

RJF

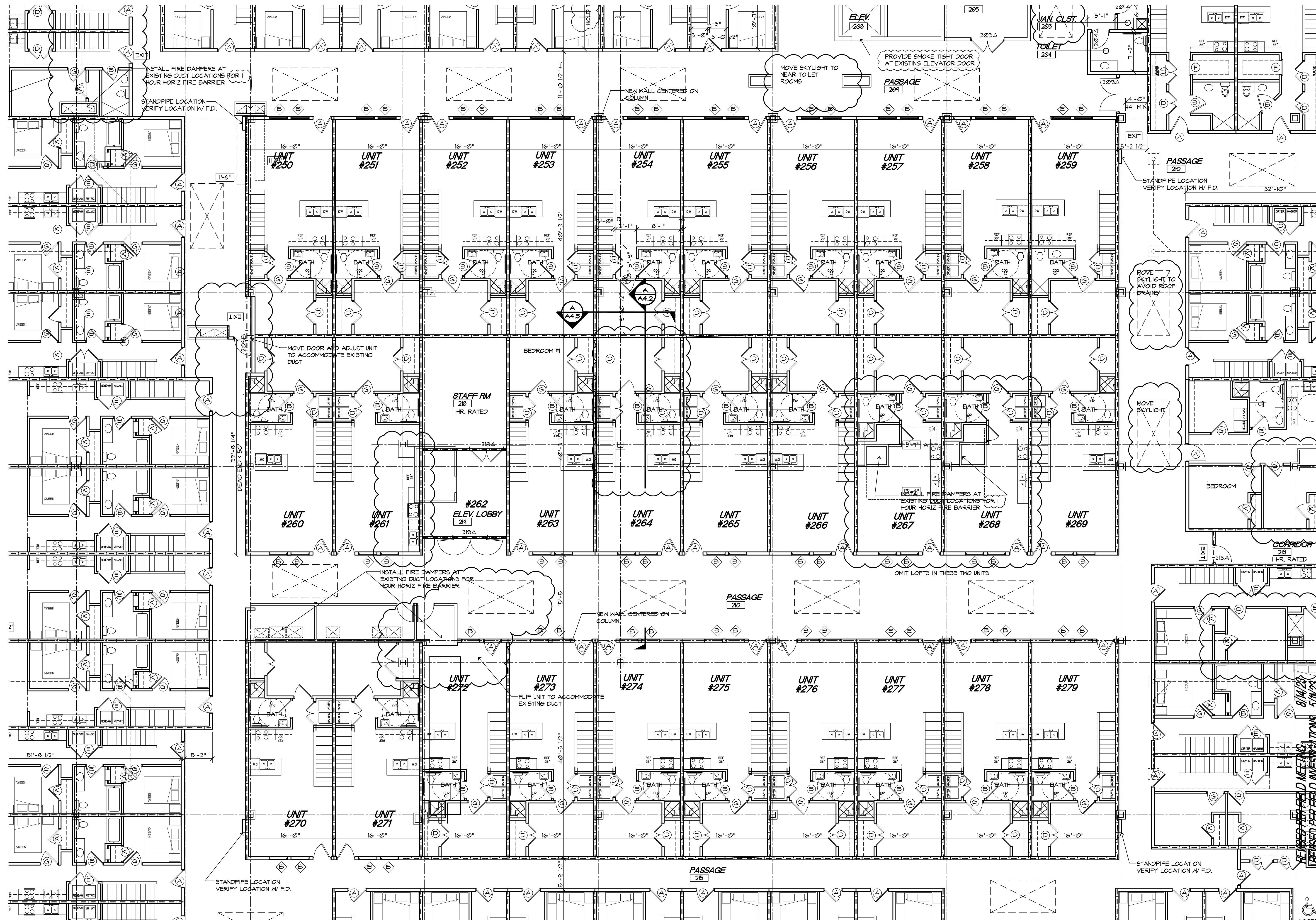
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A1.8



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|-----|----------------------------------|---------|
| 1   | ISSUED FOR FIELD MEETING         | 8/14/23 |
| 2   | REVISED PER FIELD INVESTIGATIONS | 5/11/23 |
| 3   | REVISED FOR CONSTRUCTION         | 3/11/23 |

PROJECT:

PROPOSED BUILDING ALTERATIONS FOR:  
**ADAMS STREET BUILDING**  
301 NORTH ADAMS STREET  
CITY OF GREEN BAY

WISCONSIN

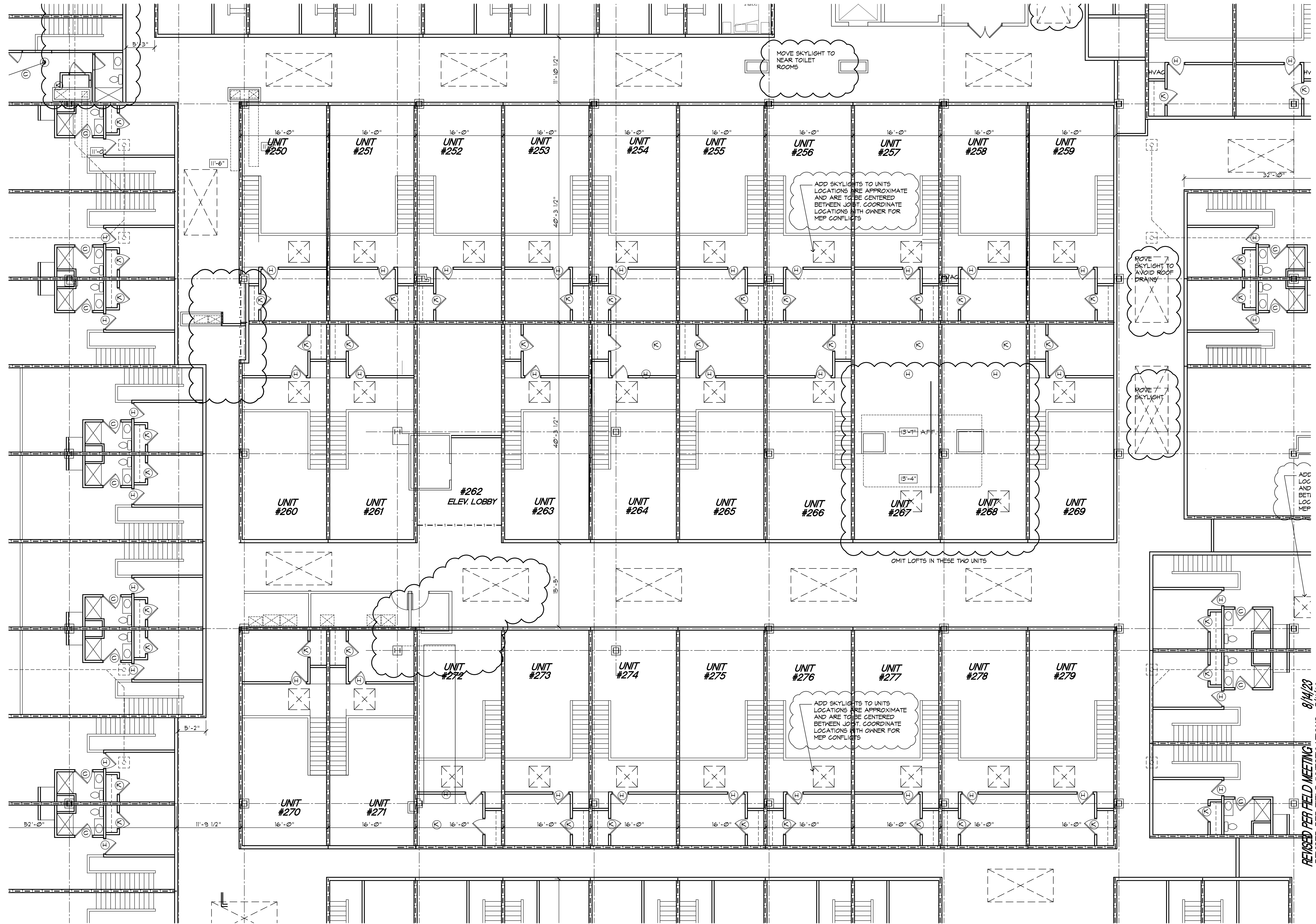
DRAWN BY:  
R.F.

CHK'D BY:  
R.F.

JOB NUMBER:  
20059

DATE:  
9/10/22

A1.9



OVERALL LOFT FLOOR PLAN



REVISED PER FIELD MEETING 8/14/23  
REVISED PER FIELD INVESTIGATIONS 5/11/23  
REVISED FOR CONSTRUCTION 3/11/23

PROJECT:  
PROPOSED BUILDING ALTERATIONS FOR:  
**ADAMS STREET BUILDING**  
301 NORTH ADAMS STREET  
CITY OF GREEN BAY

DRAWN BY:  
R.F.  
CHK'D BY:  
R.F.  
JOB NUMBER:  
20059  
DATE:  
9/10/22

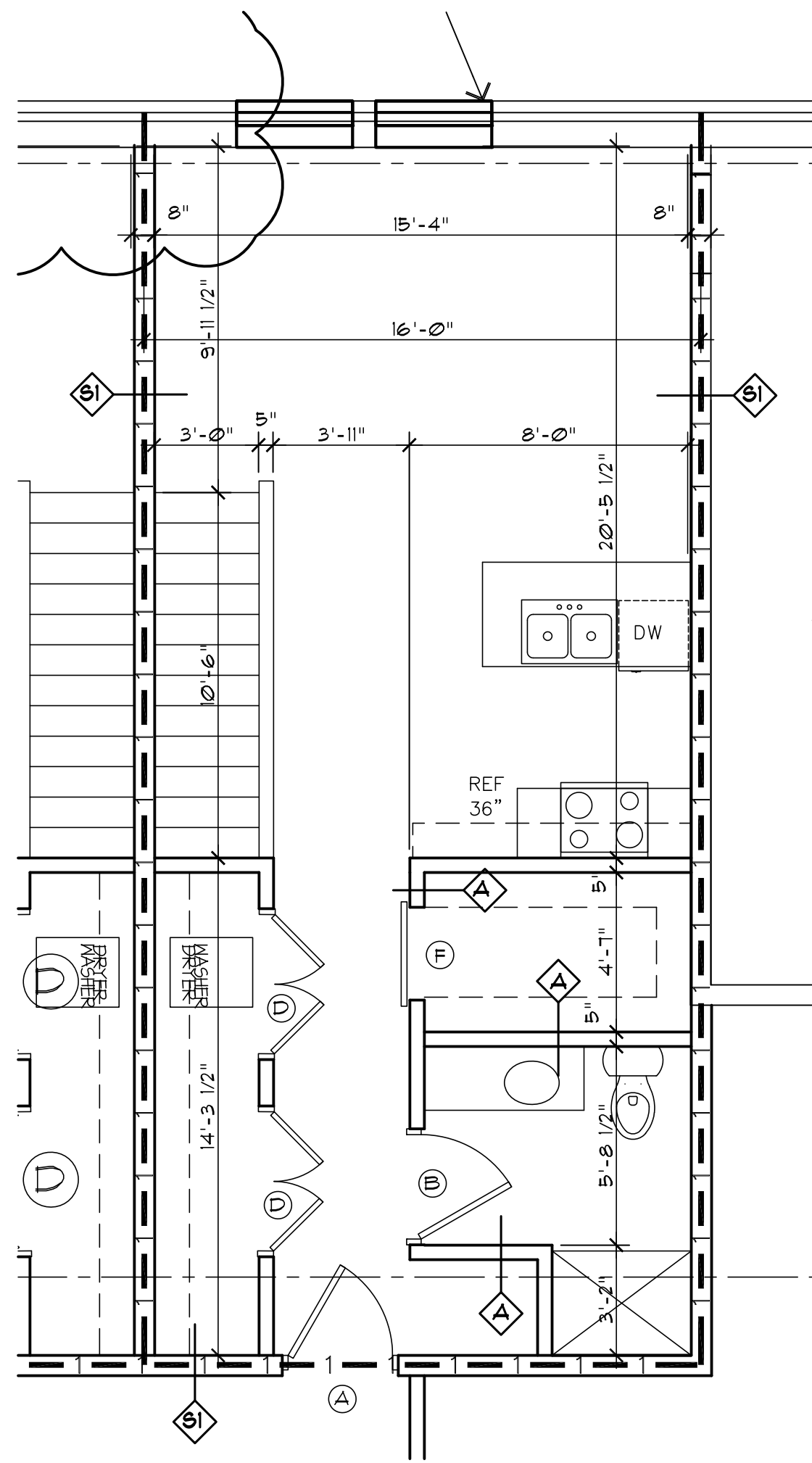
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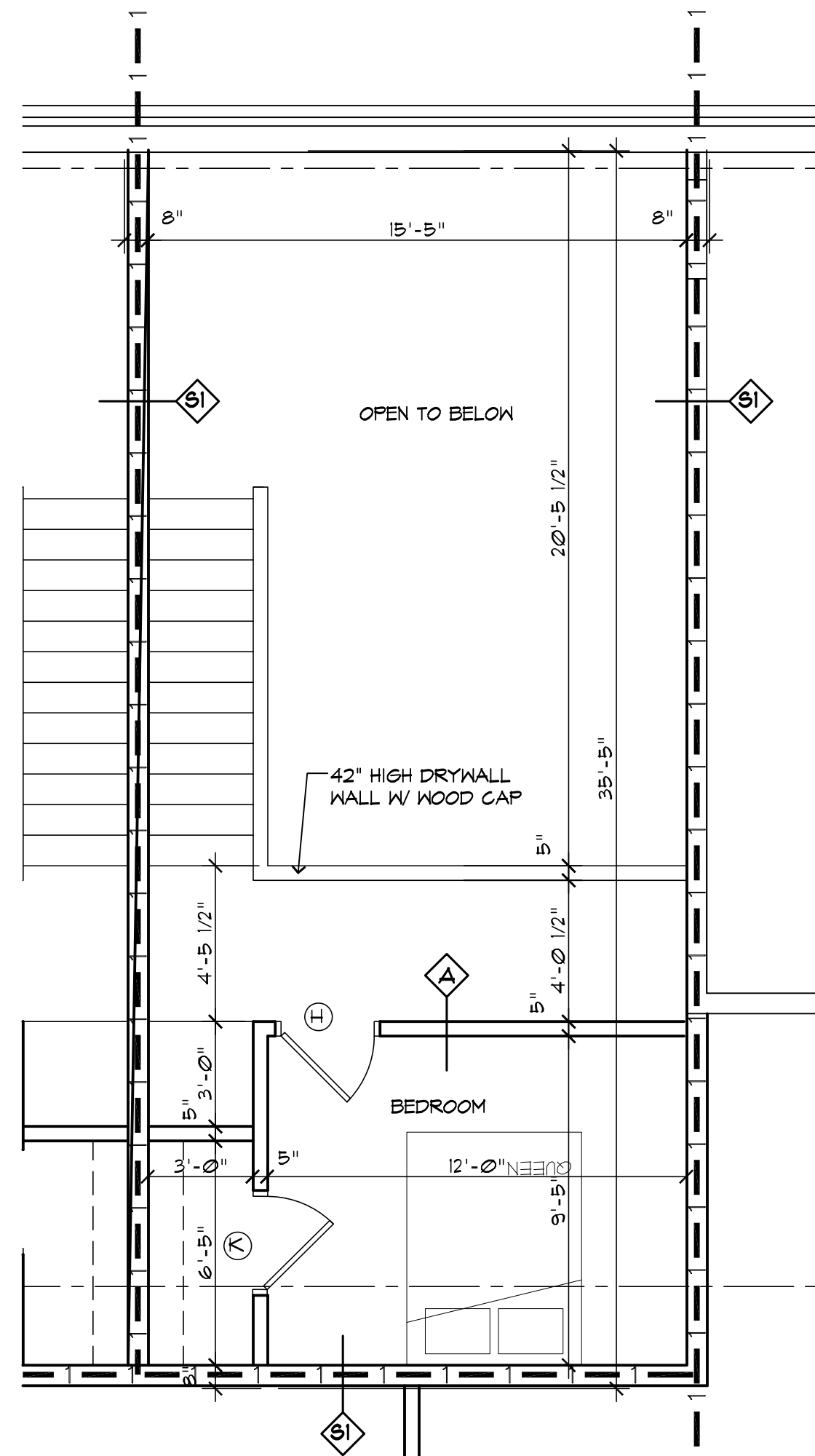
A1.10



ONE BEDROOM LAYOUT W/ LOFT  
560 S.F. PLUS 210 S.F. LOFT

ENLARGED  
FLOOR PLAN  
1/4"=1'-0"

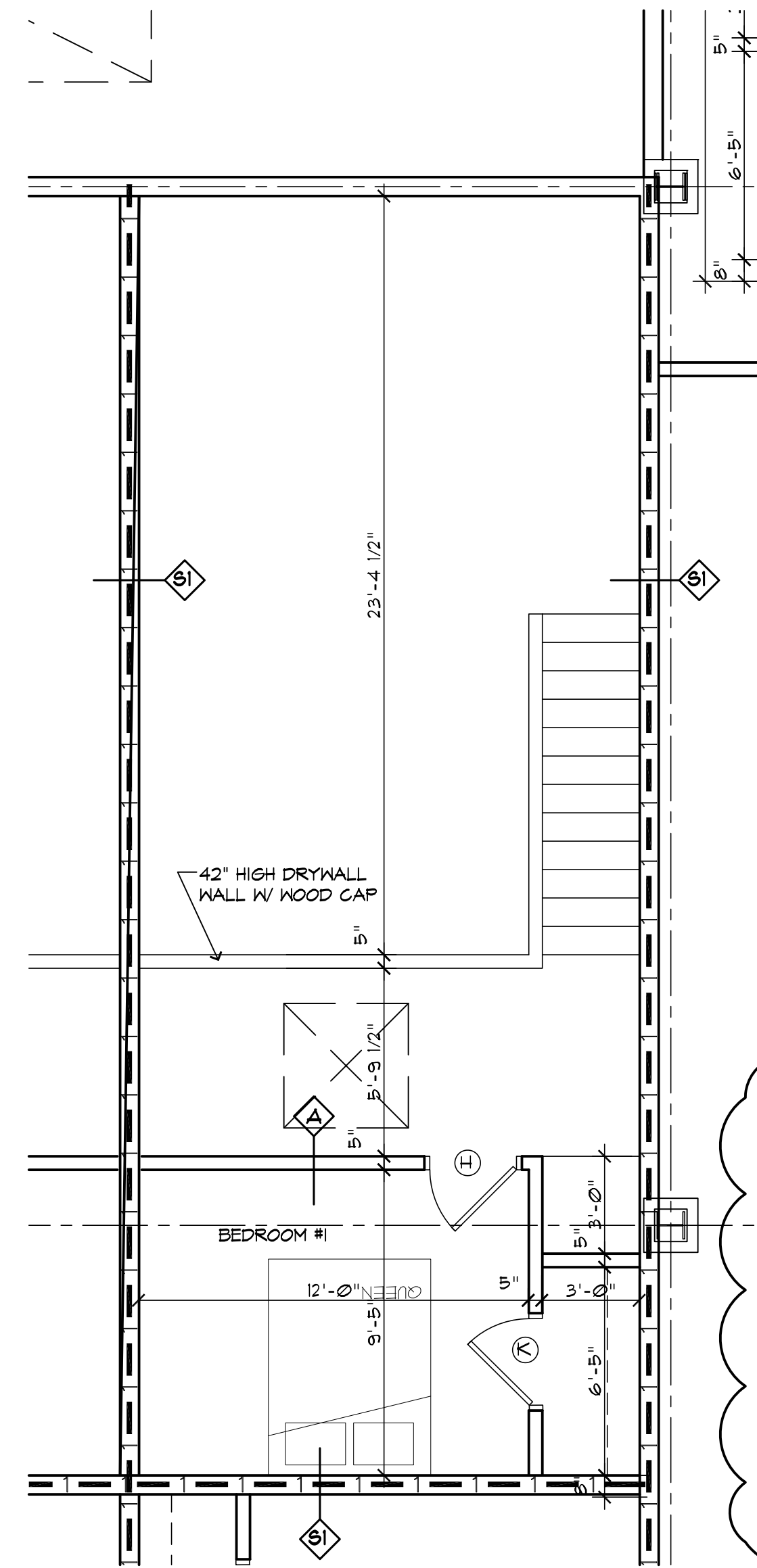
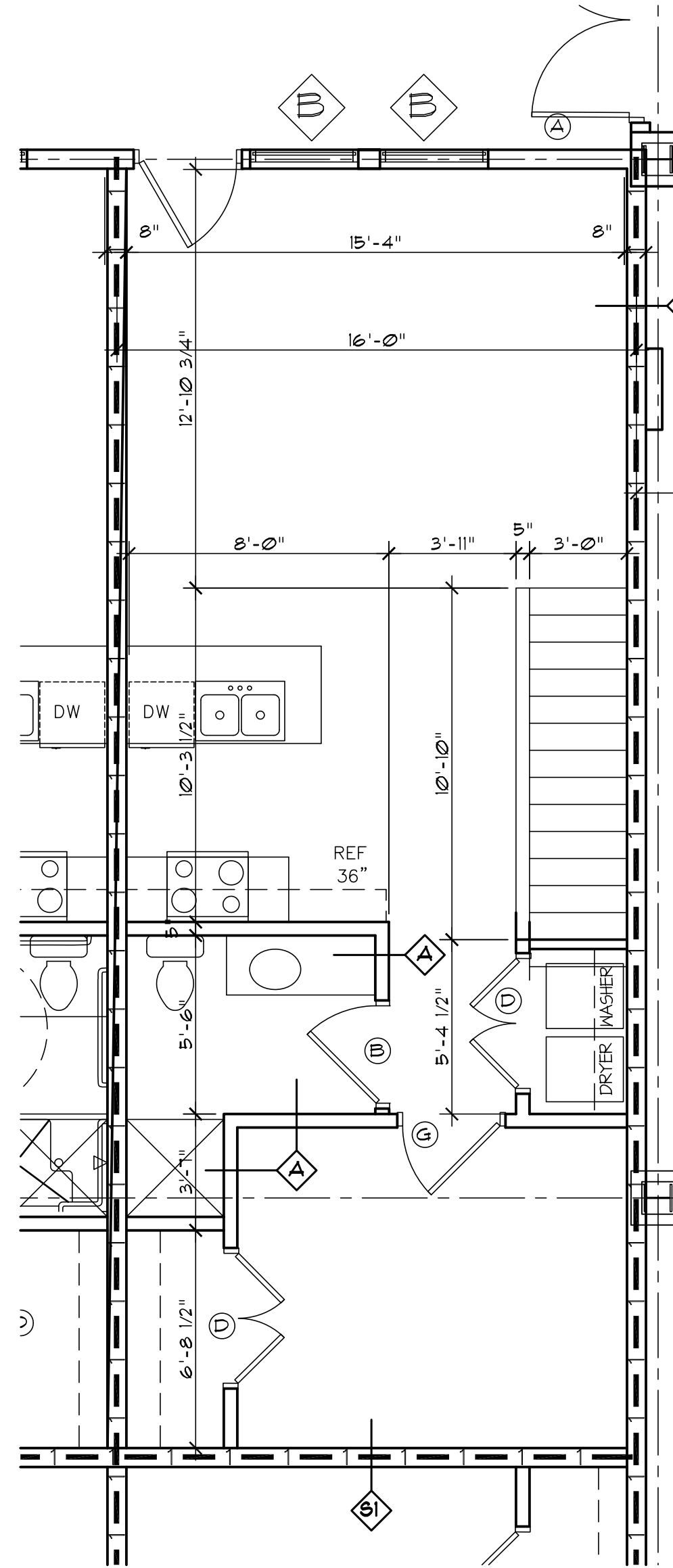
NORTH



TWO BEDROOM LAYOUT W/ LOFT  
640 S.F. PLUS 260 S.F. LOFT

ENLARGED  
FLOOR PLAN  
1/4"=1'-0"

NORTH

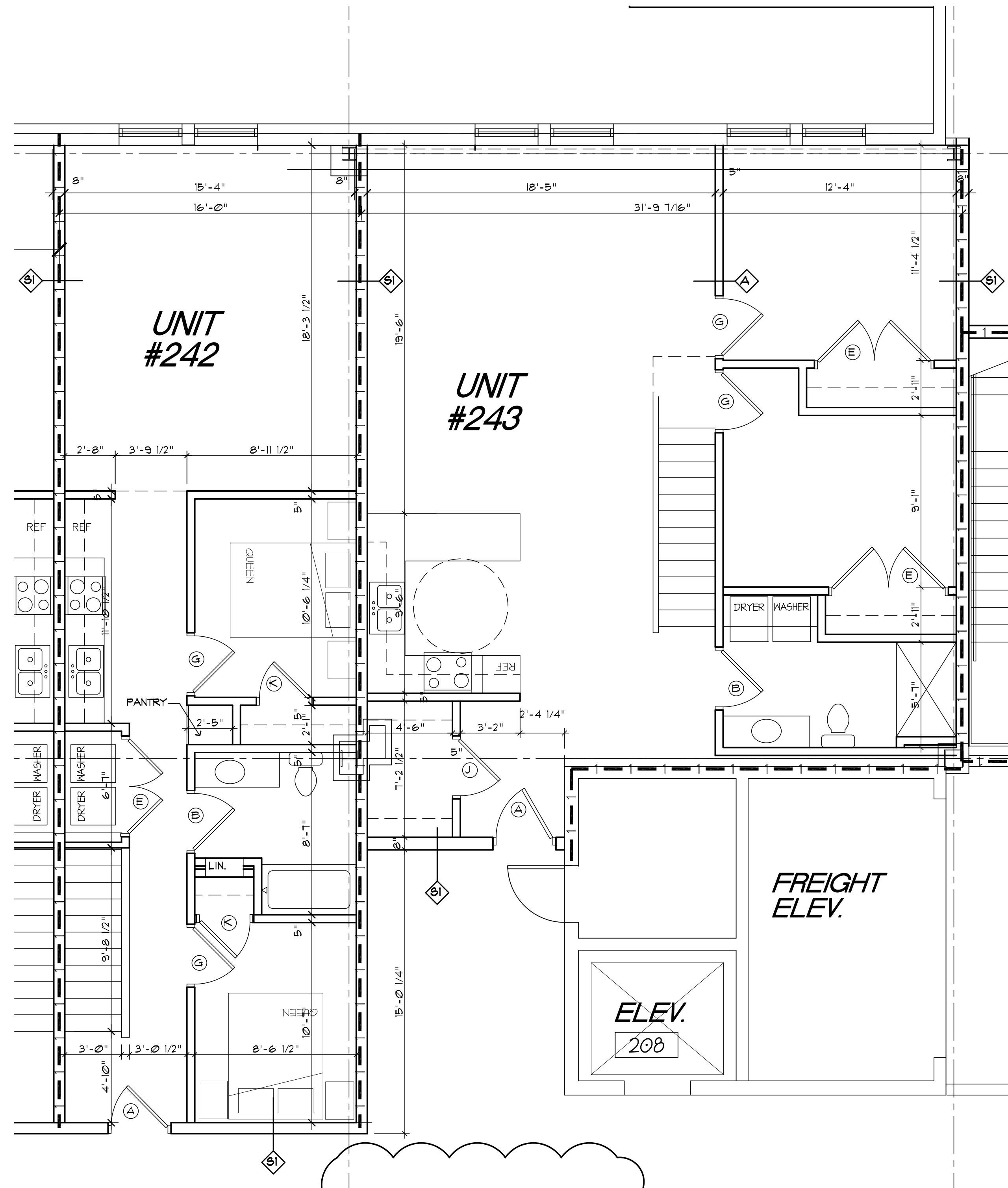


REVISED PER FIELD MEETING 8/14/23  
REVISED PER FIELD INVESTIGATIONS 5/11/23  
REVISED FOR CONSTRUCTION 3/11/23

|             |                                                                                                                   |
|-------------|-------------------------------------------------------------------------------------------------------------------|
| PROJECT:    | PROPOSED BUILDING ALTERATIONS FOR:<br><b>ADAMS STREET BUILDING</b><br>301 NORTH ADAMS STREET<br>CITY OF GREEN BAY |
| DRAWN BY:   | RJF                                                                                                               |
| CHK'D BY:   | RJF                                                                                                               |
| JOB NUMBER: | 20059                                                                                                             |
| DATE:       | 9/10/22                                                                                                           |

|                                                                                                                                                                                                                                                                                                                                                                |                                                                                                                                                               |                  |
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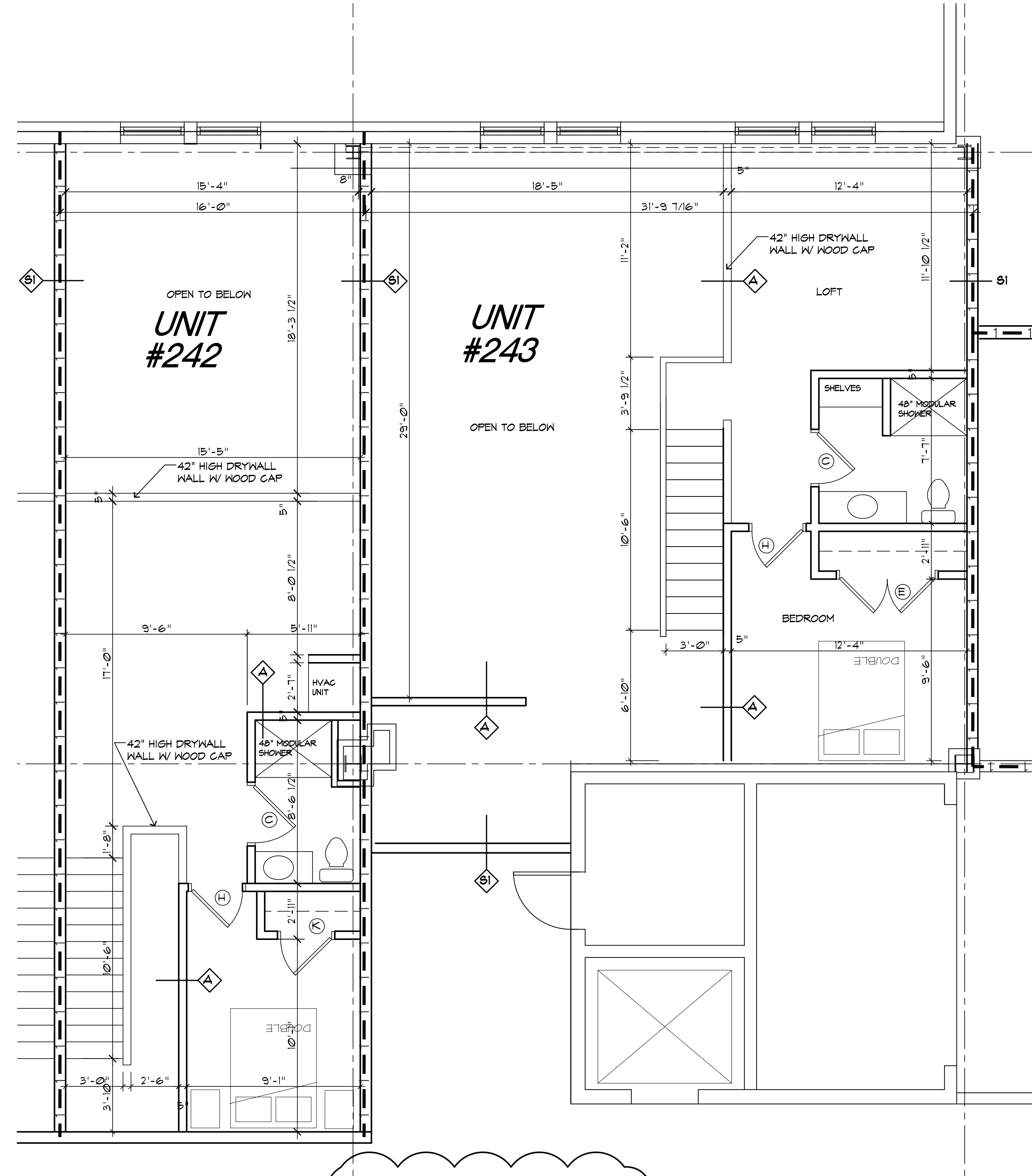
A1.11



THREE BEDROOM LAYOUT W/ LOFT  
800 S.F. PLUS 400 S.F. LOFT

THREE BEDROOM CORNER UNIT W/ LOFT  
1050 S.F. PLUS 400 S.F. LOFT

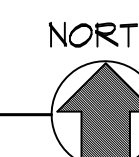
ENLARGED  
FLOOR PLAN  
1/4"=1'-0"



THREE BEDROOM LAYOUT W/ LOFT  
800 S.F. PLUS 400 S.F. LOFT

THREE BEDROOM CORNER UNIT W/ LOFT  
1050 S.F. PLUS 400 S.F. LOFT

ENLARGED  
FLOOR PLAN  
1/4"=1'-0"



REVISED PER FIELD MEETING 8/14/23  
REVISED PER FIELD INVESTIGATIONS 5/11/23  
REVISED FOR CONSTRUCTION 3/11/23

PROJECT:  
PROPOSED BUILDING ALTERATIONS FOR:  
**ADAMS STREET BUILDING**  
301 NORTH ADAMS STREET  
CITY OF GREEN BAY

DRAWN BY:  
R.J.F.  
CHK'D BY:  
R.J.F.  
JOB NUMBER:  
20059  
DATE:  
9/10/22

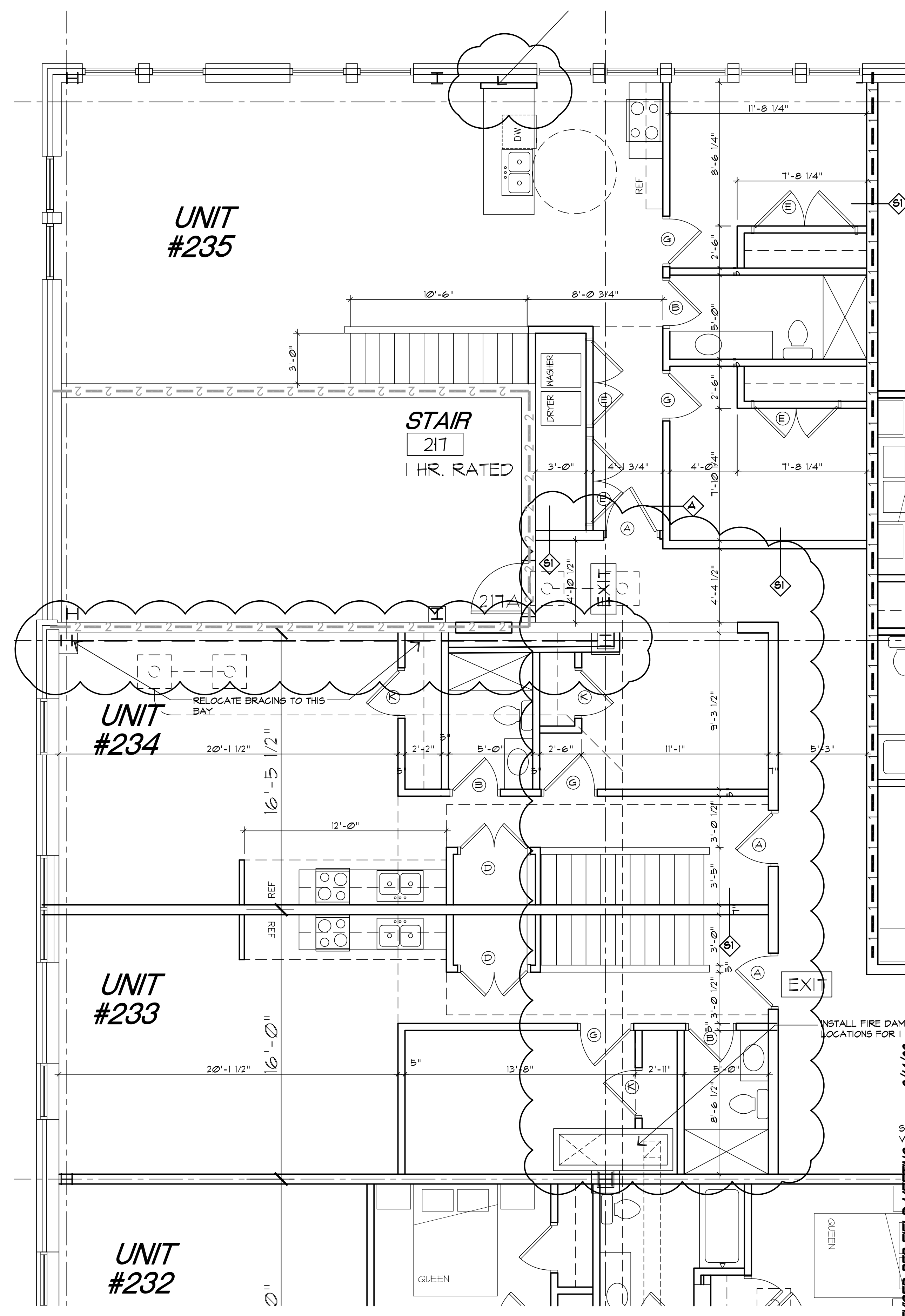
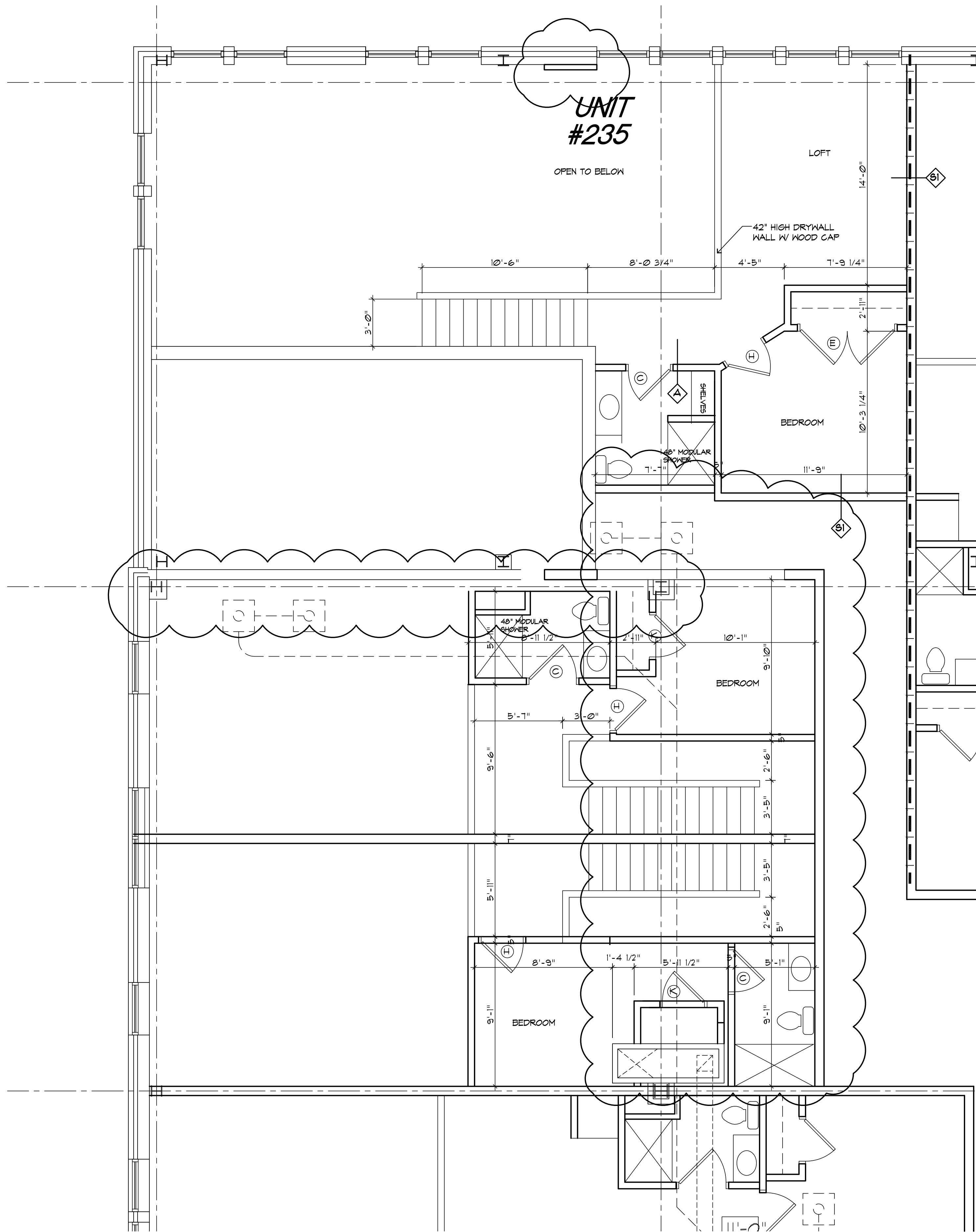
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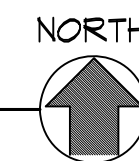
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A1.12



THREE BEDROOM CORNER UNIT W/ LOFT  
1025 S.F. PLUS 460 S.F. LOFT

ENLARGED  
FLOOR PLAN  
1/4"=1'-0"



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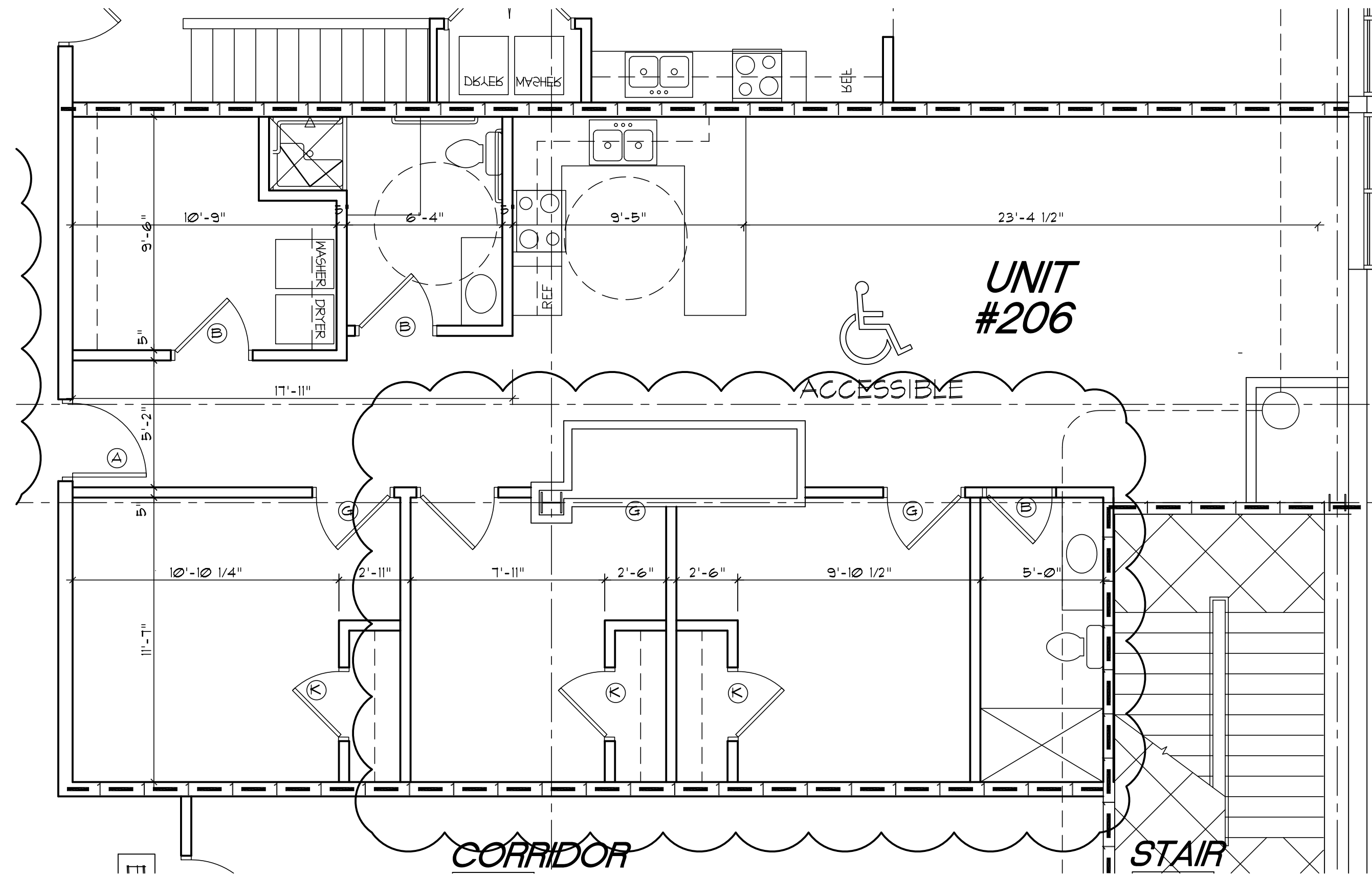
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PH: 202.532.4848  
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PROJECT:  
PROPOSED BUILDING ALTERATIONS FOR:  
**ADAMS STREET BUILDING**  
301 NORTH ADAMS STREET  
CITY OF GREEN BAY

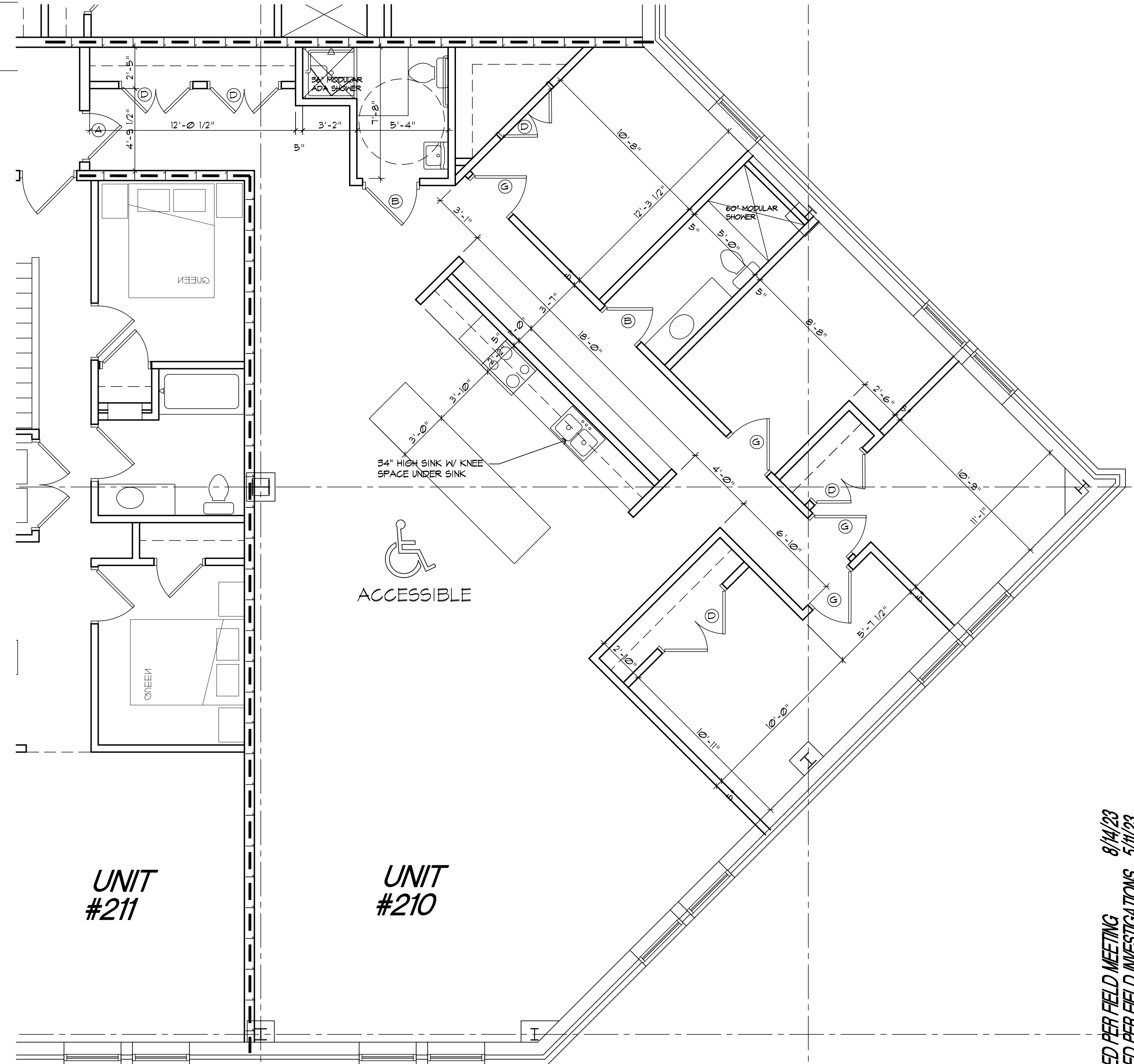
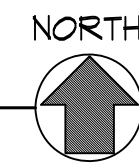
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| DRAWN BY:   |
| RJF         |
| CHK'D BY:   |
| RJF         |
| JOB NUMBER: |
| 20059       |
| DATE:       |
| 9/10/22     |

A1.13



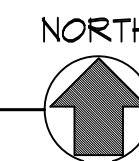
THREE BEDROOM UNIT WITHOUT LOFT  
--- S.F.

ENLARGED  
FLOOR PLAN  
1/4"=1'-0"



FOUR BEDROOM UNIT WITHOUT LOFT  
--- S.F.

ENLARGED  
FLOOR PLAN  
1/4"=1'-0"



REVISED PER FIELD MEETING 8/14/23  
REVISED PER FIELD INVESTIGATIONS 5/11/23  
REVISED FOR CONSTRUCTION 3/11/23

PROJECT:  
PROPOSED BUILDING ALTERATIONS FOR:  
**ADAMS STREET BUILDING**  
301 NORTH ADAMS STREET  
CITY OF GREEN BAY

DRAWN BY:

RJF

CHK'D BY:

RJF

JOB NUMBER:

20059

DATE:

9/10/22

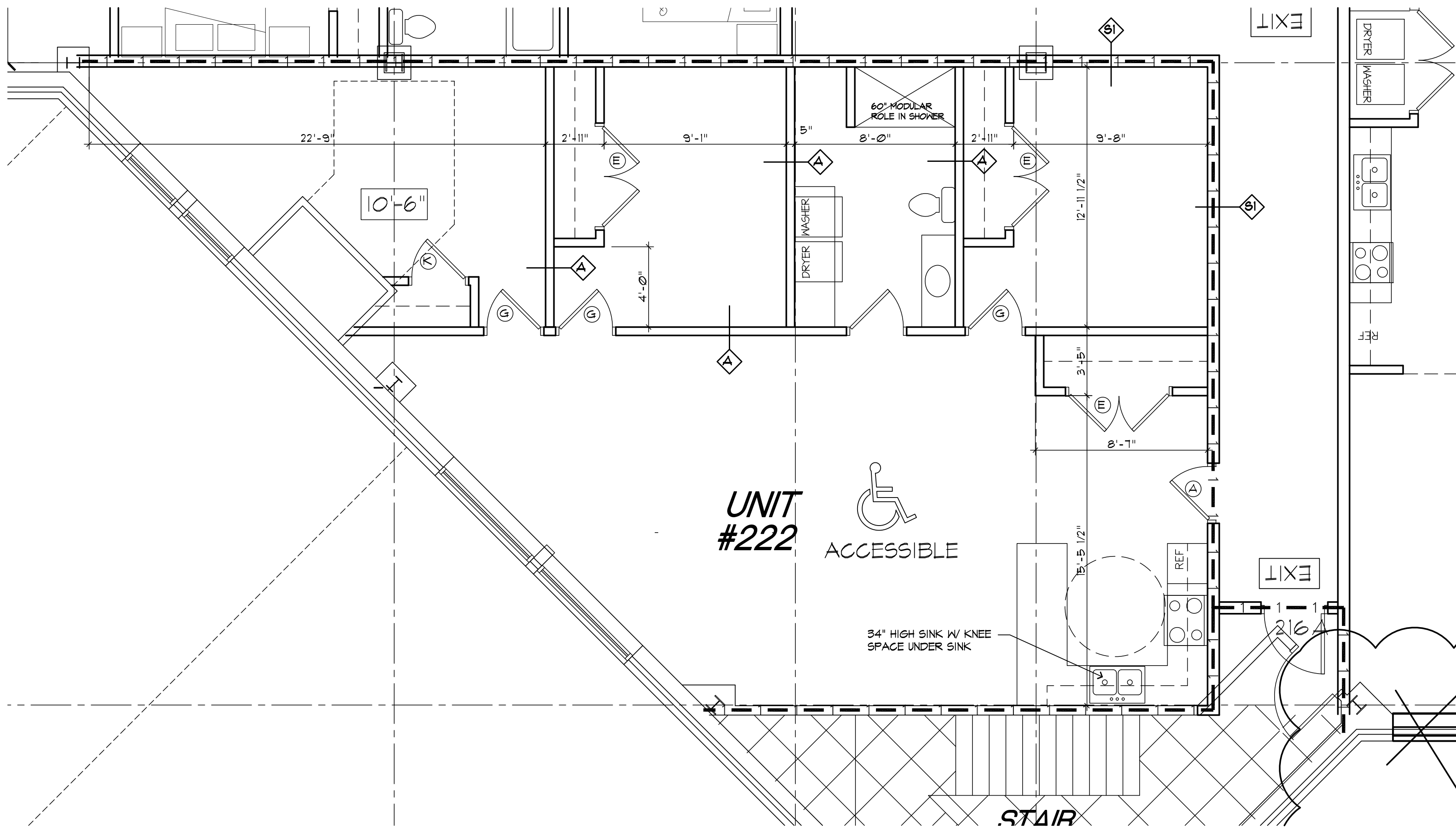
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A1.14



THREE BEDROOM CORNER UNIT W/ LOFT  
--- SF.

ENLARGED  
FLOOR PLAN  
1/4"=1'-0"



REVISED PER FIELD MEETING 8/14/23  
REVISED PER FIELD INVESTIGATIONS 5/11/23  
REVISED FOR CONSTRUCTION 3/11/23

DRAWN BY:  
R.JF  
CHK'D BY:  
R.JF  
JOB NUMBER:  
20059  
DATE:  
9/10/22

PROJECT:  
PROPOSED BUILDING ALTERATIONS FOR:  
**ADAMS STREET BUILDING**  
301 NORTH ADAMS STREET  
CITY OF GREEN BAY

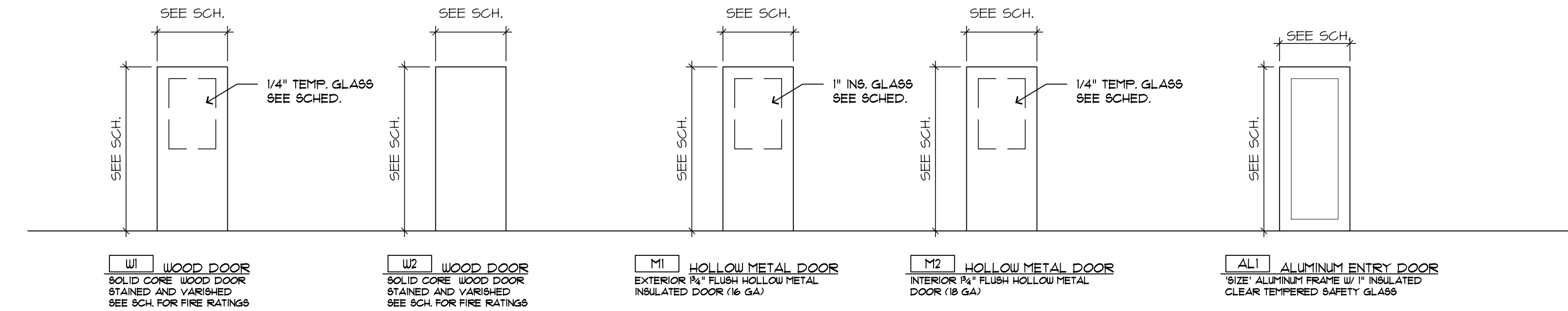
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REVISIONS:

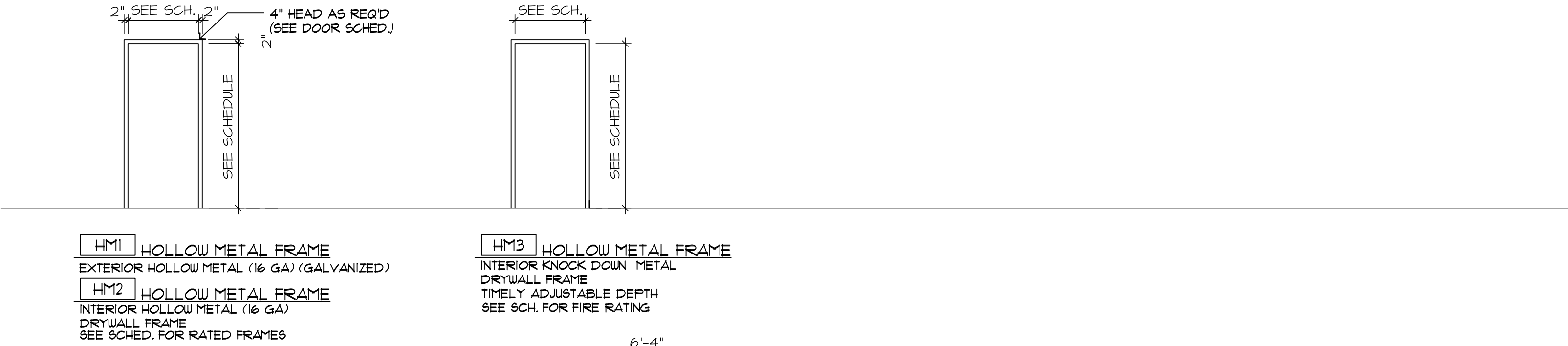
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DAMAGES.



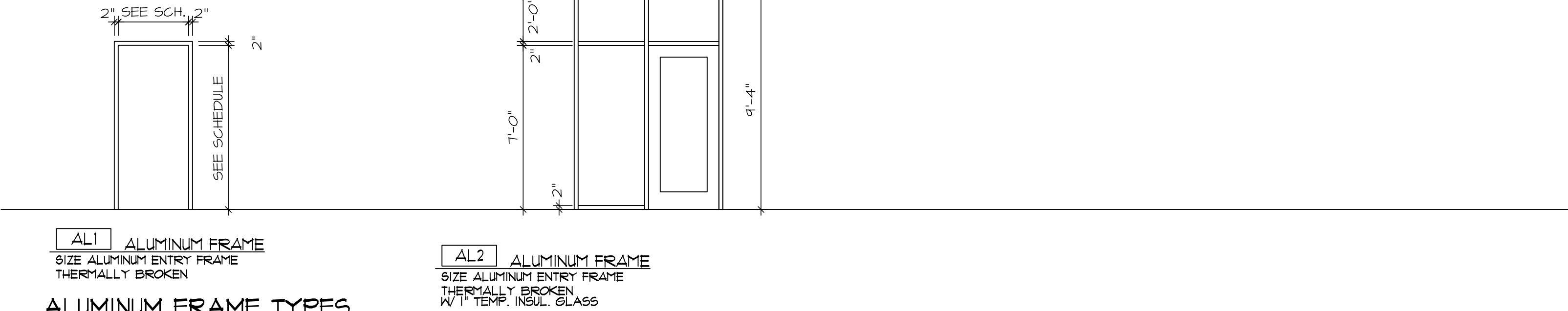
## DOOR TYPES

1/4" = 1'-0"



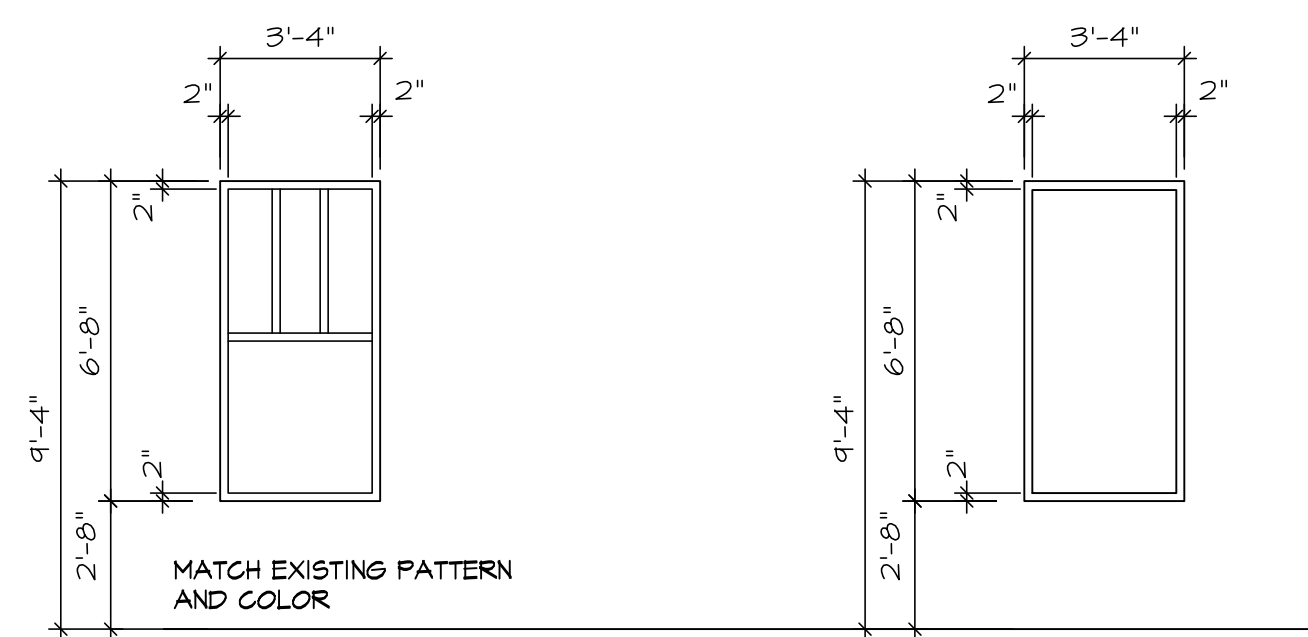
## FRAME TYPES

1/4" = 1'-0"



## ALUMINUM FRAME TYPES

1/4" = 1'-0"



**A**  
ALUMINUM FRAME  
THERMALLY BROKEN  
W/ 1" INSUL. GLASS

**B**  
HOLLOW METAL FRAME  
INTERIOR KNOCK DOWN METAL  
DRYWALL FRAME  
TIMELY ADJUSTABLE DEPTH  
FIRE RATING 20 MINUTES

## WINDOW TYPES

1/4" = 1'-0"

VERIFY EXACT WINDOW SIZES -  
# ROUGH OPENINGS  
WINDOW TO HAVE TOTAL  
PERFORMANCE U-FACTOR .49 MIN.

| APARTMENT UNIT DOOR SCHEDULE |                        |      |       |                    |                              |               |        |        |      |      |                    |
|------------------------------|------------------------|------|-------|--------------------|------------------------------|---------------|--------|--------|------|------|--------------------|
| MARK                         | SIZE                   | TYPE |       |                    |                              | FRAME         |        | DETAIL |      |      | OTHER REQUIREMENTS |
|                              |                        | DOOR | FRAME | FINISHING (UNITED) | HARDWARE                     | FRAME PROFILE | ANCHOR | HEAD   | JAMB | SILL |                    |
| UNIT DOORS                   |                        |      |       |                    |                              |               |        |        |      |      |                    |
| (A)                          | 3'-0" X 6'-8" X 1-3/4" | W2   | H-M3  | 20                 | L1, H1, C2, W8, W82          |               |        |        |      |      | UNIT ENTRANCE DOOR |
| (B)                          | 3'-0" X 6'-8" X 1-3/8" | W2   | H-M3  |                    | L9, H1, W8                   |               |        |        |      |      | UNIT BATHROOM DOOR |
| (C)                          | 2'-8" X 6'-8" X 1-3/8" | W2   | H-M3  |                    | L9, H1, W8                   |               |        |        |      |      | UNIT BATHROOM DOOR |
| (D)                          | 4'-0" X 6'-8" X 1-3/8" | W2   | H-M3  |                    | L-11, H1                     |               |        |        |      |      | UNIT CLOSET DOOR   |
| (E)                          | 5'-0" X 6'-8" X 1-3/8" | W2   | H-M3  |                    | L-11, H1                     |               |        |        |      |      | UNIT CLOSET DOOR   |
| (F)                          | 2'-8" X 6'-8" X 1-3/8" | W2   | H-M3  |                    | MANUF. STD. WALL MNTD. TRACK |               |        |        |      |      | UNIT CLOSET DOOR   |
| (G)                          | 3'-0" X 6'-8" X 1-3/8" | W2   | H-M3  |                    | L9, H1, W8                   |               |        |        |      |      | UNIT BEDROOM DOOR  |
| (H)                          | 2'-8" X 6'-8" X 1-3/8" | W2   | H-M3  |                    | L9, H1, W8                   |               |        |        |      |      | UNIT BEDROOM DOOR  |
| (J)                          | 3'-0" X 6'-8" X 1-3/8" | W2   | H-M3  |                    | L9, H1                       |               |        |        |      |      | UNIT CLOSET DOOR   |
| (K)                          | 2'-8" X 6'-8" X 1-3/8" | W2   | H-M3  |                    | L9, H1                       |               |        |        |      |      | UNIT CLOSET DOOR   |

| DOOR SCHEDULE                                                                                                                                       |                           |      |       |                    |                              |               |        |        |      |      |                                                   |
|-----------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------|------|-------|--------------------|------------------------------|---------------|--------|--------|------|------|---------------------------------------------------|
| MARK                                                                                                                                                | SIZE                      | TYPE |       |                    |                              | FRAME         |        | DETAIL |      |      | OTHER REQUIREMENTS                                |
|                                                                                                                                                     |                           | DOOR | FRAME | FINISHING (UNITED) | HARDWARE                     | FRAME PROFILE | ANCHOR | HEAD   | JAMB | SILL |                                                   |
| 100A                                                                                                                                                | FR 3'-0" X 7'-0" X 1-3/4" | AL1  | AL1   |                    | L6, L7, L10, H2, C1, T1, W81 |               |        |        |      |      | PANIC HOUR                                        |
| 101A                                                                                                                                                | FR 3'-0" X 7'-0" X 1-3/4" | H-M1 | H-M2  | 45                 | L1, L10, H1, C2, W8          |               |        |        |      |      |                                                   |
| 102A                                                                                                                                                | 3'-0" X 7'-0" X 1-3/4"    | H-M1 | H-M2  | 45                 | L1, L10, H1, C2, W8          |               |        |        |      |      |                                                   |
| 103A                                                                                                                                                | 3'-0" X 7'-0" X 1-3/4"    | H-M1 | H-M2  |                    | L1, L10, H1, C2, W8          |               |        |        |      |      | PANIC HOUR                                        |
| 103B                                                                                                                                                | 3'-0" X 7'-0" X 1-3/4"    | H-M1 | H-M2  | 45                 | L1, L10, H1, C2, W8          |               |        |        |      |      | PANIC HOUR                                        |
| 104A                                                                                                                                                | FR 3'-0" X 7'-0" X 1-3/4" | W1   | H-M2  |                    | L1, L10, H1, C2, W8          |               |        |        |      |      |                                                   |
| 200A                                                                                                                                                | 3'-0" X 7'-0" X 1-3/4"    | W1   | H-M2  | 45                 | L1, L10, H1, C2, W8, W82     |               |        |        |      |      | EGRESS THROUGH FIRE BARRIER<br>MAGNETIC HOLD OPEN |
| 200B                                                                                                                                                | 3'-0" X 7'-0" X 1-3/4"    | AL1  | AL1   |                    | L6, L7, L10, H2, C1, T1, W81 |               |        |        |      |      | PANIC HOUR                                        |
| 201A                                                                                                                                                | 3'-0" X 7'-0" X 1-3/4"    | W1   | H-M2  |                    | L4, H1, W8                   |               |        |        |      |      |                                                   |
| 202A                                                                                                                                                | 3'-0" X 7'-0" X 1-3/4"    | W1   | H-M2  |                    | L9, H1, W8                   |               |        |        |      |      | SIGNAGE "UNISEX"                                  |
| 203A                                                                                                                                                | 3'-0" X 7'-0" X 1-3/4"    | W1   | H-M2  |                    | L4, H1, W8                   |               |        |        |      |      |                                                   |
| 204A                                                                                                                                                | 3'-0" X 7'-0" X 1-3/4"    | W1   | H-M2  |                    | L9, H1, W8                   |               |        |        |      |      | SIGNAGE "UNISEX"                                  |
| 205A                                                                                                                                                | FR 3'-0" X 7'-0" X 1-3/4" |      |       | 45                 | (VERIFY FIRE RATING)         |               |        |        |      |      | EXISTING DOOR FRAME AND HARDWARE TO REMAIN        |
| 206A                                                                                                                                                | ELEVATOR DOOR             |      |       |                    |                              |               |        |        |      |      | EXISTING DOOR FRAME AND HARDWARE TO REMAIN        |
| 207A                                                                                                                                                | 3'-0" X 7'-0" X 1-3/4"    |      |       |                    |                              |               |        |        |      |      | EXISTING DOOR FRAME AND HARDWARE TO REMAIN        |
| 208A                                                                                                                                                | ELEVATOR DOOR             |      |       |                    |                              |               |        |        |      |      | EXISTING DOOR FRAME AND HARDWARE TO REMAIN        |
| 209A                                                                                                                                                | FR 3'-0" X 7'-0" X 1-3/4" | W1   | H-M2  | 45                 | L1, L10, H1, C2, W8, W82     |               |        |        |      |      | EGRESS THROUGH FIRE BARRIER<br>MAGNETIC HOLD OPEN |
| 209B                                                                                                                                                | 3'-0" X 7'-0" X 1-3/4"    | W1   | H-M2  | 45                 | L1, L10, H1, C2, W8, W82     |               |        |        |      |      | EGRESS THROUGH FIRE BARRIER<br>MAGNETIC HOLD OPEN |
| 211A                                                                                                                                                | 3'-0" X 7'-0" X 1-3/4"    | W1   | H-M2  | 45                 | L1, L10, H1, C2, W8          |               |        |        |      |      |                                                   |
| 212A                                                                                                                                                | 3'-0" X 7'-0" X 1-3/4"    |      |       |                    |                              |               |        |        |      |      | EXISTING DOOR FRAME AND HARDWARE TO REMAIN        |
| 213A                                                                                                                                                | 3'-0" X 7'-0" X 1-3/4"    | H-M1 | H-M2  | 45                 | L1, L10, H1, C2, W8          |               |        |        |      |      | PANIC HOUR                                        |
| 214A                                                                                                                                                | 3'-0" X 7'-0" X 1-3/4"    |      |       |                    |                              |               |        |        |      |      | EXISTING DOOR FRAME AND HARDWARE TO REMAIN        |
| 216A                                                                                                                                                | 3'-0" X 7'-0" X 1-3/4"    | W1   | H-M2  | 45                 | L1, L10, H1, C2, W8          |               |        |        |      |      | PANIC HOUR                                        |
| 217A                                                                                                                                                | 3'-0" X 7'-0" X 1-3/4"    | W1   | H-M2  | 45                 | L1, L10, H1, C2, W8          |               |        |        |      |      | PANIC HOUR                                        |
| 218A                                                                                                                                                | FR 3'-0" X 7'-0" X 1-3/4" | H-M1 | H-M2  | 45                 | L1, L10, H1, C2, W8          |               |        |        |      |      |                                                   |
| 219A                                                                                                                                                | FR 3'-0" X 7'-0" X 1-3/4" | H-M1 | H-M2  | 45                 | L1, L10, H1, C2, W8          |               |        |        |      |      | MAGNETIC HOLD OPEN                                |
| NOTES: ALL FIRE RATED DOORS TO HAVE MEDIUM DUTY CLOSER, CLOSERS ON PANIC AND PUSH/PULL DOORS<br>PROVIDE DOOR STOPS AT ALL MOTEL UNIT BATHROOM DOORS |                           |      |       |                    |                              |               |        |        |      |      |                                                   |

## DOOR AND FRAME SCHEDULE NOTES

- ALL HARDWARE FOR ALUMINUM DOORS (EXCEPT CYLINDERS) TO BE SUPPLIED BY DOOR SUPPLIER
- ALL DOORS TO HAVE 1 1/2 PAIR BUTTS (MIN.)
- ALL DOORS WIDER THAN 3'-4" OR TALLER THAN 8'-0" TO HAVE 2 PAIR
- ALL EXTERIOR BUTTS TO HAVE NON-REMOVABLE PINS
- THRESHOLDS REQUIRED FOR CHANGES IN FLOOR MATERIAL NOT INDICATED
- ALL LOCKSETS TO BE SCHLAGE D SERIES (OR EQUAL) W/ LEVER HANDLES

| ABBREVIATIONS                                                                                                                                                                                                                                            |                                                                                                                                                                                                                   | LOCK SET FUNCTIONS                                                                                                                                                                                                                                                                                           |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| FB - FLUSH BOLTS<br>C1 - CLOSER (W/ STOP FOR EXT.)<br>C2 - CLOSER (W/ STOP FOR INT.)<br>C3 - CLOSER (180 DEG. FOR INT.)<br>DB - DOOR BOTTOM<br>K - KICK PLATES<br>H1 - BUTT HINGE (BALL BEARING)<br>H2 - BUTT HINGE (BALL BEARING W/ NON-REMOVABLE PINS) | OS - OVERHEAD STOP<br>FP - PUSH/PULL<br>DB - DOOR BOTTOM<br>TI - THRESHOLD<br>T2 - THRESHOLD (SOUND)<br>T3 - THRESHOLD (FIRE RATED)<br>W81 - WEATHERSTRIPPING<br>W82 - WEATHERSTRIPPING (SOUND)<br>W8 - WALL STOP | L1 - ENTRANCE<br>L2 - EXIT (BLANK AT EXTERIOR)<br>L3 - OFFICE<br>L4 - STOREROOM<br>L5 - PASSAGE<br>L6 - CYLINDER<br>L7 - PANIC<br>L8 - DEADBOLT<br>L9 - PRIVACY<br>L10 - ELECTRIC STRIKE<br>L11 - SINGLE DUMMY W/ PUSH ON INSIDE AND ROLLER CATCH AT HEAD<br>L12 - MAGNETIC HOLD OPEN<br>L13 - MAGNETIC LOCK |
| NOTES: ALL FIRE RATED DOORS TO HAVE MEDIUM DUTY CLOSER<br>ALL LOCKS TO BE MASTER KEYED AND PROVIDE 6 KEYS PER LOCK                                                                                                                                       |                                                                                                                                                                                                                   |                                                                                                                                                                                                                                                                                                              |

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WISCONSIN

PROJECT:

PROPOSED BUILDING ALTERATIONS FOR:

ADAMS STREET BUILDING

301 NORTH ADAMS STREET

CITY OF GREEN BAY

REVISED PER FIELD MEETING 8/14/23

REVISED PER FIELD INVESTIGATIONS 5/11/23

REVISED FOR CONSTRUCTION 3/11/23

DRAWN BY:

RJF

CHK'D BY:

RJF

JOB NUMBER:

20059

DATE:

12/8/20

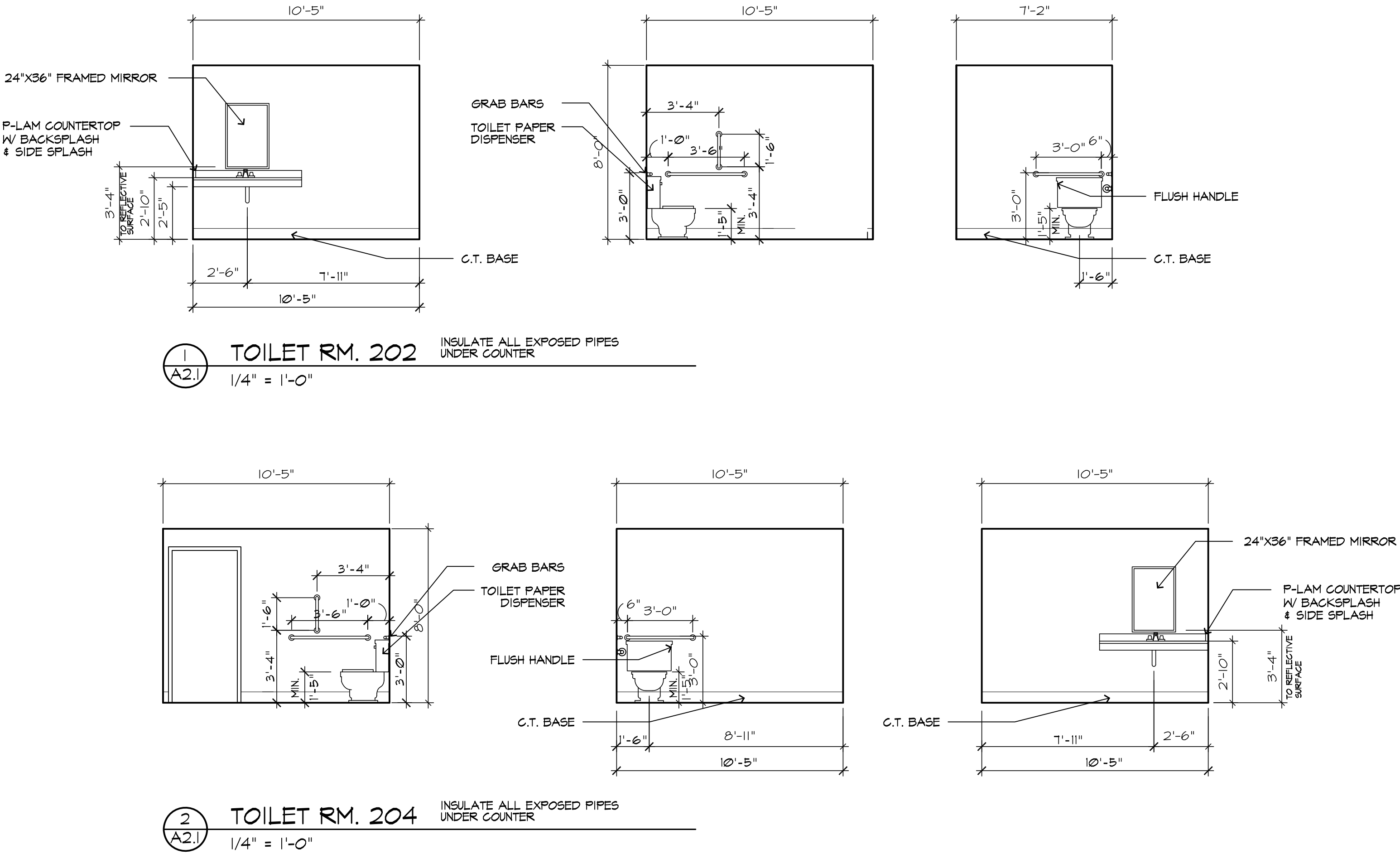
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| ROOM FINISH SCHEDULE         |                       |       |      |                        |        |        |        |         |                      |                             |
|------------------------------|-----------------------|-------|------|------------------------|--------|--------|--------|---------|----------------------|-----------------------------|
| ROOM                         |                       | FLOOR | BASE | WALL MATERIAL / FINISH |        |        |        | CEILING |                      | OTHER REQUIREMENTS          |
| NO.                          | NAME                  |       |      | N                      | E      | S      | W      | CLG     | HGT                  |                             |
| 200                          | VESTIBULE             | PCONC | VB4  | DW / P                 | DW / P | DW / P | DW / P | ACT2    | 9'-0"                |                             |
| 202                          | RESIDENT BIKE STORAGE | SC    | VB4  | DW / P                 | DW / P | DW / P | DW / P | ES / P  | 16'-0"               |                             |
| 203                          | LOADING DOCK          | SC    | VB4  | DW / P                 | DW / P | DW / P | DW / P | ES / P  | 16'-0"               |                             |
| 204                          | STAIR                 | VTR   | -    | DW / P                 | DW / P | DW / P | DW / P | ACT1    | 9'-0" SLOPED         |                             |
|                              |                       |       |      |                        |        |        |        |         |                      |                             |
| 200                          | MULTI PURPOSE         | PCONC | VB4  | DW / P                 | DW / P | DW / P | DW / P | ACT1    | 9'-0"                |                             |
| 201                          | STORAGE               | PCONC | VB4  | DW / P                 | DW / P | DW / P | DW / P | ACT1    | 9'-0"                |                             |
| 202                          | TOILET                | PCONC | VB4  | DW / P                 | DW / P | DW / P | DW / P | ACT2    | 9'-0"                |                             |
| 203                          | JANITOR CLOSET        | PCONC | VB4  | DW / P                 | DW / P | DW / P | DW / P | ACT2    | 9'-0"                |                             |
| 204                          | TOILET                | PCONC | VB4  | DW / P                 | DW / P | DW / P | DW / P | ACT2    | 9'-0"                |                             |
| 205                          | ELEV. LOBBY           | PCONC | VB4  | DW / P                 | DW / P | DW / P | DW / P | ACT2    | 9'-0"                | EXISTING FINISHES TO REMAIN |
| 206                          | FREIGHT ELEVATOR      |       |      |                        |        |        |        |         |                      | EXISTING FINISHES TO REMAIN |
| 207                          | ELEV. EQUIP ROOM      |       |      |                        |        |        |        |         |                      | EXISTING FINISHES TO REMAIN |
| 208                          | ELEVATOR              |       |      |                        |        |        |        |         |                      | EXISTING FINISHES TO REMAIN |
| 209                          | PASSAGE               | PCONC | VB4  | DW / P                 | DW / P | DW / P | DW / P | ES / P  | VARIES 16'-0"-18'-6" |                             |
| 210                          | PASSAGE               | PCONC | VB4  | DW / P                 | DW / P | DW / P | DW / P | ES / P  | VARIES 16'-0"-18'-6" |                             |
| 211                          | EXERSIZE              | PCONC | VB4  | DW / P                 | DW / P | DW / P | DW / P | ACT1    | 9'-0"                |                             |
| 212                          | MECHANICAL            |       |      |                        |        |        |        |         |                      | EXISTING FINISHES TO REMAIN |
| 213                          | CORRIDOR              | PCONC | VB4  | DW / P                 | DW / P | DW / P | DW / P | ACT1    | 9'-0"                |                             |
| 214                          | STAIR                 |       |      | DW / P                 | DW / P | DW / P | DW / P |         |                      | EXISTING FINISHES TO REMAIN |
| 215                          | PASSAGE               | PCONC | VB4  | DW / P                 | DW / P | DW / P | DW / P | ES / P  | VARIES 16'-0"-18'-6" |                             |
| 216                          | STAIR                 |       |      | DW / P                 | DW / P | DW / P | DW / P |         |                      | EXISTING FINISHES TO REMAIN |
| 217                          | STAIR                 |       |      | DW / P                 | DW / P | DW / P | DW / P |         |                      | EXISTING FINISHES TO REMAIN |
| 218                          | STAFF ROOM            | PCONC | VB4  | DW / P                 | DW / P | DW / P | DW / P | ACT1    | 9'-0"                |                             |
| 219                          | ELEVATOR LOBBY        | PCONC | VB4  | DW / P                 | DW / P | DW / P | DW / P | ACT1    | 9'-0"                |                             |
|                              |                       |       |      |                        |        |        |        |         |                      |                             |
| VERIFY ALL FINISHES W/ OWNER |                       |       |      |                        |        |        |        |         |                      |                             |

| APARTMENT UNIT FINISH SCHEDULE |  |       |      |                        |        |        |        |         |                      |                                 |
|--------------------------------|--|-------|------|------------------------|--------|--------|--------|---------|----------------------|---------------------------------|
| ROOM                           |  | FLOOR | BASE | WALL MATERIAL / FINISH |        |        |        | CEILING |                      | OTHER REQUIREMENTS              |
| NAME                           |  |       |      | N                      | E      | S      | W      | CLG     | HGT                  |                                 |
| LIVING ROOM                    |  | PCONC | VB4  | DW / P                 | DW / P | DW / P | DW / P | ES / P  | VARIES 16'-0"-18'-6" | ACCENT PAINT COLOR ON ONE WALLS |
| KITCHEN                        |  | PCONC | VB4  | DW / P                 | DW / P | DW / P | DW / P | ES / P  | VARIES 16'-0"-18'-6" |                                 |
| TOILET ROOM                    |  | PCONC | VB4  | DW / P                 | DW / P | DW / P | DW / P | DW / P  | 7'-6"                |                                 |
| CLOSET                         |  | PCONC | VB4  | DW / P                 | DW / P | DW / P | DW / P | DW / P  | 7'-6"                |                                 |
| BEDROOM                        |  | PCONC | VB4  | DW / P                 | DW / P | DW / P | DW / P | DW / P  | 7'-6"                |                                 |
| STAIR                          |  | WOOD  | VB4  | DW / P                 | DW / P | DW / P | DW / P | ES / P  | VARIES 8'-0"-10'-6"  |                                 |
| LOFT                           |  | LVT   | VB4  | DW / P                 | DW / P | DW / P | DW / P | ES / P  | VARIES 8'-0"-10'-6"  |                                 |
| LOFT BEDROOM                   |  | LVT   | VB4  | DW / P                 | DW / P | DW / P | DW / P | ES / P  | VARIES 8'-0"-10'-6"  |                                 |
| LOFT BATHROOM                  |  | LVT   | VB4  | DW / P                 | DW / P | DW / P | DW / P | DW / P  | 7'-0"                |                                 |
| LOFT CLOSET                    |  | LVT   | VB4  | DW / P                 | DW / P | DW / P | DW / P | DW / P  | 7'-0"                |                                 |
|                                |  |       |      |                        |        |        |        |         |                      |                                 |
|                                |  |       |      |                        |        |        |        |         |                      |                                 |

| MATERIALS KEY |                   |
|---------------|-------------------|
| DW            | DRYWALL           |
| CB            | CONCRETE BLOCK    |
| EXP           | EXPOSED STRUCTURE |
|               |                   |

| FINISH KEY |                                  |         |                                               |
|------------|----------------------------------|---------|-----------------------------------------------|
| FLOOR      |                                  | WALL    |                                               |
| PCONC      | POLISHED CONC.                   | P       | PAINT - SHERWIN WILLIAMS                      |
| CT         | CERAMIC TILE -                   | EP      | EPOXY PAINT                                   |
| VST        | VINYL STAIR TREADS & RISERS      | FRP     | FIBERGLASS REINF. PANEL                       |
| CPT        | CARPET-                          | MAS     | DECORATIVE MASONRY                            |
| LVT        | LUXURY VINYL TILE                |         |                                               |
| EP         | EPOXY COATING                    |         |                                               |
| SC         | SEALED CONCRETE                  |         |                                               |
|            |                                  |         |                                               |
|            |                                  |         |                                               |
| BASE       |                                  | CEILING |                                               |
| VB4        | VINYL BASE 4"                    | ACT1    | 2' X 2' ACOUSTIC CEILING TILE - REVEALED EDGE |
| VB6        | VINYL BASE 6"                    | ACT2    | 2' X 2' VINYL COATED DRYWALL TILE             |
| CT         | CERAMIC TILE BASE 6"             | ACT3    | 2' X 2' ACOUSTIC CEILING TILE - REVEALED EDGE |
| CPT        | CARPET BASE 4" H. W/ HEMMED EDGE |         |                                               |
| EPC        | EPOXY COVE BASE                  | EXP     | EXPOSED STRUCTURE                             |



- TOILET ROOM ACCESORIES**  
PER TOILET ROOM
- (1) 18" GRAB BAR FOR TOILET
  - (1) 36" GRAB BAR FOR TOILET
  - (1) 42" GRAB BAR FOR TOILET
  - (1) TOWEL DISPENSER
  - WALL MOUNTED MIRROR W/ STAINLESS STEEL FRAME (SEE ELEVATION)
  - TOILET TISSUE HOLDERS (SEE ELEVATION)
  - (1) SOAP DISPENSER
  - (1) A.D.A. RESTROOM SIGN

REVISED PER FIELD MEETING 8/14/23  
REVISED PER FIELD INVESTIGATIONS 5/11/23  
REVISED FOR CONSTRUCTION 3/11/23

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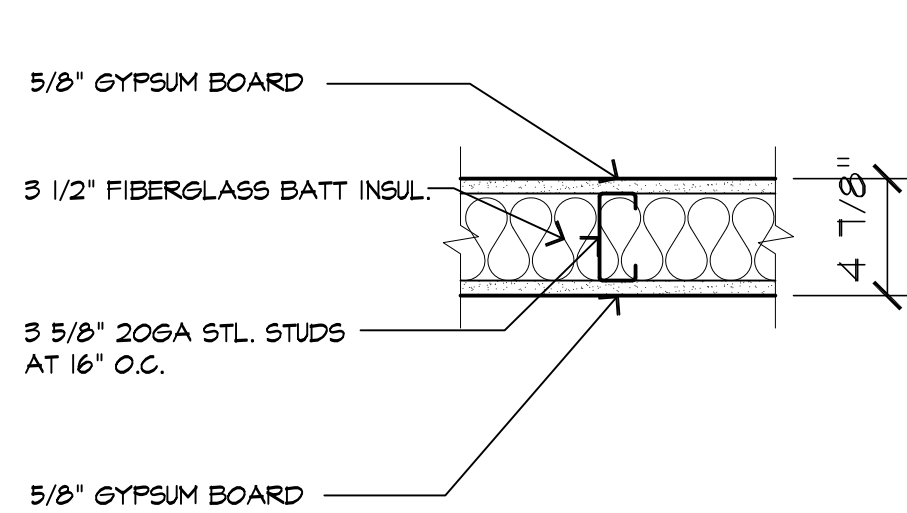
PROJECT:  
PROPOSED BUILDING ALTERATIONS FOR:  
**ADAMS STREET BUILDING**  
301 NORTH ADAMS STREET  
CITY OF GREEN BAY

DRAWN BY:  
R.J.F.

CHK'D BY:  
R.J.F.

JOB NUMBER:  
20059

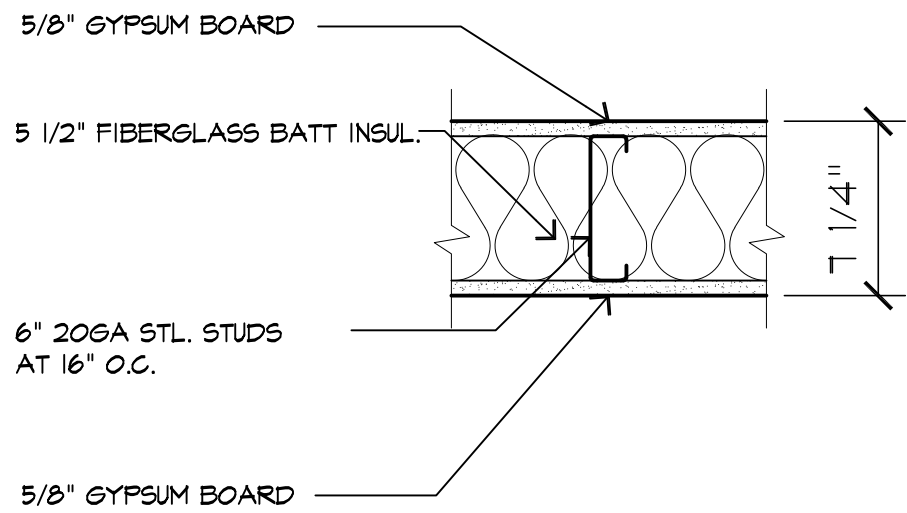
DATE:  
12/8/20



#### A WALL TYPE

1 1/2" = 1'-0" ONE-HOUR FIRE RATED ASSEMBLY ULC DESIGN W415  
INTERIOR PARTITION WALL WALLS  
STC RATING BASED ON DESIGN 45-49

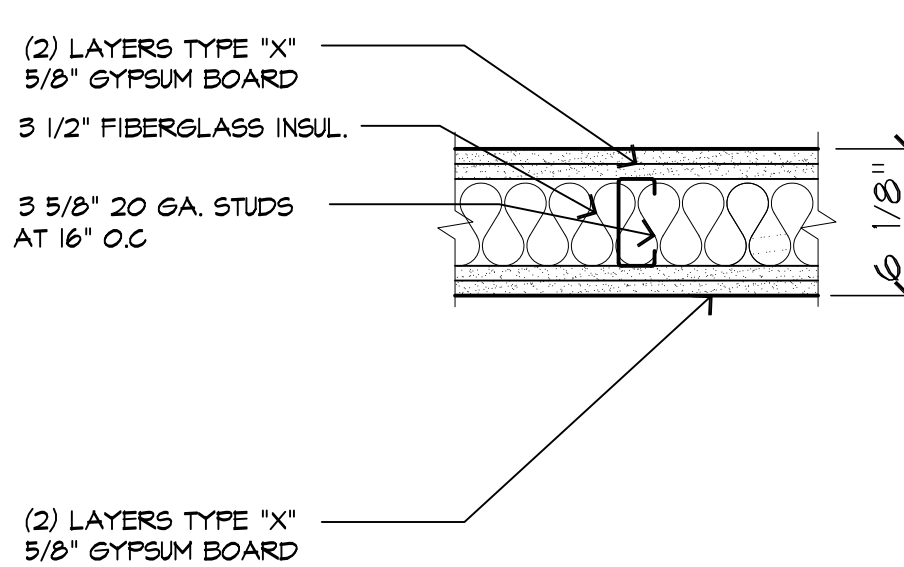
NOT ACCEPTABLE FOR UNIT SEPARATION



#### B WALL TYPE

1 1/2" = 1'-0" ONE-HOUR FIRE RATED ASSEMBLY ULC DESIGN W415  
INTERIOR PARTITION WALL WALLS  
STC RATING BASED ON DESIGN 45-49

NOT ACCEPTABLE FOR UNIT SEPARATION

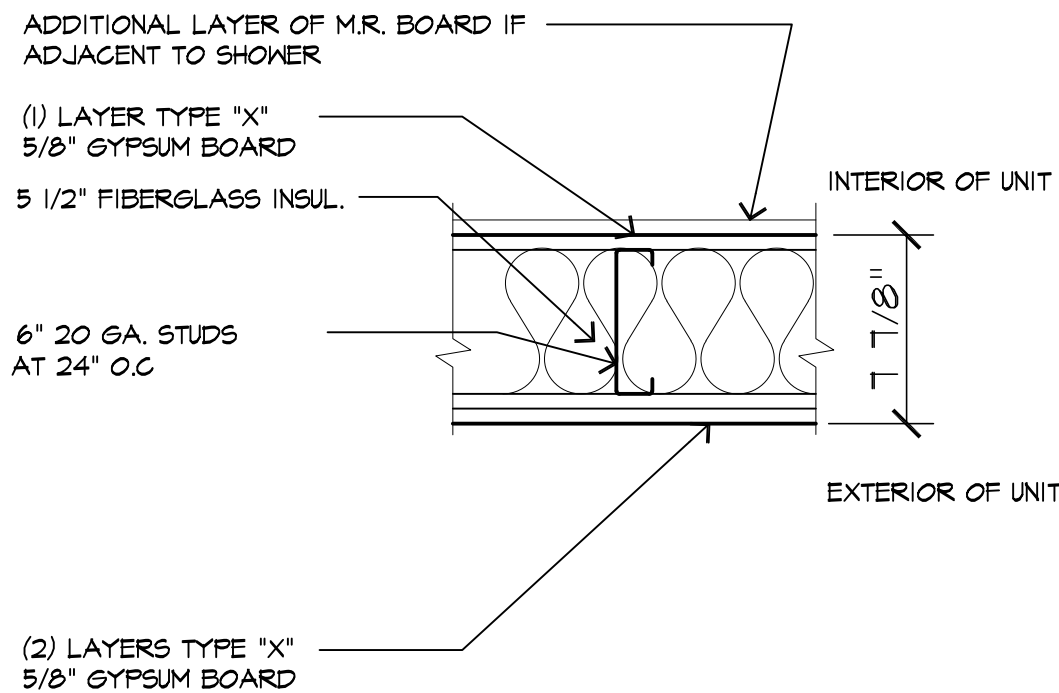


#### C WALL TYPE (2 HOUR FIRE BARRIER)

1 1/2" = 1'-0" TWO-HOUR FIRE RATED ASSEMBLY ULC W411  
STAIRWAY WALLS  
INTERIOR NON-BEARING WALLS  
STC RATING BASED ON DESIGN 50-54

NOTE: ALL STUDS UP TO UNDERSIDE OF ROOF DECK

BASE LAYER 5/8" TYPE X GYPSUM WALLBOARD OR GYPSUM VENEER BASE APPLIED PARALLEL TO EACH SIDE OF 25/8" STEEL STUDS 24" O.C. WITH 1" TYPE S DRYWALL SCREWS 8" O.C. AT VERTICAL JOINTS AND 12" O.C. AT INTERMEDIATE STUDS. FACE LAYER 5/8" PLAIN OR PREDECORATED TYPE X GYPSUM WALLBOARD OR GYPSUM VENEER BASE APPLIED PARALLEL TO EACH SIDE LAMINATING COMPOUND COMBED OVER ENTIRE SURFACE. METAL BASE AND TOP RETAINER CHANNELS. JOINTS STAGGERED 24" EACH LAYER AND SIDE. (NLB)



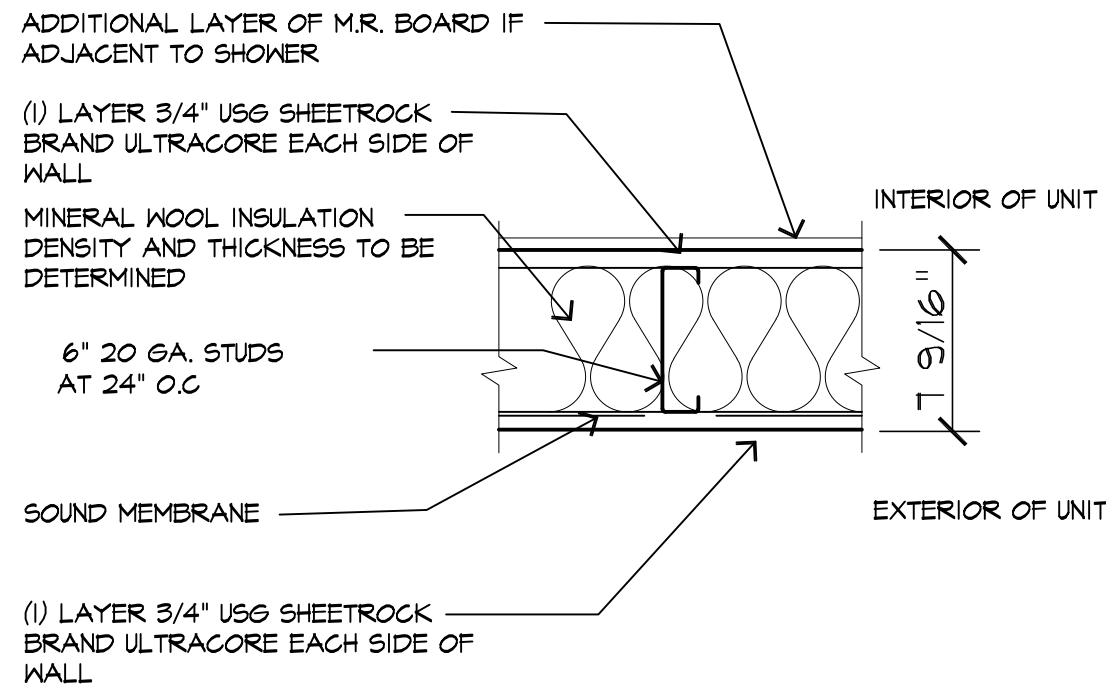
#### 6" SOUND WALLS (BEARING) WALL TYPE

1 1/2" = 1'-0" ONE-HOUR FIRE RATED ASSEMBLY ULC W415  
CORRIDOR WALLS, DEMISING WALLS BETWEEN UNITS  
INTERIOR BEARING WALLS  
STC RATING BASED ON DESIGN 50-54

NOTE: ALL STUD WALLS UP TO TRUSSES ABOVE

ONE LAYER 5/8" TYPE "X" GYPSUM WALLBOARD OR GYPSUM VENEER BASE APPLIED PARALLEL OR AT RIGHT ANGLES TO EACH SIDE OF 20 GA 6" STEEL STUDS AT 24" O.C. WITH 1 1/4" TYPE S DRYWALL SCREWS AT 8" O.C. AT VERTICAL JOINTS AND 12" O.C. AT WALL PERIMETER AND INTERMEDIATE STUDS. FACE LAYER 5/8" TYPE "X" GYPSUM WALLBOARD OR GYPSUM VENEER BASE APPLIED PARALLEL OR AT RIGHT ANGLES TO ONE SIDE OF WITH 1 5/8" TYPE S DRYWALL SCREWS AT 12" O.C. JOINTS STAGGERED AT 24" EACH LAYER AND SIDE. SOUND TESTED W/ 3 1/2" GLASS FIBER FRICTION FIT IN EACH STUD SPACE (NLB)

NOTE:  
MAINTAIN ALL FIRE RATED GYP. BD. WALL ASSEMBLIES - MOISTURE RESISTANT (M.R.) BOARD TO BE INSTALLED OVER ASSEMBLY ALL PENETRATIONS TO BE RATED TO MAINTAIN ASSEMBLY FIRE RATING. CONTRACTOR TO SUBMIT PROTECTION INFORMATION TO ARCHITECT PRIOR TO INSTALLATION



#### ALTERNATE 6" SOUND WALLS (BEARING) WALL TYPE

1 1/2" = 1'-0" ONE-HOUR FIRE RATED ASSEMBLY UL DESIGN ?????  
CORRIDOR WALLS, DEMISING WALLS BETWEEN UNITS  
INTERIOR BEARING WALLS  
STC RATING 54

NOTE: ALL STUD WALLS UP TO TRUSSES ABOVE

REVISED FOR CONSTRUCTION  
REVISED FOR CONSTRUCTION  
REVISED FOR VARIANCE

3/1/23  
11/30/22  
11/2/22

PROPOSED BUILDING ALTERATIONS FOR:  
ADAMS STREET BUILDING  
301 NORTH ADAMS STREET  
CITY OF GREEN BAY

DRAWN BY:  
RUF  
CHK'D BY:  
RUF  
JOB NUMBER:  
20059  
DATE:  
1/23/21

WISCONSIN

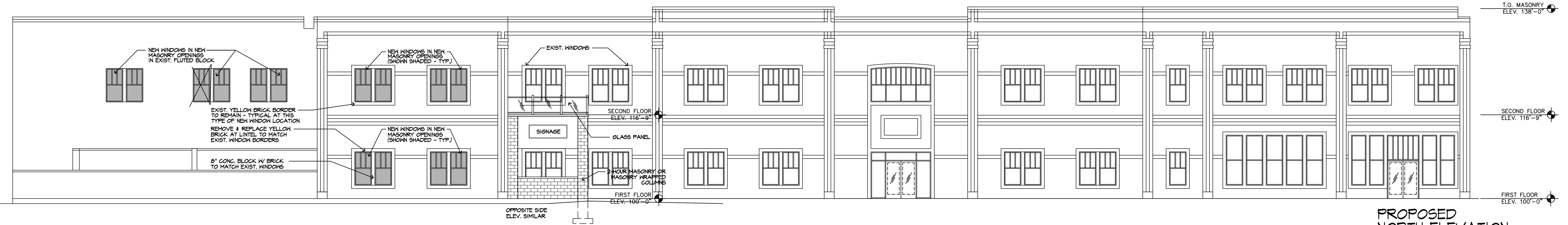
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Fisher@fisherandassociatesllc.com

REVISIONS:

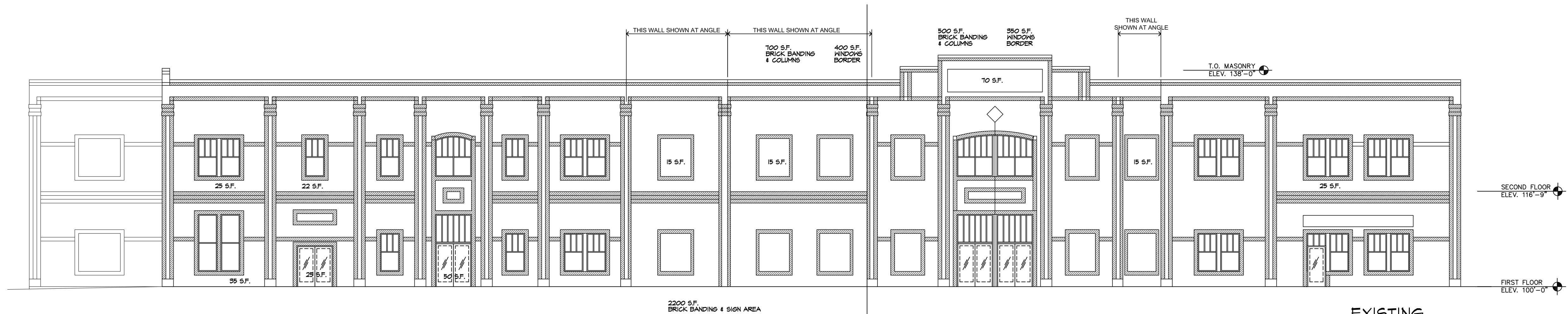
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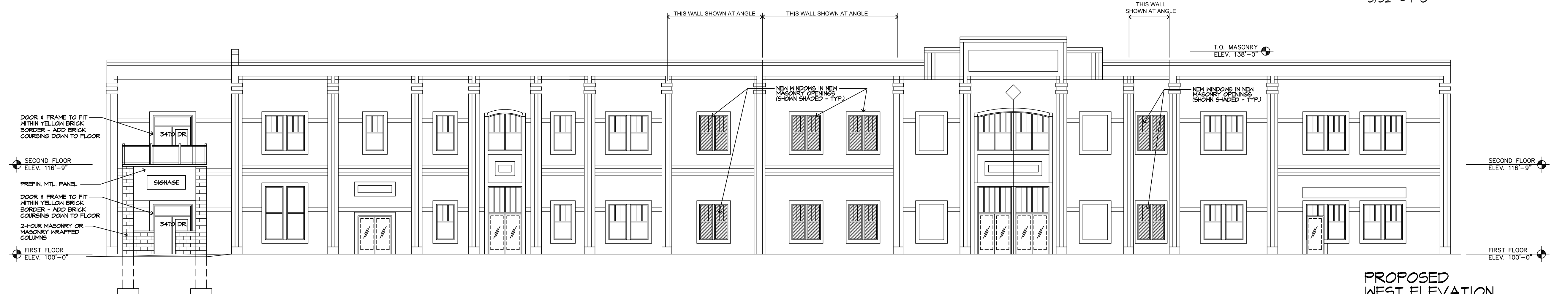
EXISTING  
NORTH ELEVATION  
3/32" = 1'-0"



PROPOSED  
NORTH ELEVATION  
3/32" = 1'-0"



EXISTING  
WEST ELEVATION  
3/32" = 1'-0"



PROPOSED  
WEST ELEVATION  
3/32" = 1'-0"



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PROJECT:

PROPOSED BUILDING ALTERATIONS FOR:  
**ADAMS STREET BUILDING**  
301 NORTH ADAMS STREET  
CITY OF GREEN BAY

DRAWN BY:

RJF

CHK'D BY:

RJF

JOB NUMBER:

20059

DATE:

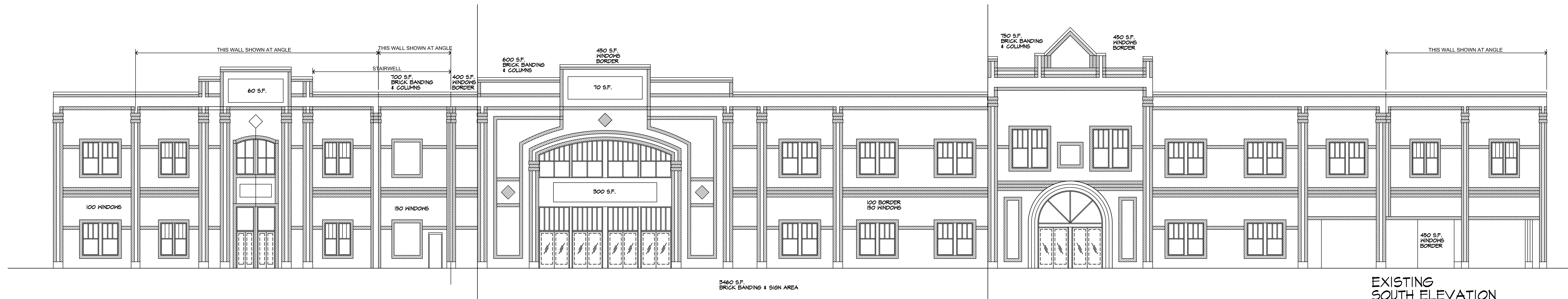
6/07/23

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REVISED PER FIELD INVESTIGATIONS 5/11/23  
REVISED FOR CONSTRUCTION 3/11/23

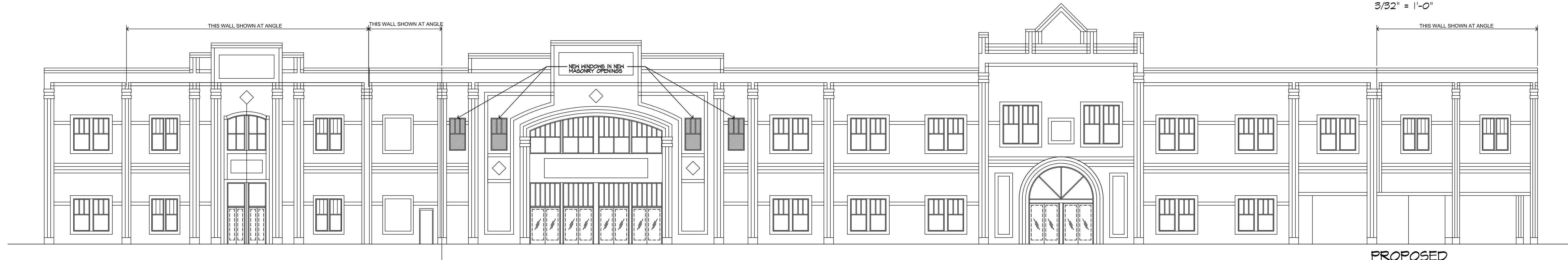
A3.1

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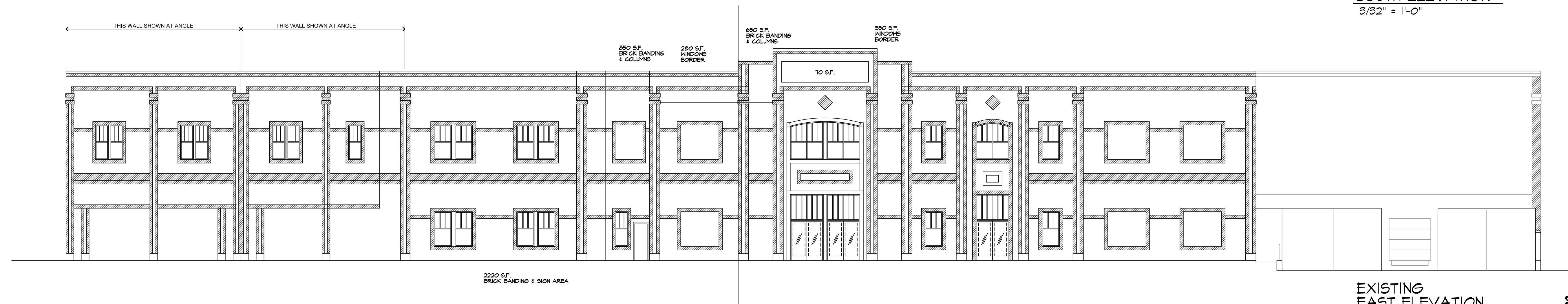
11/30/22



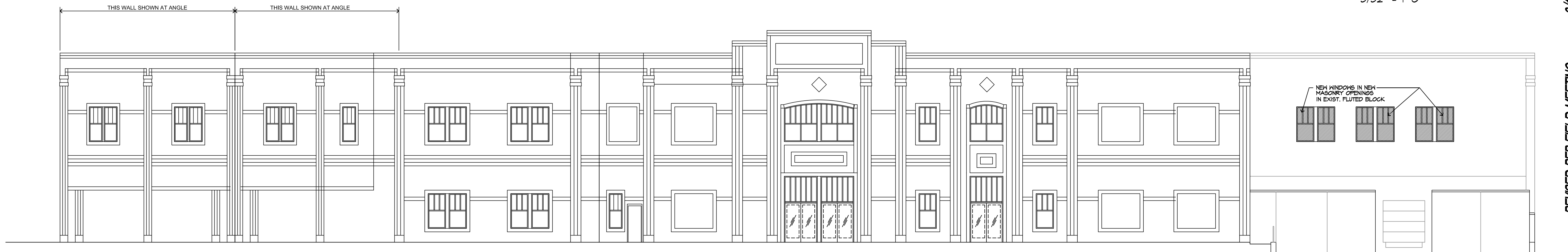
EXISTING  
SOUTH ELEVATION  
3/32" = 1'-0"



PROPOSED  
SOUTH ELEVATION  
3/32" = 1'-0"



EXISTING  
EAST ELEVATION  
3/32" = 1'-0"



PROPOSED  
EAST ELEVATION  
3/32" = 1'-0"



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301 NORTH ADAMS STREET  
CITY OF GREEN BAY

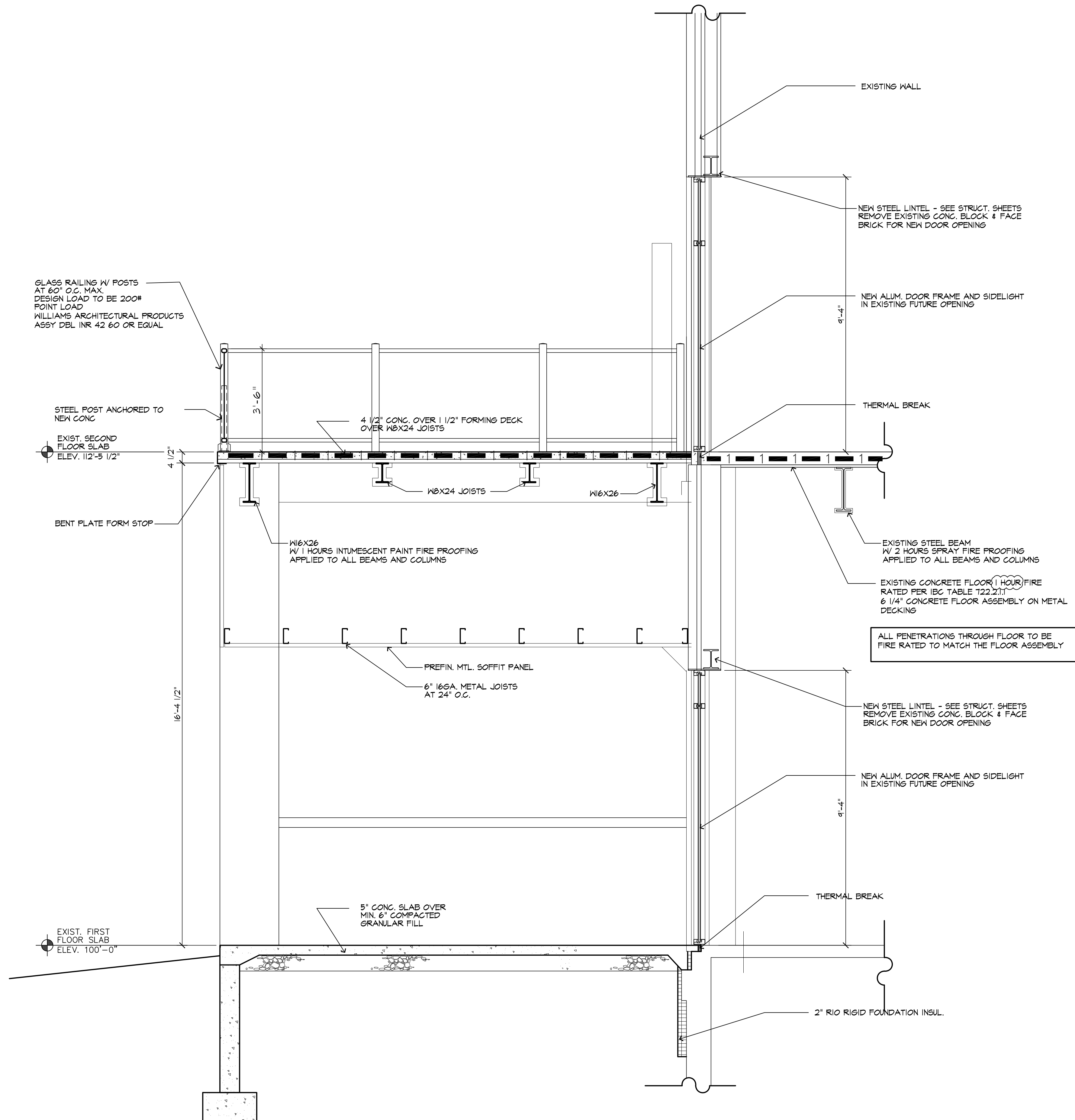
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CHK'D BY:  
R.F.  
JOB NUMBER:  
20059  
DATE:  
6/07/23

A3.2

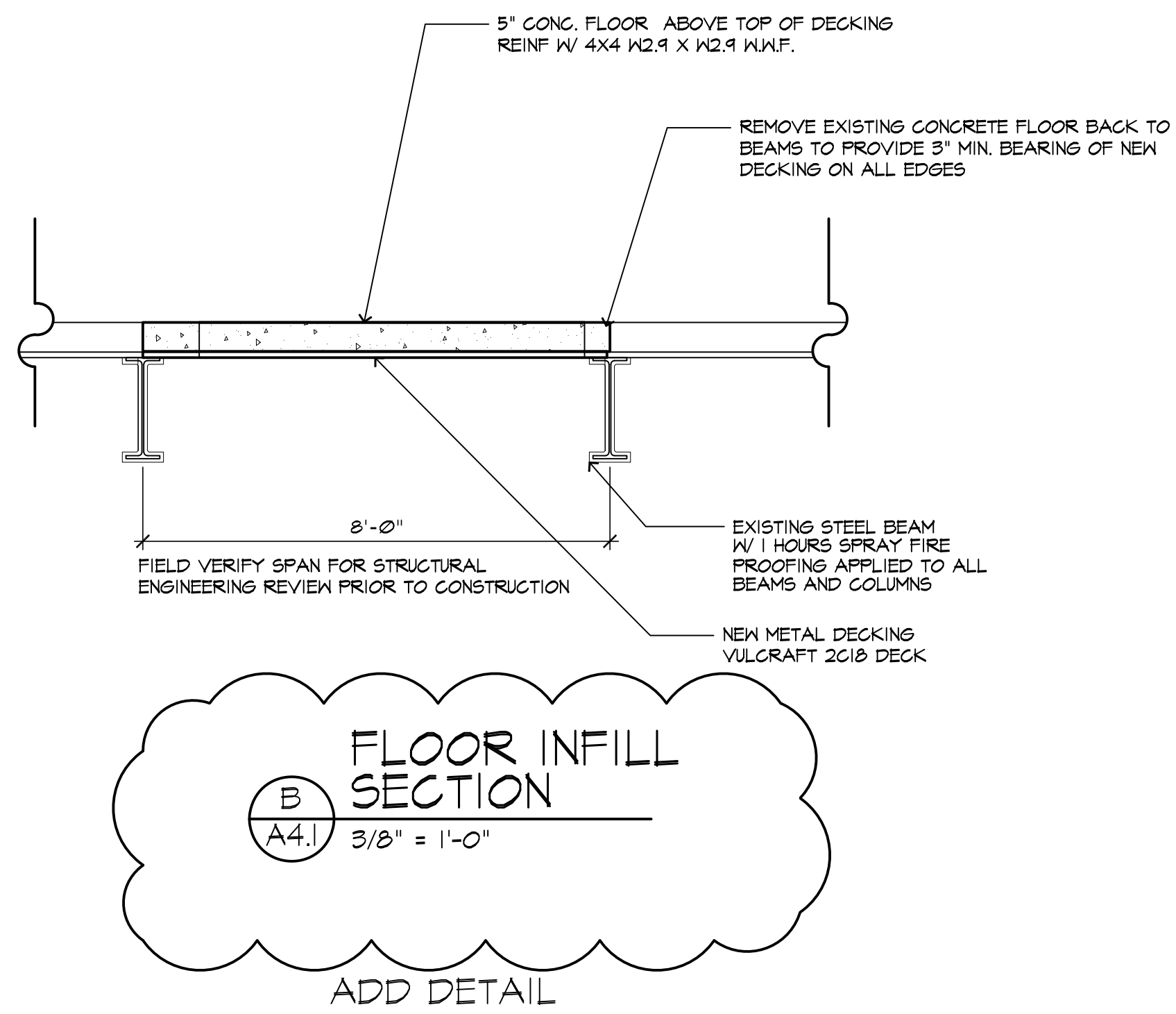
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REVISED PER FIELD INVESTIGATIONS 5/11/23  
REVISED FOR CONSTRUCTION 3/1/23

REFUSED FOR CONSTRUCTION

11/30/22

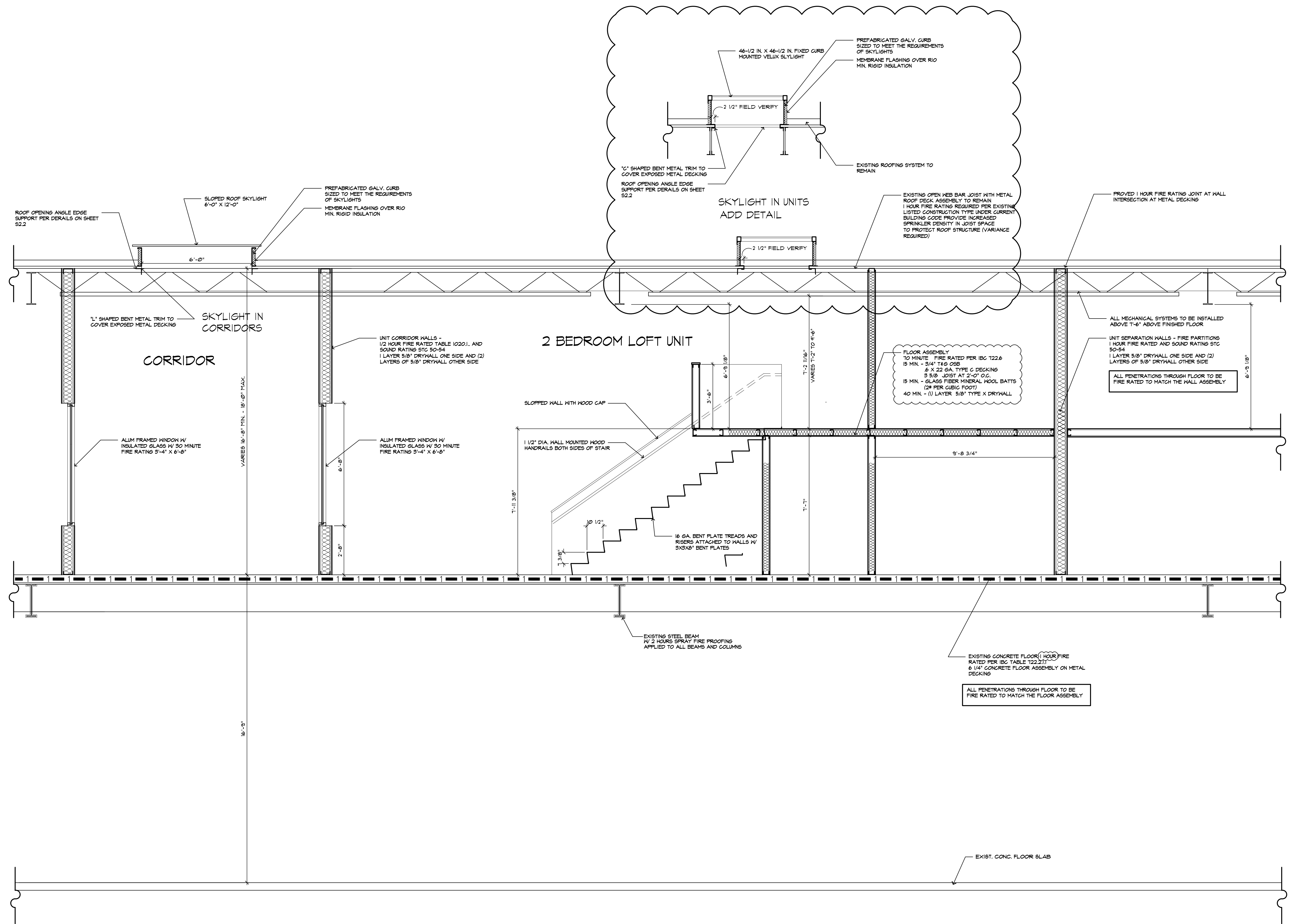


**A**  
SECTION  
3/8" = 1'-0"



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REVISED PER FIELD INVESTIGATIONS 5/11/23  
REVISED FOR CONSTRUCTION 3/11/23

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| DRAWN BY:                                                                                                                                                                                                                                                                                                                                                | RJF     |
| CHK'D BY:                                                                                                                                                                                                                                                                                                                                                | RJF     |
| JOB NUMBER:                                                                                                                                                                                                                                                                                                                                              | 20059   |
| DATE:                                                                                                                                                                                                                                                                                                                                                    | 12/8/20 |



A  
A4.2 SECTION  
3/8" = 1'-0"

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REVISED PER FIELD INVESTIGATIONS 5/11/23  
REVISED FOR CONSTRUCTION 3/11/23

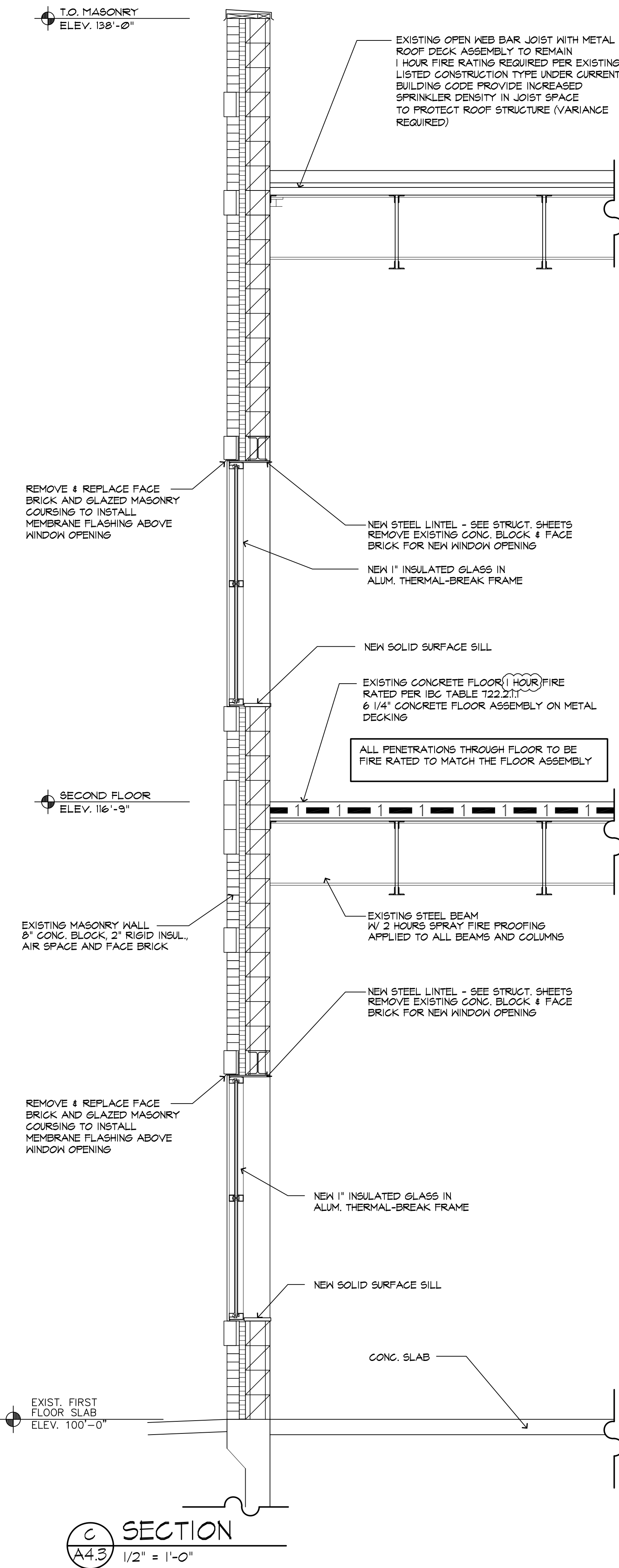
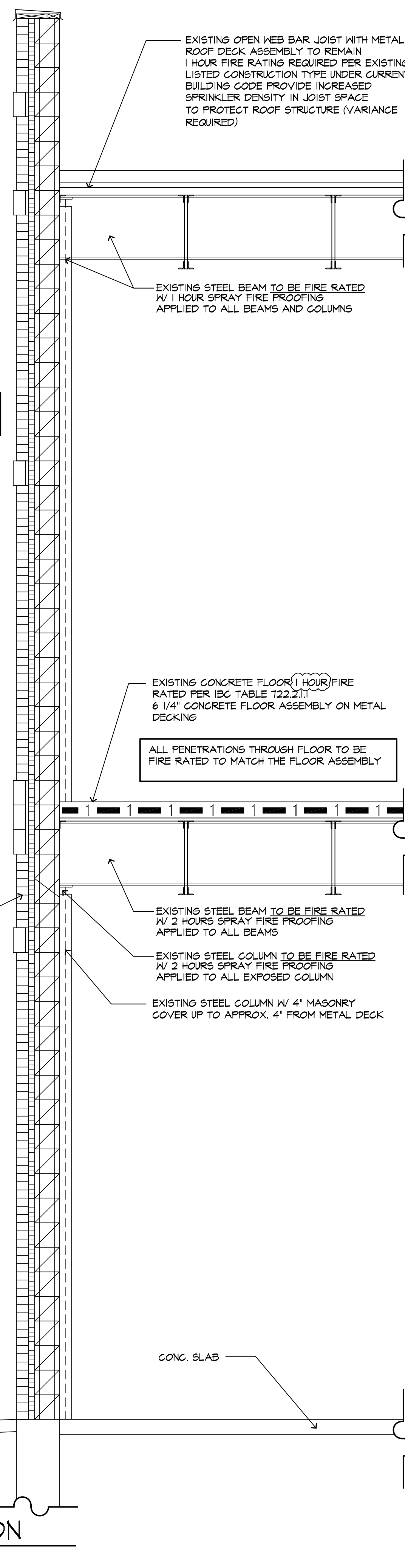
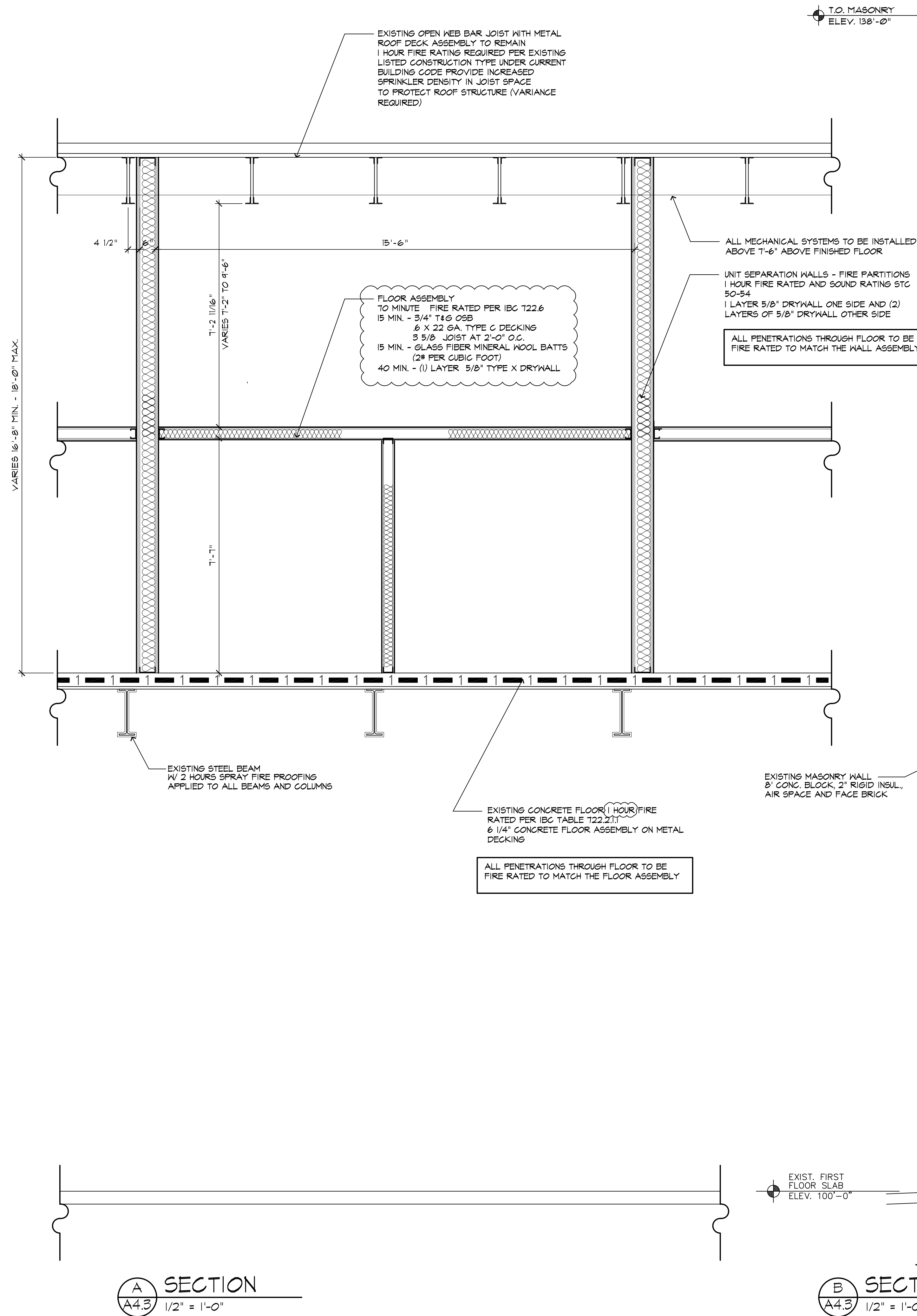
PROPOSED BUILDING ALTERATIONS FOR:  
**ADAMS STREET BUILDING**  
301 NORTH ADAMS STREET  
CITY OF GREEN BAY

DRAWN BY:  
R.F.  
CHK'D BY:  
R.F.  
JOB NUMBER:  
20059  
DATE:  
12/8/20

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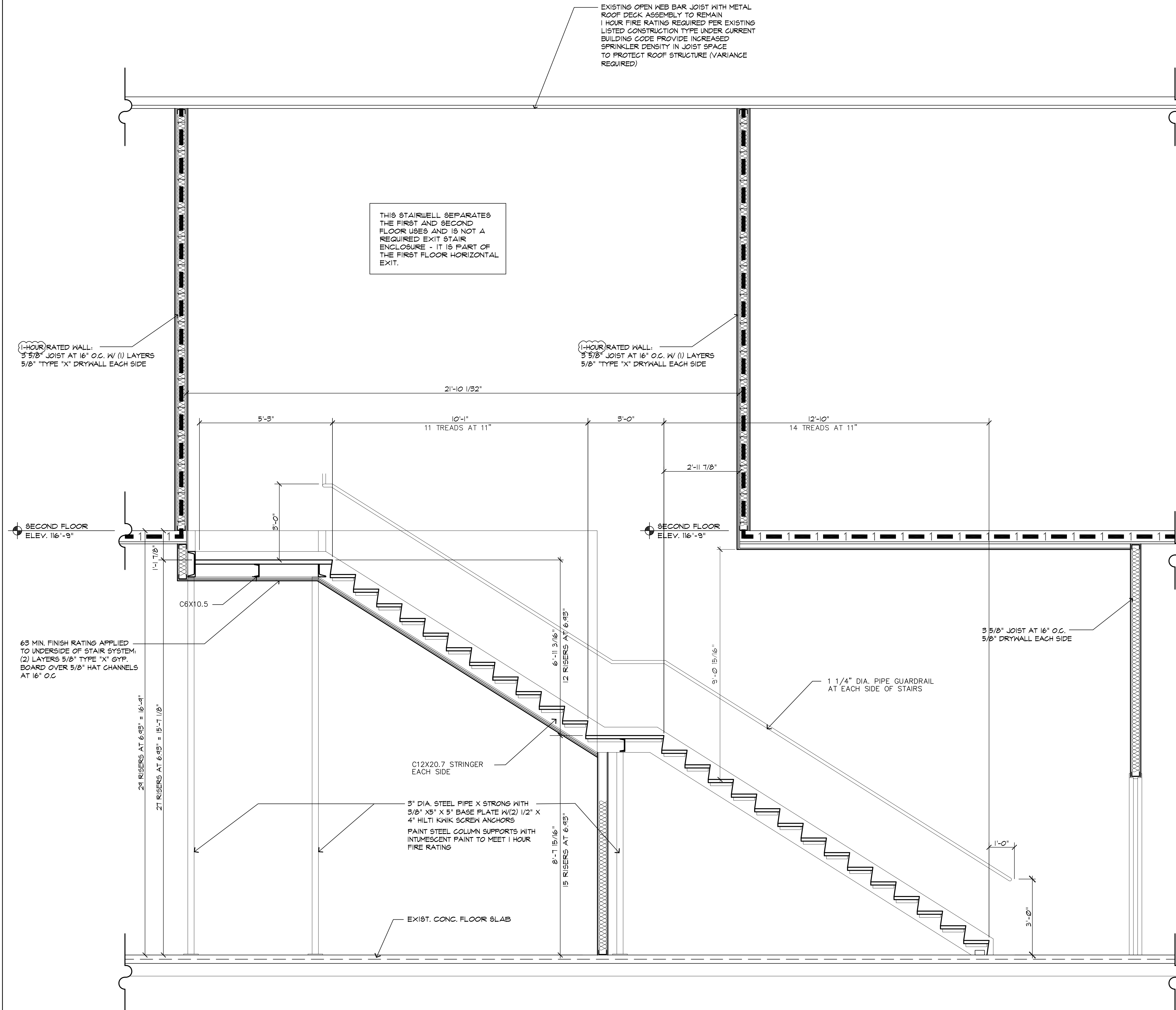
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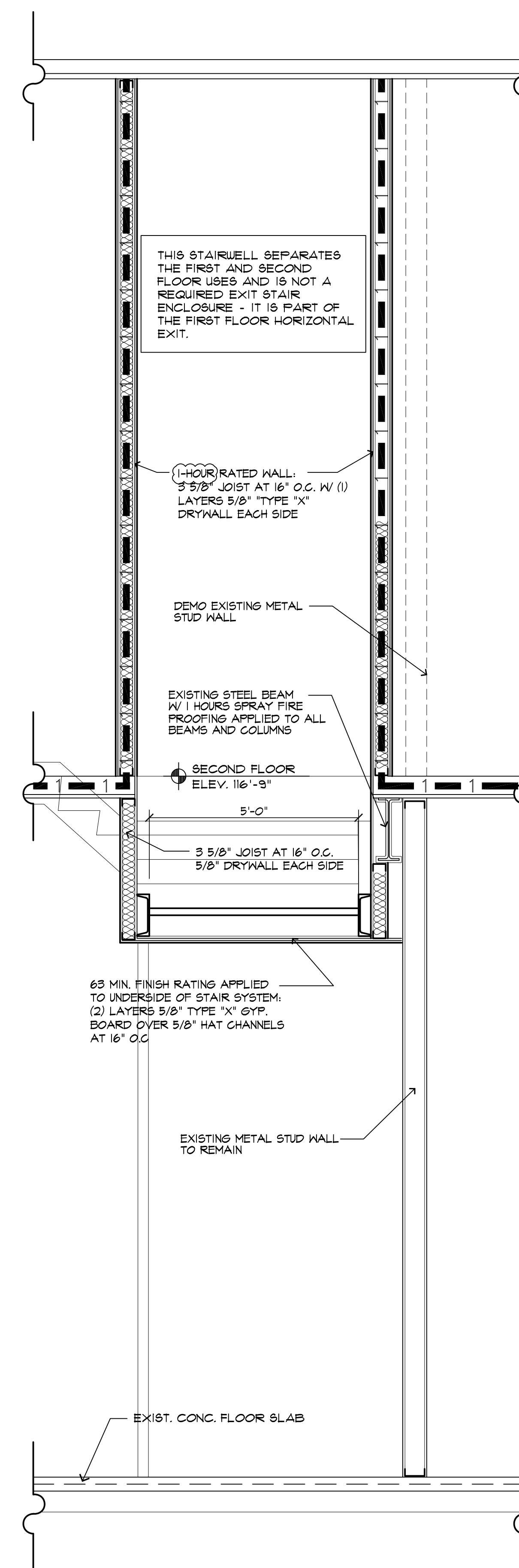


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| <b>PROJECT:</b><br>PROPOSED BUILDING ALTERATIONS FOR:<br><b>ADAMS STREET BUILDING</b><br>301 NORTH ADAMS STREET<br>CITY OF GREEN BAY                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |                          |
| <b>DRAWN BY:</b><br>R.F.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       | <b>CHK'D BY:</b><br>R.F. |
| <b>JOB NUMBER:</b><br>20059                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                          |
| <b>DATE:</b><br>12/8/20                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |                          |
| <b>A4.3</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                          |



**A SECTION**  
A4.4 1/2" = 1'-0"



**B SECTION**  
A4.4 1/2" = 1'-0"

REVISED PER FIELD MEETING 8/14/23  
REVISED PER FIELD INVESTIGATIONS 5/11/23  
REVISED FOR CONSTRUCTION 3/11/23

PROJECT:  
PROPOSED BUILDING ALTERATIONS FOR:  
**ADAMS STREET BUILDING**  
301 NORTH ADAMS STREET  
CITY OF GREEN BAY

DRAWN BY:  
R.F.  
CHK'D BY:  
R.F.  
JOB NUMBER:  
20059  
DATE:  
12/8/20

**A4.4**

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GENERAL

1. ALL MATERIALS, WORKMANSHIP AND DETAILS SHALL CONFORM TO THE REQUIREMENTS OF THE 2004 EDITION OF THE 'INTERNATIONAL BUILDING CODE'.
2. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH ALL ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS TO VERIFY THE LOCATION AND DIMENSIONS OF CHASES, INSERTS, OPENINGS, SLEEVES, REGLETS, DEPRESSIONS AND OTHER PROJECT REQUIREMENTS NOT SHOWN ON THE STRUCTURAL DRAWINGS.
3. OPENINGS SHOWN ON THE STRUCTURAL DRAWINGS SHALL NOT BE REVISED WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT & ENGINEER.
4. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.
5. THE TYPICAL DETAILS SHOWN ON THE DRAWINGS SHALL BE APPLICABLE TO ALL PARTS OF THE CONTRACT DRAWINGS UNLESS SPECIFICALLY NOTED OTHERWISE.
6. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SAFETY DURING CONSTRUCTION.

DESIGN LOADS

| SNOW LOADS:          |                          | SEISMIC LOADS PER IBC 1616.4: |                     |
|----------------------|--------------------------|-------------------------------|---------------------|
| GROUND SNOW LOAD     | $F_g = 40 \text{ PSF}$   | S S                           | $= 6.6\%$           |
| ROOF SNOW LOAD       | $F_g = 28.0 \text{ PSF}$ | S 1                           | $= 3.3\%$           |
| SNOW EXPOSURE        | $C_E = 1.0$              | OCCUPANCY CATEGORY            | $= \text{II}$       |
| SNOW LOAD IMPORTANCE | $I = 1.0$                | SITE CLASS                    | $= \text{D}$        |
| THERMAL FACTOR       | $C = 1.1$                | SEISMIC CATEGORY              | $= \text{A}$        |
|                      |                          | SEISMIC RESISTANCE SYSTEM     | MASONRY SHEAR WALLS |
|                      |                          | S DS                          | $= .070$            |
|                      |                          | S D1                          | $= .050$            |

| WIND LOADS:       |                      |
|-------------------|----------------------|
| BASIC WIND SPEED  | $V = 90 \text{ MPH}$ |
| EXPOSURE          | C                    |
| ENCLOSED BUILDING |                      |
| IMPORTANCE FACTOR | 1.0                  |

CONCRETE

1. CONCRETE WORK SHALL CONFORM TO THE LATEST EDITION OF THE FOLLOWING STANDARDS:

ACI 301 - "SPECIFICATIONS FOR STRUCTURAL CONCRETE"  
ACI 308 - "MANUAL OF CONCRETE PRACTICE"  
ACI 318 - "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE"  
ACI 310 - "BUILDING CODE REQUIREMENTS FOR STRUCTURAL PLAIN CONCRETE"

2. CONCRETE SHALL HAVE A MINIMUM 28-DAY ULTIMATE COMPRESSIVE STRENGTH AS FOLLOWS:

|                           |           |
|---------------------------|-----------|
| PILE CAPS AND GRADE BEAMS | 3500 PSI  |
| SLABS-ON-GRADE            | 4,000 PSI |
| FOOTINGS AND FROST WALLS  | 3500 PSI  |
| PRECAST CONCRETE          | 3,000 PSI |
| EXTERIOR EXPOSED CONCRETE | 3,500 PSI |
| RETAINING WALLS           | 4,000 PSI |

3. CONCRETE MIX DESIGN (INCLUDING AGGREGATE SIZE, WATER/CEMENT RATIO, AIR ENTRAINMENT, ADMIXTURES AND SLUMP) SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO COMMENCEMENT OF ANY WORK. MAXIMUM WATER/CEMENT RATIOS PERMITTED AS FOLLOWS:

0.50 FOR SLABS-ON-GRADE  
0.54 FOR BELOW GRADE CONCRETE  
0.48 FOR EXPOSED CONCRETE

4. CONCRETE TO BE EXPOSED TO THE WEATHER SHALL HAVE AIR-ENTRAINING ADMIXTURE AS REQUIRED TO PROVIDE 4-6% AIR ENTRAINMENT.

5. CONCRETE STRENGTH SHALL BE EVALUATED ACCORDING TO METHOD 1 OR METHOD 2 AS DESCRIBED IN ACI 301. THE RESULTS OF THESE ANALYSES SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO ANY WORK.

6. CONTRACTOR SHALL MAKE PROVISIONS TO ALLOW AN INDEPENDENT TESTING AGENCY, HIRED BY THE OWNER, TO CAST 4 TEST CYLINDERS FOR EACH 50 CUBIC YARDS OF CONCRETE PLACED OR FOR ANY ONE DAY'S OPERATION. TESTING AGENCY SHALL BE RESPONSIBLE FOR CASTING AND CURING SPECIMENS IN CONFORMANCE TO ASTM C31 AND TESTING SPECIMENS IN CONFORMANCE TO ASTM C39.

7. CONSTRUCTION JOINTS SHOWN ON THE CONTRACT DRAWINGS SHALL NOT BE ALTERED WITHOUT WRITTEN APPROVAL OF THE ARCHITECT.

8. DRAWINGS SHOWING THE LOCATION OF CONSTRUCTION JOINTS, CONTROL JOINTS AND PLACING SEQUENCE SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO THE PREPARATION OF REINFORCING SHOP DRAWINGS.

9. GROUT USED TO SET PLATES SHALL BE NON-SHRINK AND NON-METALLIC.

10. CONTRACTOR SHALL USE SMOOTH FORMS FOR EXPOSED CONCRETE SURFACES. BOARD FORMS MAY BE USED FOR UNEXPOSED CONCRETE SURFACES. EARTH FORMS ARE FORBIDDEN.

11. PROVIDE A MINIMUM OF 6" COMPACTED GRANULAR FILL UNDER ALL SLABS-ON-GRADE.

12. FLATWORK CONTRACTOR SHALL SUBMIT FLOOR SLAB PLACEMENT SEQUENCE TO ENGINEER FOR APPROVAL PRIOR TO BEGINNING WORK.

13. FLOOR FLATNESS AND LEVELNESS: CONCRETE SLABS-ON-GRADE SHALL HAVE MINIMUM F NUMBERS OF FF 35/FL25 AS RECOGNIZED BY THE MOST CURRENT VERSION OF ASTM E 1155 AND ACI 302.1. SEE SPECIFICATIONS FOR FURTHER RESTRICTIONS IF APPLICABLE.

REINFORCEMENT

1. DETAILING, FABRICATION AND ERECTION OF REINFORCING STEEL SHALL CONFORM TO THE FOLLOWING:

ACI 315 - "DETAILS AND DETAILING OF CONCRETE REINFORCEMENT"  
ACI 318 - "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE"  
MSRP - "CRSI MANUAL OF STANDARD PRACTICE"  
ANS D14 - "STRUCTURAL WELDING CODE - REINFORCING STEEL"  
WRI - "WELDED WIRE FABRIC MANUAL OF STANDARD PRACTICE"

2. STEEL REINFORCING BARS SHALL CONFORM TO ASTM A615 (GRADE 60), DEFORMED. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185.

3. REINFORCEMENT FABRICATOR SHALL PROVIDE AND SCHEDULE ON SHOP DRAWINGS ALL REQUIRED REINFORCING STEEL AND THE NECESSARY ACCESSORIES TO HOLD REINFORCEMENT SECURELY IN PLACE AT THE CORRECT LOCATIONS.

4. CLEARANCES FOR REINFORCEMENT: CONCRETE PLACED DIRECTLY ON EARTH (FOOTINGS, SLABS, ETC.) 3" FROM BOTTOM. ALL OTHER CONCRETE PROVIDE 2" CLEAR TO REINFORCING.

5. CONTRACTOR SHALL REFER TO TYPICAL DETAILS SHOWN ON CONTRACT DRAWINGS FOR ADDITIONAL REINFORCEMENT REQUIREMENTS.

6. WHERE REINFORCEMENT IS REQUIRED IN SECTIONS, REINFORCEMENT IS CONSIDERED TYPICAL WHEREVER SECTION APPLIES.

7. WELDED WIRE FABRIC SHALL LAP A MINIMUM OF 6" AND BE TIED TOGETHER.

8. CONTRACTOR SHALL NOTIFY ARCHITECT OF COMPLETION OF REINFORCEMENT INSTALLATION AND ALLOW AT LEAST 24 HOURS BEFORE SCHEDULED CONCRETE PLACEMENT FOR ARCHITECT TO INSPECT REINFORCEMENT.

| REINFORCEMENT DEVELOPMENT AND SPLICE LENGTH SCHEDULE |          |    |    |    |    |    |    |     |     |     |  |
|------------------------------------------------------|----------|----|----|----|----|----|----|-----|-----|-----|--|
| $F_y = 60 \text{ KSI}$ $f'_c = 3000 \text{ PSI}$     |          |    |    |    |    |    |    |     |     |     |  |
| BAR SIZE                                             |          | #3 | #4 | #5 | #6 | #7 | #8 | #9  | #10 | #11 |  |
| CLASS A<br>SPLICE<br>LENGTH                          | TOP BARS | 22 | 29 | 36 | 43 | 63 | 72 | 91  | 91  | 101 |  |
|                                                      | OTHERS   | 17 | 22 | 28 | 33 | 48 | 55 | 62  | 70  | 78  |  |
| CLASS B<br>SPLICE<br>LENGTH                          | TOP BARS | 28 | 37 | 47 | 56 | 81 | 93 | 105 | 118 | 131 |  |
|                                                      | OTHERS   | 22 | 29 | 36 | 43 | 63 | 72 | 81  | 91  | 101 |  |

| NOTES                                                                                                                                                                                                                                                                                     |                                                                      |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------|
| 1. ALL SPLICE LENGTHS SHALL BE CLASS B UNLESS NOTED OTHERWISE.                                                                                                                                                                                                                            |                                                                      |
| 2. TABULATED VALUES ARE BASED ON GRADE 60 REINFORCING BARS AND NORMAL WEIGHT CONCRETE.                                                                                                                                                                                                    |                                                                      |
| 3. TENSION DEVELOPMENT LENGTHS AND TENSION LAP SPLICE LENGTHS ARE CALCULATED PER ACI 318-95. SECTIONS 12.2 AND 12.15 RESPECTIVELY. TABULATED VALUES FOR BEAMS AND COLUMNS ARE BASED ON TRANSVERSE REINFORCEMENT AND CONCRETE COVER MEETING MIN. CODE REQUIREMENTS. LENGTHS ARE IN INCHES. |                                                                      |
| 4. TOP BARS ARE HORIZONTAL BARS WITH MORE THAN 12" OF CONCRETE CAST IN THE MEMBER BELOW THE REINFORCEMENT. (EXCEPT IN WALLS)                                                                                                                                                              |                                                                      |
| 5. SPLICE AND DEVELOPMENT LENGTHS IN THIS SCHEDULE ARE BASED ON THE SPACING GREATER THAN OR EQUAL TO SIX(6) BAR DIAMETERS AND CONCRETE COVER GREATER THAN OR EQUAL TO TWO(2) INCHES, IN NORMAL WEIGHT CONCRETE.                                                                           |                                                                      |
| BEAMS OR COLUMNS:                                                                                                                                                                                                                                                                         | COVER AT LEAST 1.0 BAR DIA. AND C.--C. SPACING AT LEAST 2.0 BAR DIA. |
| ALL OTHERS:                                                                                                                                                                                                                                                                               | COVER AT LEAST 1.0 BAR DIA. AND C.--C. SPACING AT LEAST 3.0 BAR DIA. |

REINFORCED MASONRY

1. ALL REINFORCED CONCRETE MASONRY MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE FOLLOWING:

ACI 530/ASCE 6/TMS 602 SPECIFICATIONS FOR MASONRY STRUCTURES"

ACI 530/ASCE 5/TMS 402 BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES.

2. CONCRETE BLOCK SHALL CONFORM TO ASTM C-40. THE REQUIRED STRENGTH ON THE NET CROSS SECTIONAL OF THE CONCRETE BLOCK SHALL BE 2500 PSI.

3. MORTAR SHALL BE TYPE M OR S, CONFORMING TO ASTM C270.

4. GROUT SHALL CONFORM TO ASTM C416. GROUT MAY BE PLACED BY THE 'HIGH LIFT' METHOD, CONFORMING TO THE GROUTING PATTERS REQUIRED BY THE CONTRACT DRAWINGS.

5. THE REQUIRED MINIMUM 28-DAY COMPRESSIVE STRENGTH OF THE COMBINATION OF CONCRETE BLOCK, GROUT AND MORTAR ON THE NET AREA OF THE WALL (FM) SHALL BE 1830 PSI.

6. ALL CONCRETE BLOCK MASONRY UNITS SHALL BE LAID IN A RUNNING BOND.

7. MASONRY BLOCK CELLS CONTAINING VERTICAL REINFORCING SHALL BE GROUTED SOLID. FILLING CELLS WITH MORTAR IS UNACCEPTABLE.

8. THE BASE OF EACH CELL IN WHICH A BAR IS PLACED, MUST HAVE A CLEANOUT HOLE.

9. REINFORCING STEEL SHALL CONFORM TO ASTM A615 GRADE 60.

10. PROVIDE CONTINUOUS REINFORCED BOND-BEAMS IN ALL REINFORCED MASONRY WALLS AT TOPS OF WALLS, IMMEDIATELY BELOW STEEL BEARINGS AND WHEREVER CALLED FOR IN CONTRACT DRAWINGS. BOND BEAM REINFORCING SHALL EXTEND INTO AND BE CONTINUOUS WITH ALL INTERSECTING BOND BEAMS.

11. REINFORCED MASONRY WALLS SHALL HAVE #4 GAUGE (TRUSS TYPE) HORIZONTAL REINFORCING AT SPACING AS NOTED ON THE CONTRACT DRAWINGS, BUT AT A MINIMUM OF 16" O.C.

12. FILL CORES OF MASONRY UNDER ALL BEARING PLATES FOR A WIDTH EQUAL TO THREE TIMES THE BEARING PLATE LENGTH FOR THREE COURSES BELOW BEARING.

13. PROVIDE AND INSTALL ONE LINTEL FOR EACH 4' OF WALL THICKNESS ACCORDING TO THE FOLLOWING SCHEDULE:

| FOR NON-BEARING WALLS |                   |                                    |  |
|-----------------------|-------------------|------------------------------------|--|
| OPENING               | LINTEL            |                                    |  |
| 3'-0"                 | 3 1/2X3 1/2X 5/16 |                                    |  |
| 4'-0"                 | 4X3 1/2X5/16      |                                    |  |
| 5'-0"                 | 4X3 1/2X5/16      |                                    |  |
| 6'-0"                 | 4X3 1/2X5/16      | LINTELS SHALL BEAR A MINIMUM OF 6" |  |
| 7'-0"                 | 4X3 1/2X5/16      | ON EACH SIDE OF OPENING. LONG LEG  |  |
| 7'-0"                 | 4X3 1/2X5/16      | OF ANGLE SHALL BE VERTICAL.        |  |

STRUCTURAL STEEL

1. STRUCTURAL STEEL WORK SHALL CONFORM TO THE FOLLOWING:

AISC - "SPECIFICATION FOR DESIGN, FABRICATION AND ERECTION OF STEEL FOR BUILDINGS".

AISC - "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES".

ANS D11 - "STRUCTURAL WELDING CODE - STEEL".

AISC - "STRUCTURAL STEEL DETAILING MANUAL".

2. STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING:

HOT ROLLED WIDE-FLANGE - ASTM A992 ( $F_y=50 \text{ KSI}$ )  
ALL OTHER STRUCTURAL SHAPES AND PLATES - ASTM A572 ( $F_y=50 \text{ KSI}$ )  
STRUCTURAL STEEL PIPE - ASTM A53 GRADE B ( $F_y=35 \text{ KSI}$ ).  
TUBULAR STEEL - ASTM A500 GRADE B ( $F_y=46 \text{ KSI}$ )  
HIGH STRENGTH BOLTS - ASTM A325N (BEARING TYPE)  
ASTM A325F (FRICTION TYPE)  
ANCHOR BOLTS - ASTM A307 OR A36

3. PROVIDE 2 MIL THICK RED OR GREY OXIDE PRIMER ON ALL STEEL SURFACES UNLESS NOTED OTHERWISE.

4. ANCHOR BOLTS SHALL BE PRESET WITH TEMPLATES AT REQUIRED LOCATIONS.

5. LEVELING PLATES AND BEARING PLATES SHALL BE SET IN FULL BED OF NON-SHRINK GROUT.

6. CONNECTIONS MAY BE EITHER BOLTED OR WELDED AT THE FABRICATOR'S OPTION. BOLTED CONNECTIONS SHALL BE AS FOLLOWS:  
MINIMUM BOLT DIAMETER: 3/4"

SHEAR CONNECTIONS FOR MOMENT CONNECTED MEMBERS: FRICTION TYPE HIGH STRENGTH BOLTS IN SINGLE OR DOUBLE SHEAR.

SHEAR CONNECTIONS FOR OTHER MEMBERS: BEARING TYPE HIGH STRENGTH BOLTS IN SINGLE OR DOUBLE SHEAR.

SIMPLE SHEAR CONNECTIONS SHALL BE CAPABLE OF END ROTATION PER AISI REQUIREMENTS FOR "UNRESTRAINED MEMBERS".

7. ALL BEAM CONNECTIONS NOT DETAILED SHALL SUPPORT 1/2 THE TOTAL UNIFORM LOAD CAPACITY FOR THE GIVEN BEAM AND SPAN OR THE INDICATED REACTION, WHICHEVER IS GREATER. CONNECTIONS SHALL GENERALLY FOLLOW THE TYPES SHOWN IN THE "AISC MANUAL OF STEEL CONSTRUCTION" TABLE II, III, OR IV.

8. WELDS SHALL FULLY DEVELOP STRENGTH OF THE MATERIALS BEING WELDED, UNLESS NOTED OTHERWISE. EXCEPT THAT FILLET WELDS SHALL BE A MINIMUM 3/16".

9. WELDED CONNECTIONS SHALL BE MADE BY APPROVED CERTIFIED WELDERS USING FILLER METAL CONFORMING TO E10XX.

10. CONTRACTOR SHALL PROVIDE TEMPORARY ERECTION BRACING AND SUPPORTS TO HOLD STRUCTURAL STEEL FRAMING SECURELY IN POSITION. TEMPORARY BRACING SHALL REMAIN UNTIL THE PERMANENT LATERAL BRACING HAS BEEN INSTALLED AND AND THE CONCRETE FOR FLOOR SLABS HAS ATTAINED 75% OF ITS REQUIRED STRENGTH.

11. STRUCTURAL STEEL FRAMING SHALL BE TRUE AND PLUMB BEFORE FINAL BOLTING OR WELDING OF CONNECTIONS.

12. CONTRACTOR SHALL NOT MODIFY OR CUT ANY STRUCTURAL STEEL WITHOUT WRITTEN APPROVAL FROM THE ENGINEER.

13. CONTRACTOR SHALL FIELD TOUCH UP ALL ABRASIONS, BURNS AND SIMILAR DEFECTS IN PAINT OF THE STRUCTURAL STEEL, JOISTS AND STEEL DECK.

STEEL DECK

1. ALL STEEL DECK MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE FOLLOWING STANDARDS:

AISI - "SPECIFICATIONS FOR THE DESIGN OF LIGHT-GAUGE COLD-FORMED STEEL STRUCTURAL MEMBERS"

AISC - "SPECIFICATIONS FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS"

ANS D9.13 - "STRUCTURAL WELDING CODE - SHEET METAL"

SDI - "CODE OF STANDARD PRACTICE"

2. ROOF DECK SHALL BE 1/2" DEEP X 22 GAUGE, WIDE RIB STEEL DECK CONFORMING TO ASTM A611, GRADE C (PAINTED) OR ASTM A446, GRADE A (GALVANIZED) WITH A MINIMUM YIELD STRESS OF 35 KSI.

3. GALVANIZING SHALL CONFORM TO ASTM A525, COATING CLASS G-60.

4. PRIMER PAINT SHALL BE SHOP APPLIED OVER CLEANED AND PHOSPHATIZED STEEL.

5. STEEL DECK SHALL EXTEND OVER THREE OR MORE SPANS WHEREVER POSSIBLE.

6. STEEL ROOF DECK SHALL BE FASTENED TO SUPPORTS WITH #12-24 TKS SCREWS OR HILTI PAF'S AT SPACING NOTED ON DRAWINGS. SIDE LAPS SHALL BE FASTENED WITH #10-16 TKS SCREWS AT SPACING NOTED ON DRAWINGS.

COLD FORMED STRUCTURAL STEEL MEMBERS INCLUDING LIGHT GAUGE STEEL

1. ALL COLD FORMED STRUCTURAL MATERIAL AND WORK SHALL CONFORM TO THE LATEST EDITIONS OF THE FOLLOWING:

AISI "SPECIFICATIONS FOR THE DESIGN OF LIGHT-GAUGE COLD-FORMED STEEL STRUCTURAL MEMBERS"

AISC "SPECIFICATIONS FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS"

2. COLD FORMED STEEL SHALL CONFORM TO THE FOLLOWING:

LIGHT GAUGE STUDS, JOIST, TRACKS AND ACCESSORIES: ASTM A 655 /655 M, 660 GALVANIZED.

ASTM 5653 COLD FORMED GALVANIZED LIGHT GAUGE FRAMING MEMBERS

- A. STUDS AND JOISTS SHALL BE CHANNEL SHAPED WITH LIPPED FLANGES, PUNCHED WEB, SIZE, GAUGE AND GRADE AS SHOWN ON THE DRAWINGS (AS REQUIRED BY STRUCTURAL CALCULATIONS).

- B. TRACKS SHALL BE CHANNEL SHAPED SOLID WEB, DEPTH COMPATIBLE WITH STUDS, GAUGE AND GRADE AS SHOWN ON THE DRAWINGS (AS REQUIRED BY STRUCTURAL CALCULATIONS).

- C. FRAMING ACCESSORIES SHALL HAVE A MINIMUM YIELD STRENGTH OF 65 KSI.

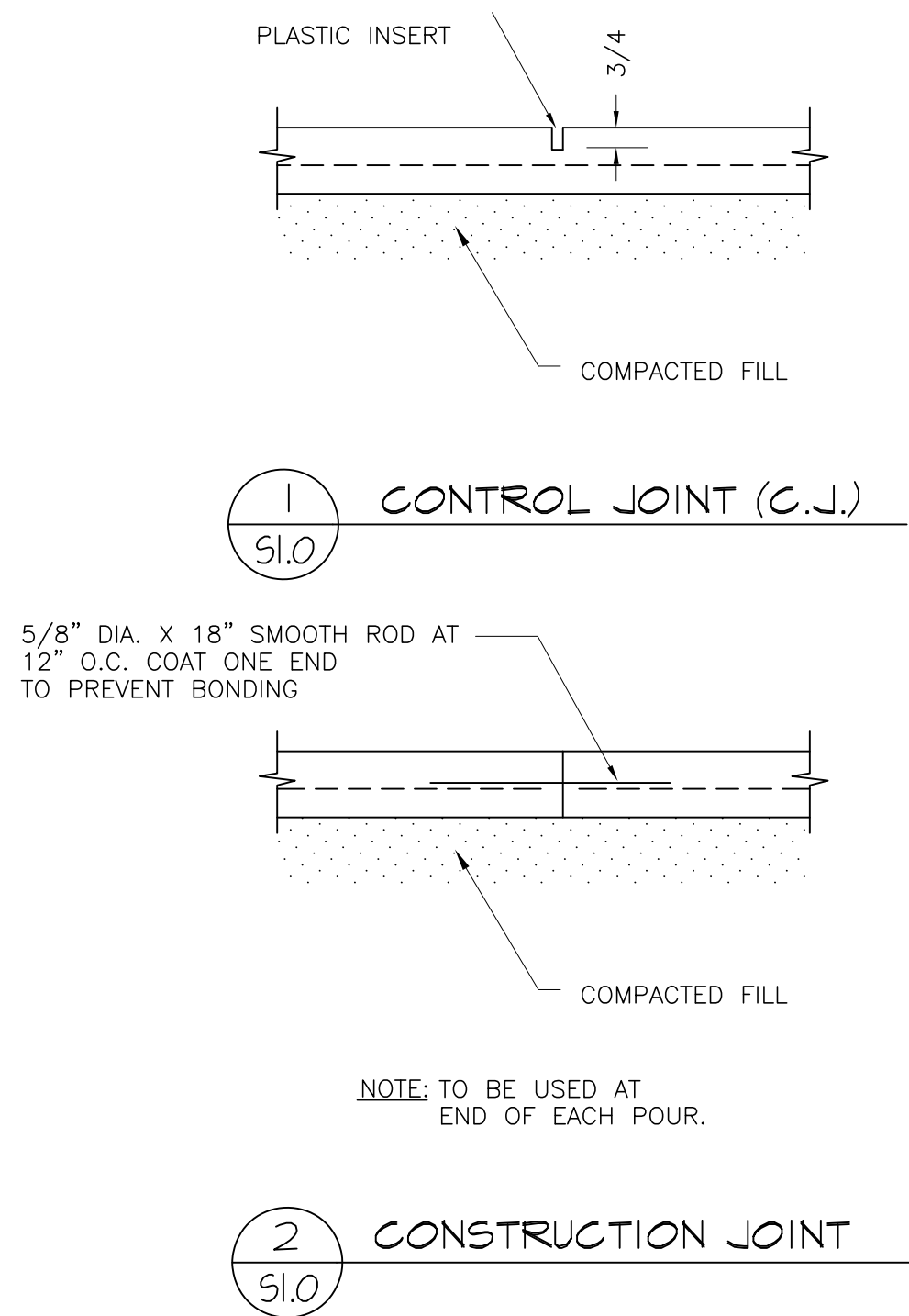
- D. SCREWS SHALL BE CORROSION RESISTANT, SELF DRILLING PAN OR HEX WASHER HEAD AS SHOWN ON THE DRAWINGS (AS REQUIRED BY STRUCTURAL CALCULATIONS).

- E. POWDER ACTUATED FASTENERS: AISI 1062 OR 1065 STEEL, MINIMUM CORE HARDNESS 50 TO 54 HRC AND ZINC PLATED IN ACCORDANCE WITH ASTM B 633 DIAMETER AND LENGTH AS SHOWN ON THE DRAWINGS (AS REQUIRED BY STRUCTURAL CALCULATIONS).

- F. ALL LIGHT GAUGE FRAMING MEMBERS SHALL BE DIETRICH CSJ OR CSW SERIES UNLESS NOTED OTHERWISE.

- G. WIND DESIGN LOADS FOR SECONDARY FRAMING PER THE LATEST ADDITION OF ASCE 1 FOR COMPONENTS AND CLADDING. WIND DESIGN SPEED AND EXPOSURE ARE NOTED UNDER DESIGN LOADS.

- H. MATERIAL SUPPLIER IS RESPONSIBLE FOR MEMBER DESIGN, THEREFORE CALCULATIONS MUST BE INCLUDED WITH SHOP DRAWINGS FOR APPROVAL.



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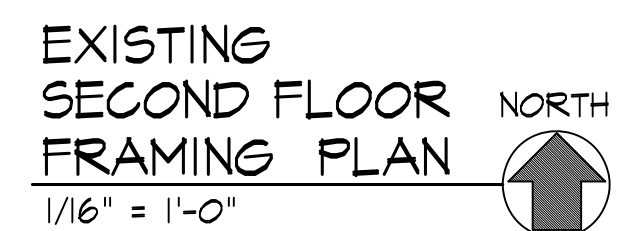
WISCONSIN

PROJECT:  
PROPOSED BUILDING ALTERNATIONS FOR:  
ADAMS STREET BUILDING  
301 NORTH ADAMS STREET  
CITY OF GREEN BAY

DRAWN BY:  
R.J.F.  
CHK'D BY:  
R.J.F.  
JOB NUMBER:  
20059  
DATE:  
12/8/20

S1.0

REVISED PER FIELD MEETING 8/14/23  
REVISED PER FIELD INVESTIGATIONS 5/11/23  
REVISED FOR CONSTRUCTION 3/11/23

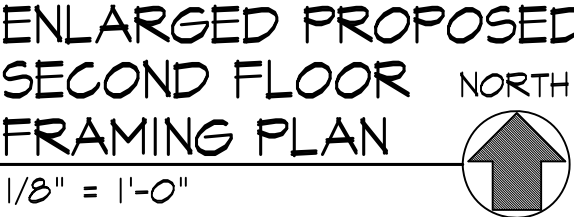


**PROJECT:**  
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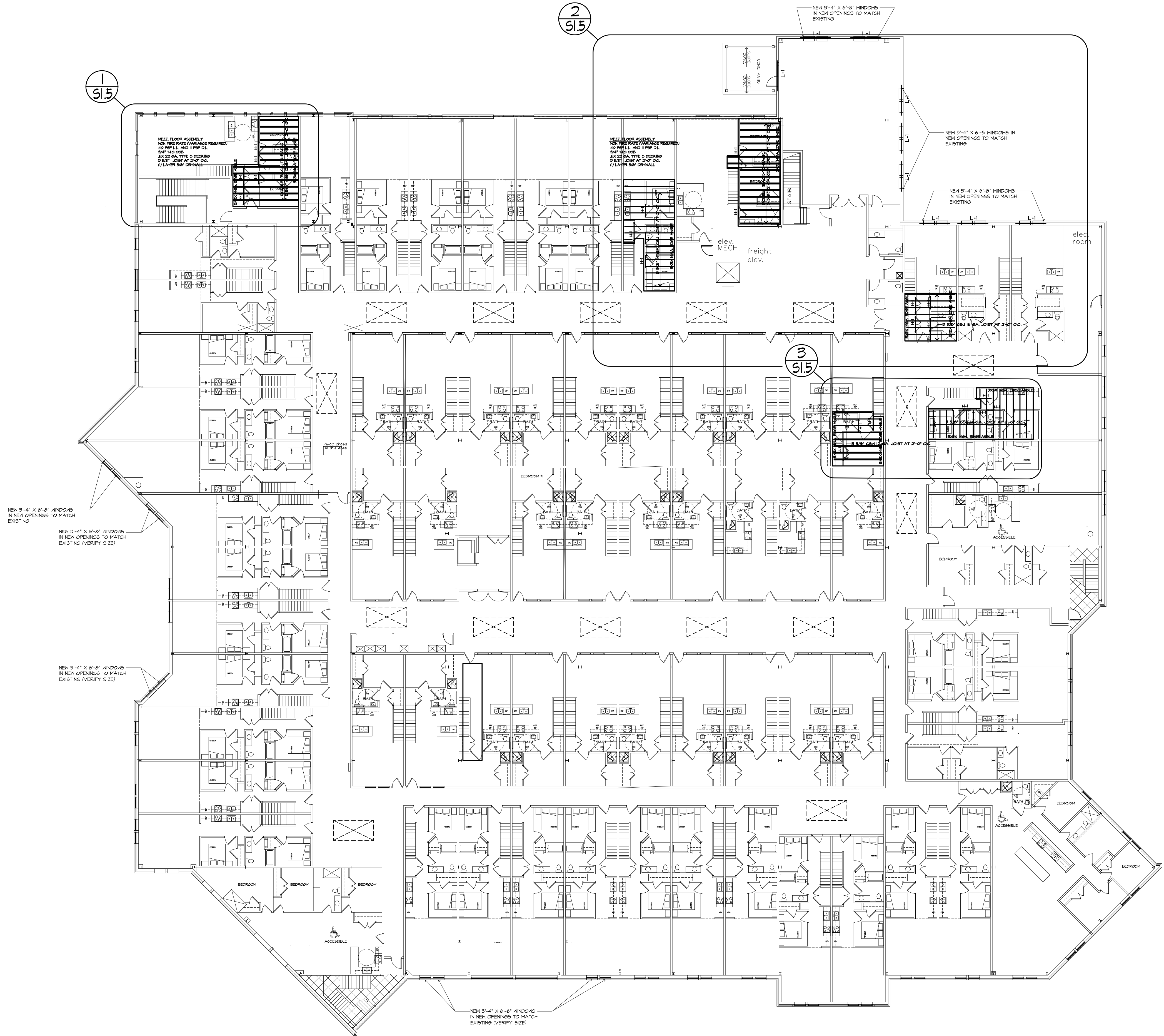
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WISCONSIN

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SEE SHEET S1.5 FOR ENLARGED FRAMING PLANS

PROPOSED  
THIRD FLOOR  
FRAMING PLAN  
1/16" = 1'-0"



REVISED FOR CONSTRUCTION  
REVISED FOR CONSTRUCTION  
REVISED FOR VARIANCE

3/1/23  
11/30/22  
11/2/22

PROPOSED BUILDING ALTERATIONS FOR:  
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301 NORTH ADAMS STREET  
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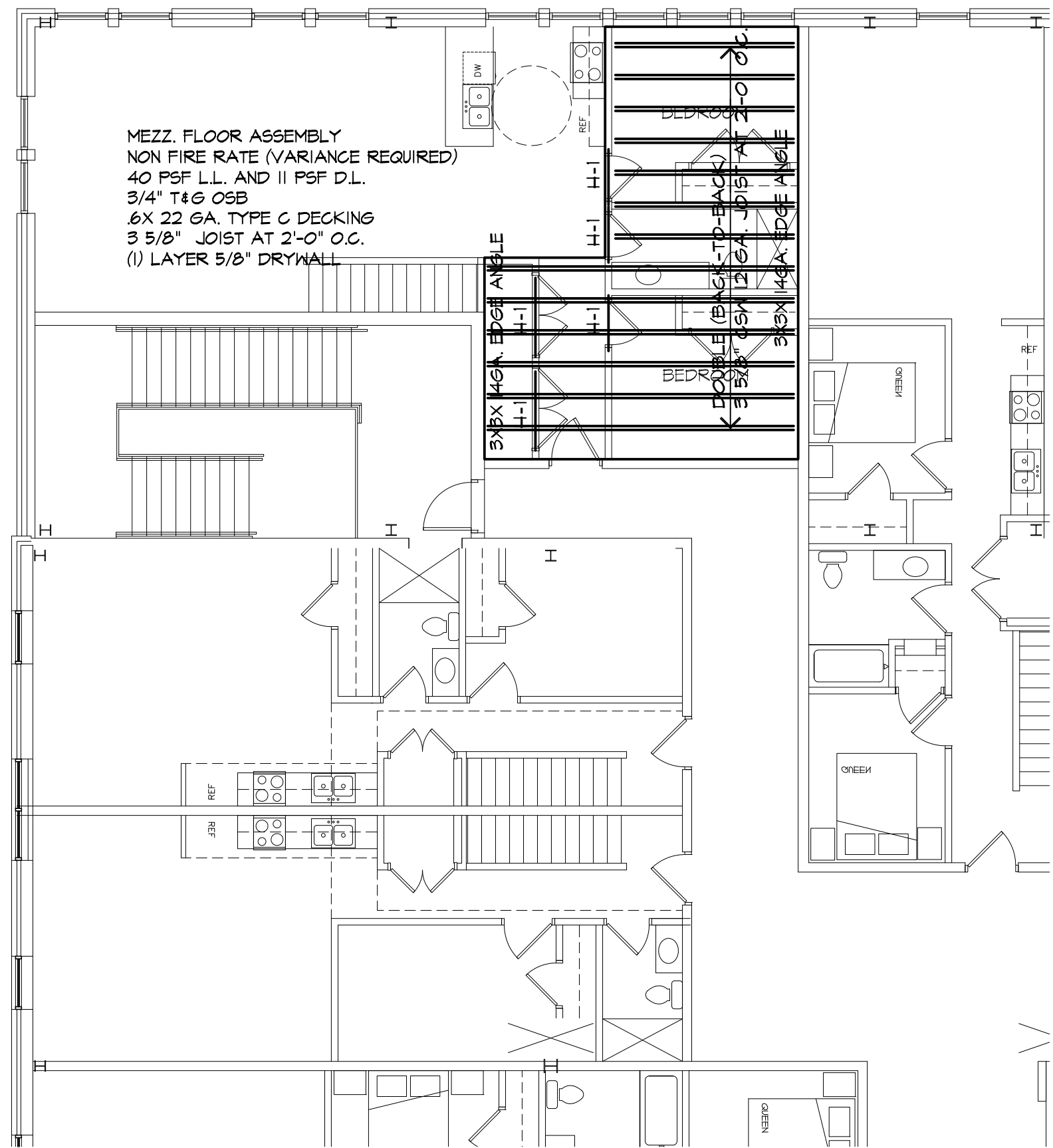
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S1.4

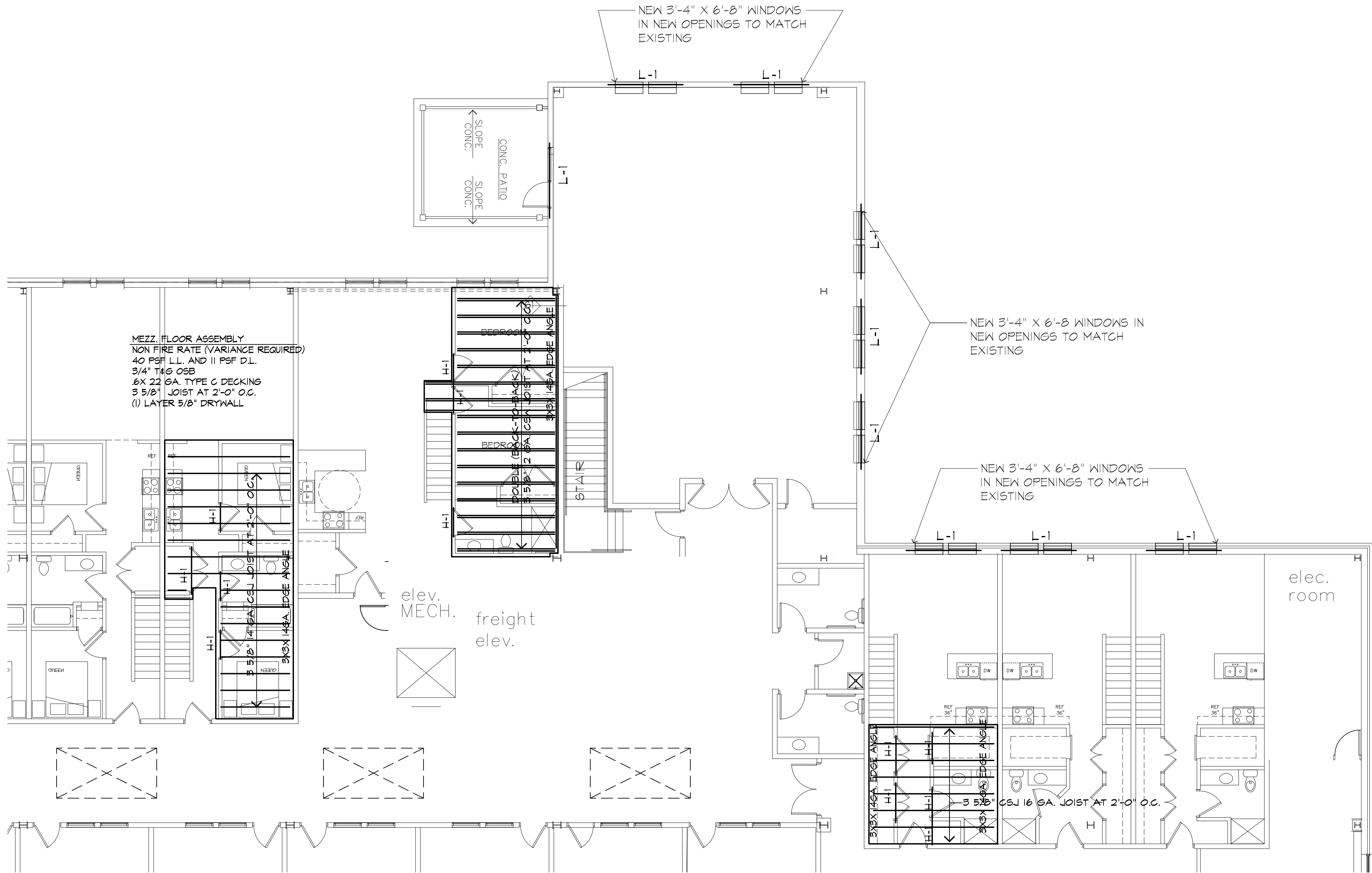


ENLARGED PROPOSED  
THIRD FLOOR  
FRAMING PLAN NORTH  
1  
S1.5 1/8" = 1'-0"

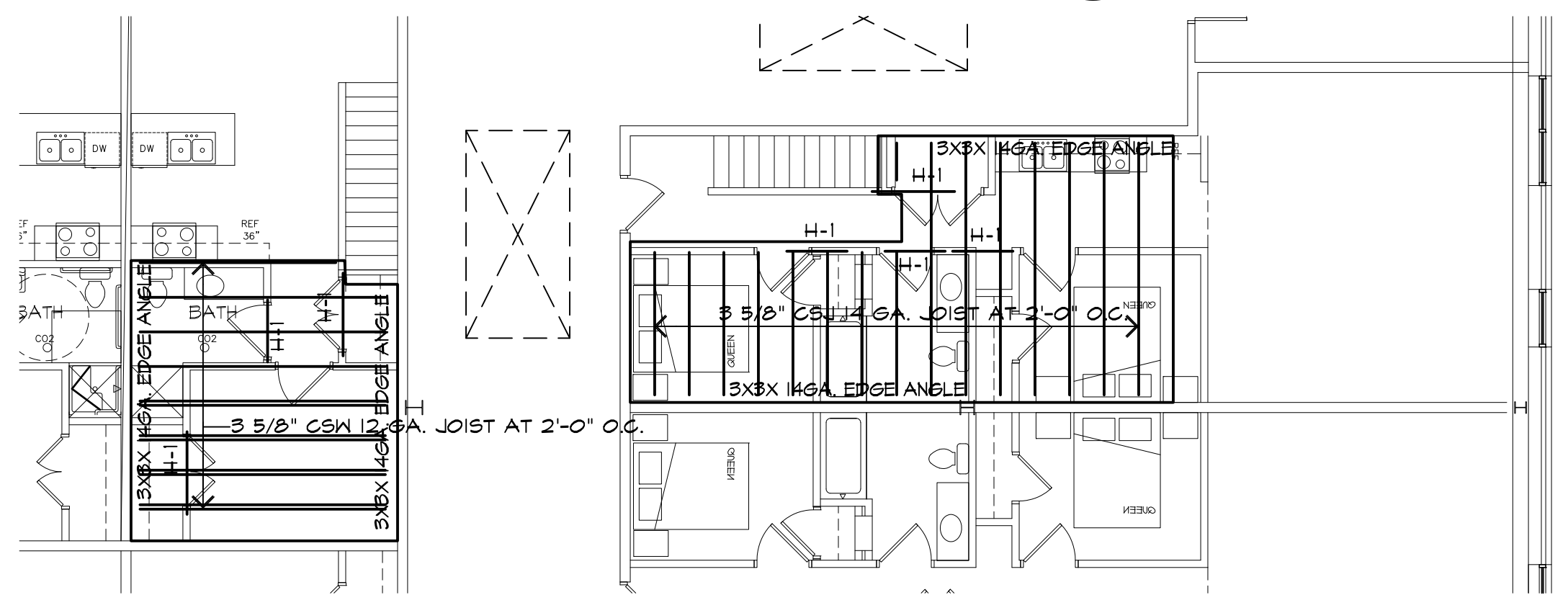
### LINTEL SCHEDULE

L-1 W8X24 W 5/16 X 13 1/2" CONT.  
STEEL PLATE W 8" MIN BEARING  
EACH END ON GROUT FILLED CELL  
W/ (1) #5 VERT.

| WALL OPENING FRAMING SCHEDULE                  |                                       |                    |                 |
|------------------------------------------------|---------------------------------------|--------------------|-----------------|
| MARK                                           | HEADER SIZE                           | KING STUD EACH END | CONNECTION NOTE |
|                                                |                                       | NO. / SIZE         |                 |
| H-1                                            | (2) 12025/62-43<br>3 5/8" TRACK T 4 B | (1) 3625/62-43     | VERIFY          |
| H-2                                            | NON-LOADBEARING<br>3 5/8" TRACK T 4 B | (1) 3625/62-33     | VERIFY          |
| NOTE: ALL NON-LOADBEARING DOOR HEADERS ARE H-2 |                                       |                    |                 |



ENLARGED PROPOSED  
THIRD FLOOR  
FRAMING PLAN NORTH  
2  
S1.5 1/8" = 1'-0"



ENLARGED PROPOSED  
THIRD FLOOR  
FRAMING PLAN NORTH  
3  
S1.5 1/8" = 1'-0"

REVISED FOR CONSTRUCTION  
REVISED FOR CONSTRUCTION  
REVISED FOR VARIANCE

PROJECT:  
PROPOSED BUILDING ALTERATIONS FOR:  
**ADAMS STREET BUILDING**  
301 NORTH ADAMS STREET  
CITY OF GREEN BAY

DRAWN BY:  
R.J.F.

CHK'D BY:  
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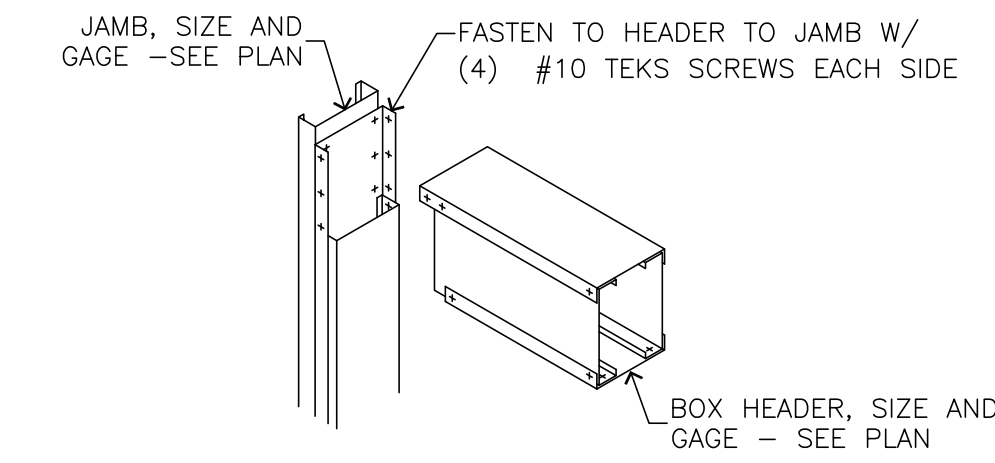
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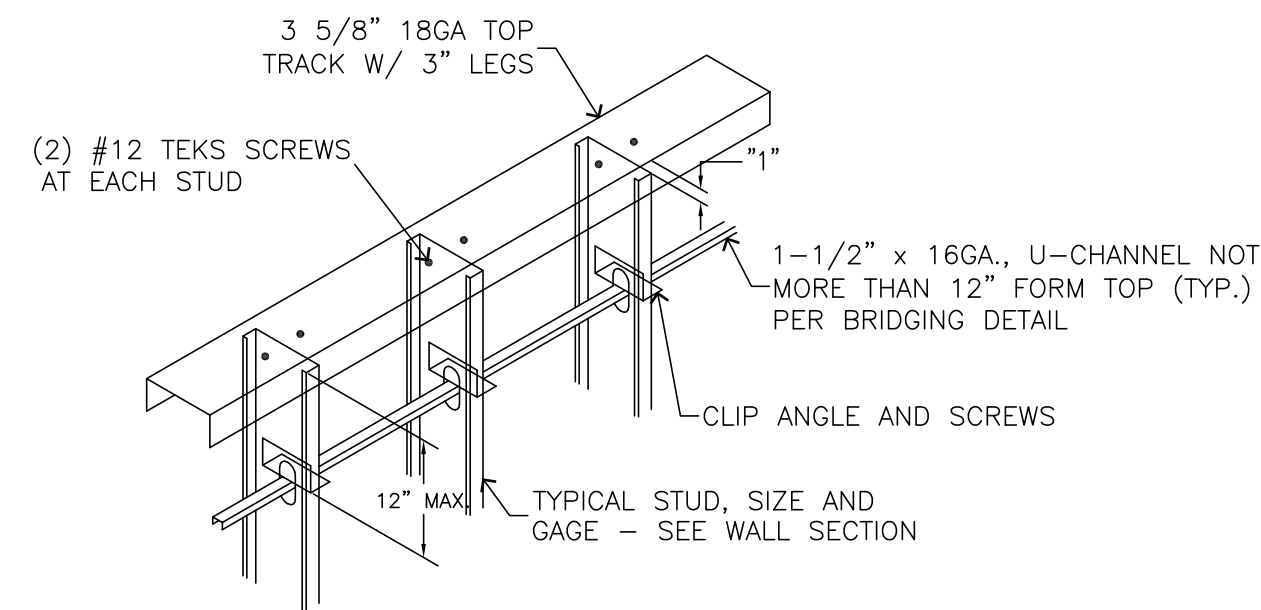
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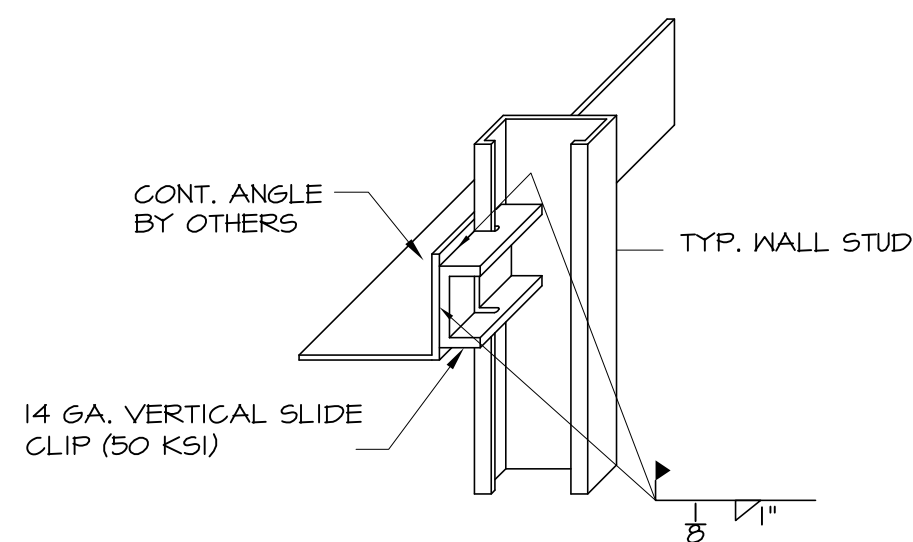
## HEADER DETAIL

N.T.S.

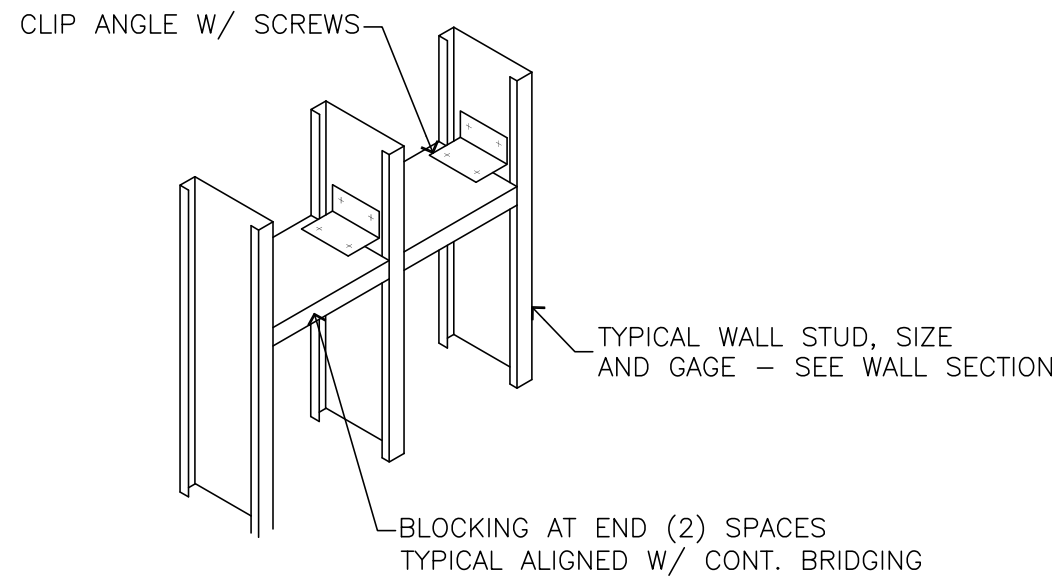
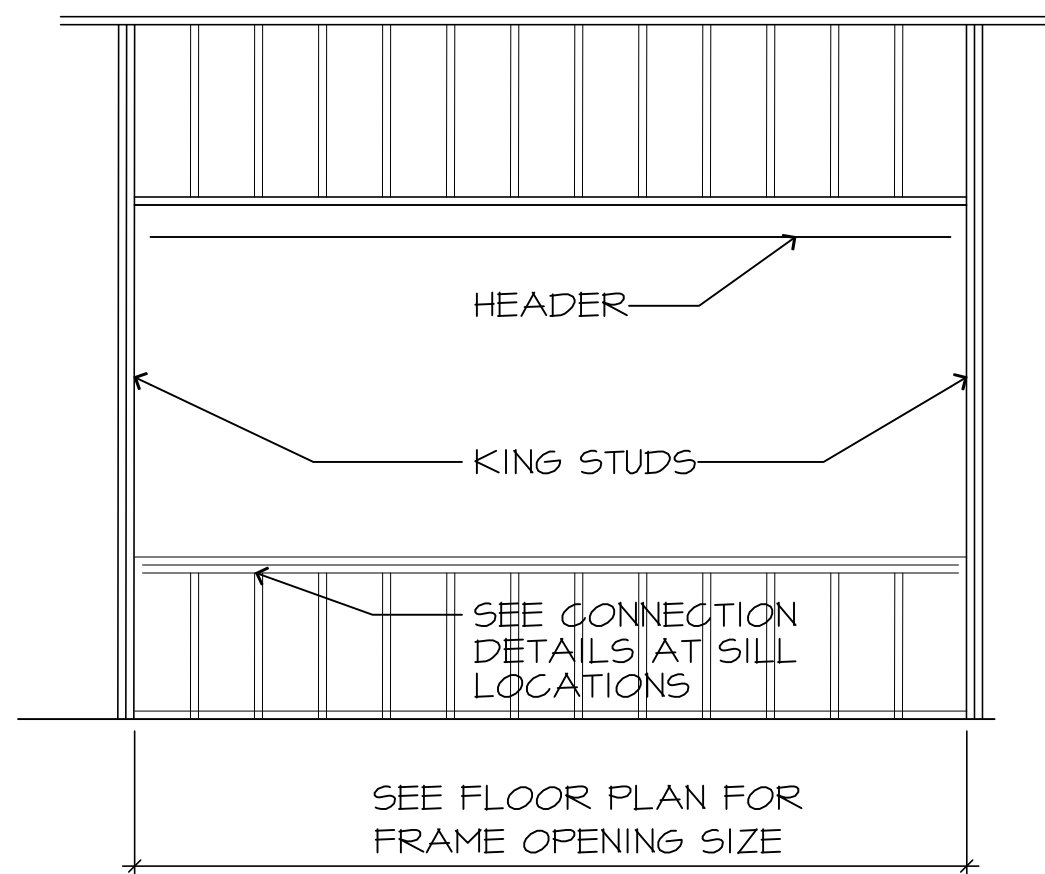


## SLIP TRACK DETAIL

N.T.S.

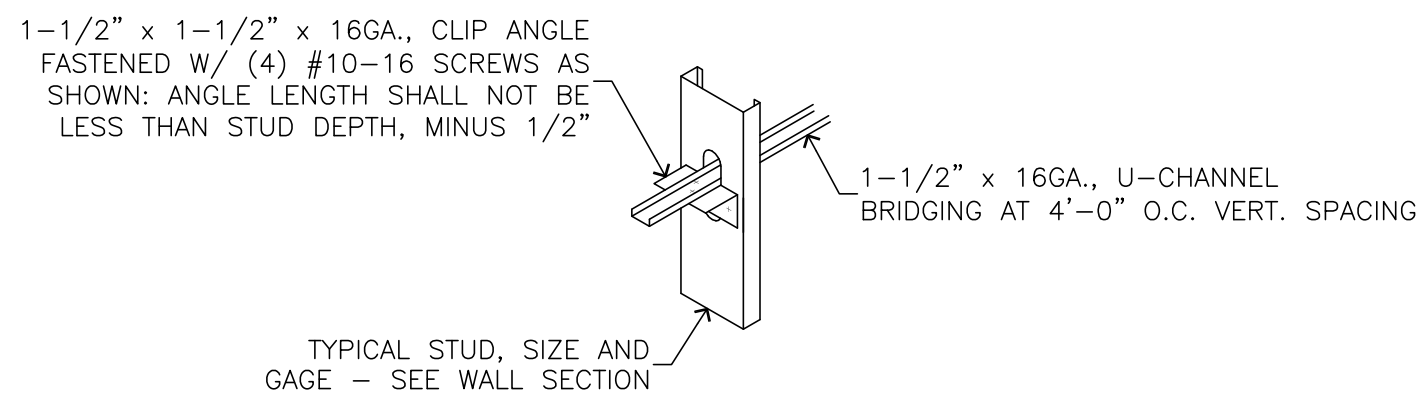


## TYPICAL CLIP ATTACHMENT DETAIL



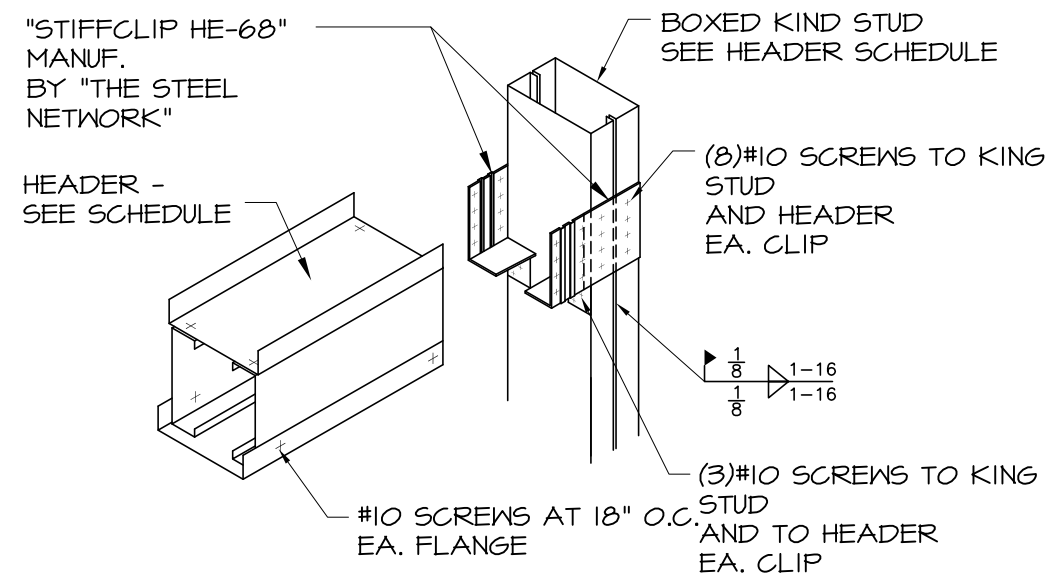
## SOLID BLOCKING DETAIL

N.T.S.

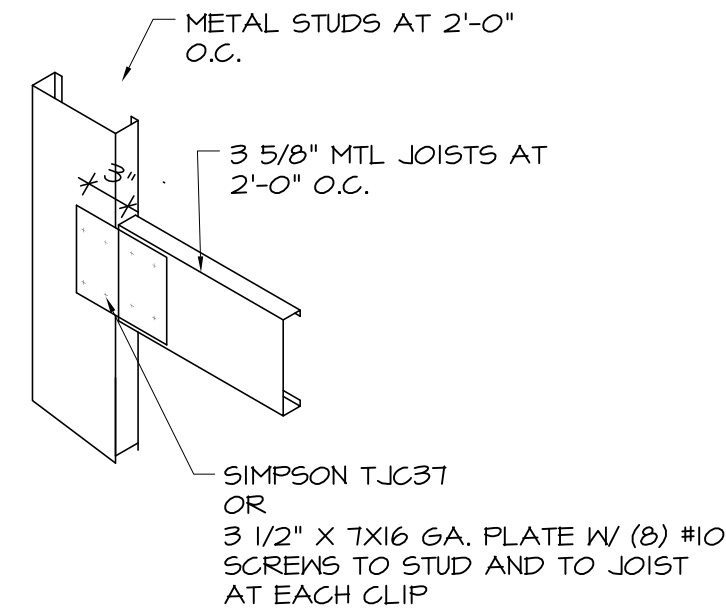


## U-CHANNEL BRIDGING CONNECTION

N.T.S.



## TYPICAL HEADER DETAIL



## TYPICAL JOIST TO STUD DETAIL

METAL STUD CONTRACTOR TO PROVIDE ENGINEERED SHOP DRAWINGS FOR REVIEW

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PROJECT:

PROPOSED BUILDING ALTERNATIONS FOR:  
**ADAMS STREET BUILDING**  
301 NORTH ADAMS STREET  
CITY OF GREEN BAY

WISCONSIN

DRAWN BY:

RJF

CHK'D BY:

RJF

JOB NUMBER:

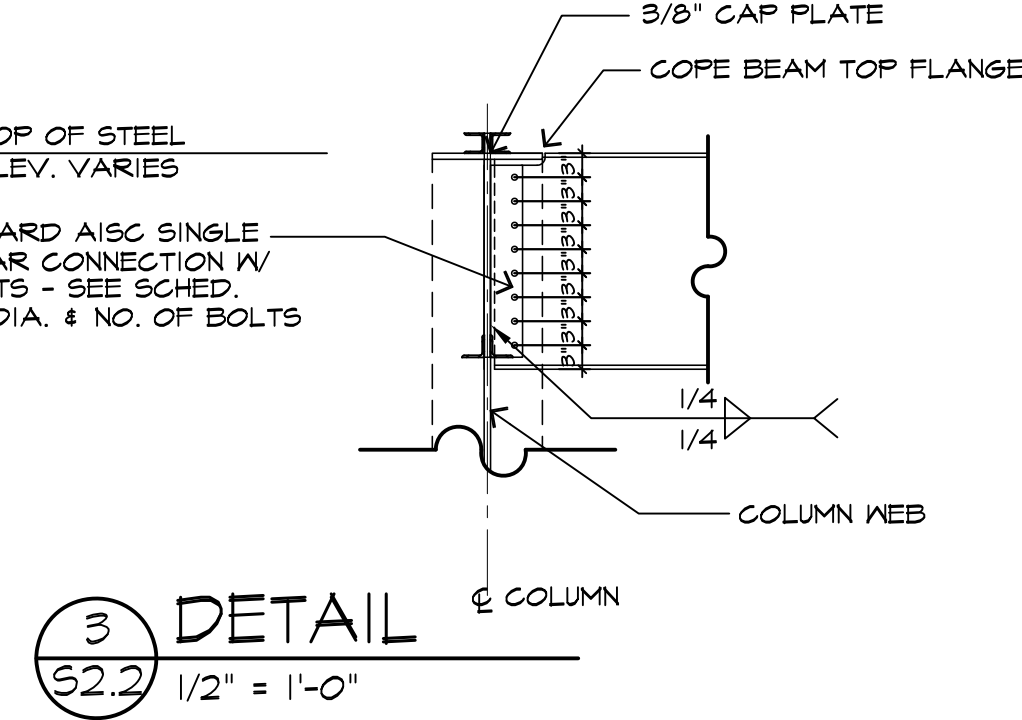
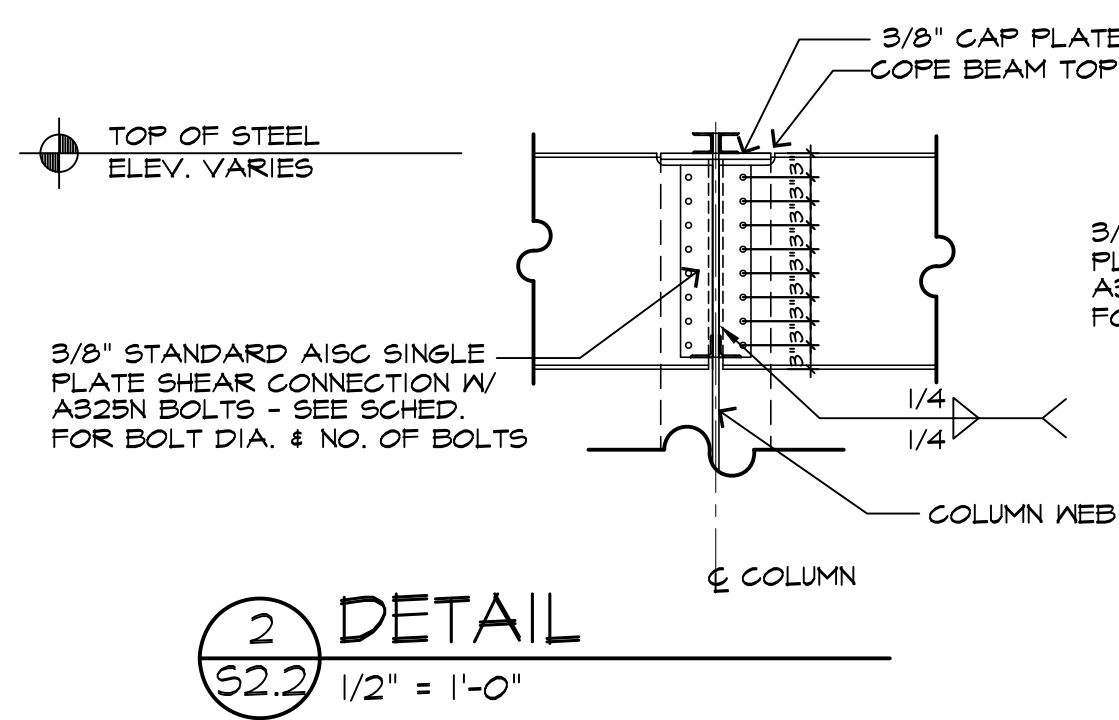
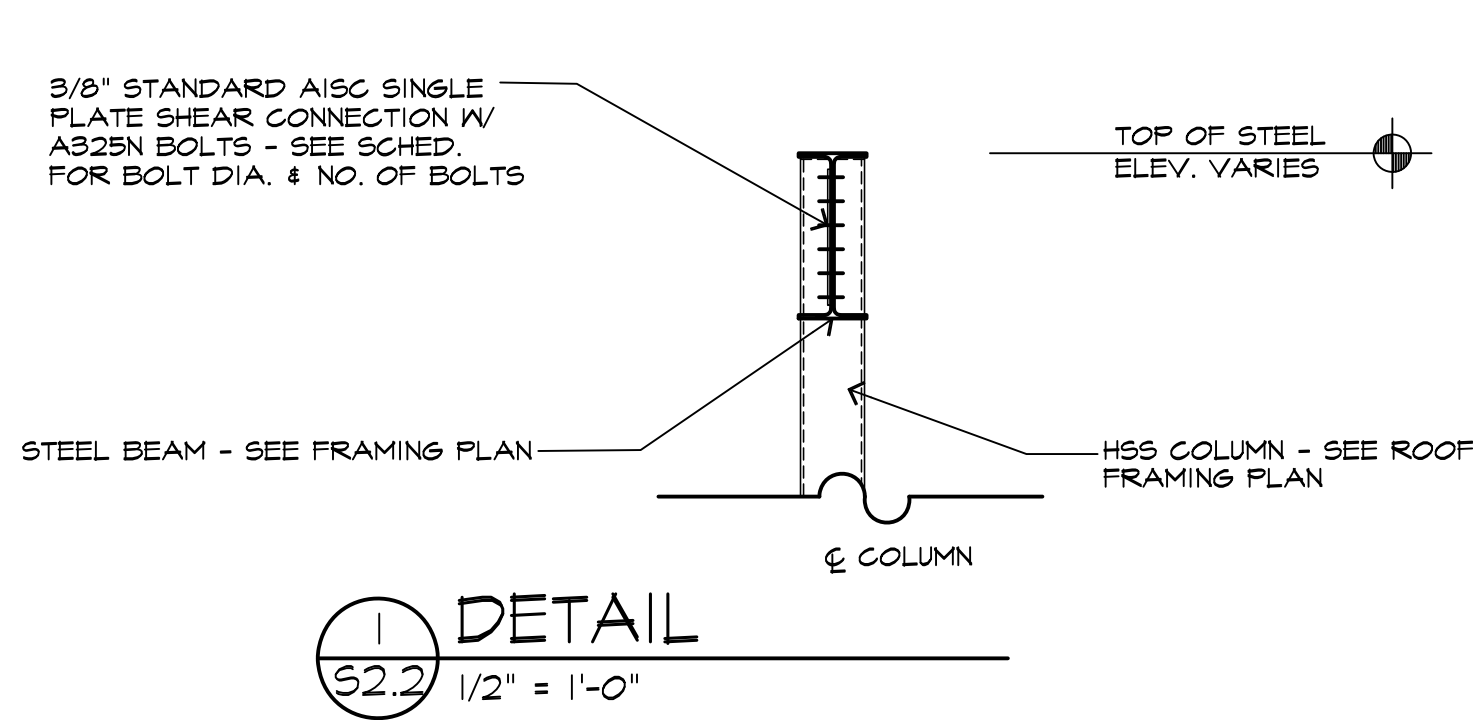
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DATE:

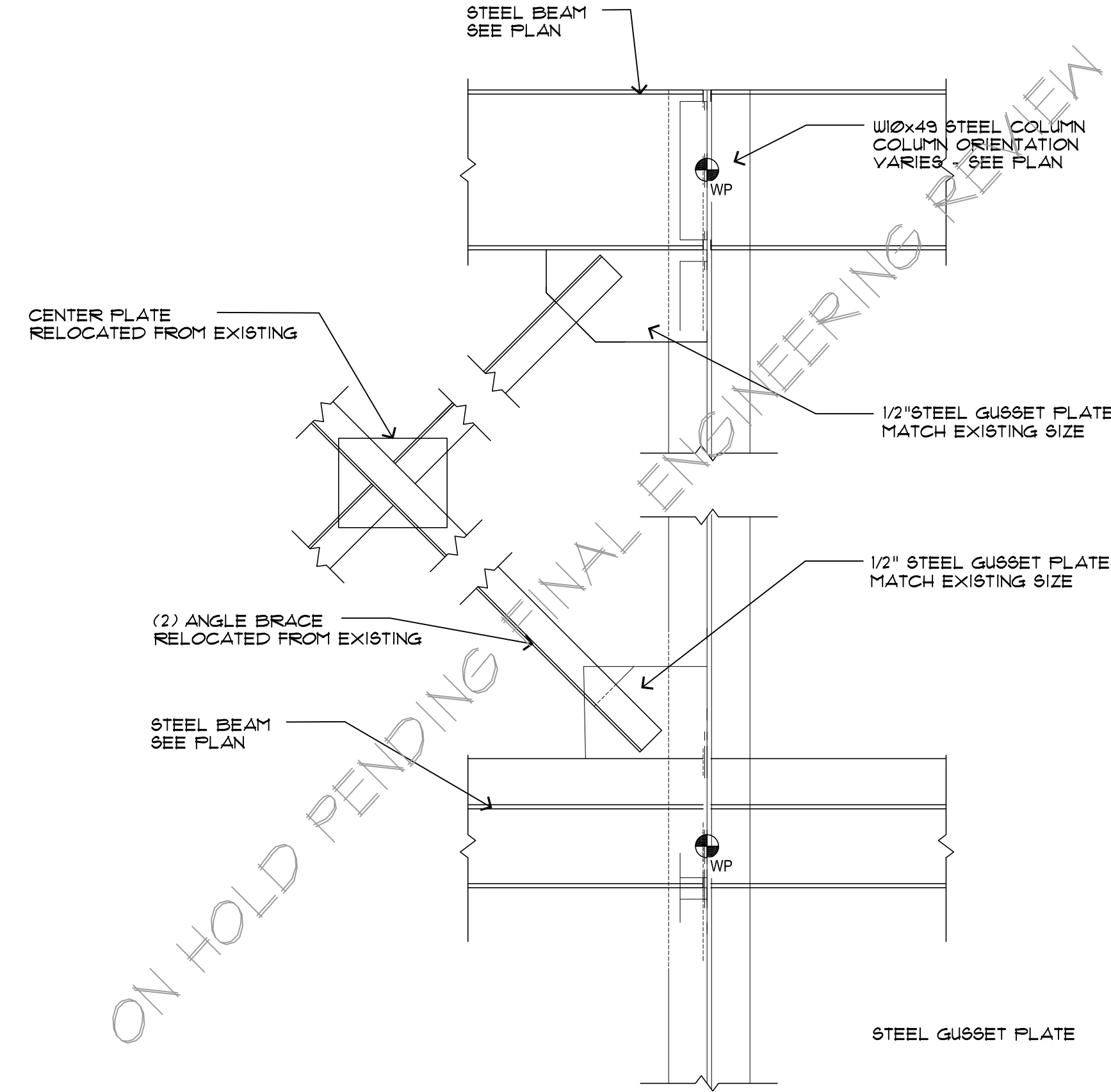
12/8/20

S2.1

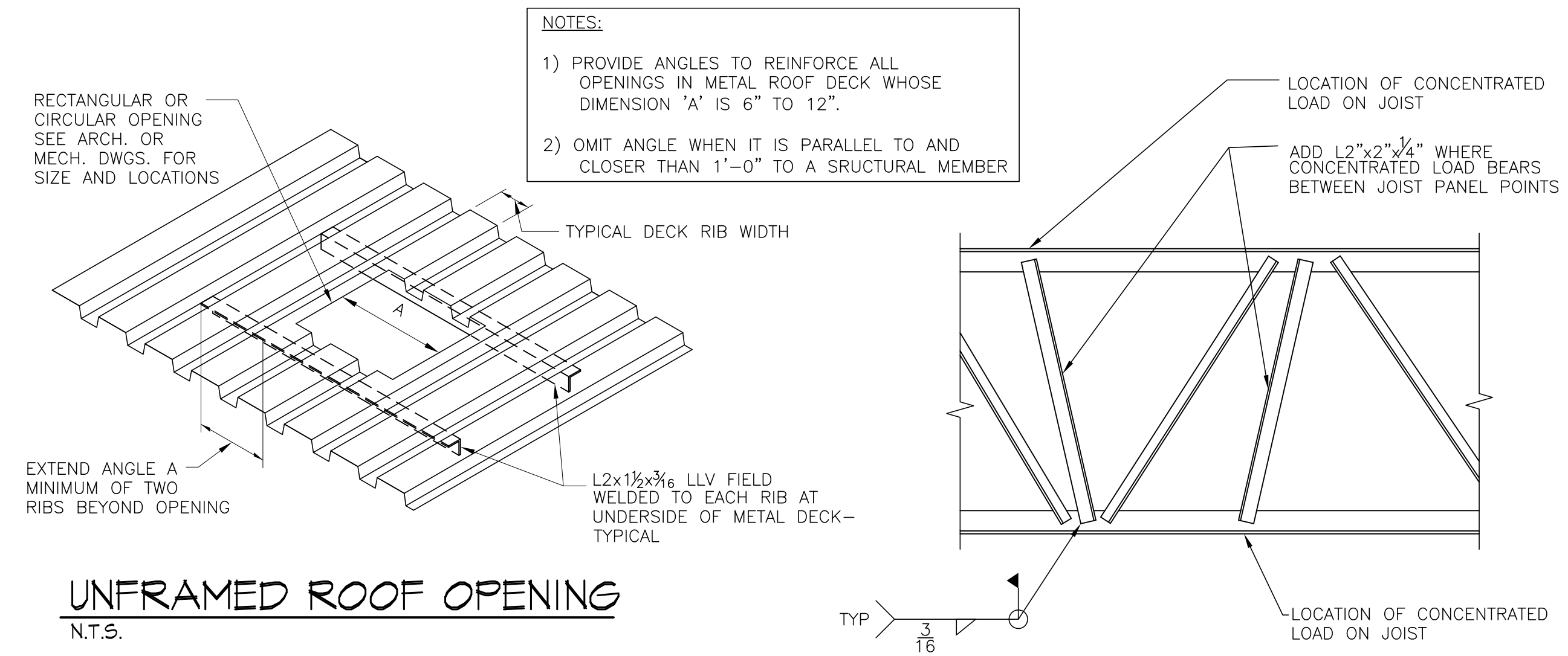
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REVISED PER FIELD INVESTIGATIONS 5/11/23  
REVISED FOR CONSTRUCTION 3/1/23



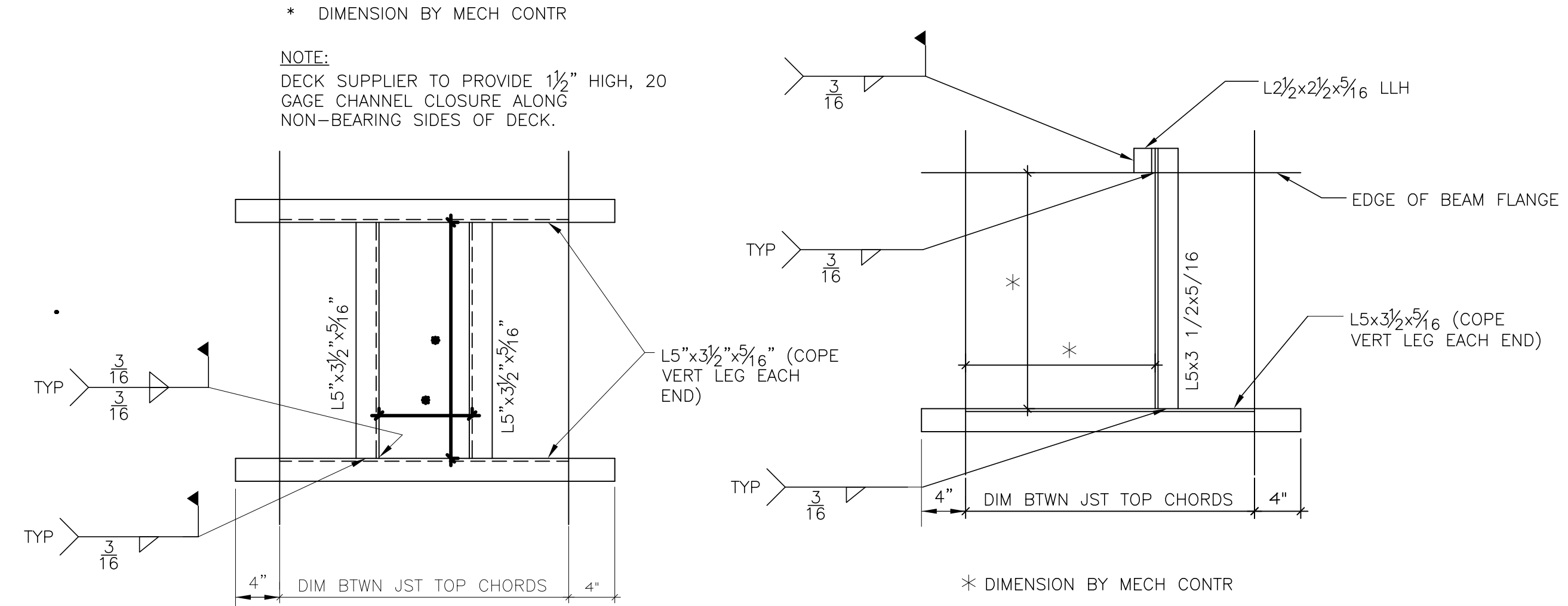
| BEAM DEPTH | NO. OF A325N BOLTS | BOLT DIA.  |
|------------|--------------------|------------|
| W8         | 2                  | 1\" DIA.   |
| W12        | 3                  | 1\" DIA.   |
| W14        | 3                  | 3/4\" DIA. |
| W16        | 4                  | 3/4\" DIA. |
| W18        | 5                  | 3/4\" DIA. |
| W21        | 6                  | 3/4\" DIA. |
| W24        | 7                  | 3/4\" DIA. |
| W27        | 8                  | 3/4\" DIA. |



TYPICAL X-BRACING CONNECTIONS  
NOT TO SCALE



UNFRAMED ROOF OPENING  
N.T.S.



ROOF TOP UNIT CURB SUPPORTS  
N.T.S.

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FISHER & ASSOCIATES, LLC  
Architects / Planners  
186 CEDAR STREET DE REBE, WI 53105  
PH: 426.592.8844  
FIDR@fisherandassociatesllc.com

PROJECT:  
PROPOSED BUILDING ALTERNATIONS FOR:  
**ADAMS STREET BUILDING**  
301 NORTH ADAMS STREET  
CITY OF GREEN BAY  
WISCONSIN  
DRAWN BY: R/JF  
CHK'D BY: R/JF  
JOB NUMBER: 20059  
DATE: 12/8/20

REVISED PER FIELD MEETING 8/14/23  
REVISED PER FIELD INVESTIGATIONS 5/11/23  
REVISED FOR CONSTRUCTION 3/11/23

## What You Need to Know About City Center Lofts

### WHAT ARE THE CITY CENTER LOFTS?

City Center Lofts are beautiful, high-quality, reasonably priced apartments being constructed in downtown Green Bay's Baylake City Center. For Green Bay, Wisconsin, it's a fairly cutting-edge project. While "adaptive reuse" has been a hot topic for the past few years, the conversion of unused office space into much needed residential units has mainly taken place in larger cities such as Washington, DC, Philadelphia, San Francisco and Chicago. Now, adaptive reuse is coming to downtown Green Bay!

Having received all of the necessary City of Green Bay approvals and meeting all code requirements, construction is now underway, with leasing applications being taken this fall for January 2024 occupancy. New downtown residents, coupled with an improved and upgraded building, will add to the area's vibrancy and local economy. City Center Lofts will include 72 one- to four-bedroom units and retail space for businesses and ministries, with rents starting at approximately \$800 per month for one-bedroom units.



#### Unit features will include:

- A loft layout in most apartments
- Granite countertops
- Stainless steel appliances
- Luxury vinyl plank flooring
- High ceilings
- Keyless entry
- Large sky lights in oversized hallways
- Each of the 29 interior units feature sky lights & front living room windows
- ADA accessible features on first floors units

#### Amenities will include:

- A fitness space
- Outdoor patio
- Indoor, secure and temperature-controlled bike storage
- Open, community gathering and dining spaces and lounge areas
- Naturally lit hallways with streetscape designs to bring the outdoors in
- On-site after school programming

### WHAT CITY CENTER LOFTS ARE NOT

City Center Lofts are not and won't ever become a homeless shelter. While such facilities are needed in our community, City Center Lofts is being built for working people. City Center Lofts is not substandard housing. These are high quality apartments that will be leased at affordable rates to essential employees, working families, young professionals and retirees looking to downsize.













# Socially Inclusive Housing

High-quality workforce housing for all socioeconomic levels resulting in improved life satisfaction, decreased cost of living, and increased civic engagement.

## Gateway Collective Team



Dr. Alexia Wood - CEO



Heather Love - Dir. of Administration



Julie Kozak CPA - Chief Financial Officer



Christian Jensen - Dir. of Development



Eugene Smalls - Community Resource Advocate



# Introduction

- St. John's Ministries
  - 2005: Established in response to immediate needs of unsheltered homeless adults downtown
  - Multiple, year-round locations all focused on transitioning adults to self-sufficiency in a way that creates lasting change
  - Recognized at the state level as an innovative leader in the field
  - 2018: Development of strategic plan to get upstream and prevent homelessness. Executive Director, Alexia Wood, earned Doctorate degree where her research designed the concept of Socially Inclusive Housing.
  - March-May 2020: Spring Lake Church opened space to provide safe shelter during the start of COVID, introducing SJM to Bay Lake City Center

# The Need for SIH

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Inflation rose 6.5% in 2022

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Housing prices have soared

---

Cost of living is increasing 25% faster than the hourly wage for many workers

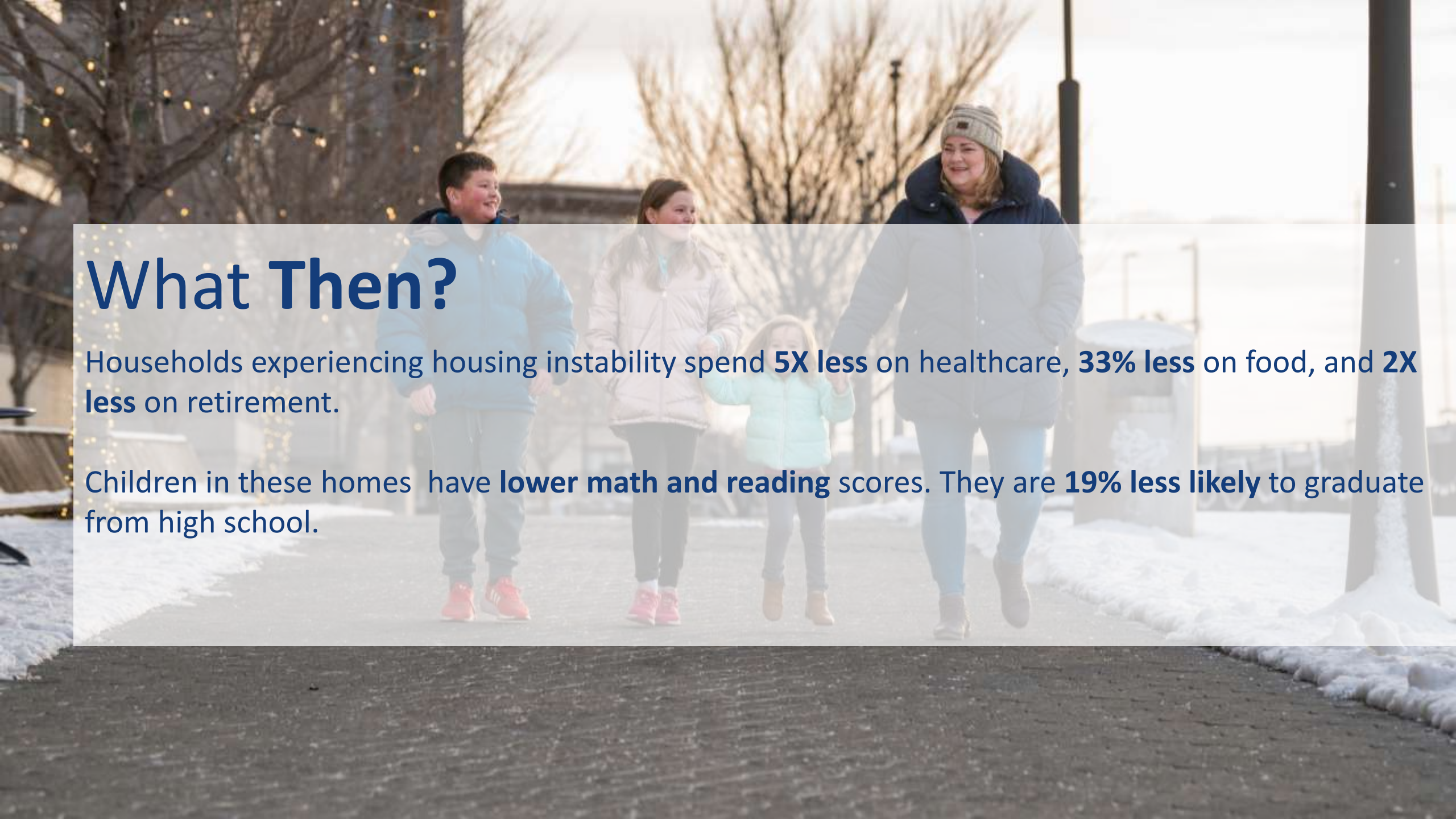
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In Green Bay, 44% of households are rentals. Nearly half are cost-burdened, facing instability

---

Nursing Assistants, Cashiers, Food Service Workers, Hotel staff, Environmental Services, Office Receptionists, Childcare Workers, Bank Tellers and Security Personnel are among those impacted



A family of four is walking along a snow-covered path in a park. The mother, wearing a dark blue winter coat and a grey beanie, is on the right, holding the hand of a young girl in a light blue coat. To their left are two other children: a boy in a blue coat and a girl in a pink coat. They are all smiling and walking towards the camera. The background shows bare trees and a building with warm lights, suggesting a winter evening.

# What Then?

Households experiencing housing instability spend **5X less** on healthcare, **33% less** on food, and **2X less** on retirement.

Children in these homes have **lower math and reading** scores. They are **19% less likely** to graduate from high school.

# Long-term strategy

## HOW DO THE TWO NONPROFITS COLLECTIVELY ADDRESS HOUSING NEEDS?



- Provide interventions that reduce the likelihood someone will experience housing instability or homelessness
- Housing, Job Training, Financial Literacy/Saving, Supportive Services



- Respond to those at-risk of/or experiencing homelessness
- Shelter, Meals, Daytime Resources, Case Management, Supportive Services

A family consisting of a mother, a father, and three children are walking together on a paved path in a park during winter. The ground is covered in snow, and the trees in the background are bare and decorated with warm white string lights. The family is dressed in winter clothing, including coats, hats, and boots. The mother is on the right, holding the hand of a young girl in a light blue coat. The father is on the left, holding the hand of a young boy in a blue coat. Two other children are walking between them. The overall atmosphere is warm and family-oriented.

# What makes SIH unique?

- Multifamily affordable housing
- Emphasis on tenant support and social connectedness
- Addresses upstream risk factors of housing instability
- Provides holistic approach to stability
- High quality design in desirable location
- Self-sustaining and scalable

# Model comparison



## Low-income housing

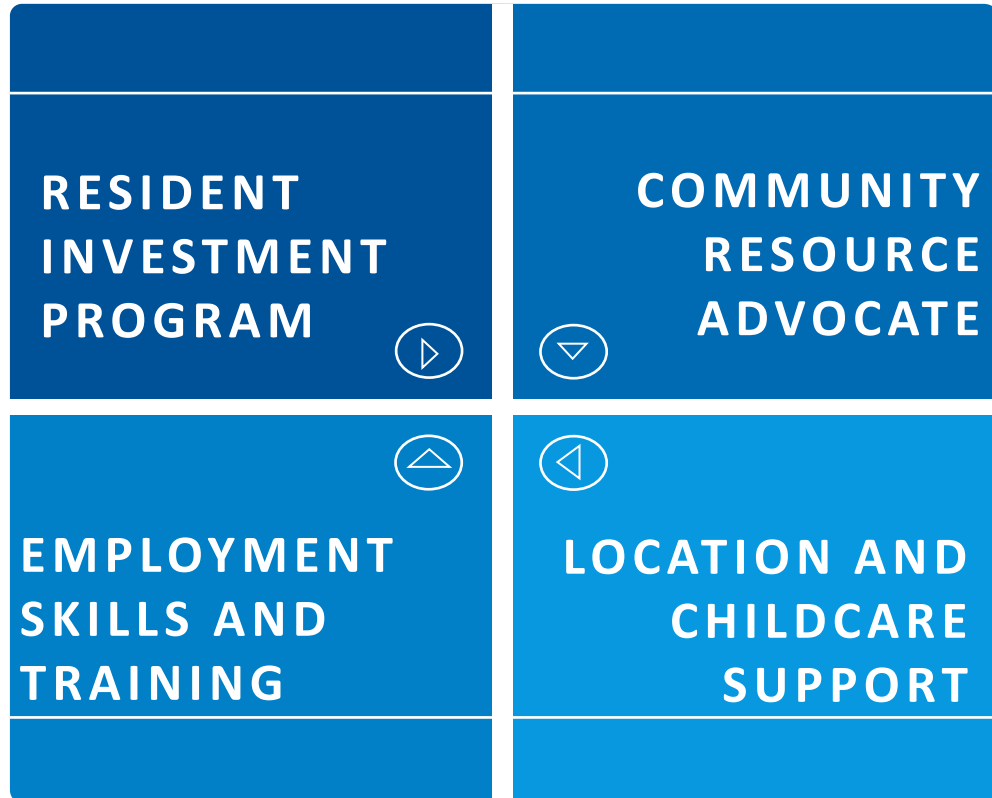
- Reactive
- Low-income individuals
- Low quality units
- Very few amenities
- Poor neighborhoods
- Far from employers
- Prone to high crime rates
- High levels of social isolation
- No on-site support
- No on-site programming

## Socially Inclusive Housing

- |                                       |                                     |
|---------------------------------------|-------------------------------------|
| • Preventative                        | • Community Resource Advocate       |
| • Mixed income individuals            | • Partner based outreach programs   |
| • High quality units                  | • Locally invested                  |
| • Full suite of amenities             | • Focus on scale                    |
| • Desirable neighborhoods             | • Faith foundation                  |
| • Close to employers                  | • Employment skills training        |
| • Proven lower crime rates            | • Childcare and afterschool support |
| • High levels of social connectedness | • Resident investment program       |

# ON-SITE Advantage

WHAT MAKES SIH DIFFERENT



## RESIDENT INVESTMENT PROGRAM

A portion of tenant's paid rent placed into savings account for future financial stability

## COMMUNITY RESOURCE ADVOCATE

On-site resources, employment training, financial counseling available to tenants of all income level

## LOCATION/SUPPORT

Remove the transportation barrier, offer after school programs and childcare support

## EMPLOYMENT TRAINING

Employment skills and training, Employment opportunities for tenants and community-at-large



# CITY CENTER LOFTS

## DOWNTOWN GREEN BAY

72 UNITS  
AVAILABLE

1-4 BEDROOM  
UNITS

Quality units for all income levels

Multi-family housing with year leases, security deposits, and monthly rent

Serving employed individuals of *all* income levels



# CITY CENTER LOFTS

## DOWNTOWN GREEN BAY

- Rent Range: \$835-\$2200/month
- Square Footage: 770sf-2,035sf
- 51% of units are 3BD, 2BA

### **In-unit Amenities (All Units):**

- Washer & Dryer
- Stainless steel appliances and solid surface countertops
- Solid Core Interior Doors
- Keyless Entry
- Dishwasher/Microwave
- Lofts



# CITY CENTER LOFTS

## DOWNTOWN GREEN BAY

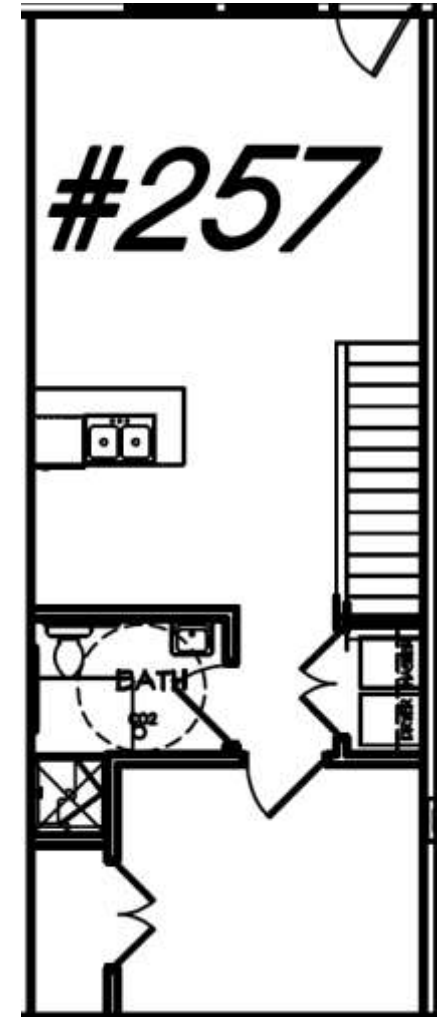
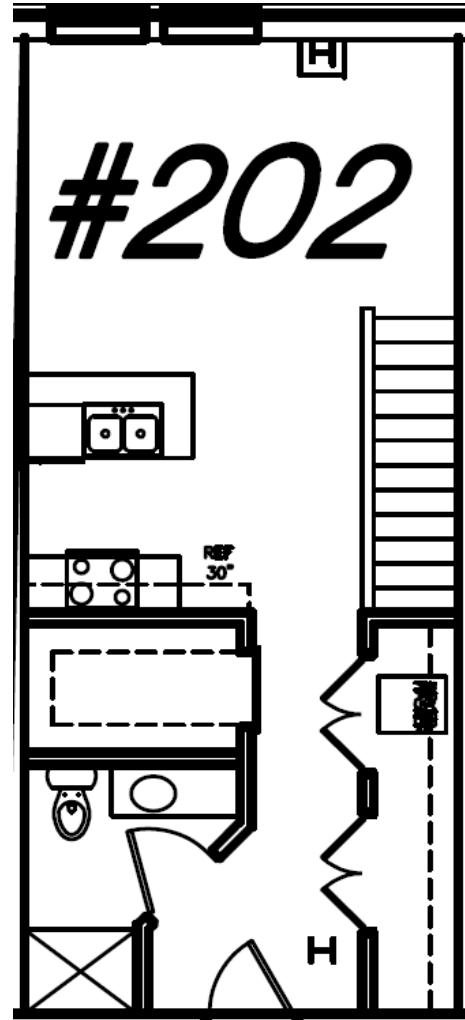
### SITE AMENITIES

- Fitness Center
- Community/Gathering Rooms
- Outdoor Patio
- Grilling Area
- Indoor, heated bike storage
- Extra-wide hallways
- Mail Room with designated Amazon delivery
- Uber Eats/Grocery Delivery Drop-off Area
- Private Freight Elevator Access



## Site Plan:

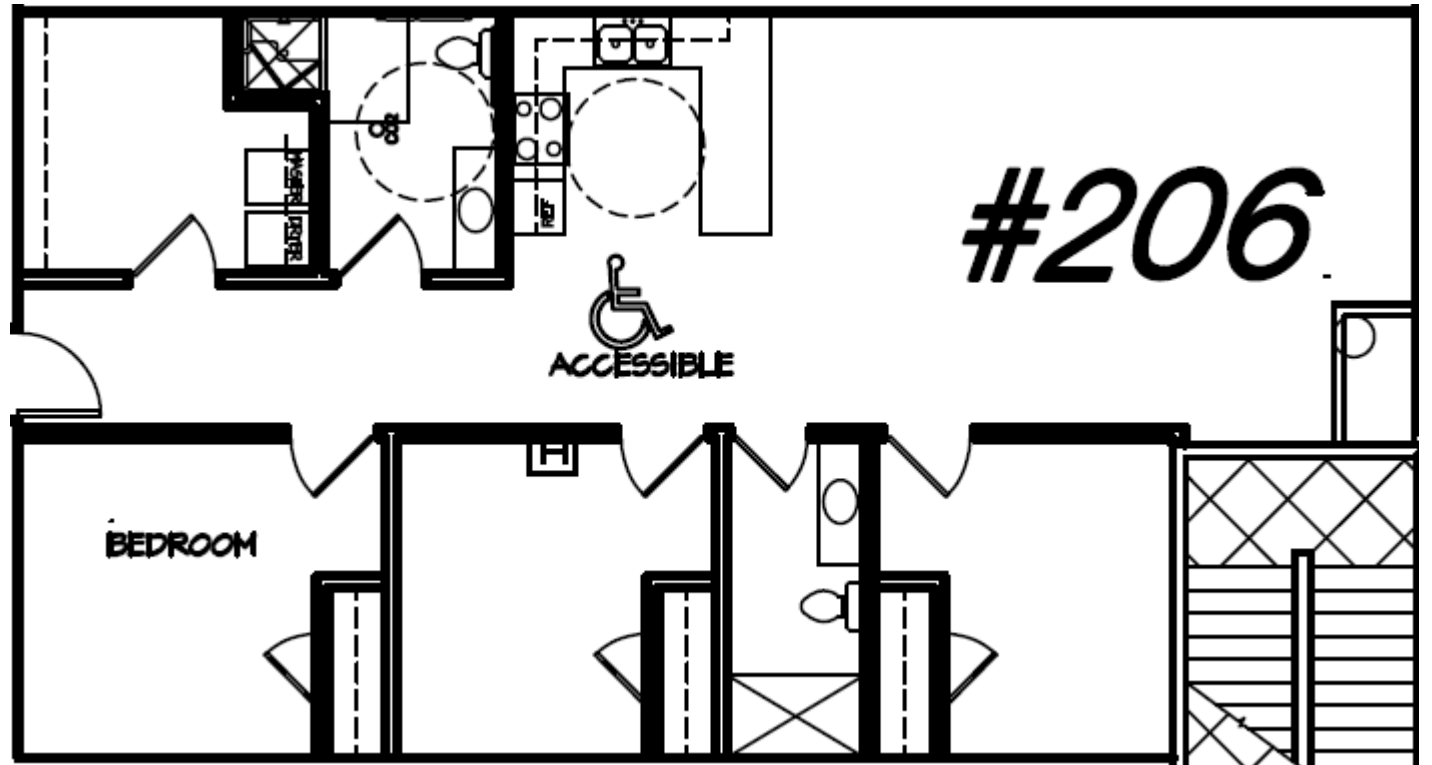
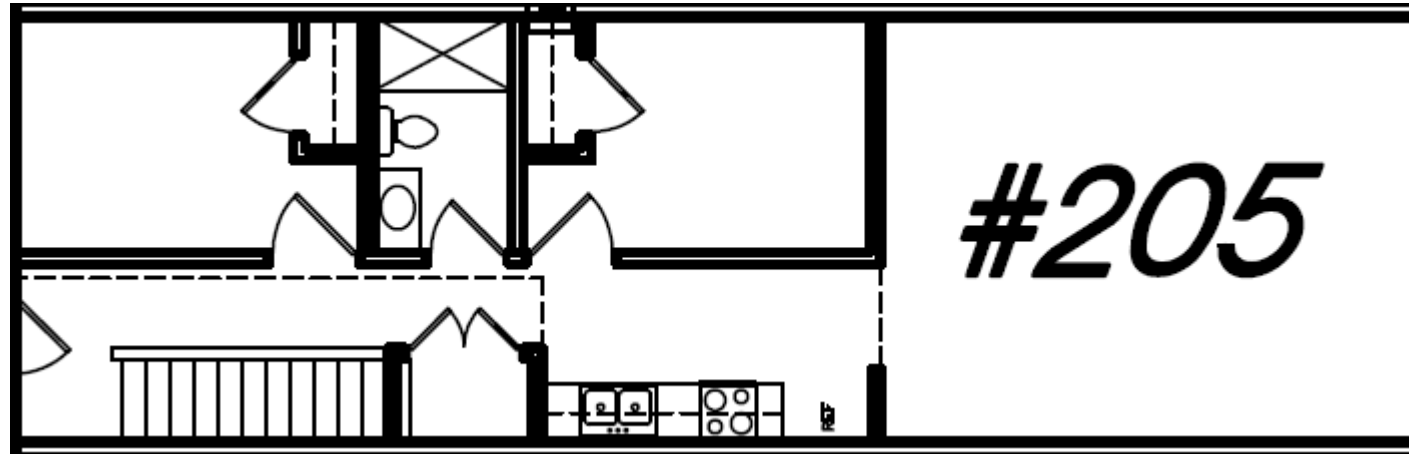
- Close to work and play
- Community Resource Advocate
- Partner outreach space
- Fitness Center
- Community interaction at forefront of design
- All income levels mixed together
- Ongoing programming





## Site Plan:

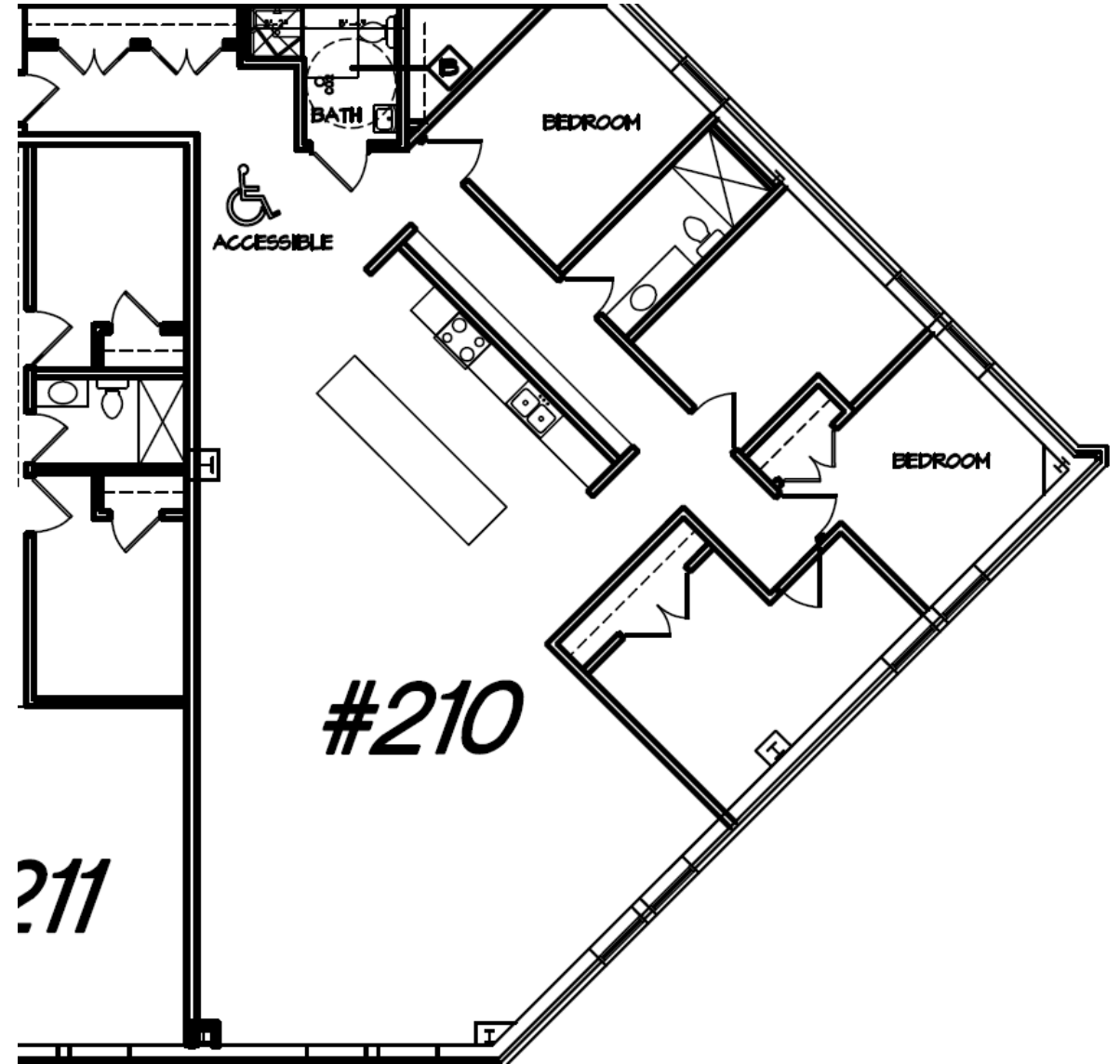
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## Site Plan:

- Close to work and play
- Community Resource Advocate
- Partner outreach space
- Fitness Center
- Community interaction at forefront of design
- All income levels mixed together
- Ongoing programming



# RENTAL UNIT MIX: AN EQUITABLE APPROACH

BREAKDOWN OF TENANT PROFILES



30%

## LOWER INCOME WORKERS

- Family Self-Sufficiency Program (FSS)
- Individuals earning up to \$16/ hour
- Family of four up to \$23/ hour

40%

## WORKFORCE

- Employed households who are above the Federal Poverty Line but work low-paying jobs with little to no savings
- 38% of WI households are living on the edge of financial insecurity (United Way)
- Over half of seniors in Green Bay fall within this income category

30%

## MARKET RATE

- Households desiring to keep cost of living competitive while still accessing desirable downtown living
- Access to intentional community spaces, on-site services



## Partnership Alignment



### Brown County Community Health Improvement Plan

- Equitable Access
  - Affordable housing in prime location
- Social Cohesion
  - Design and programs encourage social connections
- Unified Planning
  - Intentional partnership space and programming



# Timeline

**2020**  
**FEASIBILITY STUDY AND  
PROJECT SCOPE**

- \* Project Proposal
- \* Contracted with McDonald Schaefer to complete a Capital Campaign Feasibility Study

**2021**  
**PLANNING PHASE**

- \* Virtual renderings
- \* Construction Costs
- \* Commercial Partnerships
- \* Business Plan and cash flow

**2023**  
**CONSTRUCTION PHASE**

*In 2022, Base Companies and St. John's reevaluated the project, increasing the residential space and strengthening the vision for the project as a whole. The project is significantly larger, and stronger, today. As a result, much of the work completed in 2021 was reviewed and updated in 2023, leading to the completion of the next steps in the Q3 & Q4 of 2023*

- \* Financing Options
- \* Close on purchase of BLCC
- \* City Center Lofts renovations
- \* Commercial marketing
- \* Residential marketing

**2024**  
**PROJECT COMPLETE**

- \* Residents move in
- \* Commercial space opens

**FUTURE  
EVALUATION**

- \* Project evaluation
- \* Scalability

# Long-Term Outcomes

Why we need YOU!



*Investment in Socially Inclusive Housing impacts ALL working individuals and families*



INCREASED ACCESS TO  
AFFORDABLE HOUSING



IMPROVED QUALITY OF  
LIFE, DECREASED COST  
OF LIVING, INCREASED  
CIVIC ENGAGEMENT



IMPROVED EMPLOYEE  
RETENTION AND  
ECONOMIC  
DEVELOPMENT



MORE SPENT ON  
HEALTHCARE, FOOD, DAY  
CARE, RETIREMENT, AND  
COLLEGE SAVINGS

# Coffee

Batch Coffee \$2

Espresso \$3

Cappuccino \$4

Latte

Nitro Coffee

Draft Latte

# THANK YOU

We welcome your questions and feedback



11:45 AM

05/09/23

# Green Bay Housing Authority

## Check Detail

### March 2023

| Type            | Num             | Date       | Name               | Memo               | Account                | Paid Amount |
|-----------------|-----------------|------------|--------------------|--------------------|------------------------|-------------|
| Check           |                 | 03/31/2023 |                    | Service Cha...     | 1111.01 · General ...  |             |
|                 |                 |            |                    | Service Charge     | 4530.00 · Bank Fees    | -84.94      |
| TOTAL           |                 |            |                    |                    |                        | -84.94      |
| Bill Pmt -Check | 7052            | 03/13/2023 | CELLCOM            | cell bill          | 1111.01 · General ...  |             |
| Bill            | 493747          | 02/15/2023 |                    | cell bill          | 4190.07 · Tele Fax...  | -46.07      |
|                 |                 |            |                    | cell bill          | 4190.07 · Tele Fax...  | -88.53      |
| TOTAL           |                 |            |                    |                    |                        | -134.60     |
| Bill Pmt -Check | 7053            | 03/13/2023 | CITY OF GREEN B... |                    | 1111.01 · General ...  |             |
| Bill            | 970-12422       | 01/31/2023 |                    | Wages              | 4110.00 · Admin Sa...  | -7,755.65   |
|                 |                 |            |                    | Benefits           | 4182.00 · Employe...   | -3,082.63   |
|                 |                 |            |                    | Wages              | 4410.00 · Maint - L... | -9,851.05   |
|                 |                 |            |                    | Benefits           | 4433.00 · Emp Ben...   | -3,676.32   |
|                 |                 |            |                    | Wages              | 4110.00 · Admin Sa...  | -6,419.32   |
|                 |                 |            |                    | Benefits           | 4182.00 · Employe...   | -2,591.51   |
|                 |                 |            |                    | Wages              | 4410.00 · Maint - L... | -3,052.60   |
|                 |                 |            |                    | Benefits           | 4433.00 · Emp Ben...   | -939.30     |
|                 |                 |            |                    | Wages              | 4110.00 · Admin Sa...  | -5,021.78   |
| Bill            | 970-12420       | 02/14/2023 |                    | Benefits           | 4182.00 · Employe...   | -2,110.70   |
|                 |                 |            |                    | keys/deadbolts     | 4420.00 · Maint - S... | -57.02      |
|                 |                 |            |                    | drain replace...   | 4420.00 · Maint - S... | -13.54      |
| Bill            | 970-12420       | 02/15/2023 |                    | wall plate/ clo... | 4420.00 · Maint - S... | -218.91     |
| Bill            | 970-12422       | 02/28/2023 |                    | Wages              | 4110.00 · Admin Sa...  | -7,357.13   |
|                 |                 |            |                    | Benefits           | 4182.00 · Employe...   | -2,889.67   |
|                 |                 |            |                    | Wages              | 4410.00 · Maint - L... | -9,237.38   |
|                 |                 |            |                    | Benefits           | 4433.00 · Emp Ben...   | -3,548.87   |
|                 |                 |            |                    | Wages              | 4110.00 · Admin Sa...  | -6,909.59   |
|                 |                 |            |                    | Benefits           | 4182.00 · Employe...   | -2,788.18   |
|                 |                 |            |                    | Wages              | 4410.00 · Maint - L... | -3,492.84   |
|                 |                 |            |                    | Benefits           | 4433.00 · Emp Ben...   | -1,065.08   |
|                 |                 |            |                    | Wages              | 4110.00 · Admin Sa...  | -4,993.14   |
|                 |                 |            |                    | Benefits           | 4182.00 · Employe...   | -2,095.92   |
|                 |                 |            |                    | Wages              | 4110.00 · Admin Sa...  | -33.26      |
|                 |                 |            |                    | Benefits           | 4182.00 · Employe...   | -14.51      |
| TOTAL           |                 |            |                    |                    |                        | -89,215.90  |
| Bill Pmt -Check | 7054            | 03/13/2023 | HAWKINS ASH BA...  |                    | 1111.01 · General ...  |             |
| Bill            |                 | 02/15/2023 |                    | 2022 Audit         | 4171.00 · Auditing ... | -4,332.00   |
|                 |                 |            |                    | 2022 Audit         | 4171.00 · Auditing ... | -4,332.00   |
|                 |                 |            |                    | 2022 Audit         | 4171.00 · Auditing ... | -2,166.00   |
|                 |                 |            |                    | 2022 Audit         | 4171.00 · Auditing ... | -570.00     |
| TOTAL           |                 |            |                    |                    |                        | -11,400.00  |
| Bill Pmt -Check | 7055            | 03/13/2023 | Jayme Valentine    | district meet...   | 1111.01 · General ...  |             |
| Bill            | 2/16/23 meeting | 02/16/2023 |                    | district meeting   | 4150.00 · Travel       | -30.57      |
| TOTAL           |                 |            |                    |                    |                        | -30.57      |
| Bill Pmt -Check | 7056            | 03/13/2023 | KONE INC           | mm                 | 1111.01 · General ...  |             |
| Bill            | 1158482298      | 02/14/2023 |                    | repair elevato...  | 4430.12 · Elevator ... | -296.48     |
| TOTAL           |                 |            |                    |                    |                        | -296.48     |

11:45 AM

05/09/23

# Green Bay Housing Authority

## Check Detail

March 2023

| Type            | Num           | Date       | Name                | Memo                                | Account                                         | Paid Amount       |
|-----------------|---------------|------------|---------------------|-------------------------------------|-------------------------------------------------|-------------------|
| Bill Pmt -Check | 7057          | 03/13/2023 | One Service LLC     | mm                                  | 1111.01 · General ...                           |                   |
| Bill            | 555           | 02/15/2023 |                     | bed bug treat...                    | 4430.17 · Extermin...                           | -280.00           |
| TOTAL           |               |            |                     |                                     |                                                 | -280.00           |
| Bill Pmt -Check | 7058          | 03/13/2023 | Sandberg K9 Solu... | mm                                  | 1111.01 · General ...                           |                   |
| Bill            | 2057          | 03/01/2023 |                     | Quarterly ins...                    | 4430.17 · Extermin...                           | -2,999.98         |
| TOTAL           |               |            |                     |                                     |                                                 | -2,999.98         |
| Bill Pmt -Check | 7059          | 03/13/2023 | TIME WARNER CA...   | mm                                  | 1111.01 · General ...                           |                   |
| Bill            | 0437255021823 | 02/18/2023 |                     | wifi                                | 4230.00 · Ten Ser-...                           | -89.99            |
| TOTAL           |               |            |                     |                                     |                                                 | -89.99            |
| Bill Pmt -Check | 7060          | 03/16/2023 |                     | SD refund                           | 1111.01 · General ...                           |                   |
| Bill            | SD refund     | 03/10/2023 |                     | SD refund - ...<br>Credit on acc... | 2114.00 · Tenant S...<br>3110.00 · Dwelling ... | -151.22<br>-69.56 |
| TOTAL           |               |            |                     |                                     |                                                 | -220.78           |
| Bill Pmt -Check | 7061          | 03/16/2023 |                     | sd refund                           | 1111.01 · General ...                           |                   |
| Bill            | SD refund     | 03/03/2023 |                     | SD refund - ...                     | 2114.00 · Tenant S...                           | -174.00           |
| TOTAL           |               |            |                     |                                     |                                                 | -174.00           |
| Bill Pmt -Check | 7062          | 03/23/2023 | AT&T                | door system                         | 1111.01 · General ...                           |                   |
| Bill            | 2/22/23       | 02/22/2023 |                     | door system<br>door system          | 4190.07 · Tele Fax...<br>4190.07 · Tele Fax...  | -82.30<br>-54.86  |
| TOTAL           |               |            |                     |                                     |                                                 | -137.16           |
| Bill Pmt -Check | 7063          | 03/23/2023 | BELLIN HOME HE...   | mm                                  | 1111.01 · General ...                           |                   |
| Bill            | MB9541        | 03/11/2023 |                     | RN Communi...                       | 4230.00 · Ten Ser-...                           | -250.00           |
| TOTAL           |               |            |                     |                                     |                                                 | -250.00           |
| Bill Pmt -Check | 7064          | 03/23/2023 | CEC                 | 1424 Admiral                        | 1111.01 · General ...                           |                   |
| Bill            | 398550        | 03/06/2023 |                     | batteries                           | 4430.09 · Fire Prote...                         | -225.90           |
| TOTAL           |               |            |                     |                                     |                                                 | -225.90           |

11:45 AM

05/09/23

# Green Bay Housing Authority

## Check Detail

### March 2023

| Type                   | Num             | Date              | Name                      | Memo               | Account                      | Paid Amount |
|------------------------|-----------------|-------------------|---------------------------|--------------------|------------------------------|-------------|
| <b>Bill Pmt -Check</b> | <b>7065</b>     | <b>03/23/2023</b> | <b>CITY OF GREEN B...</b> |                    | <b>1111.01 · General ...</b> |             |
| Bill                   | 970-12420       | 02/20/2023        |                           | wall fabric/ w...  | 4420.00 · Maint - S...       | -26.42      |
| Bill                   | 970-12420       | 02/22/2023        |                           | coffee             | 4190.03 · Paper & ...        | -27.84      |
|                        |                 |                   |                           | Waste mana...      | 4430.19 · Garbage ...        | -443.46     |
|                        |                 |                   |                           | hibu               | 4190.08 · Marketing          | -20.00      |
| Bill                   | 170064          | 02/28/2023        |                           | fuel               | 4430.03 · Maint - Tr...      | -164.91     |
|                        |                 |                   |                           | fuel               | 4430.03 · Maint - Tr...      | -164.91     |
| Bill                   | 970-12420       | 02/28/2023        |                           | soap 7 gfi         | 4420.00 · Maint - S...       | -96.95      |
| Bill                   | 970-12420       | 02/28/2023        |                           | water lines        | 4420.00 · Maint - S...       | -23.92      |
| Bill                   | 970-12420       | 03/01/2023        |                           | copies             | 4190.01 · Printing           | -122.75     |
|                        |                 |                   |                           | copies             | 4190.01 · Printing           | -122.75     |
| Bill                   | 970-12420       | 03/01/2023        |                           | buildium serv...   | 4530.00 · Bank Fees          | -54.84      |
| Bill                   | 970-12420       | 03/02/2023        |                           | blinds/ silicon... | 4420.00 · Maint - S...       | -107.38     |
| Bill                   | 169935          | 03/08/2023        |                           | mailings           | 4190.02 · Postage            | -11.44      |
|                        |                 |                   |                           | printing           | 4190.01 · Printing           | -16.64      |
| Bill                   | 970-12420       | 03/08/2023        |                           | connectors         | 4420.00 · Maint - S...       | -45.96      |
|                        |                 |                   |                           | drill bits/glue    | 4420.00 · Maint - S...       | -10.27      |
| Bill                   | 170283          | 03/17/2023        |                           | snow remova...     | 4430.11 · Snow Re...         | -95.10      |
| TOTAL                  |                 |                   |                           |                    |                              | -1,555.54   |
| <b>Bill Pmt -Check</b> | <b>7066</b>     | <b>03/23/2023</b> | <b>FEDEX</b>              | <b>mailing</b>     | <b>1111.01 · General ...</b> |             |
| Bill                   | 8-069-24366     | 03/15/2023        |                           | Mailings - UV...   | 4190.02 · Postage            | -43.24      |
| TOTAL                  |                 |                   |                           |                    |                              | -43.24      |
| <b>Bill Pmt -Check</b> | <b>7067</b>     | <b>03/23/2023</b> | <b>GREEN BAY WAT...</b>   | <b>mm</b>          | <b>1111.01 · General ...</b> |             |
| Bill                   | 2/27/23-4665-01 | 02/27/2023        |                           | 1424 Admiral       | 4390.00 · Other Util...      | -388.00     |
|                        |                 |                   |                           | 1424 Admiral       | 4310.00 · Water              | -3,136.96   |
| TOTAL                  |                 |                   |                           |                    |                              | -3,524.96   |
| <b>Bill Pmt -Check</b> | <b>7068</b>     | <b>03/23/2023</b> | <b>KONE INC</b>           | <b>mm</b>          | <b>1111.01 · General ...</b> |             |
| Bill                   | 962465639       | 03/01/2023        |                           | maint agree...     | 4430.12 · Elevator ...       | -910.00     |
| TOTAL                  |                 |                   |                           |                    |                              | -910.00     |
| <b>Bill Pmt -Check</b> | <b>7069</b>     | <b>03/23/2023</b> | <b>MID-STATE SUPPLY</b>   | <b>409 N Maple</b> | <b>1111.01 · General ...</b> |             |
| Bill                   | 4563304         | 03/08/2023        |                           | cabinets           | 4420.00 · Maint - S...       | -147.00     |
| TOTAL                  |                 |                   |                           |                    |                              | -147.00     |
| <b>Bill Pmt -Check</b> | <b>7070</b>     | <b>03/23/2023</b> | <b>One Service LLC</b>    |                    | <b>1111.01 · General ...</b> |             |
| Bill                   | 559             | 03/01/2023        |                           | rodent servic...   | 4430.17 · Extermin...        | -155.00     |
| Bill                   | 560             | 03/01/2023        |                           | bed bug treat...   | 4430.17 · Extermin...        | -120.00     |
| Bill                   | 563             | 03/13/2023        |                           | 815 dousma...      | 4430.17 · Extermin...        | -90.00      |
| Bill                   | 564             | 03/17/2023        |                           | bed bug treat...   | 4430.17 · Extermin...        | -120.00     |
| TOTAL                  |                 |                   |                           |                    |                              | -485.00     |
| <b>Bill Pmt -Check</b> | <b>7071</b>     | <b>03/23/2023</b> | <b>TIME WARNER CA...</b>  | <b>mm</b>          | <b>1111.01 · General ...</b> |             |
| Bill                   | 0366595030123   | 03/01/2023        |                           | cable fees         | 4230.00 · Ten Ser...         | -7,045.44   |
| TOTAL                  |                 |                   |                           |                    |                              | -7,045.44   |

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05/09/23

# Green Bay Housing Authority

## Check Detail

### March 2023

| Type                   | Num               | Date              | Name                        | Memo         | Account                      | Paid Amount |
|------------------------|-------------------|-------------------|-----------------------------|--------------|------------------------------|-------------|
| <b>Bill Pmt -Check</b> | <b>7072</b>       | <b>03/23/2023</b> | <b>Twin Eagle Holdin...</b> | <b>mm</b>    | <b>1111.01 · General ...</b> |             |
| Bill                   | 159683            | 03/08/2023        |                             | 1424 Admiral | 4330.00 · Gas                | -7,499.04   |
| TOTAL                  |                   |                   |                             |              |                              | -7,499.04   |
| <b>Bill Pmt -Check</b> | <b>7073</b>       | <b>03/23/2023</b> | <b>WISCONSIN PUBL...</b>    |              | <b>1111.01 · General ...</b> |             |
| Bill                   | 3/3/23-2671-00036 | 03/03/2023        |                             | 1424 Admiral | 4320.00 · Electricity        | -1,346.81   |
| Bill                   | 3/3/23-2671-00002 | 03/03/2023        |                             | 1424 Admiral | 4320.00 · Electricity        | -4,171.44   |
| TOTAL                  |                   |                   |                             |              |                              | -5,518.25   |
| <b>Bill Pmt -Check</b> | <b>7074</b>       | <b>03/27/2023</b> | <b>CITY OF GREEN B...</b>   |              | <b>1111.01 · General ...</b> |             |
| Bill                   | 970-12420         | 03/27/2023        |                             | copies       | 4190.01 · Printing           | -66.19      |
|                        |                   |                   |                             | copies       | 4190.01 · Printing           | -66.20      |
| Bill                   | 970-12420         | 03/27/2023        |                             | copies       | 4190.01 · Printing           | -43.55      |
|                        |                   |                   |                             | copies       | 4190.01 · Printing           | -43.54      |
| Bill                   | 970-12420         | 03/27/2023        |                             | WHEDA conf.  | 4140.00 · Staff Trai...      | -300.00     |
| TOTAL                  |                   |                   |                             |              |                              | -519.48     |

11:45 AM

05/09/23

# Green Bay Housing Authority

## Check Detail

### April 2023

| Type            | Num       | Date       | Name                | Memo             | Account                 | Paid Amount |
|-----------------|-----------|------------|---------------------|------------------|-------------------------|-------------|
| Bill Pmt -Check | 7075      | 04/06/2023 | ACE DRAIN & SE...   | 409 N Maple      | 1111.01 · General ...   |             |
| Bill            | 19714     | 02/28/2023 |                     | auger sewer      | 4430.16 · Plumbing      | -180.00     |
| TOTAL           |           |            |                     |                  |                         | -180.00     |
| Bill Pmt -Check | 7076      | 04/06/2023 | AMA HEATING         | mm               | 1111.01 · General ...   |             |
| Bill            | J-641     | 03/14/2023 |                     | furnace 7 the... | 4430.00 · Maint - C...  | -4,162.00   |
| TOTAL           |           |            |                     |                  |                         | -4,162.00   |
| Bill Pmt -Check | 7077      | 04/06/2023 | AT&T                | door system      | 1111.01 · General ...   |             |
| Bill            | 3/22/2023 | 03/22/2023 |                     | door system      | 4190.07 · Tele Fax...   | -61.23      |
|                 |           |            |                     | door system      | 4190.07 · Tele Fax...   | -61.22      |
| TOTAL           |           |            |                     |                  |                         | -122.45     |
| Bill Pmt -Check | 7078      | 04/06/2023 | BELSON CO           | 1424 Admiral     | 1111.01 · General ...   |             |
| Bill            | 459997    | 03/21/2023 |                     | garbage bag...   | 4420.00 · Maint - S...  | -363.44     |
| TOTAL           |           |            |                     |                  |                         | -363.44     |
| Bill Pmt -Check | 7079      | 04/06/2023 | Brown County Plu... | 837 christiana   | 1111.01 · General ...   |             |
| Bill            | 7191      | 03/30/2023 |                     | water heater     | 4430.18 · Appliances    | -1,225.00   |
| TOTAL           |           |            |                     |                  |                         | -1,225.00   |
| Bill Pmt -Check | 7080      | 04/06/2023 | CEC                 | 1424 Admiral     | 1111.01 · General ...   |             |
| Bill            | 398549    | 03/06/2023 |                     | alarm inspect... | 4430.09 · Fire Prote... | -1,575.00   |
| TOTAL           |           |            |                     |                  |                         | -1,575.00   |
| Bill Pmt -Check | 7081      | 04/06/2023 | CELLCOM             | cell bill        | 1111.01 · General ...   |             |
| Bill            | 626504    | 03/15/2023 |                     | cell bill        | 4190.07 · Tele Fax...   | -44.91      |
|                 |           |            |                     | cell bill        | 4190.07 · Tele Fax...   | -87.81      |
| TOTAL           |           |            |                     |                  |                         | -132.72     |
| Bill Pmt -Check | 7082      | 04/06/2023 | CITY OF GREEN B...  |                  | 1111.01 · General ...   |             |
| Bill            | 970-12420 | 03/14/2023 |                     | stamps           | 4190.02 · Postage       | -126.00     |
|                 |           |            |                     | stamps           | 4190.02 · Postage       | -126.00     |
|                 |           |            |                     | bus passes &...  | 4220.01 · Ten Ser -...  | -375.56     |
| Bill            | 970-12420 | 03/16/2023 |                     | keys/ elements   | 4420.00 · Maint - S...  | -70.69      |
|                 |           |            |                     | tape & seal s... | 4420.00 · Maint - S...  | -29.74      |
| Bill            | 970-12420 | 03/20/2023 |                     | keys/fridge d... | 4420.00 · Maint - S...  | -229.33     |
|                 |           |            |                     | keys/Door/ k...  | 4420.00 · Maint - S...  | -417.64     |
| Bill            | 170402    | 03/22/2023 |                     | trash fee        | 4430.19 · Garbage ...   | -61.00      |
| Bill            | 170405    | 03/22/2023 |                     | trash fee        | 4430.19 · Garbage ...   | -61.00      |
| Bill            | 970-12420 | 03/22/2023 |                     | background c...  | 4130.01 · Investigat... | -14.08      |
|                 |           |            |                     | paper/ dry er... | 4190.03 · Paper & ...   | -16.38      |
|                 |           |            |                     | paper/ dry er... | 4190.03 · Paper & ...   | -16.38      |
|                 |           |            |                     | wastemanag...    | 4430.19 · Garbage ...   | -443.46     |
|                 |           |            |                     | Hibu             | 4190.08 · Marketing     | -20.00      |
| Bill            | 970-12422 | 03/31/2023 |                     | Wages            | 4110.00 · Admin Sa...   | -12,010.75  |
|                 |           |            |                     | Benefits         | 4182.00 · Employe...    | -3,695.55   |

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05/09/23

# Green Bay Housing Authority

## Check Detail

### April 2023

| Type                   | Num                   | Date              | Name                       | Memo                   | Account                      | Paid Amount |
|------------------------|-----------------------|-------------------|----------------------------|------------------------|------------------------------|-------------|
|                        |                       |                   |                            | Wages                  | 4410.00 · Maint - L...       | -14,534.54  |
|                        |                       |                   |                            | Benefits               | 4433.00 · Emp Ben...         | -4,287.68   |
|                        |                       |                   |                            | Wages                  | 4110.00 · Admin Sa...        | -9,426.31   |
|                        |                       |                   |                            | Benefits               | 4182.00 · Employe...         | -3,027.95   |
|                        |                       |                   |                            | Wages                  | 4410.00 · Maint - L...       | -4,299.72   |
|                        |                       |                   |                            | Benefits               | 4433.00 · Emp Ben...         | -1,127.04   |
|                        |                       |                   |                            | Wages                  | 4110.00 · Admin Sa...        | -7,400.49   |
|                        |                       |                   |                            | Benefits               | 4182.00 · Employe...         | -2,418.37   |
| TOTAL                  |                       |                   |                            |                        |                              | -64,235.66  |
| <b>Bill Pmt -Check</b> | <b>7083</b>           | <b>04/06/2023</b> | <b>ELAND ELECTRIC</b>      | <b>1424 Admiral</b>    | <b>1111.01 · General ...</b> |             |
| Bill                   | 103596                | 03/29/2023        |                            | fix door oper...       | 4420.00 · Maint - S...       | -368.95     |
| TOTAL                  |                       |                   |                            |                        |                              | -368.95     |
| <b>Bill Pmt -Check</b> | <b>7084</b>           | <b>04/06/2023</b> | <b>Ka Vang</b>             |                        | <b>1111.01 · General ...</b> |             |
| Bill                   | 10/1-12/31/22 mile... | 12/31/2022        |                            | mileage                | 4150.00 · Travel             | -14.38      |
| Bill                   | 1/1-3/31/23 mileage   | 03/31/2023        |                            | mileage                | 4150.00 · Travel             | -27.51      |
|                        |                       |                   |                            | mileage                | 4150.00 · Travel             | -15.72      |
| TOTAL                  |                       |                   |                            |                        |                              | -57.61      |
| <b>Bill Pmt -Check</b> | <b>7085</b>           | <b>04/06/2023</b> | <b>LARSON PAINTING</b>     | <b>1341 Univeri...</b> | <b>1111.01 · General ...</b> |             |
| Bill                   | 6057                  | 04/03/2023        |                            | painting 1341...       | 4430.00 · Maint - C...       | -937.98     |
| TOTAL                  |                       |                   |                            |                        |                              | -937.98     |
| <b>Bill Pmt -Check</b> | <b>7086</b>           | <b>04/06/2023</b> | <b>LIZER LAWN CARE</b>     |                        | <b>1111.01 · General ...</b> |             |
| Bill                   | 130600AD              | 03/20/2023        |                            | Mowing - May           | 4430.13 · Landscap...        | -70.00      |
| Bill                   | 132741AD              | 03/20/2023        |                            | mowing - june          | 4430.13 · Landscap...        | -140.00     |
| TOTAL                  |                       |                   |                            |                        |                              | -210.00     |
| <b>Bill Pmt -Check</b> | <b>7087</b>           | <b>04/06/2023</b> | <b>Overhead Door Co...</b> | <b>1341 Univer...</b>  | <b>1111.01 · General ...</b> |             |
| Bill                   | BAY2654366            | 03/27/2023        |                            | repair garage...       | 4420.00 · Maint - S...       | -125.00     |
| TOTAL                  |                       |                   |                            |                        |                              | -125.00     |
| <b>Bill Pmt -Check</b> | <b>7088</b>           | <b>04/06/2023</b> | <b>TIME WARNER CA...</b>   | <b>mm</b>              | <b>1111.01 · General ...</b> |             |
| Bill                   | 0437255031823         | 03/18/2023        |                            | wifi                   | 4230.00 · Ten Ser-...        | -179.98     |
| TOTAL                  |                       |                   |                            |                        |                              | -179.98     |
| <b>Bill Pmt -Check</b> | <b>7089</b>           | <b>04/06/2023</b> | <b>WISCONSIN PUBL...</b>   |                        | <b>1111.01 · General ...</b> |             |
| Bill                   | 3/14/23-2671-00009    | 03/14/2023        |                            | 1125 University        | 4320.00 · Electricity        | -40.96      |
|                        |                       |                   |                            | 1125 University        | 4330.00 · Gas                | -104.69     |
| Bill                   | 3/30/23-2671-00002    | 03/30/2023        |                            | 1424 Admiral           | 4320.00 · Electricity        | -4,002.68   |
| Bill                   | 3/30/23-2671-00036    | 03/30/2023        |                            | 1424 Admiral           | 4320.00 · Electricity        | -970.89     |
| TOTAL                  |                       |                   |                            |                        |                              | -5,119.22   |

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05/09/23

# Green Bay Housing Authority

## Check Detail

### April 2023

| Type                   | Num              | Date              | Name                         | Memo              | Account                      | Paid Amount       |
|------------------------|------------------|-------------------|------------------------------|-------------------|------------------------------|-------------------|
| <b>Bill Pmt -Check</b> | <b>7090</b>      | <b>04/19/2023</b> | <b>CITY OF GREEN B...</b>    |                   | <b>1111.01 · General ...</b> |                   |
| Bill                   | 970-12420        | 03/28/2023        |                              | handle/keys/...   | 4420.00 · Maint - S...       | -524.24           |
| Bill                   | 170943           | 03/31/2023        |                              | fuel              | 4430.03 · Maint - Tr...      | -170.20           |
|                        |                  |                   |                              | fuel              | 4430.03 · Maint - Tr...      | -170.21           |
| Bill                   | 970-12420        | 04/01/2023        |                              | cc fees           | 4530.00 · Bank Fees          | -62.81            |
| Bill                   | 970-12420        | 04/04/2023        |                              | check valve/k...  | 4420.00 · Maint - S...       | -412.79           |
| Bill                   | 970-12420        | 04/05/2023        |                              | shelves           | 4420.00 · Maint - S...       | -109.98           |
| Bill                   | 170897           | 04/06/2023        |                              | mailings          | 4190.02 · Postage            | -6.24             |
| Bill                   | 970-12420        | 04/07/2023        |                              | copies/ printing  | 4190.01 · Printing           | -71.30            |
|                        |                  |                   |                              | copies/ printing  | 4190.01 · Printing           | -71.31            |
| <b>TOTAL</b>           |                  |                   |                              |                   |                              | <b>-1,599.08</b>  |
| <b>Bill Pmt -Check</b> | <b>7091</b>      | <b>04/19/2023</b> | <b>Commercial Laun...</b>    | <b>mm</b>         | <b>1111.01 · General ...</b> |                   |
| Bill                   | 12048            | 04/11/2023        |                              | washers & dr...   | 4430.25 · Unit Repair        | -15,324.00        |
| <b>TOTAL</b>           |                  |                   |                              |                   |                              | <b>-15,324.00</b> |
| <b>Bill Pmt -Check</b> | <b>7092</b>      | <b>04/19/2023</b> | <b>GREEN BAY WAT...</b>      |                   | <b>1111.01 · General ...</b> |                   |
| Bill                   | 3/30/23-4665-001 | 03/30/2023        |                              | 1424 Admiral      | 4390.00 · Other Util...      | -388.00           |
|                        |                  |                   |                              | 1424 Admiral      | 4310.00 · Water              | -2,962.89         |
| Bill                   | 3/31/23-32063-01 | 03/31/2023        |                              | Private fire line | 4390.00 · Other Util...      | -141.30           |
| <b>TOTAL</b>           |                  |                   |                              |                   |                              | <b>-3,492.19</b>  |
| <b>Bill Pmt -Check</b> | <b>7093</b>      | <b>04/19/2023</b> | <b>KONE INC</b>              | <b>mm</b>         | <b>1111.01 · General ...</b> |                   |
| Bill                   | 871008397        | 04/01/2023        |                              | maint agree...    | 4430.12 · Elevator ...       | -910.00           |
| <b>TOTAL</b>           |                  |                   |                              |                   |                              | <b>-910.00</b>    |
| <b>Bill Pmt -Check</b> | <b>7094</b>      | <b>04/19/2023</b> | <b>LITURGICAL PUB...</b>     | <b>mm</b>         | <b>1111.01 · General ...</b> |                   |
| Bill                   | 753665           | 03/30/2023        |                              | ad space          | 4190.08 · Marketing          | -949.00           |
| <b>TOTAL</b>           |                  |                   |                              |                   |                              | <b>-949.00</b>    |
| <b>Bill Pmt -Check</b> | <b>7095</b>      | <b>04/19/2023</b> | <b>One Service LLC</b>       |                   | <b>1111.01 · General ...</b> |                   |
| Bill                   | 470              | 08/17/2022        |                              | bed bug treat...  | 4430.17 · Extermin...        | -235.00           |
| Bill                   | 472              | 08/19/2022        |                              | 1416 Univers...   | 4430.17 · Extermin...        | -80.00            |
| Bill                   | 571              | 03/31/2023        |                              | bed bug treat...  | 4430.17 · Extermin...        | -215.00           |
| <b>TOTAL</b>           |                  |                   |                              |                   |                              | <b>-530.00</b>    |
| <b>Bill Pmt -Check</b> | <b>7096</b>      | <b>04/19/2023</b> | <b>TEAM APPAREL &amp;...</b> | <b>uniforms</b>   | <b>1111.01 · General ...</b> |                   |
| Bill                   | 130145           | 04/03/2023        |                              | shirts            | 4420.00 · Maint - S...       | -266.00           |
|                        |                  |                   |                              | shirts            | 4420.00 · Maint - S...       | -266.00           |
| <b>TOTAL</b>           |                  |                   |                              |                   |                              | <b>-532.00</b>    |

**CITY OF GREEN BAY BID SUMMARY**  
**RFB #2023-05 - Commercial Washer and Dryers for Mason Mason**

|                                                       |                                    |                                     |               |                                |              |                                   |              |
|-------------------------------------------------------|------------------------------------|-------------------------------------|---------------|--------------------------------|--------------|-----------------------------------|--------------|
| DEPT: GBHA - Mason Manor                              |                                    | VENDOR #1                           |               | VENDOR #2                      |              | VENDOR #2                         |              |
| Planholders: 5 Vendors                                |                                    | CC# 500-045                         |               | INDOFF - ALLIED APPLIANCE      |              | INDOFF - ALLIED APPLIANCE         |              |
| ISSUED: 2/2/23                                        |                                    | DUE: 2/23/23                        |               | Green Bay                      |              | Maryland Heights MO               |              |
| DESCRIPTION                                           |                                    | UNIT                                | PRICE         | UNIT                           | PRICE        | UNIT                              | PRICE        |
| YEAR/BRAND/MODEL WASHER:                              |                                    | 2023 Speed Queen<br>SWNSX25P115TWO2 |               | Speed Queen<br>SWNNC2SP115TW01 |              | Alternate: Whirlpool<br>CAE2745FQ |              |
| 7 EA                                                  | WASHERS INCLUDING DELIVERY/SET-UP: | \$ 1,416.00                         | \$ 9,912.00   | \$ 1,645.00                    | \$ 11,515.00 | \$ 1,069.00                       | \$ 7,483.00  |
| TOTAL PRICE TRADE-IN ALLOWANCES ON WASHERS:           |                                    |                                     | \$ (1,050.00) |                                |              |                                   |              |
| TOTAL NET COST WASHERS INCL TRADE-IN ALLOWANCES:      |                                    |                                     | \$ 8,862.00   |                                | \$ 11,515.00 |                                   | \$ 7,483.00  |
|                                                       |                                    |                                     |               |                                |              |                                   |              |
| YEAR/BRAND/MODEL DRYERS:                              |                                    | 2023 Speed Queen SDG                |               | Speed Queen<br>SDGNCRGS113TW01 |              | Alternate: Whirlpool<br>CGM2745FQ |              |
| 6 EA                                                  | DRYERS INCLUDING DELIVERY/SET-UP:  | \$ 1,177.00                         | \$ 7,062.00   | \$ 1,325.00                    | \$ 7,950.00  | \$ 1,019.00                       | \$ 6,114.00  |
| TOTAL PRICE TRADE-IN ALLOWANCES ON DRYERS:            |                                    |                                     | \$ (600.00)   |                                |              |                                   |              |
| TOTAL NET COST DRYERS INCL TRADE-IN ALLOWANCES:       |                                    |                                     | \$ 6,462.00   |                                | \$ 7,950.00  |                                   | \$ 6,114.00  |
|                                                       |                                    |                                     |               |                                |              |                                   |              |
| FREIGHT:                                              |                                    |                                     |               |                                | \$ 1,164.00  |                                   | \$ 650.00    |
| TOTAL COST WASHERS & DRYERS INCL TRADE IN ALLOWANCES: |                                    |                                     | \$ 15,324.00  |                                | \$ 20,629.00 |                                   | \$ 14,247.00 |
|                                                       |                                    |                                     |               |                                |              |                                   |              |
| LEAD TIME:                                            |                                    | 1-2 Weeks                           |               | -                              |              | -                                 |              |
| PAYMENT TERMS: NET 30                                 |                                    | Net 30                              |               | -                              |              | -                                 |              |
| EARLY PAYMENT DISCOUNT:                               |                                    |                                     |               | -                              |              | -                                 |              |
| COMPANY ACCEPTS P-CARD PAYMENTS:                      |                                    | Yes                                 |               | -                              |              | -                                 |              |
| BID COMPLIANT:                                        |                                    | Yes                                 |               | No                             |              | No                                |              |

Non-Compliance: Indoff-Applied Appliance did not respond on City Bid form, incomplete information, no trade allowance and price does not include required set up

**Recommendation:** Award to the lowest responsive, responsible vendor Commercial Laundry

# Green Bay Housing Authority Budget vs. Actual Summary Green Bay Housing Authority

Apr-23

|               | COCC       |            | Mason Manor |              | RevBonds  |           | TOTAL      |              |
|---------------|------------|------------|-------------|--------------|-----------|-----------|------------|--------------|
|               | YTD        | Budget     | YTD         | Budget       | YTD       | Budget    | YTD        | Budget       |
| Total Income  | 154,810.55 | 180,710.80 | 773,839.83  | 863,475.00   | 63,345.92 | 11,790.00 | 991,996.30 | 1,055,975.80 |
| Total Expense | 98,752.12  | 152,200.00 | 698,336.76  | 1,028,997.84 | 937.54    | 4,700.00  | 798,026.42 | 1,185,897.84 |
| Net Income    | 56,058.43  | 28,510.80  | 75,503.07   | -165,522.84  | 62,408.38 | 7,090.00  | 193,969.88 | -129,922.04  |

## Reserve Spreadsheet

|                       | MM        |
|-----------------------|-----------|
| 2022 Audited Report   | 1,125,950 |
| YTD Net Income/(loss) | 75,503    |
| Without Depreciation  |           |
| Committed Funds       | (150,000) |
| Remaining Projects    | -         |
| Subtotal              | 1,051,453 |
| Transfer              | -         |
| Projected Reserve     | 1,051,453 |
| 6 Month Expenses      | 455,052   |
| Excess/shortfall      | 596,402   |
|                       | 😊         |

# Green Bay Housing Authority Budget vs. Actual Detail

|                                          | COCC              |                   |                   |                | Mason Manor       |                     |                    |                |
|------------------------------------------|-------------------|-------------------|-------------------|----------------|-------------------|---------------------|--------------------|----------------|
|                                          | YTD               | Budget            | \$ Over Budget    | % of Budget    | YTD               | Budget              | \$ Over Budget     | % of Budget    |
| <b>Income</b>                            |                   |                   |                   |                |                   |                     |                    |                |
| 2802.00 · Hud Contributions              | 0.00              | 0.00              | 0.00              | 0.0%           | 183,523.00        | 175,000.00          | 8,523.00           | 104.87%        |
| 3110.00 · Dwelling Rental                | 0.00              | 0.00              | 0.00              | 0.0%           | 418,390.84        | 519,000.00          | -100,609.16        | 80.62%         |
| 3120.00 · Excess Utilities               | 0.00              | 0.00              | 0.00              | 0.0%           | 4,096.00          | 5,000.00            | -904.00            | 81.92%         |
| 3510.00 · Management Fee Revenue         | 118,610.94        | 138,580.80        | 129,864.00        | 85.59%         | 0.00              | 0.00                | 0.00               | 0.0%           |
| 3520.00 · Asset Management Rev           | 20,100.00         | 24,000.00         | 24,000.00         | 83.75%         | 0.00              | 0.00                | 0.00               | 0.0%           |
| 3530.00 · BookKeeping Fee Rev            | 14,895.00         | 18,000.00         | 18,000.00         | 82.75%         | 0.00              | 0.00                | 0.00               | 0.0%           |
| 3610.00 · Int Income                     | 0.00              | 30.00             | 2,500.00          | 0.0%           | 56,280.77         | 75.00               | 56,205.77          | 75,041.03%     |
| 3690.00 · Other Income - Tenants         | 0.00              | 0.00              | 0.00              | 0.0%           | 3,305.00          | 5,000.00            | -1,695.00          | 66.1%          |
| 3690.01 · Other Income - Ins Dividends   | 159.52            | 100.00            | 15.00             | 159.52%        | 4,306.65          | 7,500.00            | -3,193.35          | 57.42%         |
| 3690.02 · Other Income                   | 1,045.09          | 0.00              | 1,045.09          | 100.0%         | 19,537.71         | 11,500.00           | 8,037.71           | 169.89%        |
| 3690.03 · Cell Tower Rent                | 0.00              | 0.00              | 0.00              | 0.0%           | 84,399.86         | 140,400.00          | -56,000.14         | 60.11%         |
| 9110.00 · Transfers In                   | 0.00              | 0.00              | 0.00              | 0.0%           | 0.00              | 0.00                | 0.00               | 0.0%           |
| <b>Total Income</b>                      | <b>154,810.55</b> | <b>180,710.80</b> | <b>-25,900.25</b> | <b>85.67%</b>  | <b>773,839.83</b> | <b>863,475.00</b>   | <b>-89,635.17</b>  | <b>89.62%</b>  |
| <b>Expense</b>                           |                   |                   |                   |                |                   |                     |                    |                |
| 4110.00 · Admin Salaries                 | 56,558.49         | 70,000.00         | -13,441.51        | 80.8%          | 86,154.58         | 110,500.00          | -24,345.42         | 77.97%         |
| 4120.00 · Compensated Absences           | 0.00              | 0.00              | 0.00              | 0.0%           | 0.00              | 500.00              | -500.00            | 0.0%           |
| 4130.00 · Legal Expense                  | 0.00              | 6,000.00          | -6,000.00         | 0.0%           | 400.44            | 1,500.00            | -1,099.56          | 26.7%          |
| 4130.01 · Investigations Expense         | 0.00              | 0.00              | 0.00              | 0.0%           | 56.16             | 2,600.00            | -2,543.84          | 2.16%          |
| 4140.00 · Staff Training                 | 1,589.97          | 9,000.00          | -7,410.03         | 17.67%         | 79.00             | 5,000.00            | -4,921.00          | 1.58%          |
| 4150.00 · Travel                         | 113.71            | 200.00            | -86.29            | 56.86%         | 145.22            | 250.00              | -104.78            | 58.09%         |
| 4160.00 · Management Fee                 | 0.00              | 0.00              | 0.00              | 0.0%           | 90,774.40         | 105,627.84          | -14,853.44         | 85.94%         |
| 4163.00 · BookKeeping Fee                | 0.00              | 0.00              | 0.00              | 0.0%           | 11,400.00         | 13,680.00           | -2,280.00          | 83.33%         |
| 4165.00 · Asset Management Fee           | 0.00              | 0.00              | 0.00              | 0.0%           | 15,300.00         | 18,240.00           | -2,940.00          | 83.88%         |
| 4171.00 · Auditing Fees                  | 2,166.00          | 1,950.00          | 216.00            | 111.08%        | 4,332.00          | 3,850.00            | 482.00             | 112.52%        |
| 4182.00 · Employee Benefits - Admin      | 22,027.53         | 30,500.00         | -8,472.47         | 72.22%         | 31,379.06         | 44,500.00           | -13,120.94         | 70.52%         |
| 4190.01 · Printing                       | 39.60             | 300.00            | -260.40           | 13.2%          | 794.92            | 1,000.00            | -205.08            | 79.49%         |
| 4190.02 · Postage                        | 186.26            | 300.00            | -113.74           | 62.09%         | 426.00            | 1,100.00            | -674.00            | 38.73%         |
| 4190.03 · Paper & Office Supplies        | 150.17            | 900.00            | -749.83           | 16.69%         | 1,217.85          | 1,000.00            | 217.85             | 121.79%        |
| 4190.04 · Publications                   | 0.00              | 300.00            | -300.00           | 0.0%           | 0.00              | 0.00                | 0.00               | 0.0%           |
| 4190.05 · Membership Dues & Fees         | 70.00             | 400.00            | -330.00           | 17.5%          | 239.00            | 0.00                | 239.00             | 100.0%         |
| 4190.06 · Computer Support               | 2,066.59          |                   | 2,066.59          | 100.0%         | 7,233.09          | 15,000.00           | -7,766.91          | 48.22%         |
| 4190.07 · Tele Fax & Comm                | 0.00              | 0.00              | 0.00              | 0.0%           | 1,830.43          | 2,250.00            | -419.57            | 81.35%         |
| 4190.08 · Marketing                      | 0.00              | 3,000.00          | -3,000.00         | 0.0%           | 1,129.00          | 2,300.00            | -1,171.00          | 49.09%         |
| 4190.10 · Miscellaneous                  | 12,381.02         | 15,000.00         | -2,618.98         | 82.54%         | 1,358.46          | 1,500.00            | -141.54            | 90.56%         |
| 4220.00 · Ten Ser-Recr Etc               | 0.00              | 0.00              | 0.00              | 0.0%           | 28.45             | 200.00              | -171.55            | 14.23%         |
| 4220.01 · Ten Ser - Resident Part        | 0.00              | 0.00              | 0.00              | 0.0%           | 2,892.82          | 2,900.00            | -7.18              | 99.75%         |
| 4230.00 · Ten Ser-Contrs                 | 0.00              | 0.00              | 0.00              | 0.0%           | 40,550.08         | 26,800.00           | 13,750.08          | 151.31%        |
| 4310.00 · Water                          | 0.00              | 0.00              | 0.00              | 0.0%           | 31,630.56         | 42,000.00           | -10,369.44         | 75.31%         |
| 4320.00 · Electricity                    | 0.00              | 0.00              | 0.00              | 0.0%           | 58,477.05         | 66,000.00           | -7,522.95          | 88.6%          |
| 4330.00 · Gas                            | 0.00              | 0.00              | 0.00              | 0.0%           | 41,027.78         | 28,500.00           | 12,527.78          | 143.96%        |
| 4390.00 · Other Utilities                | 0.00              | 0.00              | 0.00              | 0.0%           | 4,271.08          | 6,000.00            | -1,728.92          | 71.19%         |
| 4410.00 · Maint - Labor                  | 0.00              | 0.00              | 0.00              | 0.0%           | 106,302.05        | 133,000.00          | -26,697.95         | 79.93%         |
| 4420.00 · Maint - Supplies               | 0.00              | 100.00            | -100.00           | 0.0%           | 11,521.43         | 18,000.00           | -6,478.57          | 64.01%         |
| 4430.00 · Maint - Contracts              | 0.00              | 0.00              | 0.00              | 0.0%           | 14,333.82         | 20,000.00           | -5,666.18          | 71.67%         |
| 4430.01 · Maint - Non-Contract           | 0.00              | 0.00              | 0.00              | 0.0%           | 3,528.18          | 10,000.00           | -6,471.82          | 35.28%         |
| 4430.03 · Maint - Truck Maint            | 2.58              | 100.00            | -97.42            | 2.58%          | 4,481.88          | 3,000.00            | 1,481.88           | 149.4%         |
| 4430.09 · Fire Protection - Maint        | 0.00              | 0.00              | 0.00              | 0.0%           | 5,337.38          | 4,200.00            | 1,137.38           | 127.08%        |
| 4430.10 · Heating and Cooling            | 0.00              | 0.00              | 0.00              | 0.0%           | 3,705.78          | 6,500.00            | -2,794.22          | 57.01%         |
| 4430.11 · Snow Removal                   | 0.00              | 0.00              | 0.00              | 0.0%           | 1,111.77          | 6,500.00            | -5,388.23          | 17.1%          |
| 4430.12 · Elevator Maintenance           | 0.00              | 0.00              | 0.00              | 0.0%           | 11,112.44         | 14,500.00           | -3,387.56          | 76.64%         |
| 4430.13 · Landscape and Grounds          | 0.00              | 0.00              | 0.00              | 0.0%           | 1,853.59          | 1,500.00            | 353.59             | 123.57%        |
| 4430.14 · Unit Turnaround                | 0.00              | 0.00              | 0.00              | 0.0%           | 0.00              | 0.00                | 0.00               | 0.0%           |
| 4430.15 · Electrical                     | 0.00              | 0.00              | 0.00              | 0.0%           | 0.00              | 0.00                | 0.00               | 0.0%           |
| 4430.16 · Plumbing                       | 0.00              | 0.00              | 0.00              | 0.0%           | 1,542.65          | 1,500.00            | 42.65              | 102.84%        |
| 4430.17 · Extermination                  | 0.00              | 0.00              | 0.00              | 0.0%           | 13,192.14         | 22,000.00           | -8,807.86          | 59.96%         |
| 4430.18 · Appliances                     | 0.00              | 0.00              | 0.00              | 0.0%           | 0.00              | 0.00                | 0.00               | 0.0%           |
| 4430.19 · Garbage & Trash Removal        | 0.00              | 0.00              | 0.00              | 0.0%           | 3,871.72          | 6,000.00            | -2,128.28          | 64.53%         |
| 4430.25 · Unit Repair                    | 0.00              | 0.00              | 0.00              | 0.0%           | 0.00              | 0.00                | 0.00               | 0.0%           |
| 4432.00 · Extraordinary Maintenance      | 0.00              | 0.00              | 0.00              | 0.0%           | 0.00              | 0.00                | 0.00               | 0.0%           |
| 4433.00 · Emp Ben Contr-ord maint        | 0.00              | 0.00              | 0.00              | 0.0%           | 36,389.50         | 42,500.00           | -6,110.50          | 85.62%         |
| 4480.00 · Protect Service                | 0.00              | 0.00              | 0.00              | 0.0%           | 0.00              | 0.00                | 0.00               | 0.0%           |
| 4510.00 · Insurance Expense - Property   | 0.00              | 0.00              | 0.00              | 0.0%           | 38,799.00         | 36,000.00           | 2,799.00           | 107.78%        |
| 4510.01 · Insurance Expenses - Liability | 600.00            | 400.00            | 200.00            | 150.0%         | 8,126.00          | 8,000.00            | 126.00             | 101.58%        |
| 4520.00 · PILOT                          | 0.00              | 0.00              | 0.00              | 0.0%           | 0.00              | 38,000.00           | -38,000.00         | 0.0%           |
| 4530.00 · Bank Fees                      | 800.20            | 1,100.00          | -299.80           | 72.75%         | 0.00              | 0.00                | 0.00               | 0.0%           |
| 4572.00 · Bad Debt - Tenant Rents        | 0.00              | 0.00              | 0.00              | 0.0%           | 0.00              | 5,000.00            | -5,000.00          | 0.0%           |
| 4590.00 · Other General                  | 0.00              | 12,000.00         | -12,000.00        | 0.0%           | 0.00              | 0.00                | 0.00               | 0.0%           |
| 4600.00 · Leases                         | 0.00              | 0.00              | 0.00              | 0.0%           | 0.00              | 0.00                | 0.00               | 0.0%           |
| 4800.00 · Depreciation Expense           | 0.00              | 650.00            | -650.00           | 0.0%           | 0.00              | 150,000.00          | -150,000.00        | 0.0%           |
| 9120.00 · Transfers Out                  | 0.00              | 0.00              | 0.00              | 0.0%           | 0.00              | 0.00                | 0.00               | 0.0%           |
| <b>Total Expense</b>                     | <b>98,752.12</b>  | <b>152,200.00</b> | <b>-53,447.88</b> | <b>64.88%</b>  | <b>698,336.76</b> | <b>1,028,997.84</b> | <b>-330,661.08</b> | <b>67.87%</b>  |
| <b>Net Income/(Loss)</b>                 | <b>56,058.43</b>  | <b>28,510.80</b>  | <b>27,547.63</b>  | <b>196.62%</b> | <b>75,503.07</b>  | <b>-165,522.84</b>  | <b>241,025.91</b>  | <b>-45.62%</b> |

# Green Bay Housing Authority Budget vs. Actual Detail

|                                          | RevBonds         |                  |                  |                | TOTAL             |                     |                    |                |
|------------------------------------------|------------------|------------------|------------------|----------------|-------------------|---------------------|--------------------|----------------|
|                                          | YTD              | Budget           | \$ Over Budget   | % of Budget    | YTD               | Budget              | \$ Over Budget     | % of Budget    |
| <b>Income</b>                            |                  |                  |                  |                |                   |                     |                    |                |
| 2802.00 · Hud Contributions              | 0.00             | 0.00             | 0.00             | 0.0%           | 183,523.00        | 175,000.00          | 8,523.00           | 104.87%        |
| 3110.00 · Dwelling Rental                | 0.00             | 0.00             | 0.00             | 0.0%           | 418,390.84        | 519,000.00          | -100,609.16        | 80.62%         |
| 3120.00 · Excess Utilities               | 0.00             | 0.00             | 0.00             | 0.0%           | 4,096.00          | 5,000.00            | -904.00            | 81.92%         |
| 3510.00 · Management Fee Revenue         | 0.00             | 0.00             | 0.00             | 0.0%           | 118,610.94        | 138,580.80          | -19,969.86         | 85.59%         |
| 3520.00 · Asset Management Rev           | 0.00             | 0.00             | 0.00             | 0.0%           | 20,100.00         | 24,000.00           | -3,900.00          | 83.75%         |
| 3530.00 · BookKeeping Fee Rev            | 0.00             | 0.00             | 0.00             | 0.0%           | 14,895.00         | 18,000.00           | -3,105.00          | 82.75%         |
| 3610.00 · Int Income                     | 0.00             | 75.00            | -75.00           | 0.0%           | 56,280.77         | 180.00              | 56,100.77          | 31,267.09%     |
| 3690.00 · Other Income - Tenants         | 0.00             | 0.00             | 0.00             | 0.0%           | 3,305.00          | 5,000.00            | -1,695.00          | 66.1%          |
| 3690.01 · Other Income - Ins Dividends   | 0.00             | 0.00             | 0.00             | 0.0%           | 4,466.17          | 7,600.00            | -3,133.83          | 58.77%         |
| 3690.02 · Other Income                   | 63,345.92        | 11,715.00        | 51,630.92        | 540.73%        | 83,928.72         | 23,215.00           | 60,713.72          | 361.53%        |
| 3690.03 · Cell Tower Rent                | 0.00             | 0.00             | 0.00             | 0.0%           | 84,399.86         | 140,400.00          | -56,000.14         | 60.11%         |
| 9110.00 · Transfers In                   | 0.00             | 0.00             | 0.00             | 0.0%           | 0.00              | 0.00                | 0.00               | 0.0%           |
| <b>Total Income</b>                      | <b>63,345.92</b> | <b>11,790.00</b> | <b>51,555.92</b> | <b>537.29%</b> | <b>991,996.30</b> | <b>1,055,975.80</b> | <b>-63,979.50</b>  | <b>93.94%</b>  |
| <b>Expense</b>                           |                  |                  |                  |                |                   |                     |                    |                |
| 4110.00 · Admin Salaries                 | 81.69            | 550.00           | -468.31          | 14.85%         | 142,794.76        | 181,050.00          | -38,255.24         | 78.87%         |
| 4120.00 · Compensated Absences           | 0.00             | 0.00             | 0.00             | 0.0%           | 0.00              | 500.00              | -500.00            | 0.0%           |
| 4130.00 · Legal Expense                  | 0.00             | 0.00             | 0.00             | 0.0%           | 400.44            | 7,500.00            | -7,099.56          | 5.34%          |
| 4130.01 · Investigations Expense         | 0.00             | 0.00             | 0.00             | 0.0%           | 56.16             | 2,600.00            | -2,543.84          | 2.16%          |
| 4140.00 · Staff Training                 | 0.00             | 0.00             | 0.00             | 0.0%           | 1,668.97          | 14,000.00           | -12,331.03         | 11.92%         |
| 4150.00 · Travel                         | 0.00             | 0.00             | 0.00             | 0.0%           | 258.93            | 450.00              | -191.07            | 57.54%         |
| 4160.00 · Management Fee                 | 0.00             | 0.00             | 0.00             | 0.0%           | 90,774.40         | 105,627.84          | -14,853.44         | 85.94%         |
| 4163.00 · BookKeeping Fee                | 0.00             | 0.00             | 0.00             | 0.0%           | 11,400.00         | 13,680.00           | -2,280.00          | 83.33%         |
| 4165.00 · Asset Management Fee           | 0.00             | 0.00             | 0.00             | 0.0%           | 15,300.00         | 18,240.00           | -2,940.00          | 83.88%         |
| 4171.00 · Auditing Fees                  | 570.00           | 400.00           | 170.00           | 142.5%         | 7,068.00          | 6,200.00            | 868.00             | 114.0%         |
| 4182.00 · Employee Benefits - Admin      | 35.89            | 250.00           | -214.11          | 14.36%         | 53,442.48         | 75,250.00           | -21,807.52         | 71.02%         |
| 4190.01 · Printing                       | 0.00             | 0.00             | 0.00             | 0.0%           | 834.52            | 1,300.00            | -465.48            | 64.19%         |
| 4190.02 · Postage                        | 0.00             | 0.00             | 0.00             | 0.0%           | 612.26            | 1,400.00            | -787.74            | 43.73%         |
| 4190.03 · Paper & Office Supplies        | 0.00             | 0.00             | 0.00             | 0.0%           | 1,368.02          | 1,900.00            | -531.98            | 72.0%          |
| 4190.04 · Publications                   | 5.57             | 0.00             | 5.57             | 100.0%         | 5.57              | 300.00              | -294.43            | 1.86%          |
| 4190.05 · Membership Dues & Fees         | 0.00             | 0.00             | 0.00             | 0.0%           | 309.00            | 400.00              | -91.00             | 77.25%         |
| 4190.06 · Computer Support               | 0.00             | 0.00             | 0.00             | 0.0%           | 9,299.68          | 15,000.00           | -5,700.32          | 62.0%          |
| 4190.07 · Tele Fax & Comm                | 0.00             | 0.00             | 0.00             | 0.0%           | 1,830.43          | 2,250.00            | -419.57            | 81.35%         |
| 4190.08 · Marketing                      | 0.00             | 3,000.00         | -3,000.00        | 0.0%           | 1,129.00          | 8,300.00            | -7,171.00          | 13.6%          |
| 4190.10 · Miscellaneous                  | 0.00             | 500.00           | -500.00          | 0.0%           | 13,739.48         | 17,000.00           | -3,260.52          | 80.82%         |
| 4220.00 · Ten Ser-Recr Etc               | 0.00             | 0.00             | 0.00             | 0.0%           | 28.45             | 200.00              | -171.55            | 14.23%         |
| 4220.01 · Ten Ser - Resident Part        | 0.00             | 0.00             | 0.00             | 0.0%           | 2,892.82          | 2,900.00            | -7.18              | 99.75%         |
| 4230.00 · Ten Ser-Contrs                 | 0.00             | 0.00             | 0.00             | 0.0%           | 40,550.08         | 26,800.00           | 13,750.08          | 151.31%        |
| 4310.00 · Water                          | 0.00             | 0.00             | 0.00             | 0.0%           | 31,630.56         | 42,000.00           | -10,369.44         | 75.31%         |
| 4320.00 · Electricity                    | 0.00             | 0.00             | 0.00             | 0.0%           | 58,477.05         | 66,000.00           | -7,522.95          | 88.6%          |
| 4330.00 · Gas                            | 0.00             | 0.00             | 0.00             | 0.0%           | 41,027.78         | 28,500.00           | 12,527.78          | 143.96%        |
| 4390.00 · Other Utilities                | 0.00             | 0.00             | 0.00             | 0.0%           | 4,271.08          | 6,000.00            | -1,728.92          | 71.19%         |
| 4410.00 · Maint - Labor                  | 0.00             | 0.00             | 0.00             | 0.0%           | 106,302.05        | 133,000.00          | -26,697.95         | 79.93%         |
| 4420.00 · Maint - Supplies               | 0.00             | 0.00             | 0.00             | 0.0%           | 11,521.43         | 18,100.00           | -6,578.57          | 63.65%         |
| 4430.00 · Maint - Contracts              | 0.00             | 0.00             | 0.00             | 0.0%           | 14,333.82         | 20,000.00           | -5,666.18          | 71.67%         |
| 4430.01 · Maint - Non-Contract           | 0.00             | 0.00             | 0.00             | 0.0%           | 3,528.18          | 10,000.00           | -6,471.82          | 35.28%         |
| 4430.03 · Maint - Truck Maint            | 0.00             | 0.00             | 0.00             | 0.0%           | 4,484.46          | 3,100.00            | 1,384.46           | 144.66%        |
| 4430.09 · Fire Protection - Maint        | 0.00             | 0.00             | 0.00             | 0.0%           | 5,337.38          | 4,200.00            | 1,137.38           | 127.08%        |
| 4430.10 · Heating and Cooling            | 0.00             | 0.00             | 0.00             | 0.0%           | 3,705.78          | 6,500.00            | -2,794.22          | 57.01%         |
| 4430.11 · Snow Removal                   | 0.00             | 0.00             | 0.00             | 0.0%           | 1,111.77          | 6,500.00            | -5,388.23          | 17.1%          |
| 4430.12 · Elevator Maintenance           | 0.00             | 0.00             | 0.00             | 0.0%           | 11,112.44         | 14,500.00           | -3,387.56          | 76.64%         |
| 4430.13 · Landscape and Grounds          | 0.00             | 0.00             | 0.00             | 0.0%           | 1,853.59          | 1,500.00            | 353.59             | 123.57%        |
| 4430.14 · Unit Turnaround                | 0.00             | 0.00             | 0.00             | 0.0%           | 0.00              | 0.00                | 0.00               | 0.0%           |
| 4430.15 · Electrical                     | 0.00             | 0.00             | 0.00             | 0.0%           | 0.00              | 0.00                | 0.00               | 0.0%           |
| 4430.16 · Plumbing                       | 0.00             | 0.00             | 0.00             | 0.0%           | 1,542.65          | 1,500.00            | 42.65              | 102.84%        |
| 4430.17 · Extermination                  | 0.00             | 0.00             | 0.00             | 0.0%           | 13,192.14         | 22,000.00           | -8,807.86          | 59.96%         |
| 4430.18 · Appliances                     | 0.00             | 0.00             | 0.00             | 0.0%           | 0.00              | 0.00                | 0.00               | 0.0%           |
| 4430.19 · Garbage & Trash Removal        | 0.00             | 0.00             | 0.00             | 0.0%           | 3,871.72          | 6,000.00            | -2,128.28          | 64.53%         |
| 4430.25 · Unit Repair                    | 0.00             | 0.00             | 0.00             | 0.0%           | 0.00              | 0.00                | 0.00               | 0.0%           |
| 4432.00 · Extraordinary Maintenance      | 0.00             | 0.00             | 0.00             | 0.0%           | 0.00              | 0.00                | 0.00               | 0.0%           |
| 4433.00 · Emp Ben Contr-ord maint        | 0.00             | 0.00             | 0.00             | 0.0%           | 36,389.50         | 42,500.00           | -6,110.50          | 85.62%         |
| 4480.00 · Protect Service                | 0.00             | 0.00             | 0.00             | 0.0%           | 0.00              | 0.00                | 0.00               | 0.0%           |
| 4510.00 · Insurance Expense - Property   | 0.00             | 0.00             | 0.00             | 0.0%           | 38,799.00         | 36,000.00           | 2,799.00           | 107.78%        |
| 4510.01 · Insurance Expenses - Liability | 0.00             | 0.00             | 0.00             | 0.0%           | 8,726.00          | 8,400.00            | 326.00             | 103.88%        |
| 4520.00 · PILOT                          | 0.00             | 0.00             | 0.00             | 0.0%           | 0.00              | 38,000.00           | -38,000.00         | 0.0%           |
| 4530.00 · Bank Fees                      | 0.00             | 0.00             | 0.00             | 0.0%           | 800.20            | 1,100.00            | -299.80            | 72.75%         |
| 4572.00 · Bad Debt - Tenant Rents        | 0.00             | 0.00             | 0.00             | 0.0%           | 0.00              | 5,000.00            | -5,000.00          | 0.0%           |
| 4590.00 · Other General                  | 0.00             | 0.00             | 0.00             | 0.0%           | 0.00              | 12,000.00           | -12,000.00         | 0.0%           |
| 4600.00 · Leases                         | 0.00             | 0.00             | 0.00             | 0.0%           | 0.00              | 0.00                | 0.00               | 0.0%           |
| 4800.00 · Depreciation Expense           | 0.00             | 0.00             | 0.00             | 0.0%           | 0.00              | 150,650.00          | -150,650.00        | 0.0%           |
| 9120.00 · Transfers Out                  | 244.39           | 0.00             | 244.39           | 100.0%         | 244.39            | 0.00                | 244.39             | 100.0%         |
| <b>Total Expense</b>                     | <b>937.54</b>    | <b>4,700.00</b>  | <b>-3,762.46</b> | <b>19.95%</b>  | <b>798,026.42</b> | <b>1,185,897.84</b> | <b>-387,871.42</b> | <b>67.29%</b>  |
| <b>Net Income/(Loss)</b>                 | <b>62,408.38</b> | <b>7,090.00</b>  | <b>55,318.38</b> | <b>880.23%</b> | <b>193,969.88</b> | <b>-129,922.04</b>  | <b>323,891.92</b>  | <b>-149.3%</b> |

Green Bay Housing Authority  
Capital Funds Program Report  
April-23

|             | <u>2015</u> | <u>2016</u> | <u>2017</u> | <u>2018</u> | <u>2019</u> |                   |
|-------------|-------------|-------------|-------------|-------------|-------------|-------------------|
| Mason Manor | 0.00        | 0.00        | 0.00        | 0.00        | 226,988.32  | 226,988.32        |
| Admin       | 0.00        | 0.00        | 0.00        | 0.00        | 22,942.65   | 22,942.65         |
|             | -           | -           | -           | -           | 249,930.97  | <u>249,930.97</u> |

|                 |           |           |           |           |           |
|-----------------|-----------|-----------|-----------|-----------|-----------|
| Obligation Date | 4/12/2017 | 4/12/2018 | 8/15/2019 | 5/28/2020 | 4/15/2021 |
| Grant End Date  | 4/12/2019 | 4/12/2020 | 8/15/2021 | 5/28/2022 | 4/15/2025 |

Grant Amount    \$   187,845    \$   190,918    \$   207,049    \$   320,213    \$   330,432

|             | <u>2020</u> | <u>2021</u> | <u>2022</u> | <u>2023</u> | <u>2024</u> |              |
|-------------|-------------|-------------|-------------|-------------|-------------|--------------|
| Mason Manor | 323,071.87  | 345,708.00  | 424,126.00  | 427,080.00  | 0.00        | 1,519,985.87 |

|                 |           |           |           |           |
|-----------------|-----------|-----------|-----------|-----------|
| Obligation Date | 3/25/2022 | 2/22/2023 | 5/11/2024 | 2/16/2025 |
| Grant End Date  | 3/25/2026 | 2/22/2025 | 5/11/2026 | 2/16/2027 |

Grant Amount    \$   326,808    \$   345,708    \$   424,126    \$   427,080    Total CFP Dollars  
\$   1,769,916.84



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December 1, 2022

Jayne Valentine  
Senior Property Manager  
Housing Authority of City of Green Bay  
1424 Admiral Court  
Green Bay, WI 54303

Re: Monthly Report:

Ms. Valentine,

For the month of November 2022 there were **no** Green Bay Housing applications reviewed by Langan and Associates. It was:

- 0 Applications for Mason Manor.
- 0 Applications for Scattered Sites.

Should there be any questions please feel free to contact me at (920) 639-6667.

Respectfully submitted,

*Ken Brodhagen*

Ken Brodhagen, Investigator  
Langan & Associates, Inc.

***This document is confidential and intended for the use of the listed recipient only.***

# EXECUTIVE SUMMARY

## GREEN BAY HOUSING MARKET STUDY

### INTRODUCTION

The purpose of this study is to help the City better understand its housing market and the housing market in surrounding communities (Allouez, Ashwaubenon, Bellevue, Suamico, De Pere and Howard)—the secondary market. This study examines the existing balance between housing demand and supply by analyzing data, talking to housing experts, and understanding local residents' experiences. Based on this examination, gaps in the number, type, price point and location of housing units in Green Bay are indicated. To close these gaps and improve housing options in the City, this study lays out a toolbox of targeted strategies.

### HOUSING GAPS & OPPORTUNITIES

Using both conservative and high growth scenarios to arrive at a range, the City will need the following to meet projected housing demand by 2040:

- **3,314 - 7,441 rental units (140 - 310/year)**

This equates to approximately the following per year, based on current rental pricepoints and HUD FY2020 income categories:

- 75-170 units with monthly rent up to \$1,030
- 50-110 units with monthly rent between \$1,150-\$1,650
- 15-30 units with monthly rent greater than \$1,440

- **4,052 - 9,098 owner-occupied units (170 - 375/year)**

This includes attached and detached units and equates to the following per year, based on current ownership price points and HUD FY2020 income categories:

- 35-75 units priced up to \$158,000
- 35-75 units priced between \$178,000-\$248,000
- 100-225 units priced greater than \$217,000

### IMPLEMENTATION

(refer to pages 80-84 for more detail)

#### Goal

The City's primary housing goal is to Build Healthy

Neighborhoods. Healthy neighborhoods have:

- Varied housing types, sizes and price points, including both owner- and renter-occupied units. This enables more people to stay in the neighborhood as housing needs shift, and it limits future instability due to changes in the housing market.
- Sidewalks and urban design features that make walking pleasant and safe (whether for transportation or for pleasure).
- Convenient access to public transit and daily needs retail and services.
- Quality parks and open space.
- Community gather places, including both public venues (e.g. community center) and private venues (e.g. coffee shops).
- Active neighborhood associations and public or quasi-public places to meet within or near the neighborhood.

### STRATEGIES TO IMPROVE HOUSING OPTIONS

#### Communication Strategies

1. **Establish Housing Committee**—The Housing Committee can be the driving force to implement this plan, provide oversight on the development and administration of funding programs, support public outreach about the City's housing needs and programs, and support updates to this plan as the market shifts and outside funding programs change.
2. **Improve Staff & Developer Communications & Processes**—Improve the experience for developers by coordinating feedback and sign-off from each department during the development review process. Increasing efficiency should also decrease costs to developers.

#### Initiatives

3. **Assist & Grow Neighborhood Associations**—Promote neighborhood identity and social cohesion through neighborhood associations. Use neighborhood associations as a way to engage residents in planning efforts and developments.
4. **Retain Inventory of and Market City-Owned Redevelopment Properties**—Continue maintaining a repository of properties owned by the RDA and

# EXECUTIVE SUMMARY

incentives offered for residential and other types of development.

## Regulation

5. **Amend Comprehensive Plan**—Update Future Land Use Map to include more flexibility in residential and mixed use areas.
6. **Examine Waiving or Reducing Development Fees**—Consider waiving or reducing fees on a case-by-case basis to encourage affordable housing and reduce costs to developers.
7. **Increase Code Enforcement for Converted Single-Family Rentals**—Create a targeted rental inspection program in areas with large number of single-family homes converted to rentals.
8. **Streamline Approval Process for Affordable Housing**—Streamline approval process for housing projects that include affordable units to offer an incentive to include these types of units in developments.
9. **Reduce Parking Requirements for Affordable Housing**—Consider reducing parking requirements for affordable multi-family developments located within a certain distance (1,000 to 1,500 feet) of a bus stop.
10. **Review Requirements for Landscaping and Building Materials in Zoning Code**—These elements can drive up developer costs. Review requirements for landscaping and hardscaping materials to see if any requirements can be softened or if there are materials that could be used to offer the same aesthetic at a lower price point.
11. **Adopt Policies That Encourage Accessory Dwelling Units (ADUs)**—Consider permitting ADUs by right in all residential areas. A requirement could be added that the property owner live on-site.
12. **Enable Cottage Courts Through PUDs**—Explore areas where cottage courts could be possible in the City and assemble and promote these areas to developers through the RDA.
13. **Create a Rural Holding (RH) Zoning District**—Create a Rural Holding District in the City's Zoning Code for undeveloped Land. The purpose of the district should be to hold land as agricultural or open space until it is ready to be placed into regular zoning classification such as R-1, R-2, etc.

## Funding

14. **Create an Affordable Housing Trust Fund**—Create an Affordable Housing Trust Fund as a general purpose vehicle that can serve various affordability initiatives anywhere in the City.
15. **Utilize Tax Increment Financing for Affordable Housing Incentives**—Use TIF for the construction

of infrastructure to encourage the development of housing.

16. **Utilize Tax Increment Financing-Affordable Housing One-Year Extension**—Hold open TIF Districts that are about to be closed for one additional year beyond their planned or maximum duration to generate funds that can be used anywhere in the City for affordable housing.
17. **Promote the Use of the Federal and State Low Income Housing Tax Credit (LIHTC) Program**—Support and encourage developer use of LIHTC. Affordable Housing Trust Funds could be used as local match for LIHTC.
18. **Market Opportunity Zones**—Promote the four areas in the City that qualify under this program offering opportunity for private investment and development of workforce housing.
19. **Increase Use of Downpayment Assistance**—Promote Wisconsin Housing and Economic Development Association (WHEDA) and Federal Home Loan Bank of Chicago (FHLBC) downpayment assistance programs.
20. **Amend Rental Conversion Program Policy**—Consider the following changes to the City's rental conversion grant program: 1) at least 10% of funds must be used for exterior renovations; and 2) increase the maximum amount of the grant.

## Partnerships

21. **Support Habitat for Humanity, NeighborWorks Green Bay and Other Affordable Housing Providers**—Maintain supply of lots for new home construction.
22. **Form Working Groups with Major Employers**—Convene major employers annually to discuss housing issues and initiatives.
23. **Coordinate with the University of Wisconsin-Green Bay and Northeast Wisconsin Technical College(NWTC)**—Work with the University to update its campus plan every 5-10 years. A big component of the plan should be plans to house students within the community. Partner with NWTC and the Department of Workforce Development to encourage people to seek training in building trades.

GREEN BAY HOUSING AUTHORITY  
FEBRUARY 2023

| MASON MANOR VACANCIES (23 TOTAL) |          |       |                          |                           |                         |
|----------------------------------|----------|-------|--------------------------|---------------------------|-------------------------|
| UNIT                             | MOVEOUT  | BEDRM | NEW LEASE                | MOVE OUT REASON           | CURRENT STATUS OF UNIT  |
| ###                              | 1/31/22  | 1     | HOLD OPEN FOR RENOVATION | DECEASED                  | HOLD VACANT FOR REMODEL |
| ###                              | 2/11/22  | 1     |                          | MOVED OUT OF STATE        | HOLD VACANT FOR REMODEL |
| ###                              | 3/31/22  | 1     |                          | IN HOUSE TRANSFER         | HOLD VACANT FOR REMODEL |
| ###                              | 4/13/22  | 1     |                          | DECEASED                  | HOLD VACANT FOR REMODEL |
| ###                              | 4/15/22  | 1     |                          | EVICITION                 | HOLD VACANT FOR REMODEL |
| ###                              | 4/18/22  | 1     |                          | DECEASED                  | HOLD VACANT FOR REMODEL |
| ###                              | 6/30/22  | 2     |                          | IN HOUSE TRANSFER         | HOLD VACANT FOR REMODEL |
| ###                              | 7/1/22   | 1     |                          | DECEASED                  | HOLD VACANT FOR REMODEL |
| ###                              | 7/31/22  | 1     |                          | EVICITION                 | HOLD VACANT FOR REMODEL |
| ###                              | 8/19/22  | 1     |                          | MOVED TO LIVE WITH FAMILY | HOLD VACANT FOR REMODEL |
| ###                              | 8/31/22  | 1     |                          | MOVED TO ASSISTED LIVING  | HOLD VACANT FOR REMODEL |
| ###                              | 9/30/22  | 2     |                          | MOVED OUT OF STATE        | HOLD VACANT FOR REMODEL |
| ###                              | 9/30/22  | 1     |                          | MOVED TO LIVE WITH FAMILY | HOLD VACANT FOR REMODEL |
| ###                              | 10/1/22  | 1     |                          | DECEASED                  | HOLD VACANT FOR REMODEL |
| ###                              | 10/1/22  | 1     |                          | IN HOUSE TRANSFER         | HOLD VACANT FOR REMODEL |
| ###                              | 10/31/22 | 1     |                          | MOVED TO LIVE WITH FAMILY | HOLD VACANT FOR REMODEL |
| ###                              | 11/30/22 | 1     |                          | DECEASED                  | HOLD VACANT FOR REMODEL |
| ###                              | 12/31/22 | 1     |                          | MOVED TO DIFFENT APT.     | HOLD VACANT FOR REMODEL |
| ###                              | 12/31/22 | 2     |                          | TRANSFERRED TO SS         | HOLD VACANT FOR REMODEL |
| ###                              | 1/6/23   | 1     |                          | MOVED OUT OF GB           | HOLD VACANT FOR REMODEL |
| ###                              | 1/31/23  | 1     |                          | EVICITION-NONPAYMENT RENT | HOLD VACANT FOR REMODEL |
| ###                              | 1/31/23  | 1     |                          | NON RENEWAL OF LEASE      | HOLD VACANT FOR REMODEL |
| ###                              | 2/2/23   | 1     |                          | EVICITION-NONPAYMENT RENT | HOLD VACANT FOR REMODEL |

| UPCOMING VACANCIES     |                      |  | APPLICATIONS INFO            |       |
|------------------------|----------------------|--|------------------------------|-------|
| MASON MANOR ( 3 TOTAL) |                      |  | MM APPLICANTS:               | TOTAL |
| UNIT                   | STATUS               |  | 1 bedroom (69-BC; 29-non BC) | 98    |
| ###                    | 30 DAY NOTICE VACATE |  | 2 bedroom (1-BC; 1-non BC)   | 2     |
| ###                    | DECEASED             |  |                              |       |
| ###                    | 30 DAY NOTICE VACATE |  |                              |       |

| OCCUPANY RATES |        |  | HUD     |
|----------------|--------|--|---------|
| MM             |        |  | MM      |
| Feb            | 98.03% |  | 98.68%  |
| Mar            | 98.03% |  | 98.03%  |
| Apr            | 98.03% |  | 99.34%  |
| May            | 96.05% |  | 98.03%  |
| June           | 96.05% |  | 98.03%  |
| July           | 94.74% |  | 98.03%  |
| August         | 93.42% |  | 96.05%  |
| September      | 92.11% |  | 96.05%  |
| October        | 90.79% |  | 100.00% |
| November       | 89.47% |  | 100.00% |
| December       | 88.82% |  | 100.00% |
| January        | 88.82% |  | 100.00% |
| TOTAL          | 93.70% |  | 98.52%  |

GREEN BAY HOUSING AUTHORITY  
MAY 2023

| MASON MANOR VACANCIES (29 TOTAL) |                        |                      |                          |                              |                         |
|----------------------------------|------------------------|----------------------|--------------------------|------------------------------|-------------------------|
| UNIT                             | MOVEOUT                | BEDRM                | NEW LEASE                | MOVE OUT REASON              | CURRENT STATUS OF UNIT  |
| ###                              | 1/31/22                | 1                    | HOLD OPEN FOR RENOVATION | DECEASED                     | HOLD VACANT FOR REMODEL |
| ###                              | 2/11/22                | 1                    |                          | MOVED OUT OF STATE           | HOLD VACANT FOR REMODEL |
| ###                              | 3/31/22                | 1                    |                          | IN HOUSE TRANSFER            | HOLD VACANT FOR REMODEL |
| ###                              | 4/13/22                | 1                    |                          | DECEASED                     | HOLD VACANT FOR REMODEL |
| ###                              | 4/15/22                | 1                    |                          | EVICTON                      | HOLD VACANT FOR REMODEL |
| ###                              | 4/18/22                | 1                    |                          | DECEASED                     | HOLD VACANT FOR REMODEL |
| ###                              | 6/30/22                | 2                    |                          | IN HOUSE TRANSFER            | HOLD VACANT FOR REMODEL |
| ###                              | 7/1/22                 | 1                    |                          | DECEASED                     | HOLD VACANT FOR REMODEL |
| ###                              | 7/31/22                | 1                    |                          | EVICTON                      | HOLD VACANT FOR REMODEL |
| ###                              | 8/19/22                | 1                    |                          | MOVED TO LIVE WITH FAMILY    | HOLD VACANT FOR REMODEL |
| ###                              | 8/31/22                | 1                    |                          | MOVED TO ASSISTED LIVING     | HOLD VACANT FOR REMODEL |
| ###                              | 9/30/22                | 2                    |                          | MOVED OUT OF STATE           | HOLD VACANT FOR REMODEL |
| ###                              | 9/30/22                | 1                    |                          | MOVED TO LIVE WITH FAMILY    | HOLD VACANT FOR REMODEL |
| ###                              | 10/1/22                | 1                    |                          | DECEASED                     | HOLD VACANT FOR REMODEL |
| ###                              | 10/1/22                | 1                    |                          | IN HOUSE TRANSFER            | HOLD VACANT FOR REMODEL |
| ###                              | 10/31/22               | 1                    |                          | MOVED TO LIVE WITH FAMILY    | HOLD VACANT FOR REMODEL |
| ###                              | 11/30/22               | 1                    |                          | DECEASED                     | HOLD VACANT FOR REMODEL |
| ###                              | 12/31/22               | 1                    |                          | MOVED TO DIFFENT APT.        | HOLD VACANT FOR REMODEL |
| ###                              | 12/31/22               | 2                    |                          | TRANSFERRED TO SS            | HOLD VACANT FOR REMODEL |
| ###                              | 1/6/23                 | 1                    |                          | MOVED OUT OF GB              | HOLD VACANT FOR REMODEL |
| ###                              | 1/31/23                | 1                    |                          | EVICTON-NONPAYMENT RENT      | HOLD VACANT FOR REMODEL |
| ###                              | 1/31/23                | 1                    |                          | NON RENEWAL OF LEASE         | HOLD VACANT FOR REMODEL |
| ###                              | 1/31/23                | 1                    |                          | DECEASED                     | HOLD VACANT FOR REMODEL |
| ###                              | 2/2/23                 | 1                    |                          | EVICTON-NONPAYMENT RENT      | HOLD VACANT FOR REMODEL |
| ###                              | 3/1/23                 | 1                    |                          | MOVED TO DIFFENT APT.        | HOLD VACANT FOR REMODEL |
| ###                              | 3/3/22                 | 1                    |                          | MOVED TO LIVE WITH FAMILY    | HOLD VACANT FOR REMODEL |
| ###                              | 3/10/23                | 1                    |                          | EVICTON                      | HOLD VACANT FOR REMODEL |
| ###                              | 4/19/23                | 1                    |                          | MOVED TO DIFFENT APT.        | HOLD VACANT FOR REMODEL |
| ###                              | 5/1/23                 | 1                    |                          | EVICTON                      | HOLD VACANT FOR REMODEL |
|                                  |                        |                      |                          |                              |                         |
| UPCOMING VACANCIES               |                        |                      |                          | APPLICATIONS INFO            |                         |
|                                  | MASON MANOR ( 1 TOTAL) |                      |                          | MM APPLICANTS:               | TOTAL                   |
|                                  | UNIT                   | STATUS               |                          | 1 bedroom (55-BC; 27-non BC) | 82                      |
|                                  | ###                    | 30 DAY NOTICE VACATE |                          |                              |                         |
|                                  |                        |                      |                          |                              |                         |

| OCCUPANY RATES |        | HUD     |
|----------------|--------|---------|
| MM             |        | MM      |
| May            | 96.05% | 96.05%  |
| June           | 96.05% | 96.05%  |
| July           | 94.74% | 100.00% |
| August         | 93.42% | 100.00% |
| September      | 92.11% | 100.00% |
| October        | 90.79% | 100.00% |
| November       | 89.47% | 100.00% |
| December       | 88.82% | 100.00% |
| January        | 88.82% | 100.00% |
| February       | 86.18% | 100.00% |
| March          | 85.53% | 100.00% |
| April          | 83.55% | 100.00% |
| TOTAL          | 90.46% | 99.34%  |