



AGENDA OF THE GREEN BAY HOUSING AUTHORITY

THURSDAY, MARCH 14, 2024, 10:30 AM
City Hall, Room 604 - The Harry Maier Room.
Virtual attendance is also available via Zoom.

A. Zoom Meeting Information.

- I. Join Zoom Meeting Online:

<https://us02web.zoom.us/j/81434999289?pwd=N0dIMGxWSS85SGswK2lZeGhZZUN0UT09>

Or call in by phone: +1 312 626 6799

Meeting ID: 814 3499 9289

Passcode: 483400

If you wish to speak at this public meeting or leave a comment, please fill out the online [Comment Form](#) prior to the meeting. More detailed [Zoom Instructions](#) can be found online.

B. Roll Call.

C. Approval of the Agenda.

- I. Approval of the agenda for the Thursday, March 14, 2024 meeting of the Green Bay Housing Authority.

D. Approval of Minutes.

- I. Approval of the minutes from the January 18, 2024, meeting of the Green Bay Housing Authority.

E. Public Hearings.

- I. Public Hearing for Housing Authority of the City of Green Bay, Wisconsin Housing Revenue Bonds, Series 2024 for the Gateway Collective, Inc. Project.

F. Regular Business.

- I. Consideration with possible action to approve the final resolution No. 2024-01 regarding

housing revenue bond financing for the Gateway Collective, Inc. Project.

G. Informational.

1. GBHA Bills.
2. GBHA Financial Report.
3. Director's Report.
4. Occupancy Report.
5. Next Meeting: Thursday, April 18, 2024.

H. Adjournment.

- 1) THIS MEETING IS RECORDED: THE VIDEO OF THIS MEETING AND MINUTES ARE AVAILABLE ONLINE AT www.greenbaywi.gov
- 2) ACCESSIBILITY: Any person wishing to attend who requires special accommodation because of a disability, should contact the City Safety Manager at 920-448-3125 at least 48 hours before the scheduled meeting time so that arrangements can be made.
- 3) QUORUM: Please take notice that a majority or quorum of the Common Council will attend this Green Bay Housing Authority meeting and will constitute a meeting of the Common Council for purposes of discussion and information gathering relative to this agenda.
- 4) REPRESENTATION: The party requesting the communication, or their representative, should be present at this meeting.



Report to the
**Housing Authority
of the City of Green Bay**

MEETING DATE

March 14, 2024

PREPARED BY

Stephanie Schmutzer, Staff

AGENDA ITEM # E.I

Public Hearing for Housing Authority of the City of Green Bay, Wisconsin Housing Revenue Bonds, Series 2024 for the Gateway Collective, Inc. Project.

BACKGROUND

\$12,045,000 Housing Authority of the City of Green Bay, Wisconsin Housing Revenue Bonds, Series 2024 for the Gateway Collective, Inc. Project at 301 N. Adams Street, Green Bay, WI.

RECOMMENDATION

FISCAL IMPACT

ATTACHMENTS

1. Public Notice - The Gateway Collective, Inc.
2. 301 NORTH ADAMS STREET UPDATED 8-14-23 Plan
3. 2023 GWC One Page Overview 07032023

NOTICE OF PUBLIC HEARING

Notice is hereby given, in compliance with requirements of Section 147(f) of the Internal Revenue Code of 1986, as amended, that the Housing Authority of the City of Green Bay, Wisconsin (the “Authority”), will hold a public hearing at 10:30 a.m., or as soon thereafter as the matter may be heard, on March 14, 2024, at City Hall, 100 North Jefferson Street, Green Bay, Wisconsin, regarding the proposed issuance of the Housing Authority of the City of Green Bay, Wisconsin Housing Revenue Bonds, Series 2024 (The Gateway Collective, Inc. Project), in an aggregate principal amount not to exceed \$12,045,000 (the “Bonds”), pursuant to Sections 66.12.01 to 66.12.11 of the Wisconsin Statutes, to finance a housing project to be owned by The Gateway Collective, Inc., a Wisconsin nonstock, nonprofit corporation (the “Borrower”).

The Borrower’s housing project to be financed with the Bonds consists of the (i) acquisition of a design-build housing facility located at 301 North Adams Street, Green Bay, Wisconsin (the “Facility”) comprised of 72 total units, of which only 50 units ranging from 1 to 3 bedroom apartment options will be financed the Bonds in order to provide housing for mixed-income residents at low income, moderate income, and workforce rates, (ii) acquisition and installation of certain furniture, fixtures, and equipment at the Facility, and (iii) payment of professional fees and costs (the “Housing Project”). The Bonds will be special, limited obligations of the Authority and will not constitute an indebtedness of the Authority within the meaning of any state constitutional provision or statutory limitation or a charge against its general credit.

At the hearing, all persons will be afforded a reasonable opportunity to express their views, both orally and in writing, on the proposed Bonds and the location and nature of the Housing Project proposed to be financed. Comments made at the public hearing are for the consideration of the Authority but do not bind any legal action to be taken by it.

Published: March 1, 2024

Cheryl Renier-Wigg, Executive Director
Housing Authority of the City of Green Bay, Wisconsin

PROPOSED BUILDING ALTERATIONS FOR : ADAMS STREET BUILDING 301 N. ADAMS STREET SECOND FLOOR GREEN BAY , WISCONSIN

SHEET INDEX

ARCHITECTURAL

TS - TITLE SHEET

G1.1 - GENERAL INFORMATION

C1.0 - OVERALL SITE PLAN

A1.01 - EXISTING GRADE LEVEL FLOOR PLAN

A1.02 - EXISTING SECOND FLOOR PLAN

D1.0 - DEMOLITION FLOOR PLAN

LS1.1 - LIFE SAFETY PLAN

A1.1 - PROPOSED FIRST FLOOR PLAN

A1.2 - OVERALL SECOND FLOOR PLAN

A1.3 - OVERALL MEZZANINE FLOOR PLAN

A1.4 - ENLARGED FLOOR PLAN

A1.5 - ENLARGED FLOOR PLAN

A1.6 - ENLARGED FLOOR PLAN

A1.7 - ENLARGED FLOOR PLAN

A1.8 - ENLARGED FLOOR PLAN

A1.9 - ENLARGED FLOOR PLAN

A1.10 - ENLARGED FLOOR PLAN

A1.11 - ENLARGED UNIT FLOOR PLAN

A1.12 - ENLARGED UNIT FLOOR PLAN

A1.13 - ENLARGED UNIT FLOOR PLAN

A1.14 - ENLARGED UNIT FLOOR PLAN

A1.15 - ENLARGED UNIT FLOOR PLAN

A2.1 - DOOR SCHEDULE & ELEVATIONS FRAME ELEVATIONS

A2.2 - ROOM FINISH SCHEDULE & INTERIOR ELEVATIONS

A2.3 - WALL TYPES

A3.1 - BUILDING ELEVATIONS

A4.1 - PARTIAL BUILDING SECTIONS

A4.2 - PARTIAL BUILDING SECTIONS

A4.3 - PARTIAL BUILDING SECTIONS

A4.4 - PARTIAL BUILDING SECTIONS

STRUCTURAL

S1.0 - GENERAL NOTES & TYPICAL DETAILS

S1.1 - NOT USED

S1.2 - EXISTING SECOND FLOOR FRAMING PLAN

S1.3 - PROPOSED SECOND FLOOR FRAMING PLAN

S1.4 - PROPOSED THIRD FLOOR FRAMING PLAN

S1.5 - THIRD FLOOR FRAMING PLAN ENLARGED PLANS

S2.1 - STRUCTURAL DETAILS

S2.2 - STRUCTURAL DETAILS

PLUMBING

THIS IS A DESIGN BUILD PROJECT FOR PLUMBING. THE PLUMBING CONTRACTOR SHALL PROVIDE PLANS TO THE PROJECT MANAGER & THE SUPERVISING PROFESSIONAL FOR REVIEW PRIOR TO THE PLANS BEING SUBMITTED TO WISCONSIN BUILDING OFFICIAL. THE PLUMBING CONTRACTOR SHALL MAINTAIN A SET OF DRAWINGS AT THE SITE TO RECORD ANY CHANGES TO THE DESIGN. THIS DRAWING OF RECORD & STATE APPROVED PLANS SHALL BE TURNED OVER TO THE PROJECT MANAGER AT THE END OF THE PROJECT.

HVAC

THIS IS A DESIGN BUILD PROJECT FOR HVAC. THE HVAC CONTRACTOR SHALL PROVIDE PLANS TO THE PROJECT MANAGER & THE SUPERVISING PROFESSIONAL FOR REVIEW PRIOR TO THE PLANS BEING SUBMITTED TO WISCONSIN BUILDING OFFICIAL. THE HVAC CONTRACTOR SHALL MAINTAIN A SET OF DRAWINGS AT THE SITE TO RECORD ANY CHANGES TO THE DESIGN. THIS DRAWING OF RECORD & STATE APPROVED PLANS SHALL BE TURNED OVER TO THE PROJECT MANAGER AT THE END OF THE PROJECT.

ELECTRICAL

THIS IS A DESIGN BUILD PROJECT FOR ELECTRICAL. THE ELECTRICAL CONTRACTOR SHALL PROVIDE PLANS TO THE PROJECT MANAGER & THE SUPERVISING PROFESSIONAL FOR REVIEW PRIOR TO THE PLANS BEING SUBMITTED TO WISCONSIN BUILDING OFFICIAL. THE ELECTRICAL CONTRACTOR SHALL MAINTAIN A SET OF DRAWINGS AT THE SITE TO RECORD ANY CHANGES TO THE DESIGN. THIS DRAWING OF RECORD & STATE APPROVED PLANS SHALL BE TURNED OVER TO THE PROJECT MANAGER AT THE END OF THE PROJECT.

PROJECT INFORMATION

PROJECT: PROPOSED BUILDING ALTERATIONS FOR ADAMS STREET BUILDING

ADDRESS: 301 N. ADAMS STREET SECOND FLOOR GREEN BAY, WI

USE: RESIDENTIAL R-2 APARTMENTS

ZONING: (ZONING) -

OWNER: HCN LLC 340 N BROADWAY SUITE 460 GREEN BAY, WI 54303

P. -

CONTACT: PAUL B. BELSCHNER

DESIGNERS OF RECORD:

ARCHITECTURAL: FISHER & ASSOCIATES ARCHITECTS / PLANNERS 18654 BALSAM LAKE ROAD GRVITZ, WI 54114 P.(920) 532-4181 F.(920) 576-0007

CONTACT: RICHARD J. FISHER AIA

STRUCTURAL ENGINEERS: LARSON ENGINEERING OF WISCONSIN 2801 ENTERPRISE AVE APPLETON, WISCONSIN 54915 P.(920) 734-4861 F.(920) 734-4860

CONTACT: JIM RICHARDS

OCCUPANCY R2 SEPARATED FROM A3 SEPARATED AND NON SEPARATED A2 S1 B TYPE OF CONSTRUCTION: IIA (METAL FRAMED PROTECTED) SPRINKLED PER NFPA 13

TYPE OF CONSTRUCTION: IIA (METAL FRAMED PROTECTED) PRIMARY STRUCTURAL FRAMING BEARING WALLS INT. & EXT. EXTERIOR NON LOAD BEARING PARTITIONS FLOOR CONST. & SECONDARY FRAME ROOF CONSTRUCTION

OCCUPANT LOAD: --

EGRESS WIDTH REQUIRED: --

EXIT WIDTH REQUIRED SEE PLAN

EXIT ACCESS TRAVEL DISTANCE: 250' PER TABLE 1004.2.4

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ALLOWABLE AREA PER FLOOR

USE GROUP AS SEPARATED FROM A2, S1, AND B NON-SEPARATED THIS IS A LEVEL II ALTERATION WITH A CHANGE OF USE FOR R-2 NON TRANSIENT RESIDENTIAL ALLOWABLE AREA CALCULATION NOT APPLICABLE THE FIRE AREA CONTAINS NON-SEPARATED A-2 USE PER IBCB TABLE TABLE 1012.5

THIS BUILDING WAS CONSTRUCTED AS A 2 STORY MERCANTILE UNLIMITED AREA ANCHOR STORE AS PART OF A COVERED MALL BUILDING. THE CONSTRUCTION TYPE IS TYPE II A FIRE RATED STEEL. THE SECOND FLOOR IS SEPARATED FROM THE FIRST FLOOR BY AND EXISTING HORIZONTAL ASSEMBLY WITH FIRE RATED STRUCTURAL SUPPORT

ALLOWABLE AREA PER FLOOR PER TABLE 506.2

USE R2 TYPE IIA SPRINKLERED IS 12,000 S.F. AREA INCREASE PER CALCULATION

P=1200
F=1200
W=50
I=(108/1200)-25X 20/30))
I=0.2266
AREA=0.2266X24,000=5438+12000=17,438 S.F.
THIS BUILDING IS 17,465 S.F. - 2120 = 15,345 PER FLOOR

ALLOWABLE AREA PER FLOOR PER TABLE 506.2

P=1200
F=1200
W=50
I=(108/1200)-25X 20/30))
I=0.2266
AREA=0.2266X24,000=5438+12000=17,438 S.F.
THIS BUILDING IS 17,465 S.F. PLUS 250 FOR PATIO PER FLOOR

PROJECT AREA	73,215 S.F.
SECOND FLOOR ALTERATION	22,220 S.F.
THIRD FLOOR LOFTS WITHIN UNITS	250 S.F.
SECOND FLOOR PATIO	1325 S.F.
FIRST FLOOR ALTERATION	250 S.F.
FIRST FLOOR PATIO	97,250 S.F.
PROJECT AREA	97,250 S.F.

FIRE FIGHTING APPARATUS

THE BUILDING IS LIMITED IN AREA THE FIRE LANE IS UNOBSTRUCTED

THE FIRE LANE IS WITHIN 150' OF ALL PARTS OF THE EXTERIOR WALL WITH A MIN. UNOBSTRUCTED HEIGHT OF 13'-6"

THE BUILDING IS 36'-0" TALL

CONTROL AREAS

NO HAZARDOUS MATERIALS WILL BE STORED WITHIN THIS BUILDING PER TABLES 507.1(1) AND 507.1(2)

ALLOWABLE HEIGHT NOT REGULATED PER 505.1.1

GRADE PLAN DETERMINATION

THE GREATEST HGT. FROM GRADE TO TOP OF WALL IS 36'-0"

THIS BUILDING HAS THREE FLOOR LEVELS

FIRE ALARM SYSTEM

907.2.4.1 MANUAL FIRE ALARM SYSTEM

PROJECT NARRATIVE

THIS BUILDING WAS CONSTRUCTED AS A 2 STORY MERCANTILE UNLIMITED AREA ANCHOR STORE AS PART OF A COVERED MALL BUILDING. THE CONSTRUCTION TYPE IS TYPE II A FIRE RATED STEEL. THE SECOND FLOOR IS SEPARATED FROM THE FIRST FLOOR BY AND EXISTING HORIZONTAL ASSEMBLY WITH FIRE RATED STRUCTURAL SUPPORT

THE PROJECT SCOPE IS TO MAINTAIN THE HORIZONTAL SEPARATION AND CONSTRUCT A CHANGE OF USE FOR THE SECOND FLOOR TO R-2 RESIDENTIAL. THE UNITS ARE A MIX OF SINGLE LEVEL ACCESSIBLE UNITS AND NON-ACCESSIBLE MULTI-LEVEL UNITS

THERE IS A BUILDING CODE VARIANCES THAT FOR THIS PROJECT RELATED TO THE BUILDING CONSTRUCTION TYPE FIRST THE ROOF ASSEMBLY IS BEING FIRE PROTECTED TO 1 HOUR FIRE RATING BY INCREASED SPRINKLER PROTECTION.

THERE WILL BE NO EXTERIOR SITE IMPROVEMENTS

PROJECT REVISIONS FOR 11/30/22

VARIANCE FOR NON- FIRE PROTECTED ROOF ASSEMBLY APPROVED SEE DSPS APPROVAL LETTER DATED NOVEMBER 9, 2022

UPDATE UNIT SIZES AND QUANTITIES SEE SHEET LS1.1

UPDATE FINISHES IN UNITS TO BE POLISHED CONCRETE IN BEDROOMS AND CLOSETS VS CERAMIC TILE. CHANGE TOILET ROOM FLOOR FINISH TO BE LVT VS CERAMIC TILE.

PROJECT REVISIONS FOR 3/1/23

REVISE BUILDING AREA CALCULATIONS TO PROVE HEIGHT AND AREA LIMITS WITHOUT EASEMENT

OMIT SOUTH SIDE EASEMENT

CHANGE NORTH SIDE ENTRANCE TO STAIR TO GRADE AND OMIT COVERED ENTRANCE.

PROJECT REVISIONS FOR 8/14/23

CHANGE NORTH SIDE ENTRANCE TO ORIGINAL DESIGN TO KEEP CANOPY CHANGE EXTERIOR WINDOWS PER PLAN RELOCATED 'X' - BRACING - ADD 30 SKYLIGHTS TO INTERIOR UNITS AND UNIT 207 REVISE EXTERIOR WINDOW LOCATIONS UPDATE UNIT PLANS BASED ON EXISTING HVAC CONFLICTS ADD DETAIL FOR EXISTING STAIR OPENING INFILL

REVISED PER FIELD MEETING
REVISED FOR CONSTRUCTION
REVISED FOR CONSTRUCTION
REVISED FOR VARIANCE
RELEASE FOR CONST.
RELEASED FOR CONSTRUCTION BUDGET 6/20/22

8/14/23
3/1/23
11/30/22
11/2/22
9/22/22

REVISED PER FIELD MEETING 8/14/23
REVISED PER FIELD INVESTIGATIONS 5/11/23
REVISED FOR CONSTRUCTION 3/1/23

PROJECT: PROPOSED BUILDING ALTERATIONS FOR:
ADAMS STREET BUILDING
301 NORTH ADAMS STREET
CITY OF GREEN BAY

DRAWN BY:

R.J.F.

CHK'D BY:

R.J.F.

JOB NUMBER:

20059

DATE:

12/8/20

TS

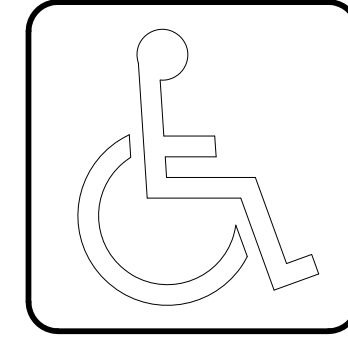
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REVISIONS:

FISHER & ASSOCIATES, LLC.
Architects / Planners
18654 BALSAM LAKE ROAD, GRVITZ, WI 54114
rfisher@fisherandassociatesllc.com

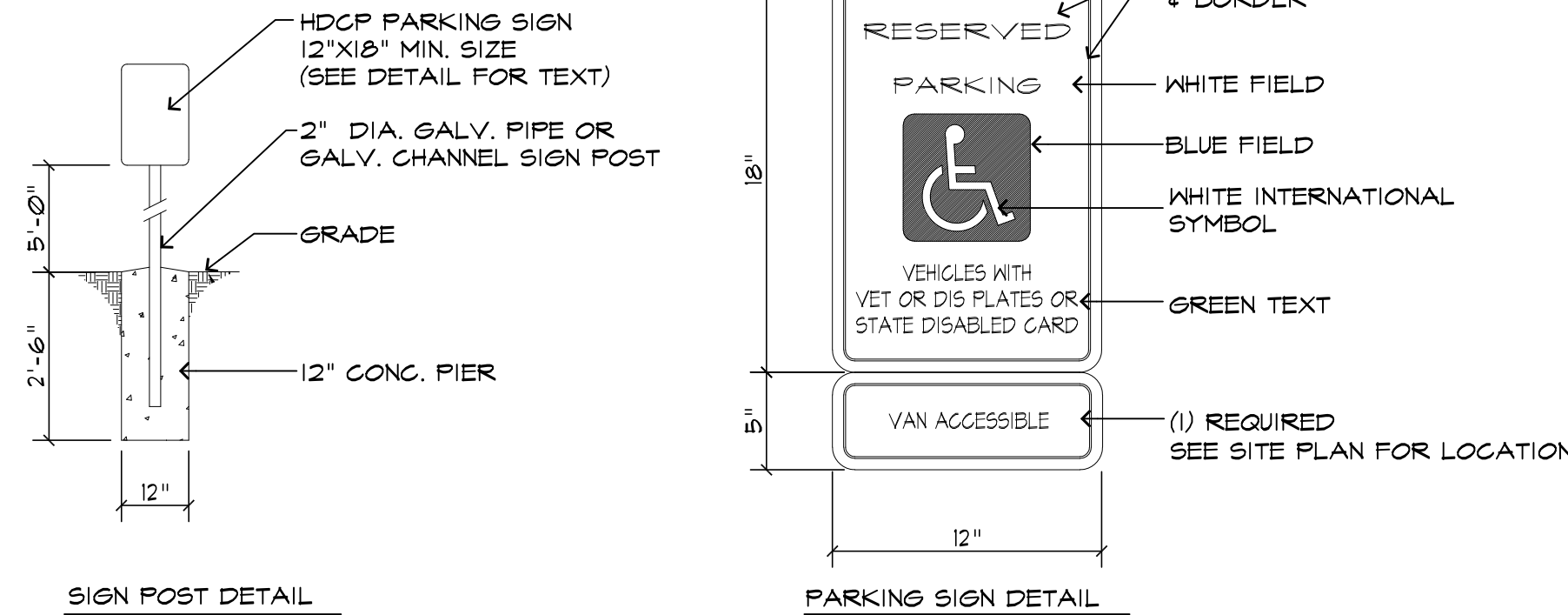
ARCHITECTURAL ABBREVIATIONS

A	AB	ANCHOR BOLT	F	FA	FIRE ALARM	P	PART.	PARTITION
AC	AC	ACCESS FLOOR	FB	FB	FIRE BLANKET	PB	PB	PASS BOX
ACC	ACC	ACCESSIBLE WITH DISABILITIES ACT	FC	FC	FIRE EXTINGUISHER	PC	PC	PRECAST
ADD	ADD	ADDITION	FD	FD	FIRE EXTINGUISHER CABINET	PD	PD	PENICILLIN
ADJ	ADJ	ADJACENT	FE	FE	FIRE EXTINGUISHER	PL	PL	PLATE
ADJL	ADJL	ADJACENT	FF	FF	FIRE EXTINGUISHER	PLA	PLA	PLASTIC LAMINATE
ADM	ADM	ADMINISTRATION	FG	FG	FIRE EXTINGUISHER	PLAS	PLAS	PLASTER
AFT	AFT	Above Finished Floor	FL	FL	FIRE EXTINGUISHER	PLA	PLA	PLASTER
AHU	AHU	AIR HANDLING UNIT	FLA	FLA	FIRE EXTINGUISHER	PLA	PLA	PLASTER
ALT	ALT	ALTERNATE	FLA	FLA	FIRE EXTINGUISHER	PLA	PLA	PLASTER
AM	AM	AMENDMENT	FLA	FLA	FIRE EXTINGUISHER	PLA	PLA	PLASTER
AMN	AMN	AMENDMENT	FLA	FLA	FIRE EXTINGUISHER	PLA	PLA	PLASTER
AN	AN	ANNUNCIATOR	FLA	FLA	FIRE EXTINGUISHER	PLA	PLA	PLASTER
AP	AP	ACCESS PANEL	FLA	FLA	FIRE EXTINGUISHER	PLA	PLA	PLASTER
APPROX	APPROX	APPROXIMATE	FLA	FLA	FIRE EXTINGUISHER	PLA	PLA	PLASTER
ARCH	ARCH	ARCHITECTURAL	FLA	FLA	FIRE EXTINGUISHER	PLA	PLA	PLASTER
ATC	ATC	ACOUSTIC TILE CEILING	FLA	FLA	FIRE EXTINGUISHER	PLA	PLA	PLASTER
AUTO	AUTO	AUTOMATIC	FLA	FLA	FIRE EXTINGUISHER	PLA	PLA	PLASTER



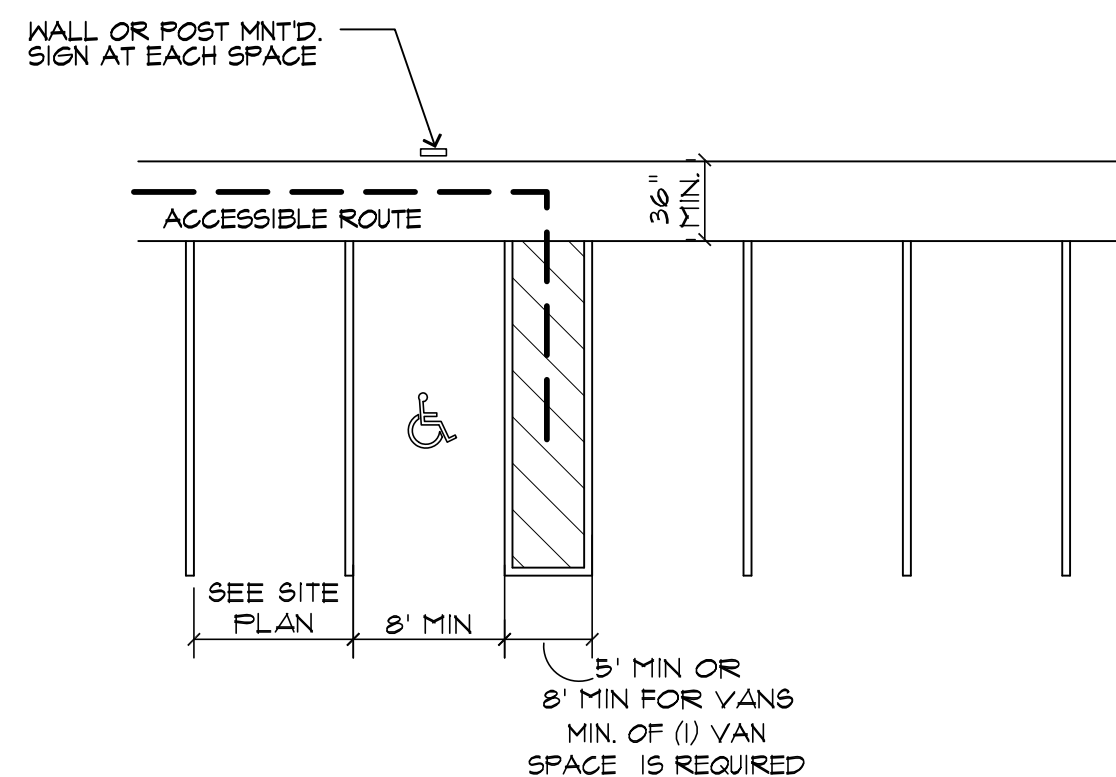
INTERNATIONAL SYMBOL OF ACCESSIBILITY

IT SHALL BE THE RESPONSIBILITY OF THE OWNER TO INSTALL (WHERE SHOWN HEREON), BARRIER FREE PARKING SIGNS IN CONFORMITY TO WISCONSIN ADMINISTRATIVE CODE: TRANS #200.07



HANDICAPPED PARKING SIGN DETAILS

NOT TO SCALE

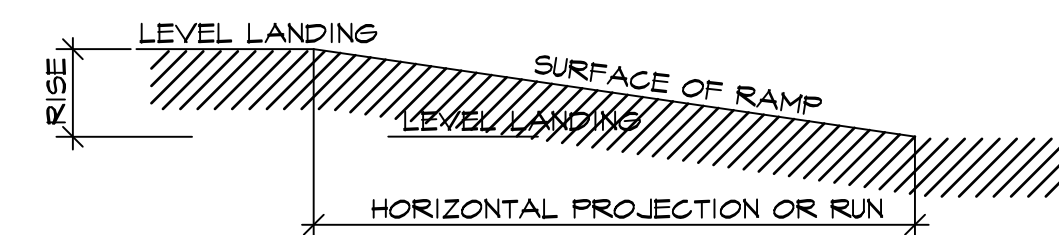


HANDICAPPED PARKING SPACES

THE MAXIMUM SLOPE AT PARKING SPACES IS 1:50 (4.6.2)

405.1 GENERAL. ANY PART OF AN ACCESSIBLE ROUTE WITH A SLOPE GREATER THAN 1:20 SHALL BE CONSIDERED A RAMP AND SHALL COMPLY WITH 405.

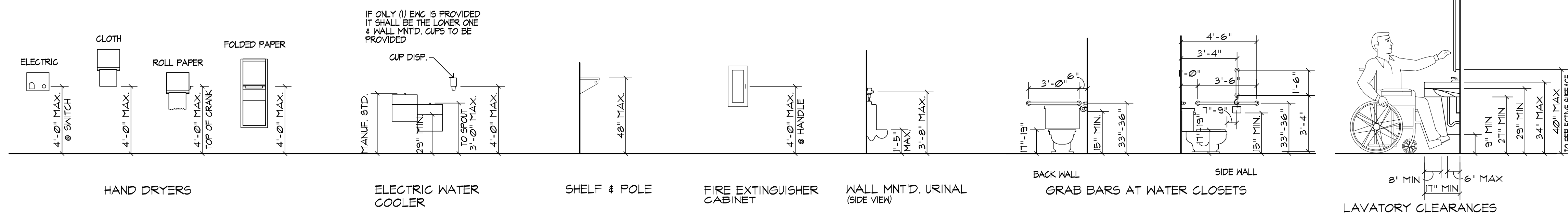
SLOPE AND RISE. THE LEAST POSSIBLE SLOPE SHALL BE USED FOR ANY RAMP. THE MAXIMUM SLOPE OF A RAMP IN NEW CONSTRUCTION SHALL BE 1:12. THE MAXIMUM RISE FOR ANY RUN SHALL BE 30 IN (760MM) (SEE FIG. 16). CURB RAMPS AND RAMPS TO BE CONSTRUCTED ON EXISTING SITES OR IN EXISTING BUILDINGS OF FACILITIES MUST HAVE SLOPES AND RISES AS ALLOWED IN 405.2 IF SPACE LIMITATIONS PROHIBIT THE USE OF A 1:12 SLOPE OR LESS.



SLOPE	MAXIMUM RISE	MAXIMUM HORIZONTAL PROJECTION
1:12 TO 1:16	30	30
1:16 TO 1:20	30	40

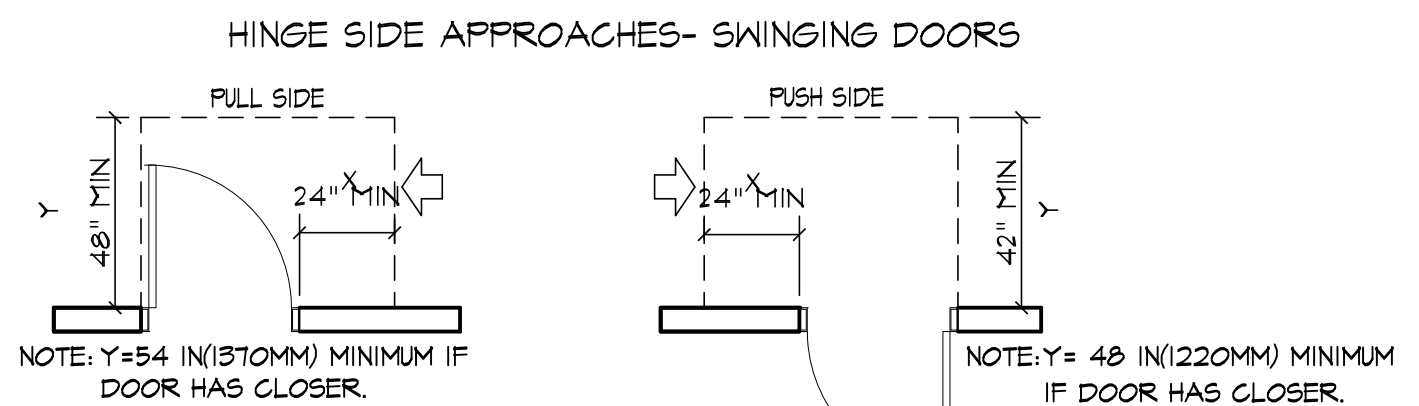
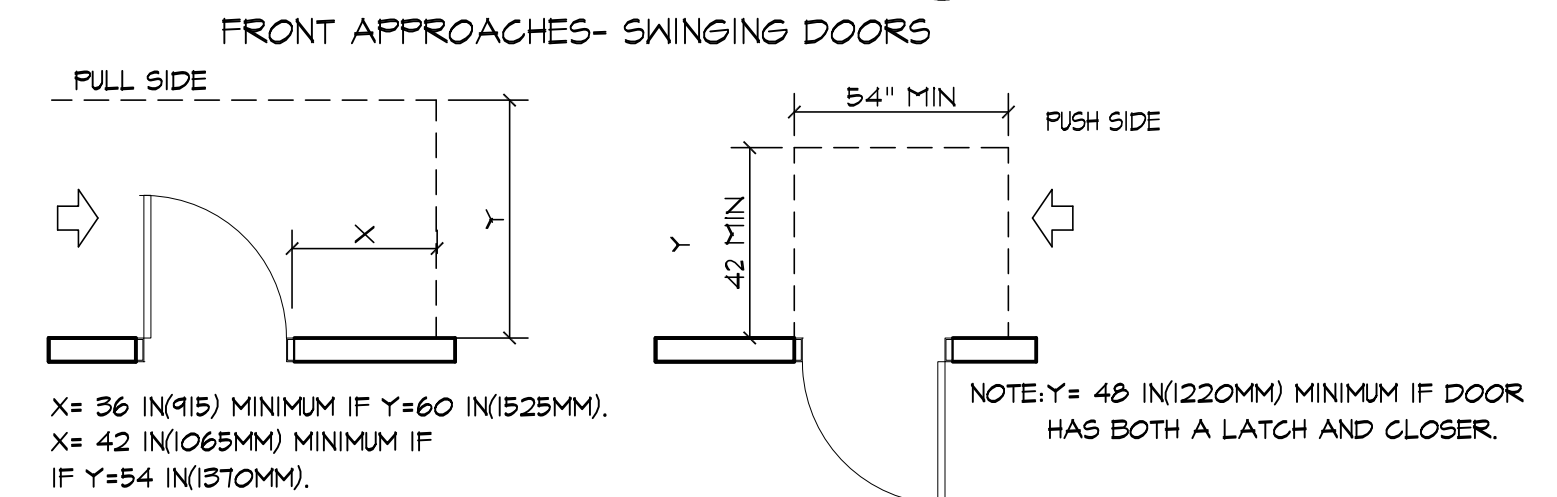
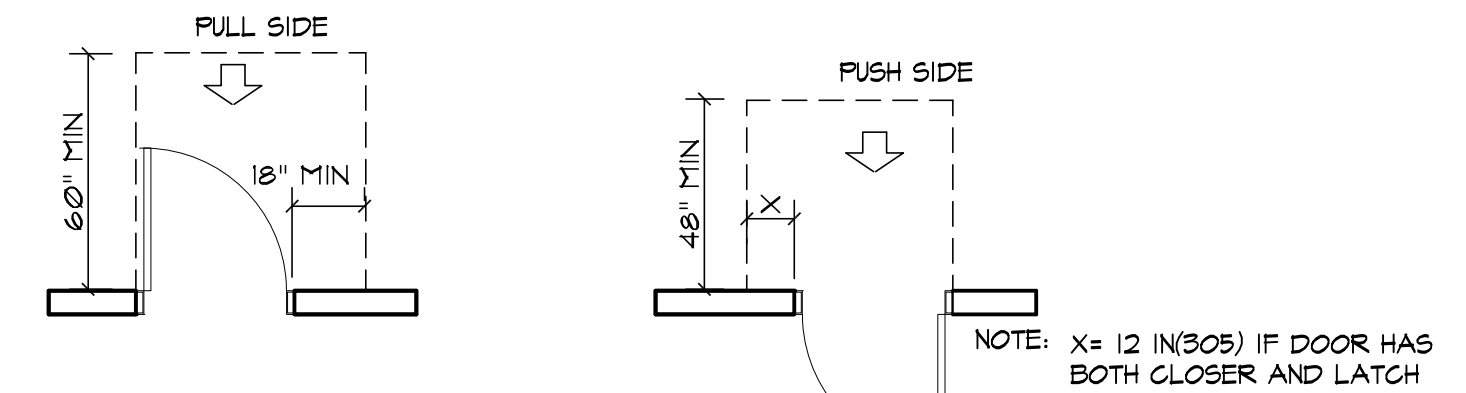
SINGLE RAMP RUN

NO SCALE



TOILET & BUILDING ACCESSORY MOUNTING HEIGHTS & CLEARANCES

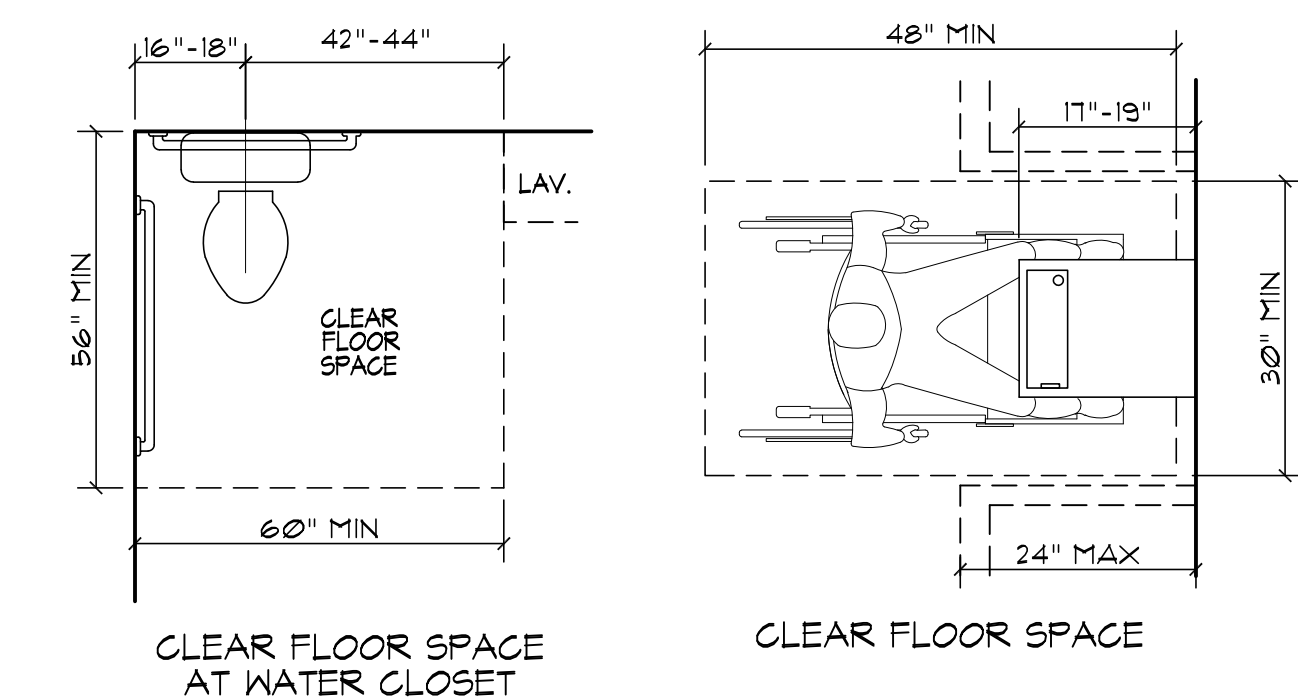
NOT TO SCALE



NOTE: ALL DOORS IN ALCOVES SHALL COMPLY WITH THE CLEARANCE FOR FRONT APPROACHES

MANEUVERING CLEARANCES AT DOORS

NO SCALE



CLEAR FLOOR SPACE AT WATER CLOSET

CLEAR FLOOR SPACE

3/1/23
11/30/22
11/2/22

REUSED FOR CONSTRUCTION
REUSED FOR CONSTRUCTION
REUSED FOR VARIANCE

PROJECT:
PROPOSED BUILDING ALTERATIONS FOR:
ADAMS STREET BUILDING
301 NORTH ADAMS STREET
CITY OF GREEN BAY

DRAWN BY:
R.J.F.
CHK'D BY:
R.J.F.
JOB NUMBER:
20059
DATE:
12/8/20

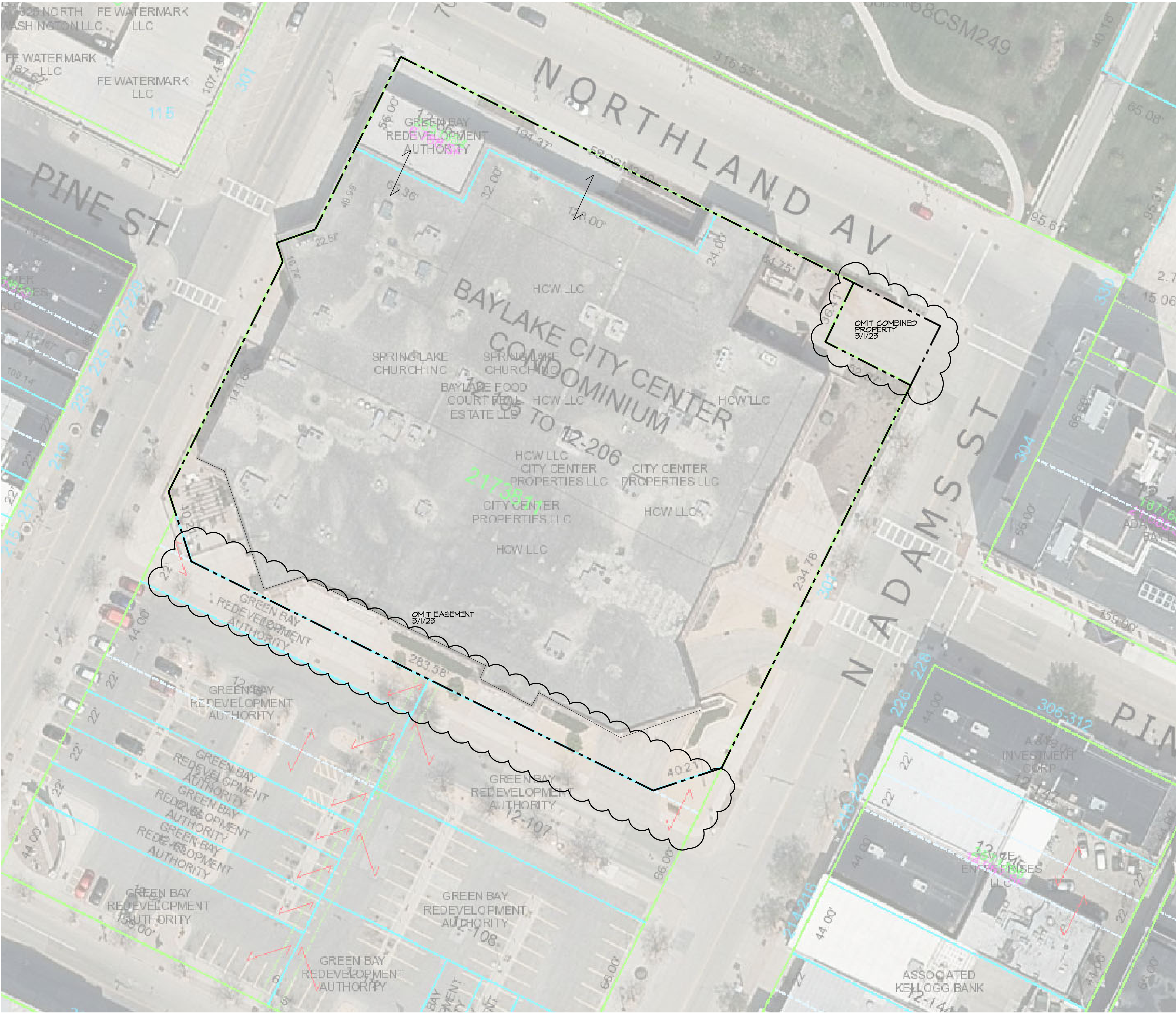
G1.1

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GREEN BAY, WI 54303
920.833.1111
fisherandassociatesllc.com

WISCONSIN



NOTE: LOCATIONS OF EXISTING PROPERTY LINES, BUILDINGS, VEGETATION, EASEMENTS, UTILITIES, ETC. HAVE BEEN DETERMINED USING INFORMATION SUPPLIED BY OTHERS AND FISHER & ASS. DOES NOT ASSUME RESPONSIBILITY FOR THEIR ACCURACY. FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS INDICATED ON THESE DRAWINGS PRIOR TO STARTING WORK.

AREA
SITE PLAN
1" = 30'-0"



PROJECT INFORMATION

PROJECT: PROPOSED BUILDING ALTERATIONS FOR ADAMS STREET BUILDING
ADDRESS: 301 N. ADAMS STREET SECOND FLOOR GREEN BAY, WI
USE: RESIDENTIAL R-2 APARTMENTS
ZONING: (ZONING) -
OWNER: HCVI LLC
340 N BROADWAY SUITE 460
GREEN BAY, WI 54303
P. -
CONTACT: PAUL B. BELSCHNER
DESIGNERS OF RECORD:
ARCHITECTURAL: FISHER & ASSOCIATES
ARCHITECTS / PLANNERS
N1864 BALSAM LAKE ROAD
GRVITZ, WI 54114
P(420) 552-1198
C(420) 316-0007
CONTACT: RICHARD J. FISHER AIA

SHEET INDEX

C1.0 - OVERALL SITE PLAN
LS1.1 - LIFE SAFETY PLAN

PROJECT NARRATIVE
THIS BUILDING IS UNDERGOING A CHANGE OF USE FROM A BUSINESS USE CALL CENTER TO 12 APARTMENTS ON THE SECOND FLOOR.
THE PROJECT SCOPE IS ALTER THE SECOND FLOOR WITH NO CHANGE IN BUILDING FOOTPRINT. THERE WILL BE NO EXTERIOR SITE IMPROVEMENTS.
PARKING FOR THIS FACILITY WILL BE USE PUBLIC PARKING IN THE AREA.

REVISED PER FIELD MEETING 8/14/23
REVISED PER FIELD INVESTIGATIONS 5/11/23
REVISED FOR CONSTRUCTION 3/1/23

PROJECT: PROPOSED BUILDING ALTERATIONS FOR:
ADAMS STREET BUILDING
301 NORTH ADAMS STREET
CITY OF GREEN BAY

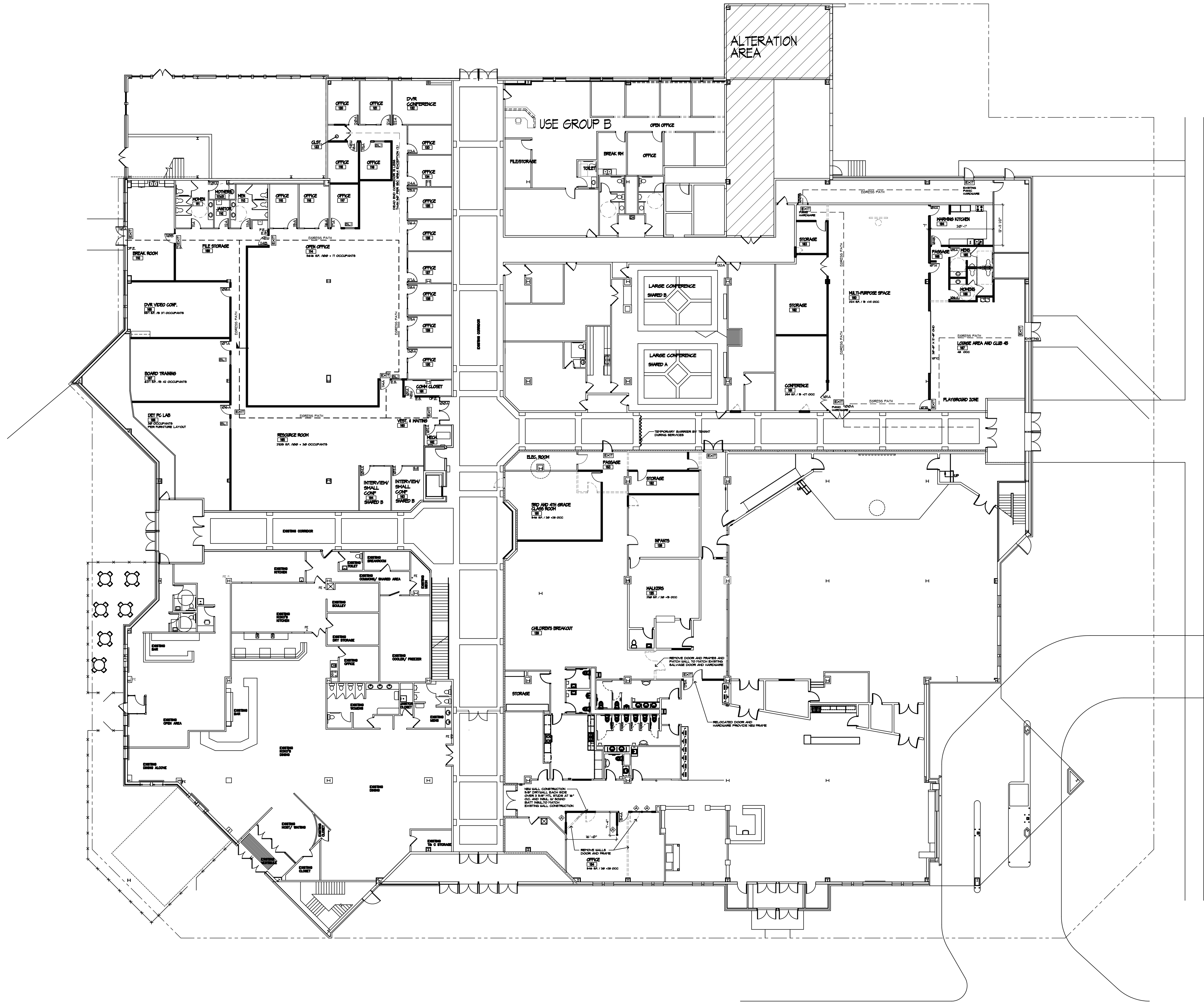
DRAWN BY: R.JF
CHK'D BY: R.JF
JOB NUMBER: 20059
DATE: 1/8/21

C1.0

FISHER & ASSOCIATES, LLC
Architects / Planners
N1864 BALSAM LAKE ROAD, GRVITZ, WI
P(420) 552-1198
rfisher@fisherandassociatesllc.com

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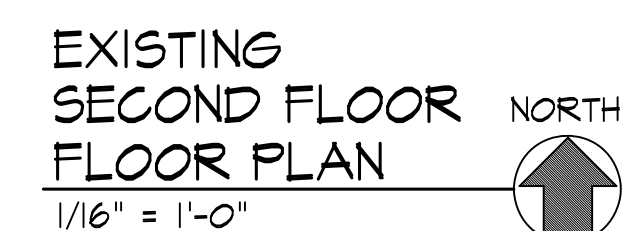


EXISTING
GRADE LEVEL
FLOOR PLAN
1/16" = 1'-0"

REVISED PER FIELD MEETING 8/14/23
REVISED PER FIELD INVESTIGATIONS 5/11/23
REVISED FOR CONSTRUCTION 3/1/23

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REVISIONS:	
PROJECT: PROPOSED BUILDING ALTERATIONS FOR: ADAMS STREET BUILDING 301 NORTH ADAMS STREET CITY OF GREEN BAY	
DRAWN BY: R.F.	
CHK'D BY: R.F.	
JOB NUMBER: 20059	
DATE: 12/8/20	
FISHER & ASSOCIATES, LLC Architects / Planners 1000 BAYVIEW LANE ROAD, GRANTZ, WI 53024-1524 fisher@fisherandassociatesllc.com	

A1.01



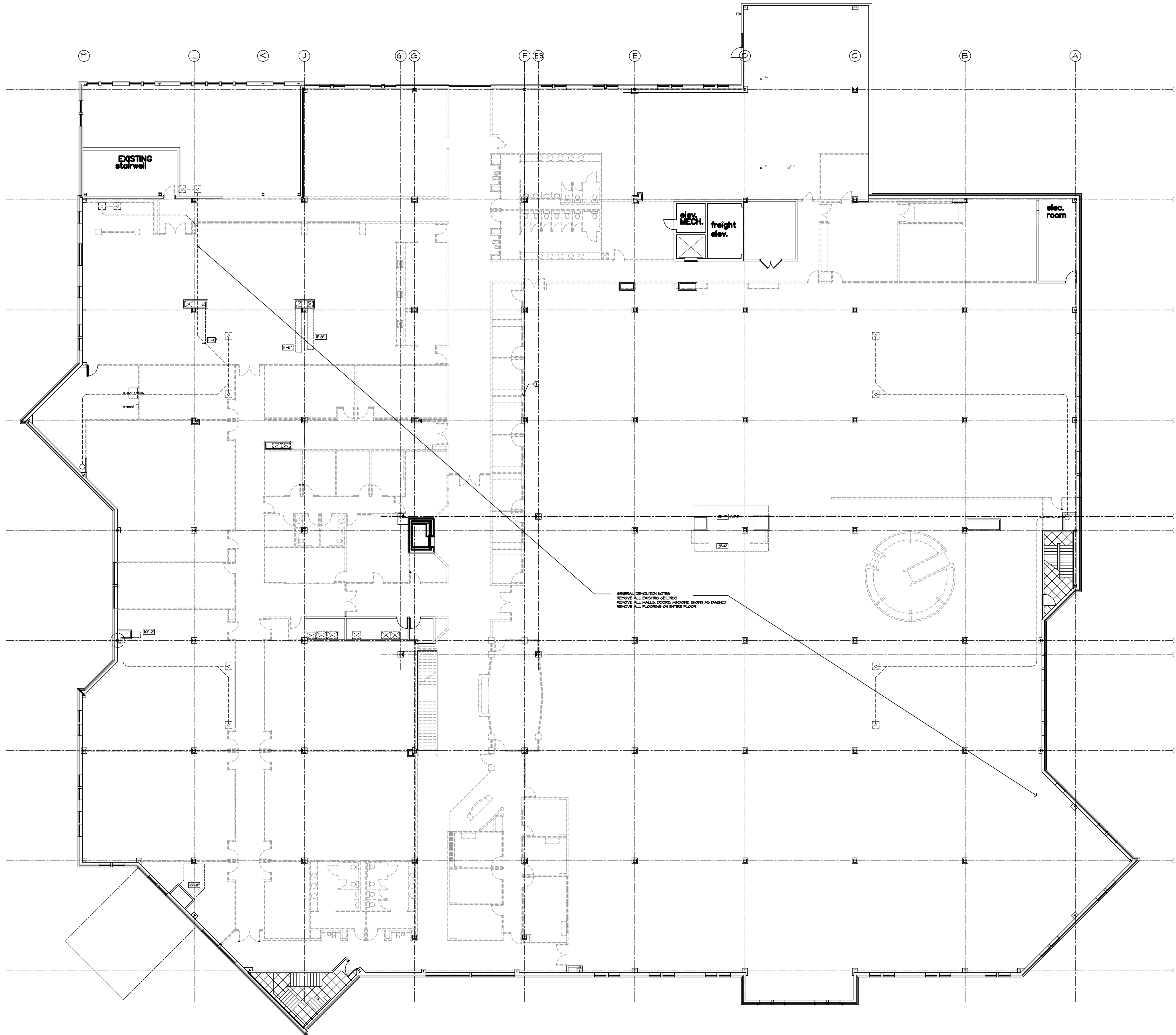
PROJECT
PROPOSED BUILDING ALTERATIONS FOR:
ADAMS STREET BUILDING
301 NORTH ADAMS STREET
CITY OF GREEN BAY

FISHER & ASSOCIATES, LLC
Architects / Planners
W3654 BALSAM LAKE ROAD, CRIVITZ, WI
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r.fisher@fisherandassociatesllc.com

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REVISIONS:

A1.02



DEMOLITION NOTES

- 1 REMOVE EXISTING WALLS INCLUDING ELECTRICAL DEVICES.
- 2 REMOVE DOOR AND FRAME AND HARDWARE. SALVAGE DOOR AND HARDWARE FOR REUSE ON THIS PROJECT.
- 3 REMOVE H.M. BORROWED LIGHT W/ GLASS. SALVAGE FOR REUSE ON THIS PROJECT.
- 4 REMOVE EXISTING FLOOR COVERING AND EXISTING BASE. PREP. FOR NEW CARPET.
- 5 REMOVE EXISTING FLOOR COVERING AND EXISTING BASE. PREP. FOR NEW VGT TILE.
- 6 REMOVE EXISTING FLOOR COVERING AND EXISTING BASE. PREP. FOR EXPOSED CONCRETE.
- 7 REMOVE EXISTING DRYWALL CEILING AND AND METAL FRAMING.
- 8 REMOVE EXISTING CEILING TILES AND GRID SAVE FULL TILES FOR REUSE. DEMOLITION CONTRACTOR TO TEMPORARY SUSPEND LIGHT FIXTURES AND HVAC GRILLES AND DIFFUSERS.
- 9 NOT USED
- 10 NOT USED
- 11 NOT USED

GENERAL DEMOLITION NOTES
REMOVE ALL EXISTING CEILING
REMOVE ALL WALLS, DOORS, WINDOWS SHOWN AS DASHED
REMOVE ALL FLOORING ON ENTIRE FLOOR

REVISED PER FIELD MEETING 8/14/23
REVISED PER FIELD INVESTIGATIONS 5/11/23
REVISED FOR CONSTRUCTION 3/1/23

DEMOLITION
SECOND FLOOR
FLOOR PLAN
1/16" = 1'-0"



FISHER & ASSOCIATES, LLC
Architects / Planners

10000 BULSA LANE ROAD, CRIVITZ, WI
92024-1524
fisher@fisherandassociatesllc.com

PROJECT:

PROPOSED BUILDING ALTERATIONS FOR:
ADAMS STREET BUILDING
301 NORTH ADAMS STREET
CITY OF GREEN BAY

DRAWN BY:

R.F.

CHK'D BY:

R.F.

JOB NUMBER:

20059

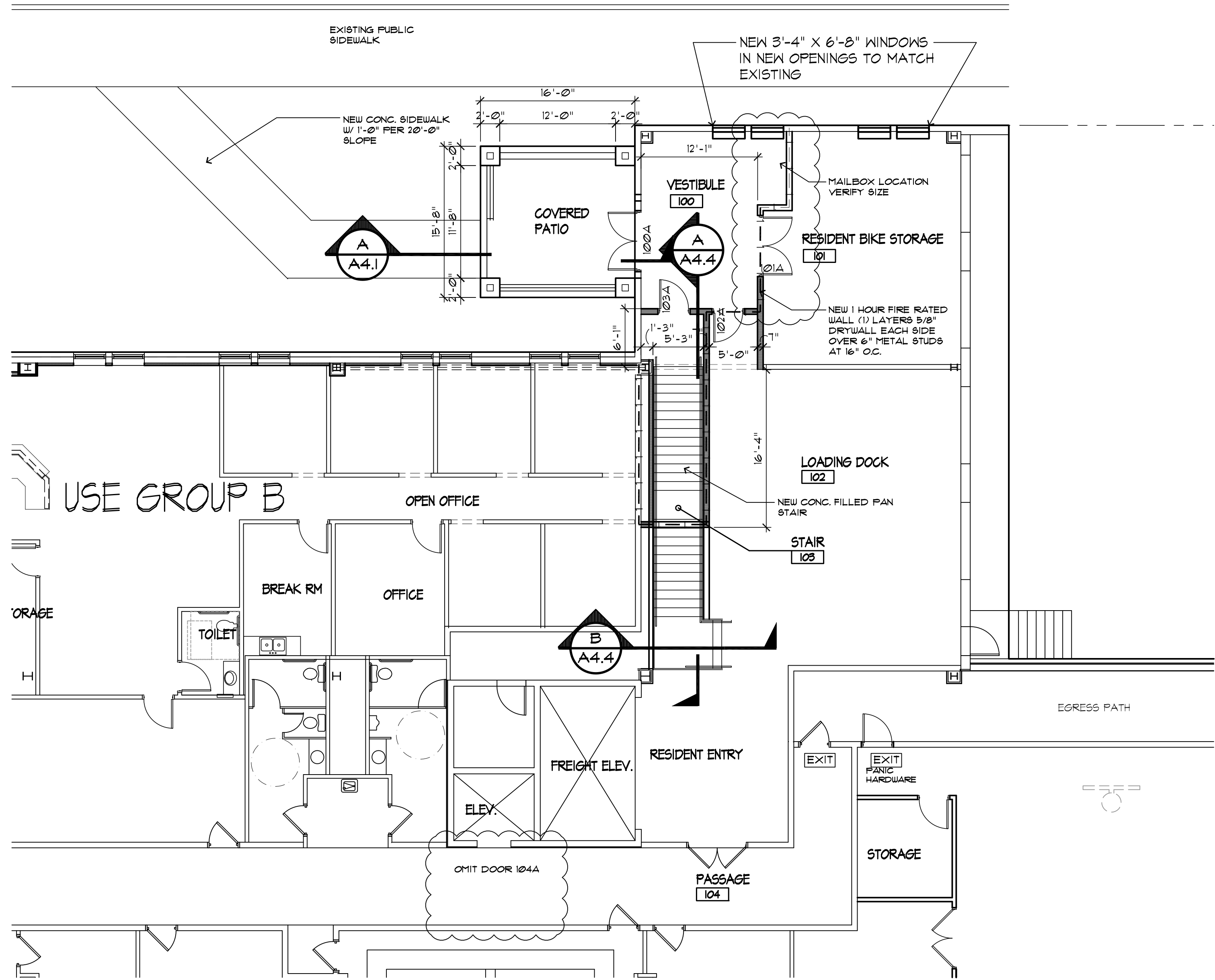
DATE:

12/8/20

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D1.0



REVISED PER FIELD MEETING 8/14/23
REVISED PER FIELD INVESTIGATIONS 5/11/23
REVISED FOR CONSTRUCTION 3/1/23

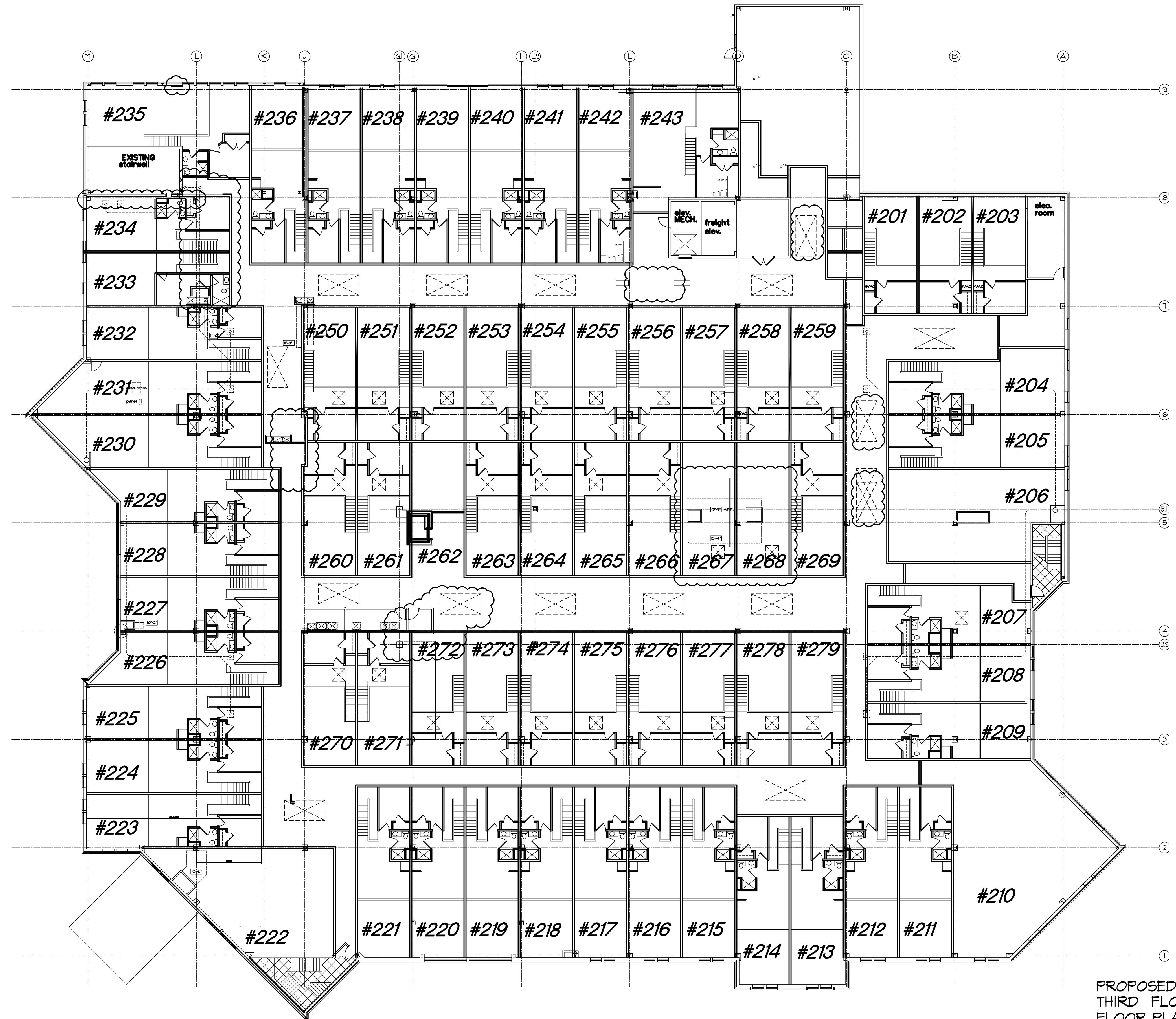
PROJECT:
PROPOSED BUILDING ALTERATIONS FOR:
ADAMS STREET BUILDING
301 NORTH ADAMS STREET
CITY OF GREEN BAY
DRAWN BY:
R.F.
CHK'D BY:
R.F.
JOB NUMBER:
20059
DATE:
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fisher@fisherandassociatesllc.com

REVISIONS:

A1.1



PROPOSED
THIRD FLOOR
FLOOR PLAN
1/16" = 1'-0"

REVISED PER FIELD MEETING 8/14/23
REVISED PER FIELD INVESTIGATIONS 5/11/23
REVISED FOR CONSTRUCTION 3/11/23

FISHER & ASSOCIATES, LLC
Architects / Planners
18651 BALSAM LAKE ROAD, CRIVITZ, WI
PH 4200 532-4444
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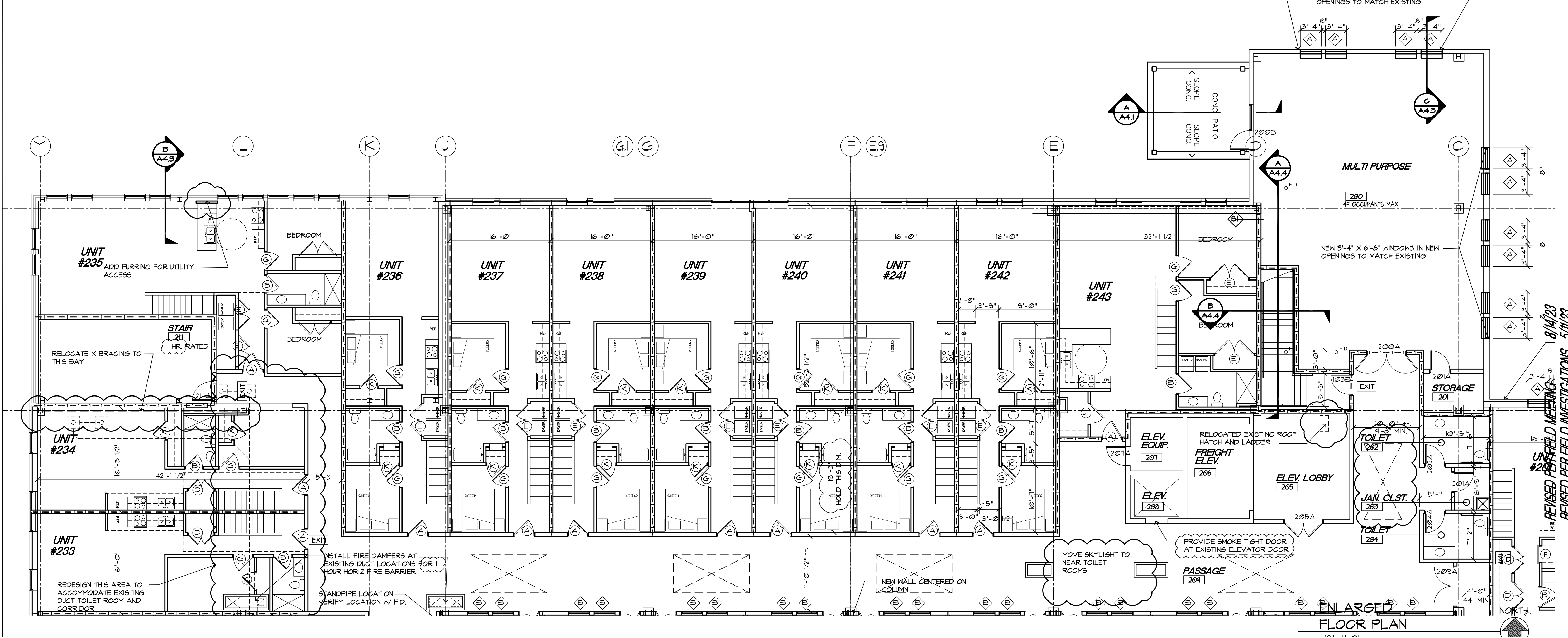
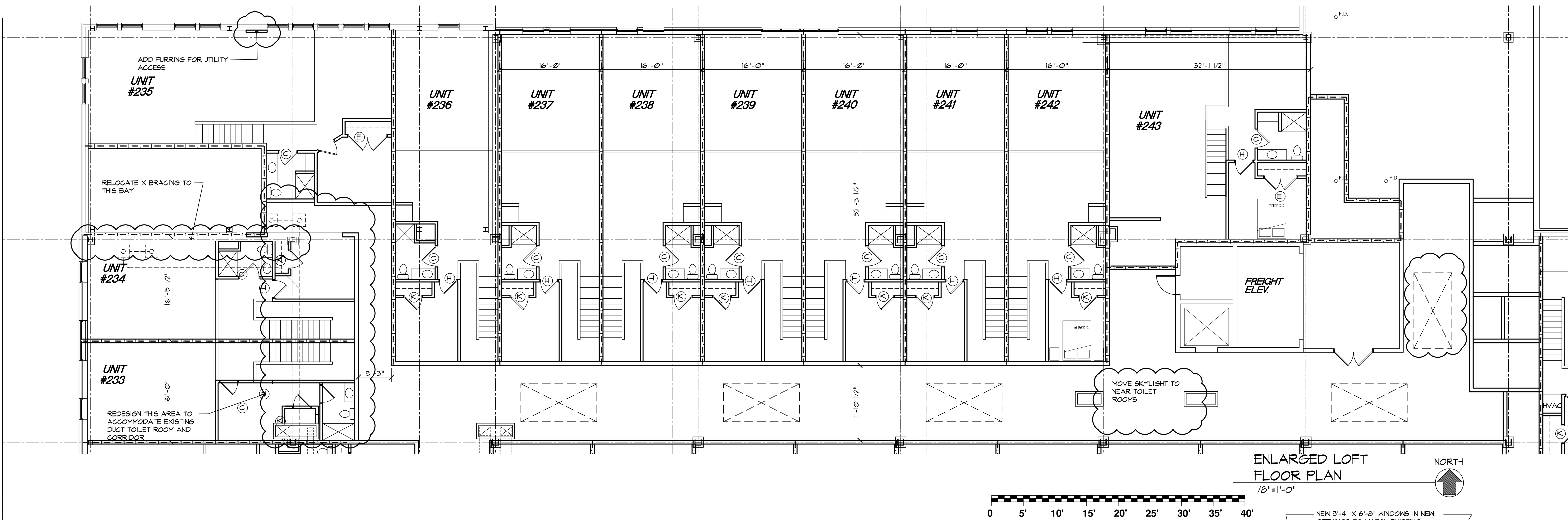
PROJECT:
PROPOSED BUILDING ALTERATIONS FOR:
ADAMS STREET BUILDING
301 NORTH ADAMS STREET
CITY OF GREEN BAY

DRAWN BY:
R.J.F.
CHK'D BY:
R.J.F.
JOB NUMBER:
20059
DATE:
12/8/20

A1.3

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REVISIONS:

NO.	DESCRIPTION	DATE
1	REVISED PER FIELD MEETING	8/14/23
2	REVISED PER FIELD INVESTIGATIONS	5/11/23
3	REVISED FOR CONSTRUCTION	3/1/23

FISHER & ASSOCIATES, LLC
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18654 BALSAM LAKE ROAD, CRIVITZ, IN 46030-1922
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FISHER@FISHERANDASSOCIATESLLC.COM

PROJECT:
PROPOSED BUILDING ALTERATIONS FOR:
ADAMS STREET BUILDING
301 NORTH ADAMS STREET
CITY OF GREEN BAY

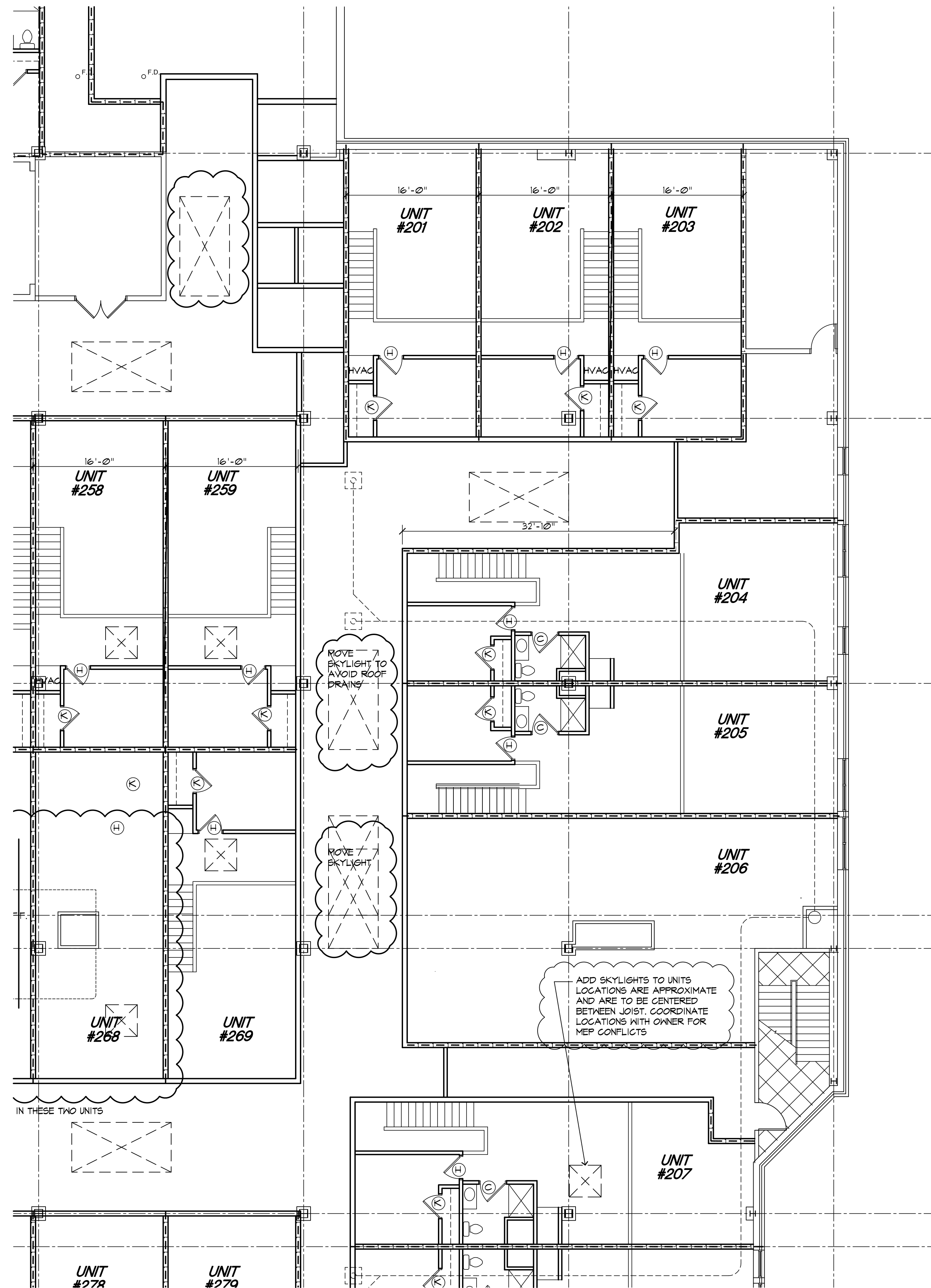
DRAWN BY:
R.F.

CHK'D BY:
R.F.

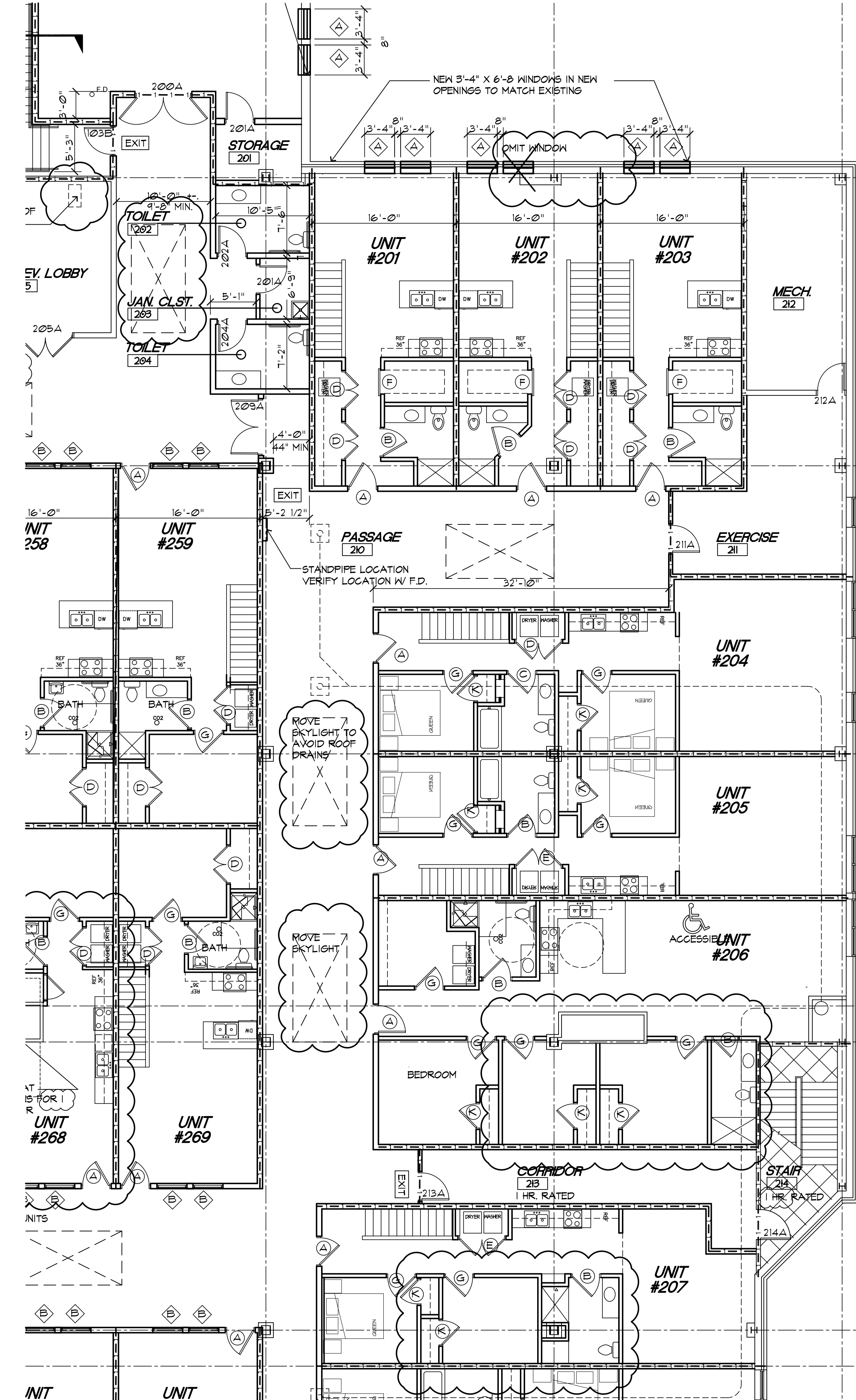
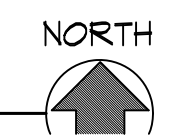
JOB NUMBER:
20059

DATE:
9/10/22

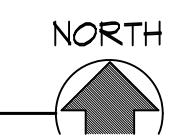
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ENLARGED LOFT FLOOR PLAN

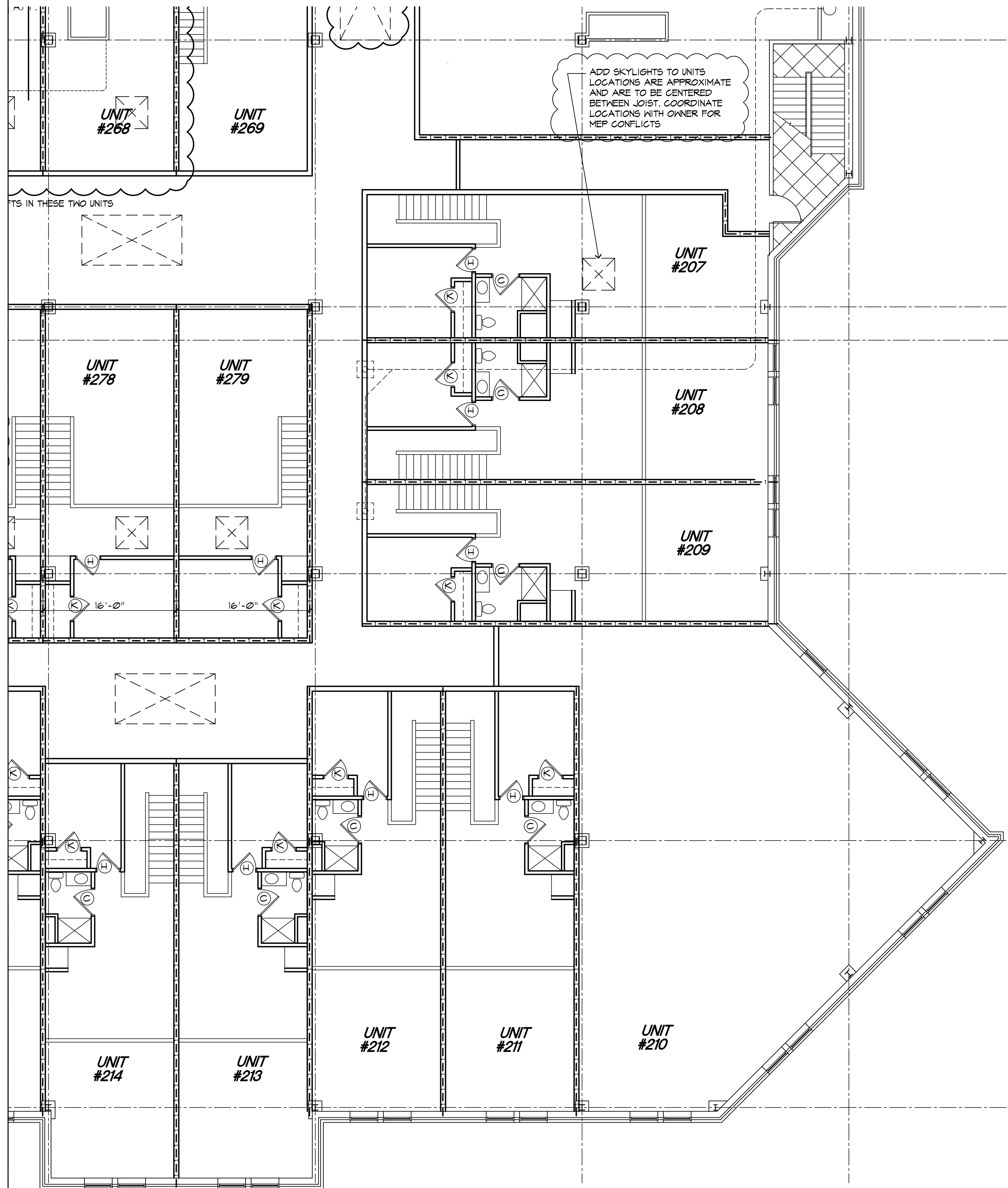


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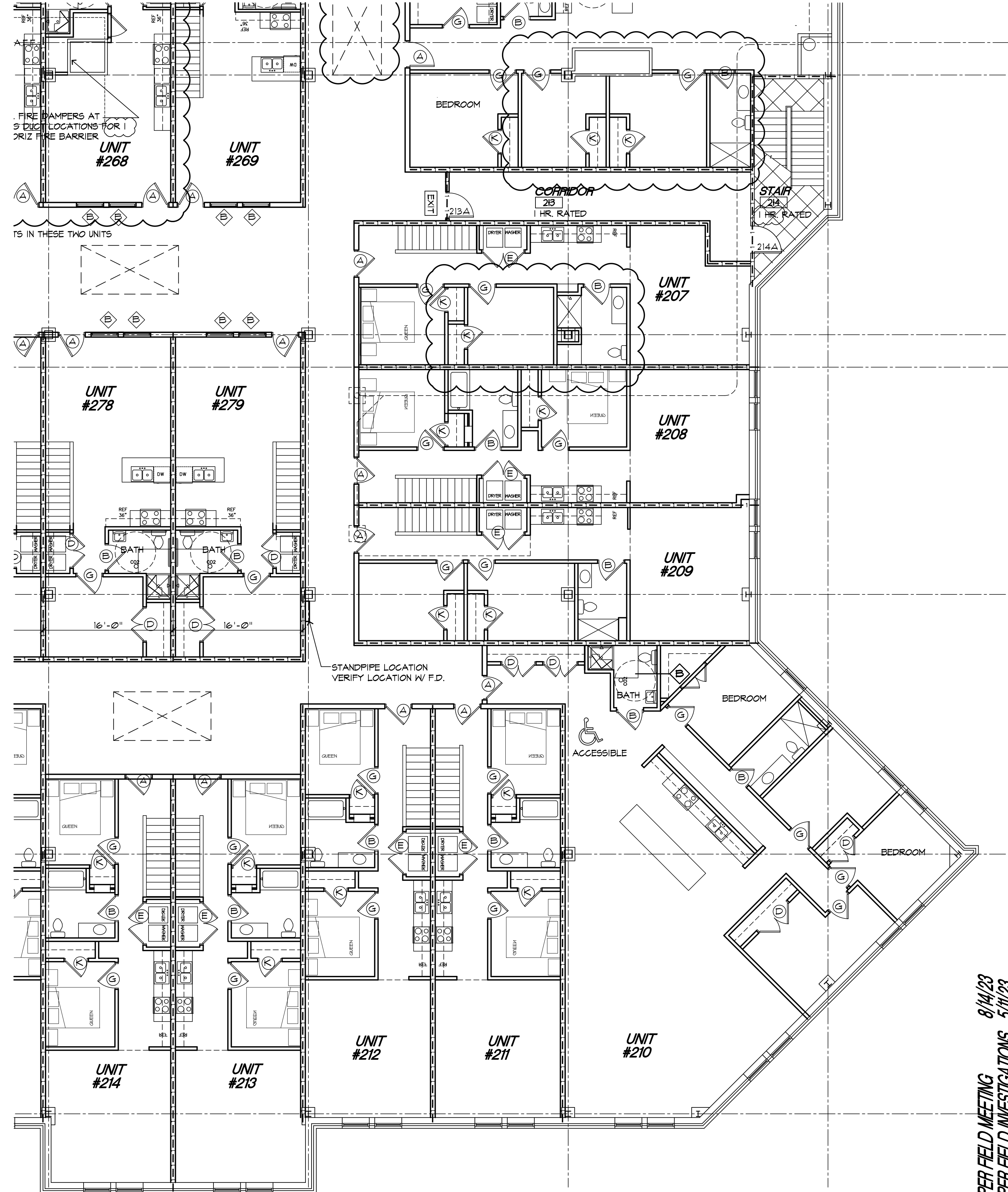
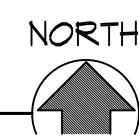


REVISED PER FIELD MEETING 8/14/23
REVISED PER FIELD INVESTIGATIONS 5/11/23
REVISED FOR CONSTRUCTION 3/11/23

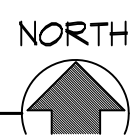
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PROJECT:	WISCONSIN
PROPOSED BUILDING ALTERATIONS FOR: ADAMS STREET BUILDING 301 NORTH ADAMS STREET CITY OF GREEN BAY	
DRAWN BY:	RJF
CHK'D BY:	RJF
JOB NUMBER:	20059
DATE:	9/10/22



ENLARGED LOFT
FLOOR PLAN

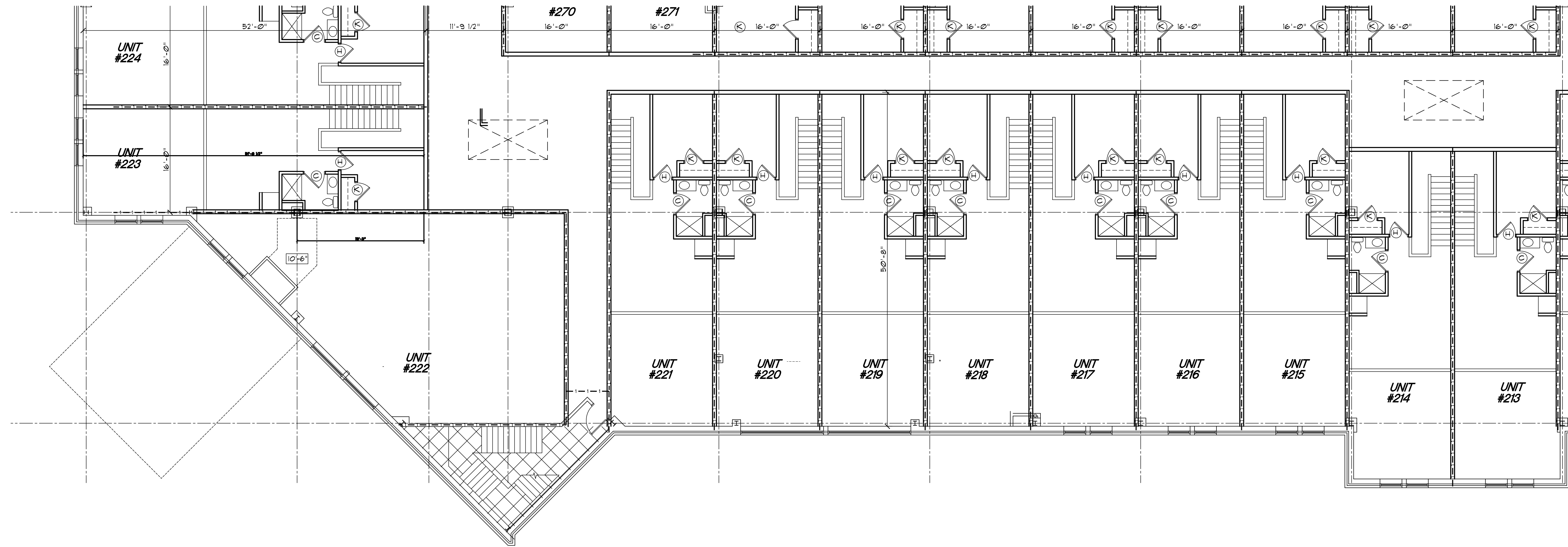


ENLARGED
FLOOR PLAN

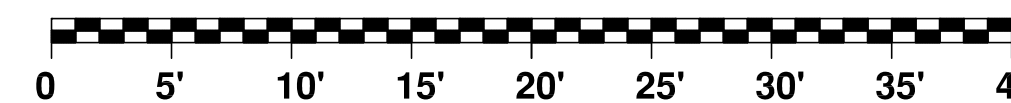
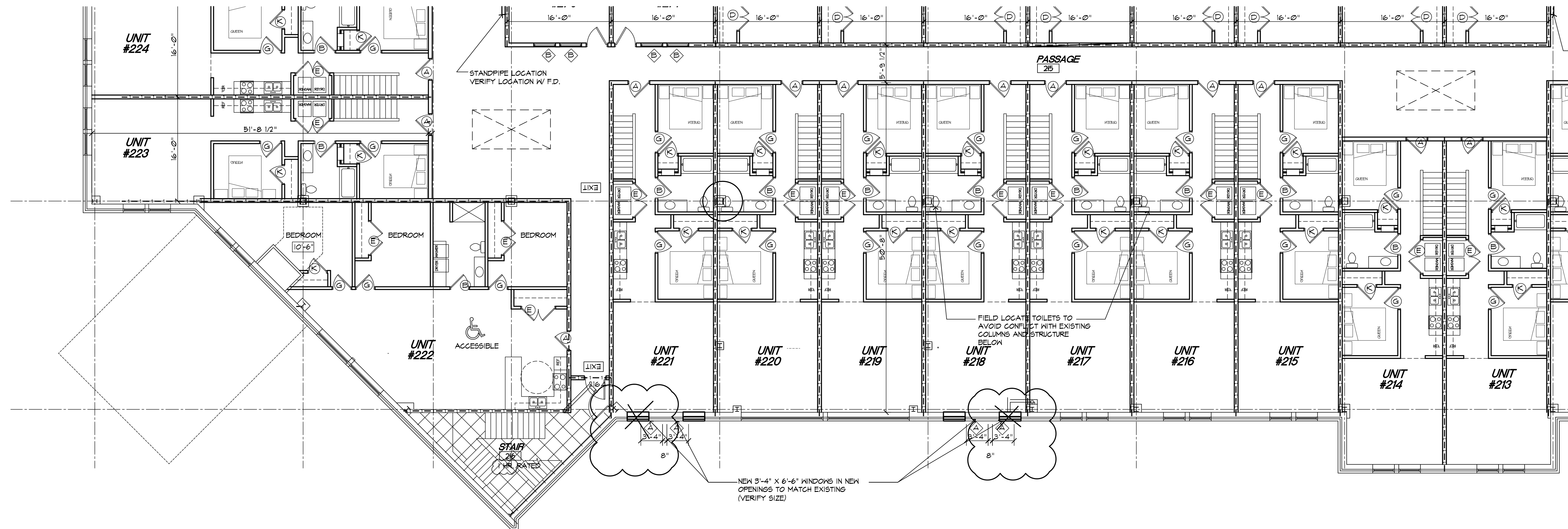


REVISED PER FIELD MEETING 8/14/23
REVISED PER FIELD INVESTIGATIONS 5/11/23
REVISED FOR CONSTRUCTION 3/11/23

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NO.	DESCRIPTION										
FISHER & ASSOCIATES, LLC Architects / Planners 18665 BALSAM LAKE ROAD, CRIVITZ, WI 53007 PH: 262.532.4444 info@fisherandassociatesllc.com											
PROJECT: PROPOSED BUILDING ALTERATIONS FOR: ADAMS STREET BUILDING 301 NORTH ADAMS STREET CITY OF GREEN BAY											
WISCONSIN											
DRAWN BY: R.J.F.											
CHK'D BY: R.J.F.											
JOB NUMBER: 20059											
DATE: 9/10/22											



ENLARGED LOFT
FLOOR PLAN
1/8"=1'-0"



ENLARGED
FLOOR PLAN
1/8"=1'-0"

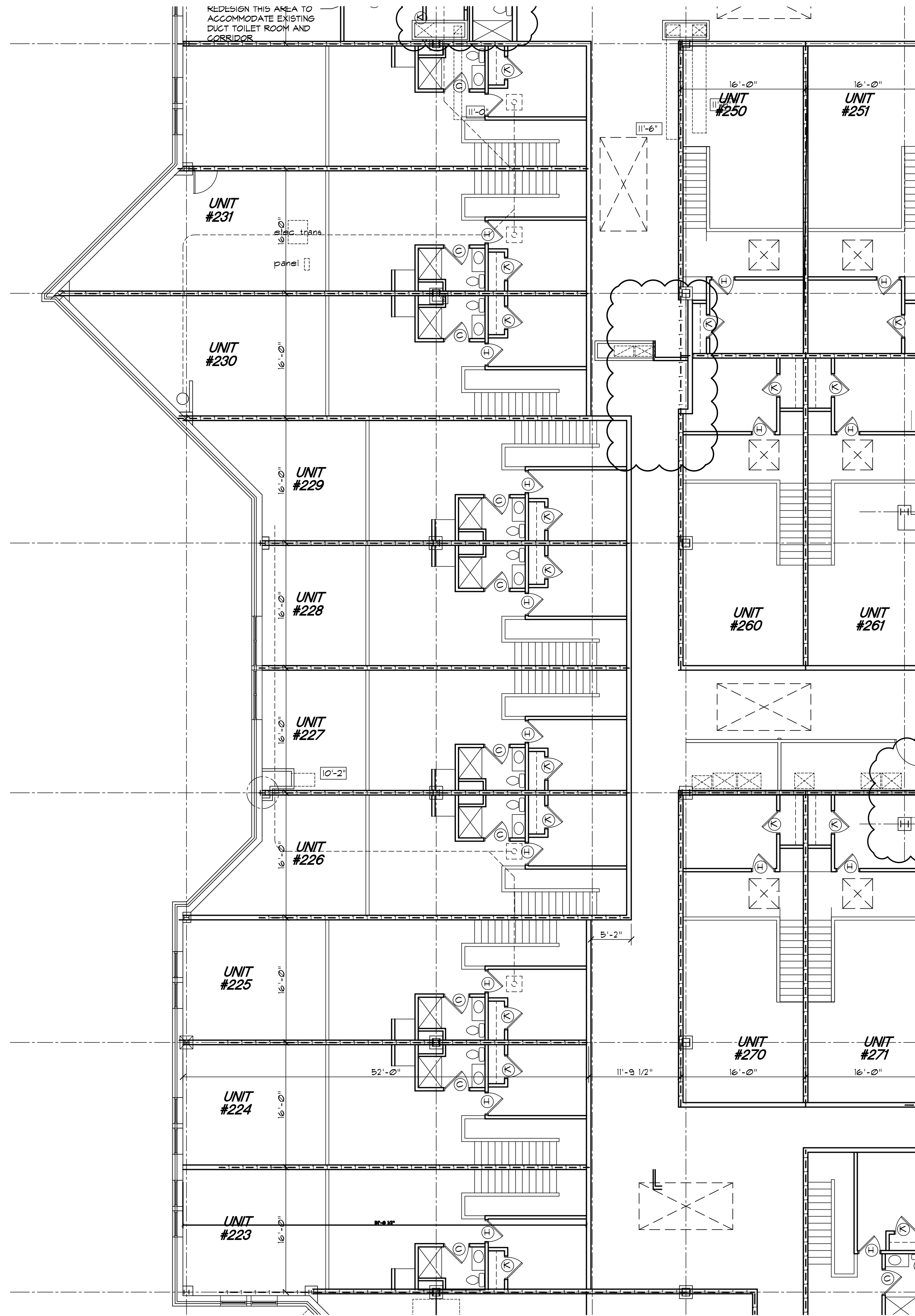


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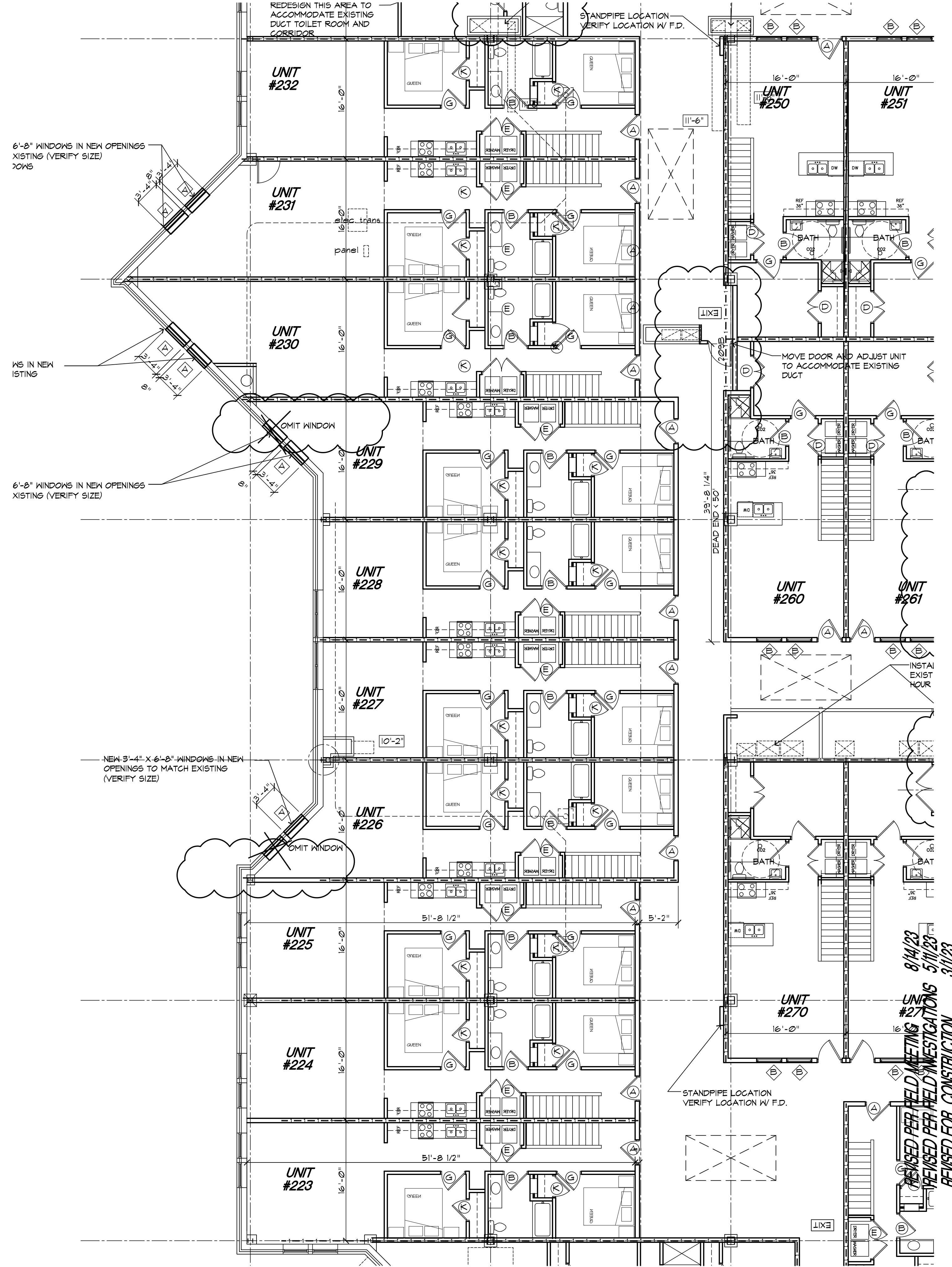
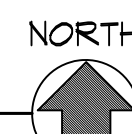
REVISIONS:	

FISHER & ASSOCIATES, LLC
Architects / Planners
18650 BALSAM LAKE ROAD, CRIVITZ, WI 53007
PH: 262.532.4848
FISHER@FISHERANDASSOCIATESLLC.COM

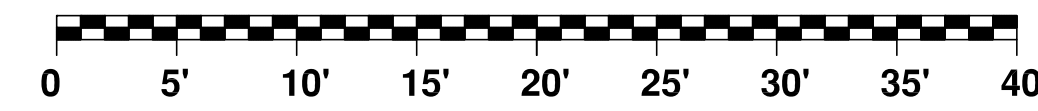
PROJECT:	
PROPOSED BUILDING ALTERATIONS FOR: ADAMS STREET BUILDING 301 NORTH ADAMS STREET CITY OF GREEN BAY	
WISCONSIN	
DRAWN BY:	RJF
CHK'D BY:	RJF
JOB NUMBER:	20059
DATE:	9/10/22



ENLARGED LOFT
FLOOR PLAN



ENLARGED
FLOOR PLAN



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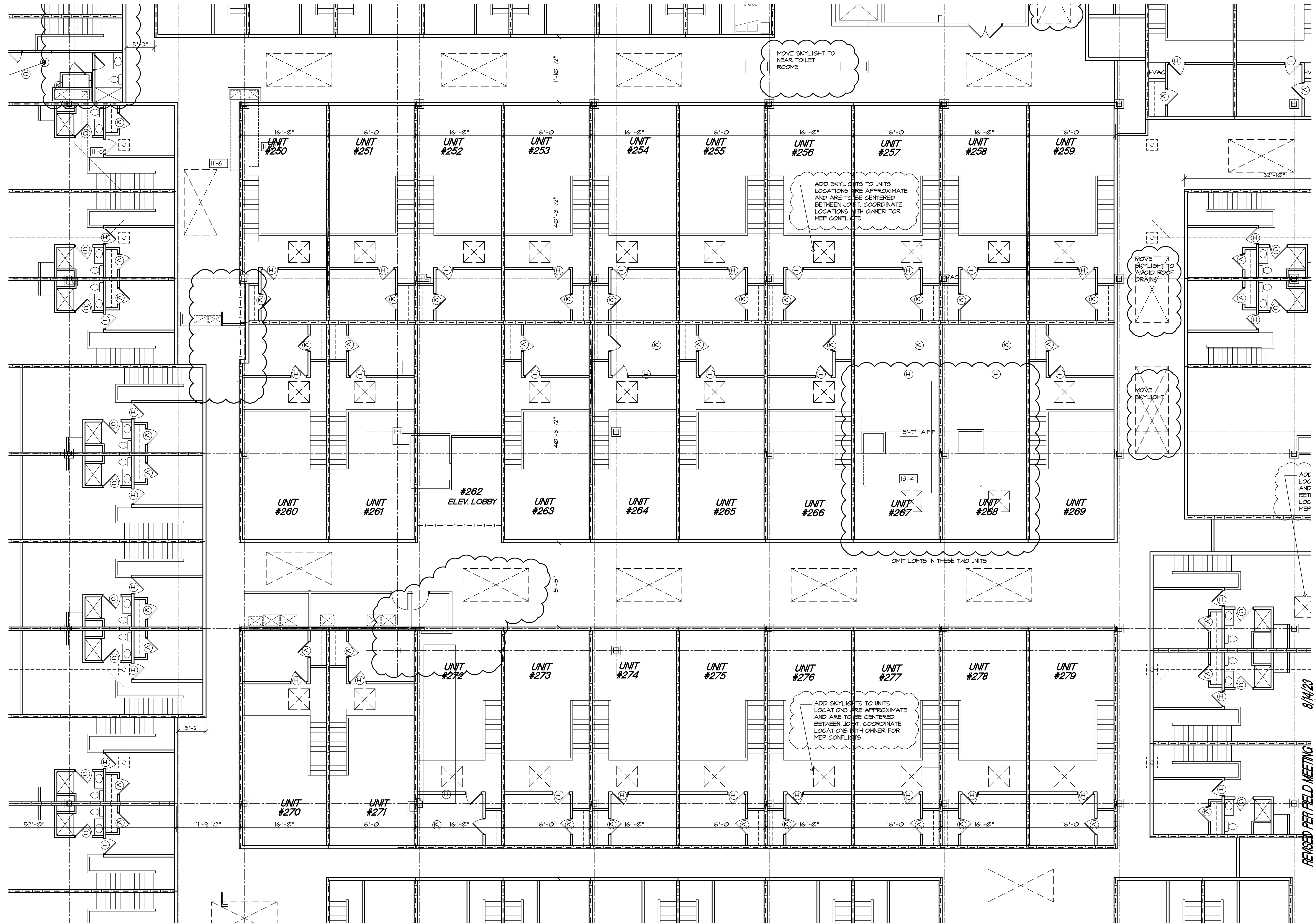
FISHER & ASSOCIATES, LLC
Architects / Planners
18565 BALSAM LAKE ROAD, CRIVITZ, MN
PH: 218/332-8888
FISHER@FISHERANDASSOCIATESLLC.COM

WISCONSIN

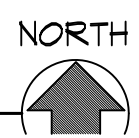
PROJECT:
PROPOSED BUILDING ALTERATIONS FOR:
ADAMS STREET BUILDING
301 NORTH ADAMS STREET
CITY OF GREEN BAY

DRAWN BY:
R.J.F.
CHK'D BY:
R.J.F.
JOB NUMBER:
20059
DATE:
9/10/22

A1.8



OVERALL LOFT FLOOR PLAN



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REVISIONS:

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	8/14/23
2	REVISED PER FIELD MEETING	8/14/23
3	REVISED PER FIELD INVESTIGATIONS	5/11/23
4	REVISED FOR CONSTRUCTION	3/11/23

PROJECT:
PROPOSED BUILDING ALTERATIONS FOR:
ADAMS STREET BUILDING
301 NORTH ADAMS STREET
CITY OF GREEN BAY

WISCONSIN

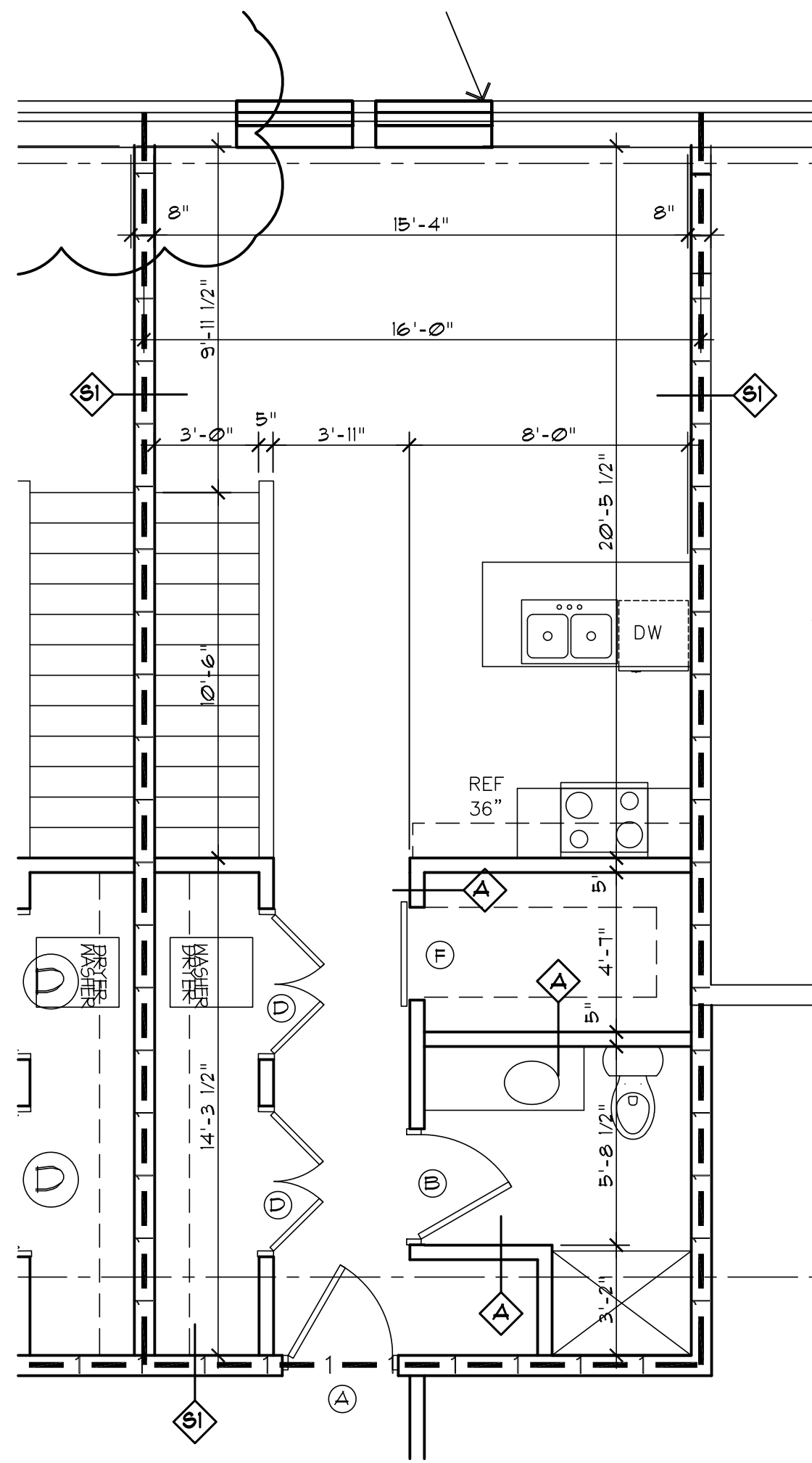
DRAWN BY:
R.F.

CHK'D BY:
R.F.

JOB NUMBER:
20059

DATE:
9/10/22

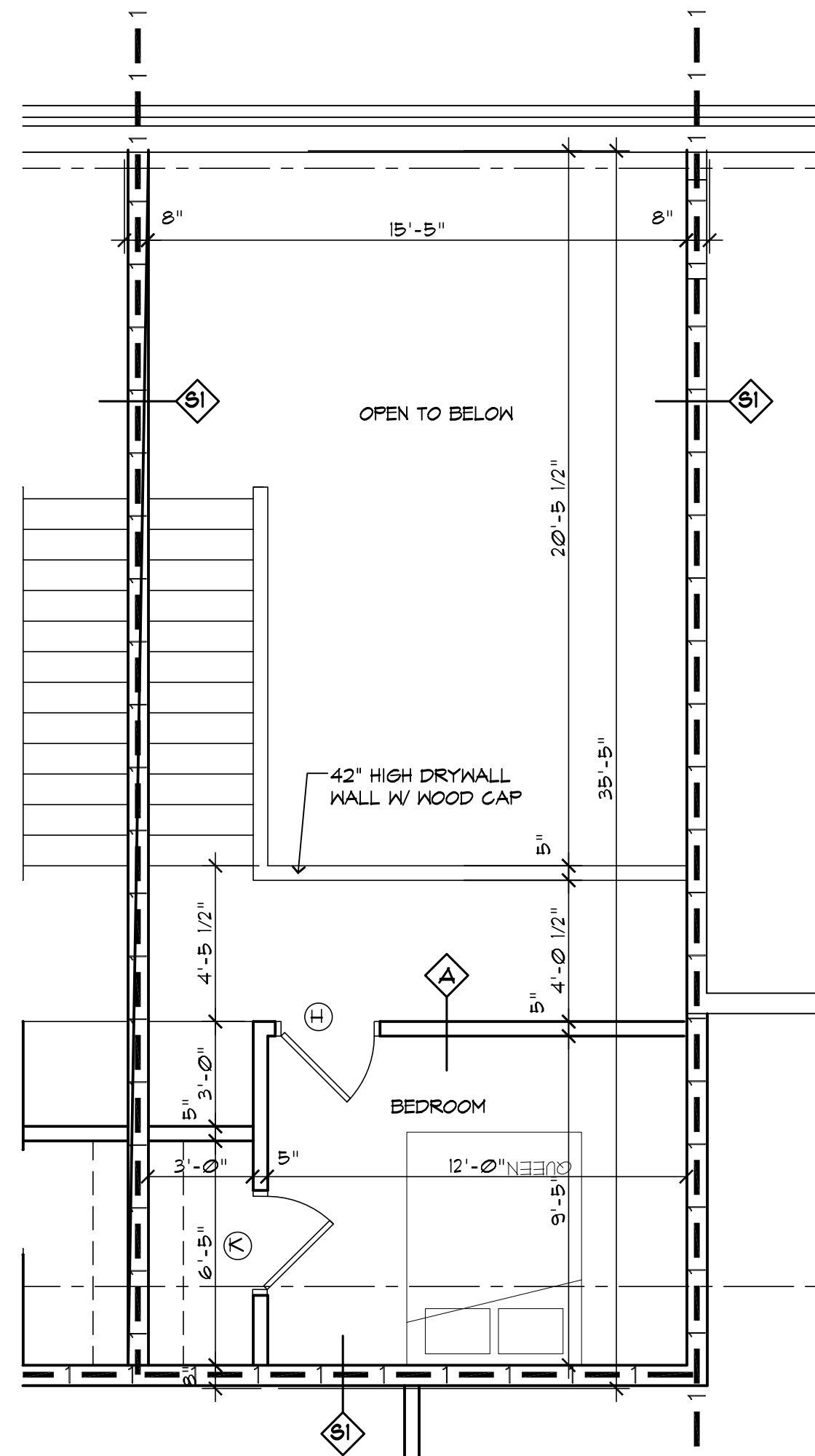
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ONE BEDROOM LAYOUT W/ LOFT
560 S.F. PLUS 210 S.F. LOFT

ENLARGED
FLOOR PLAN
1/4"=1'-0"

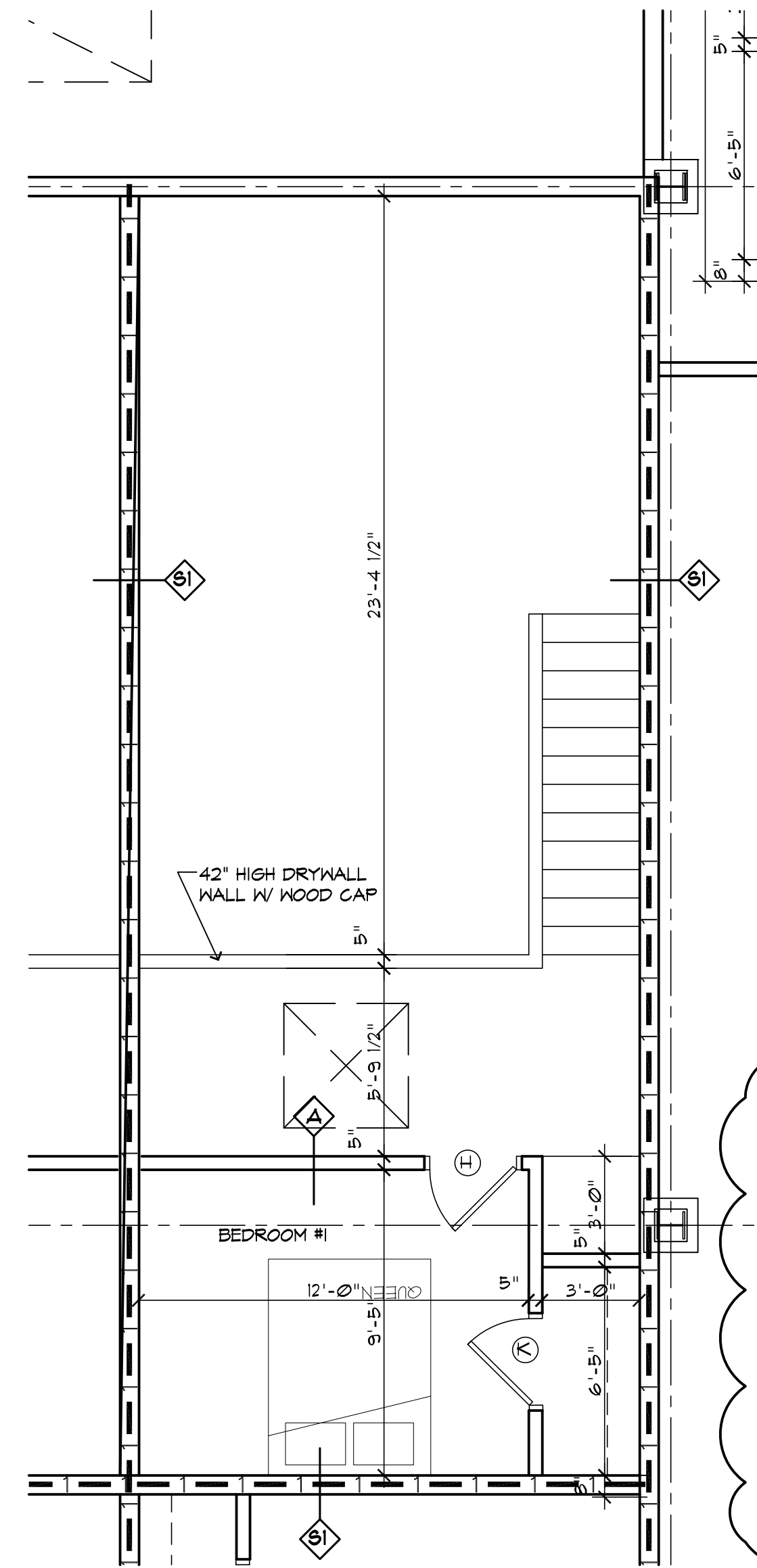
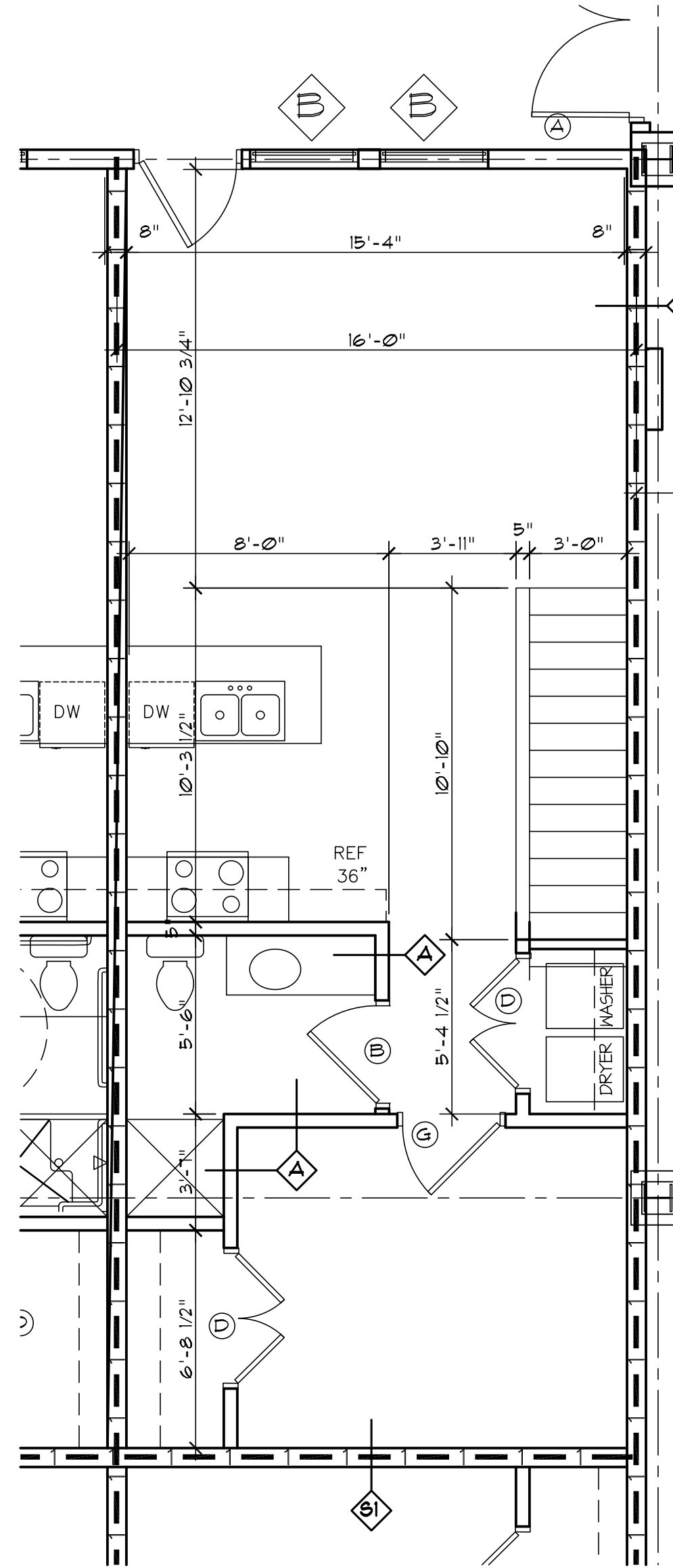
NORTH



TWO BEDROOM LAYOUT W/ LOFT
640 S.F. PLUS 260 S.F. LOFT

ENLARGED
FLOOR PLAN
1/4"=1'-0"

NORTH



REVISED PER FIELD MEETING 8/14/23
REVISED PER FIELD INVESTIGATIONS 5/11/23
REVISED FOR CONSTRUCTION 3/11/23

PROJECT:	
PROPOSED BUILDING ALTERATIONS FOR:	
ADAMS STREET BUILDING	
301 NORTH ADAMS STREET	
CITY OF GREEN BAY	
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JOB NUMBER:	20059
DATE:	9/10/22

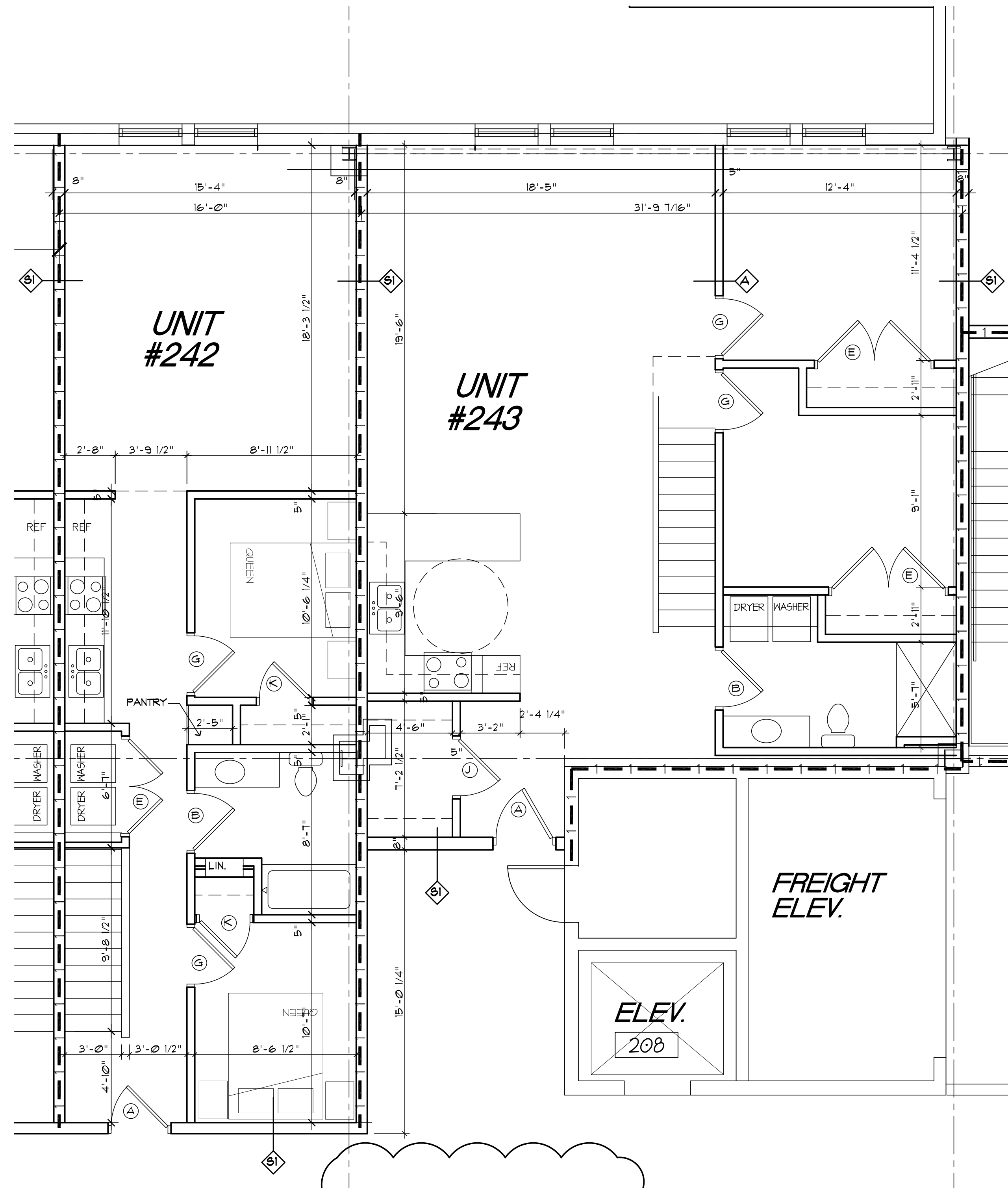
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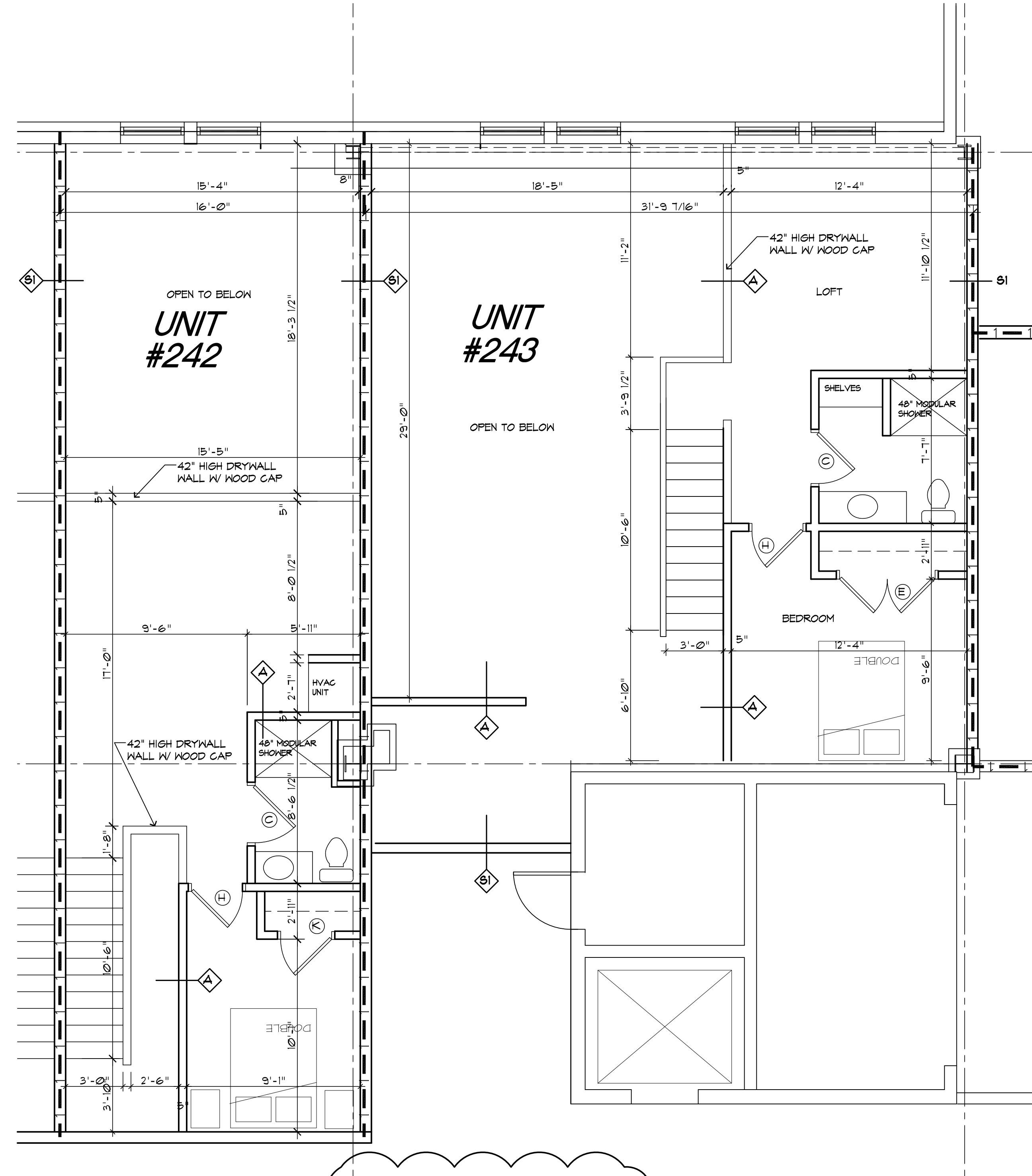
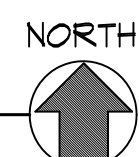
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THREE BEDROOM LAYOUT W/ LOFT
800 S.F. PLUS 400 S.F. LOFT

THREE BEDROOM CORNER UNIT W/ LOFT
1050 S.F. PLUS 400 S.F. LOFT

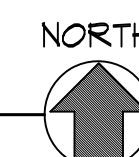
ENLARGED
FLOOR PLAN
1/4"=1'-0"



THREE BEDROOM LAYOUT W/ LOFT
800 S.F. PLUS 400 S.F. LOFT

THREE BEDROOM CORNER UNIT W/ LOFT
1050 S.F. PLUS 400 S.F. LOFT

ENLARGED
FLOOR PLAN
1/4"=1'-0"



REVISED PER FIELD MEETING 8/14/23
REVISED PER FIELD INVESTIGATIONS 5/11/23
REVISED FOR CONSTRUCTION 3/11/23

PROJECT:
PROPOSED BUILDING ALTERATIONS FOR:
ADAMS STREET BUILDING
301 NORTH ADAMS STREET
CITY OF GREEN BAY

DRAWN BY:
R.J.F.
CHK'D BY:
R.J.F.
JOB NUMBER:
20059
DATE:
9/10/22

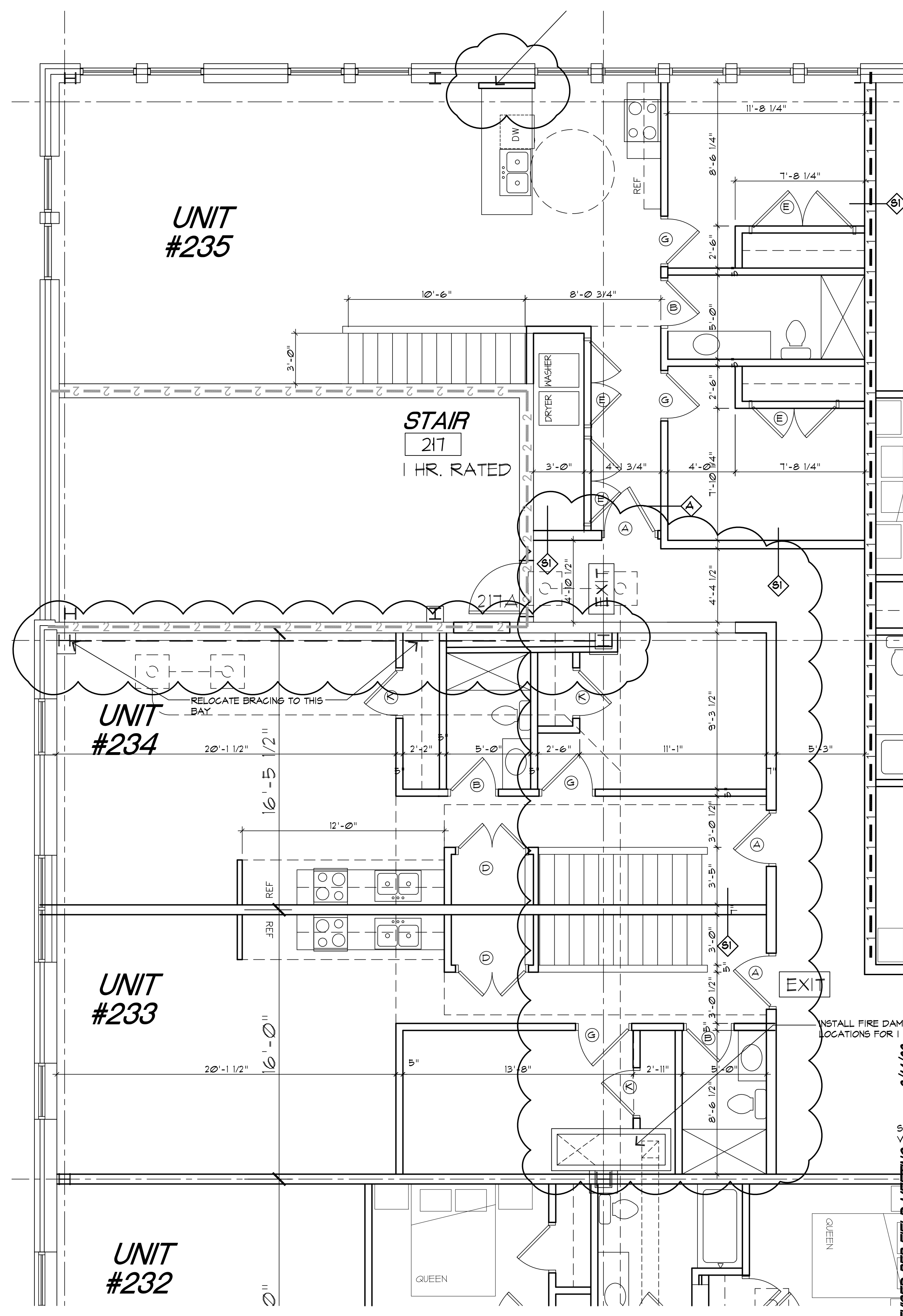
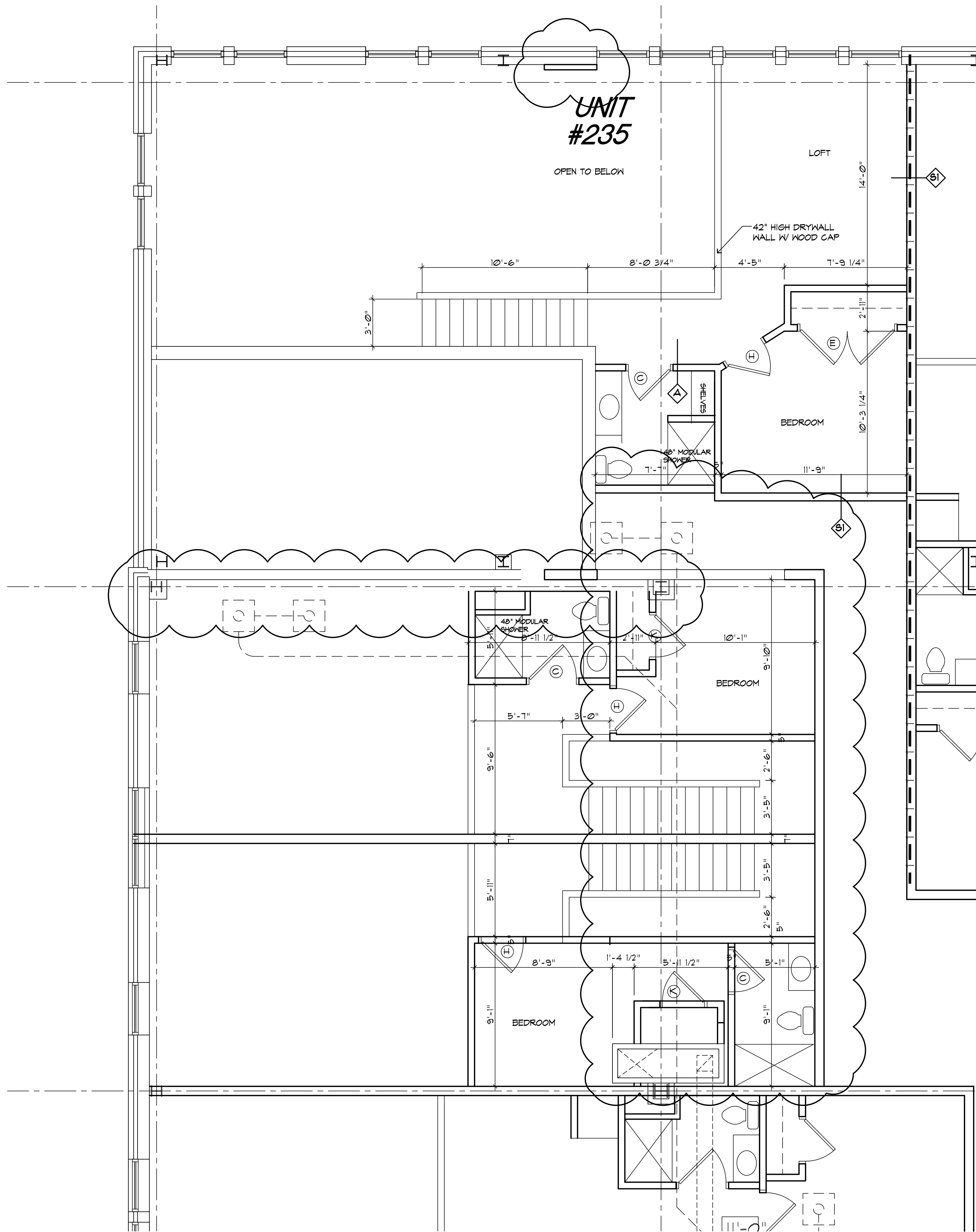
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THREE BEDROOM CORNER UNIT W/ LOFT
1025 S.F. PLUS 460 S.F. LOFT

ENLARGED
FLOOR PLAN
1/4"=1'-0"



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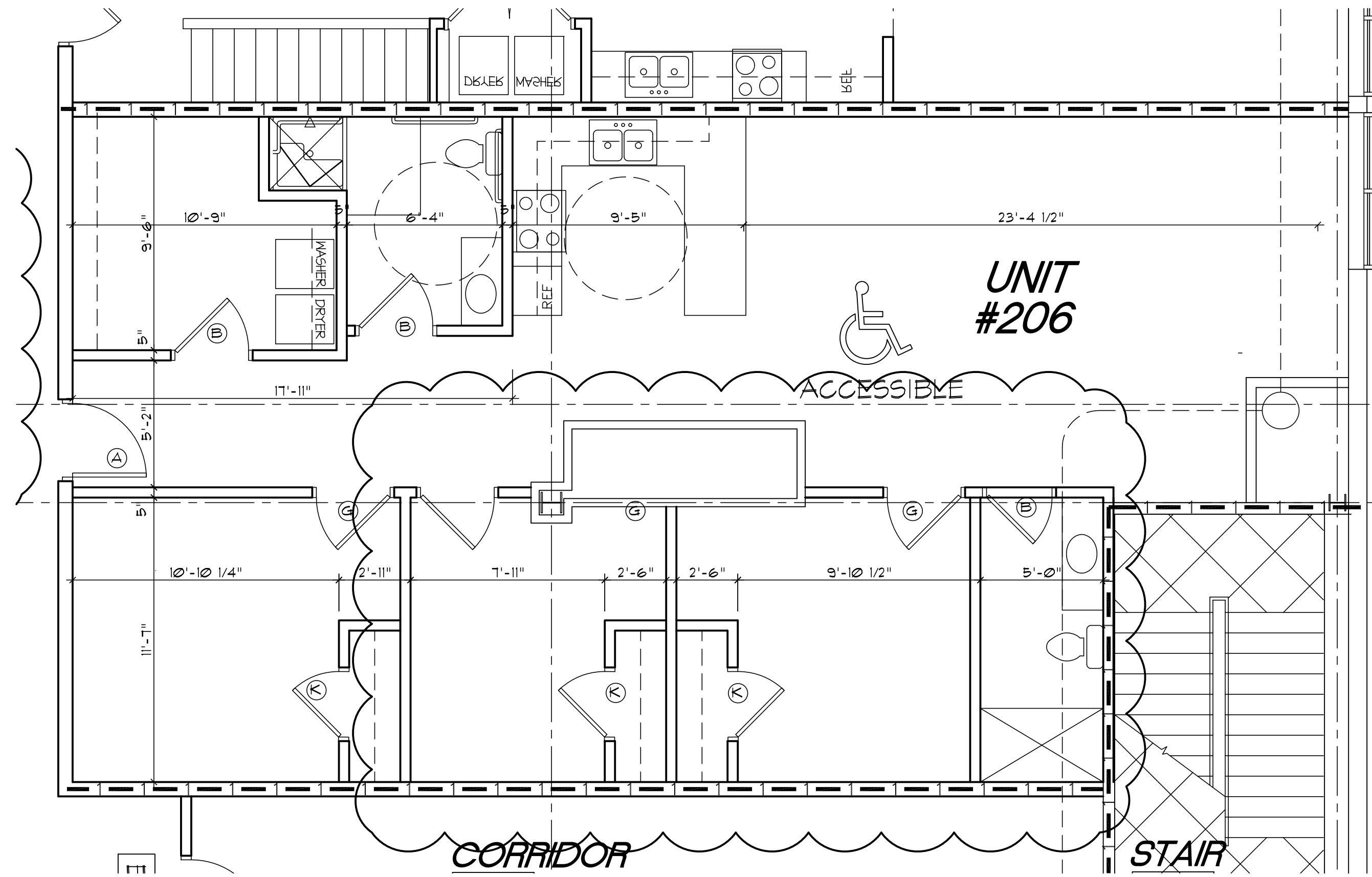
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PROJECT:
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301 NORTH ADAMS STREET
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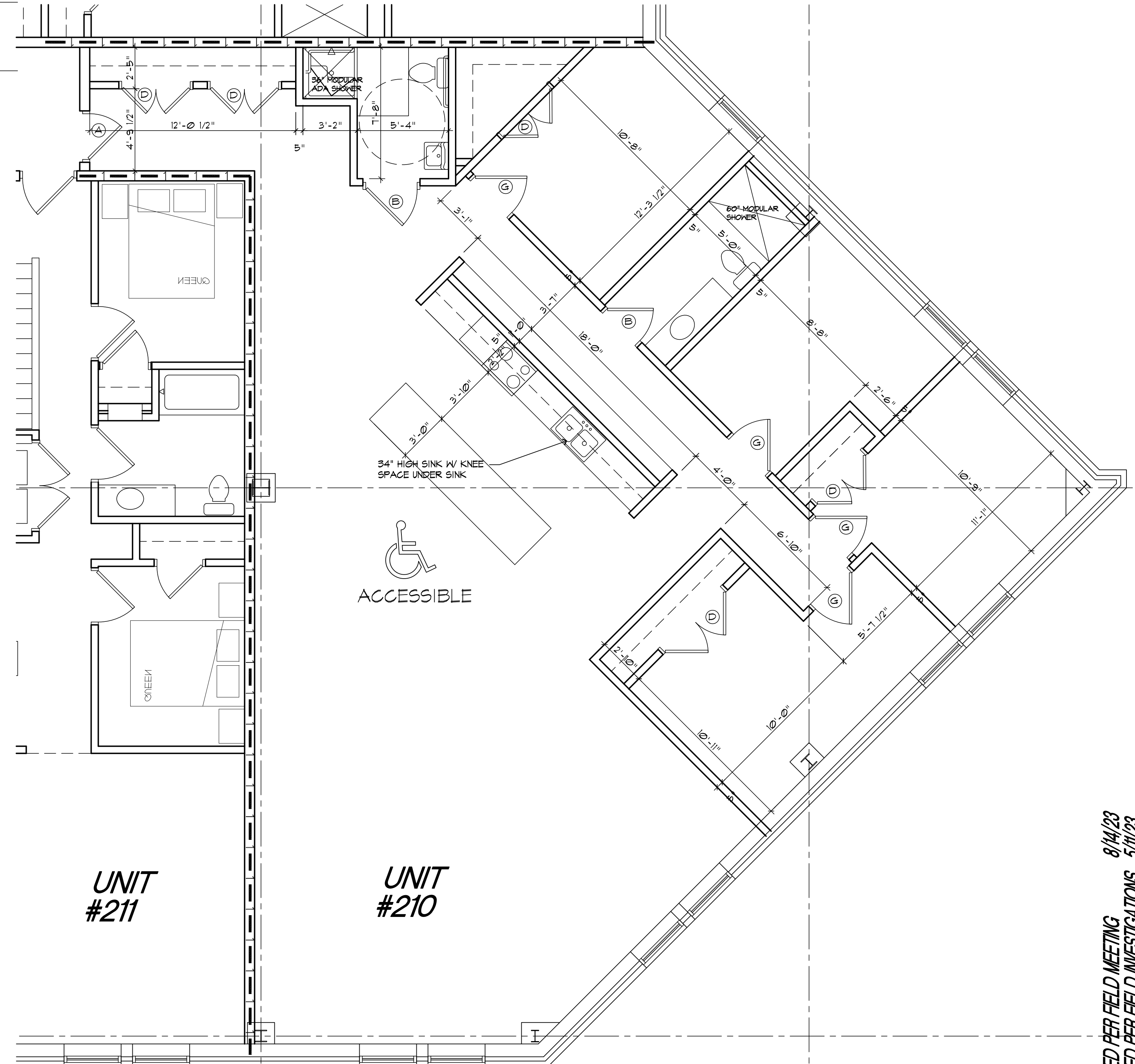
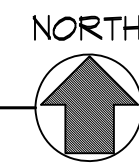
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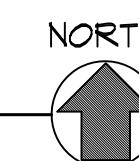
THREE BEDROOM UNIT WITHOUT LOFT
--- S.F.

ENLARGED
FLOOR PLAN
1/4"=1'-0"



FOUR BEDROOM UNIT WITHOUT LOFT
--- S.F.

ENLARGED
FLOOR PLAN
1/4"=1'-0"



REVISED PER FIELD MEETING 8/14/23
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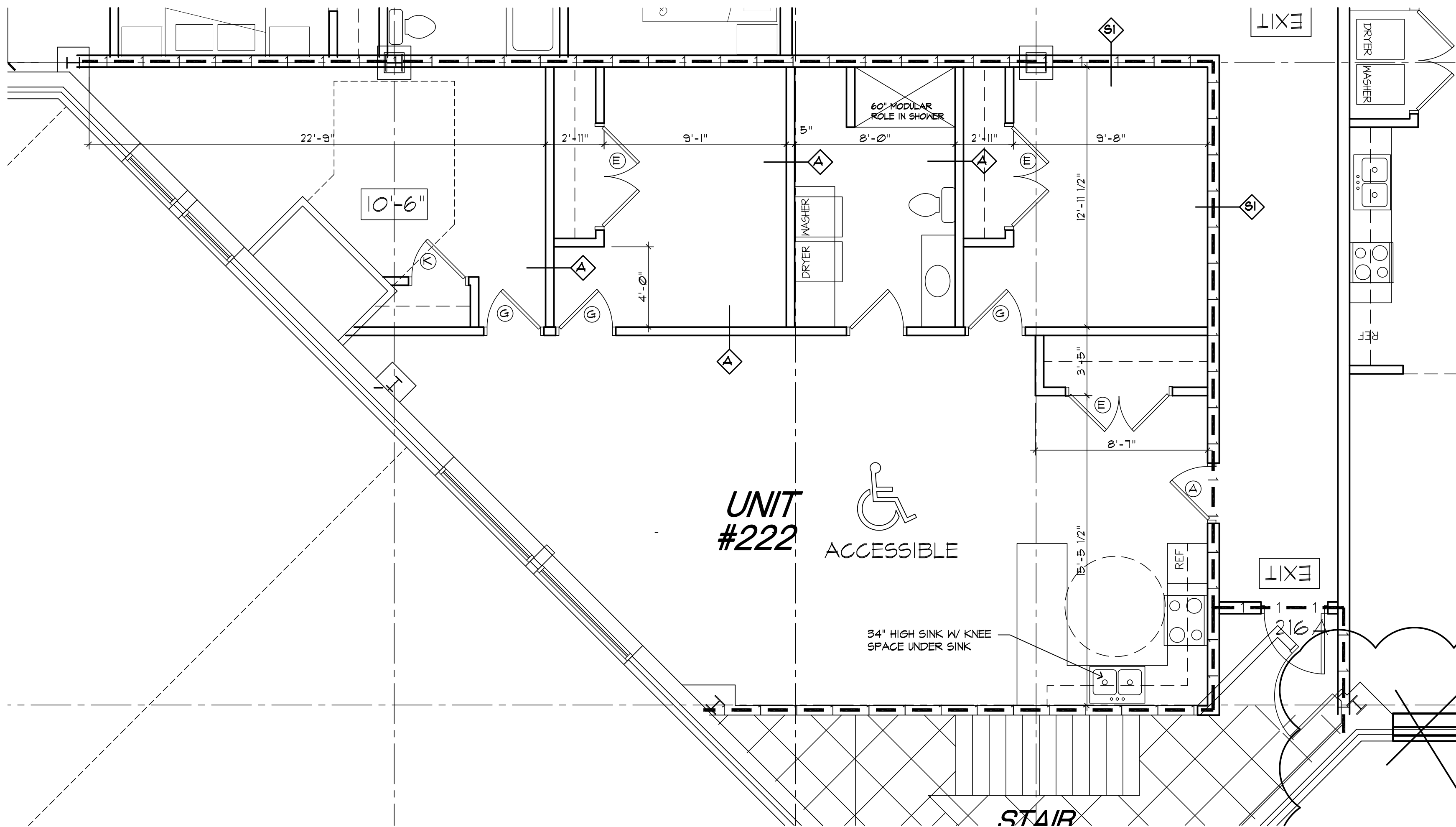
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A1.14



THREE BEDROOM CORNER UNIT W/ LOFT
--- SF.

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FLOOR PLAN
1/4"=1'-0"



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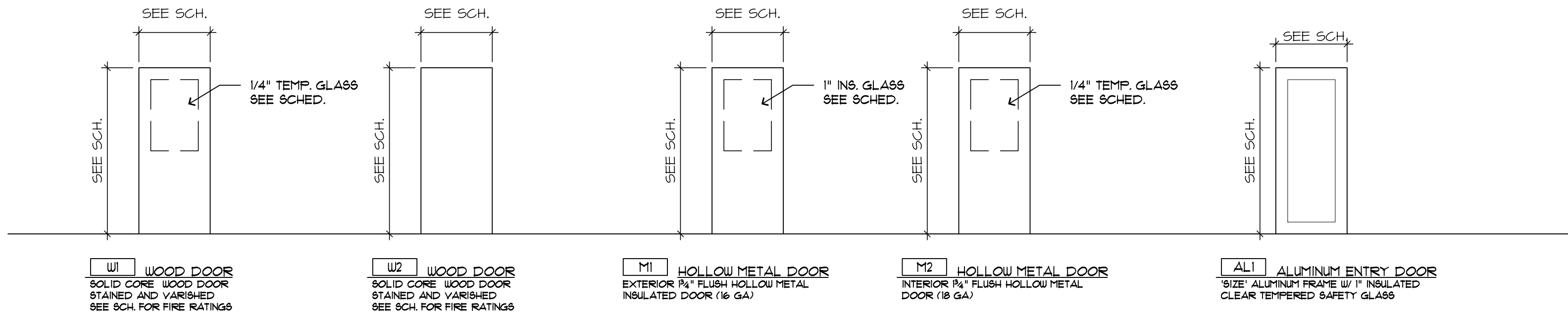
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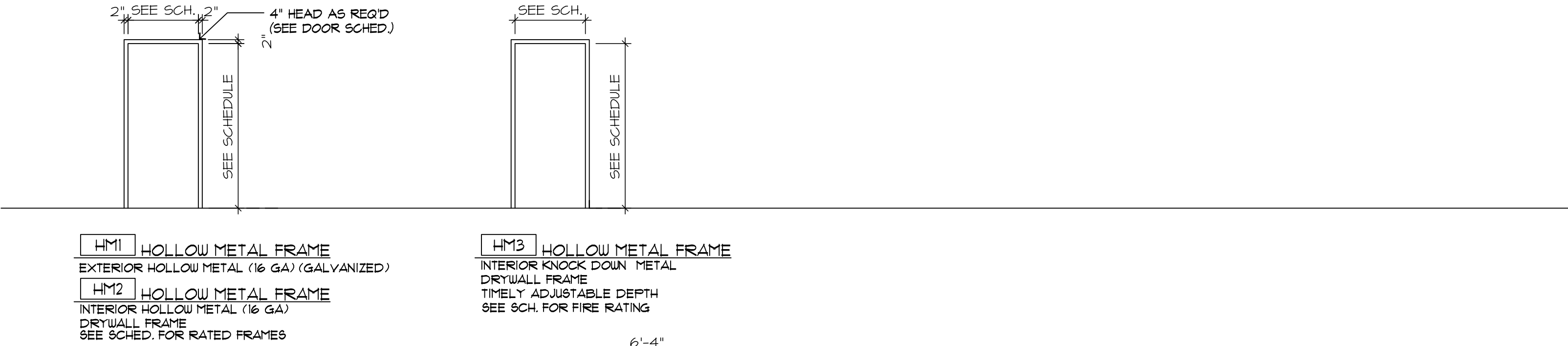
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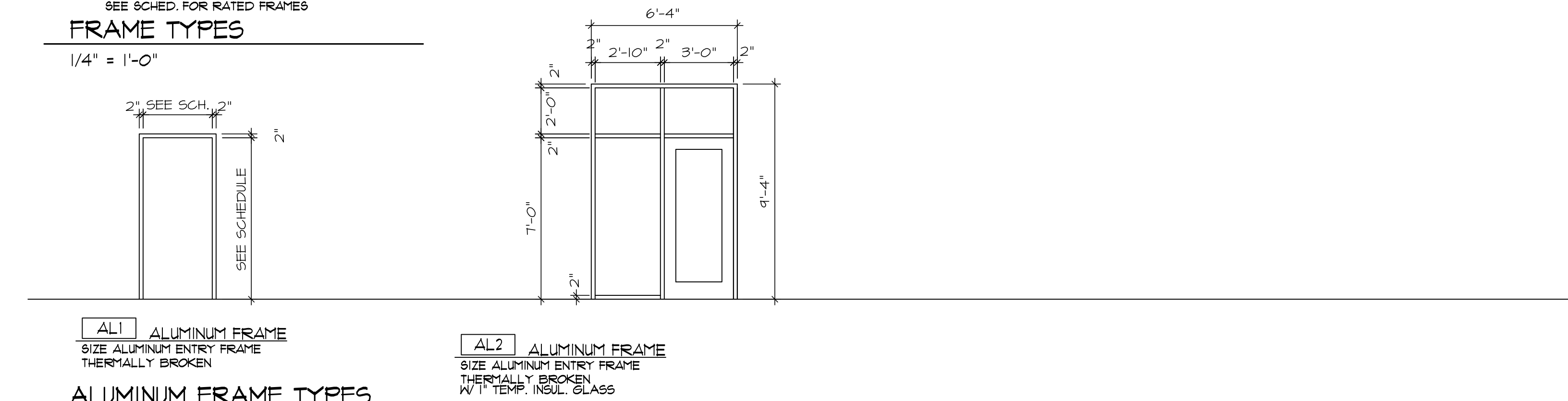
DOOR TYPES

1/4" = 1'-0"



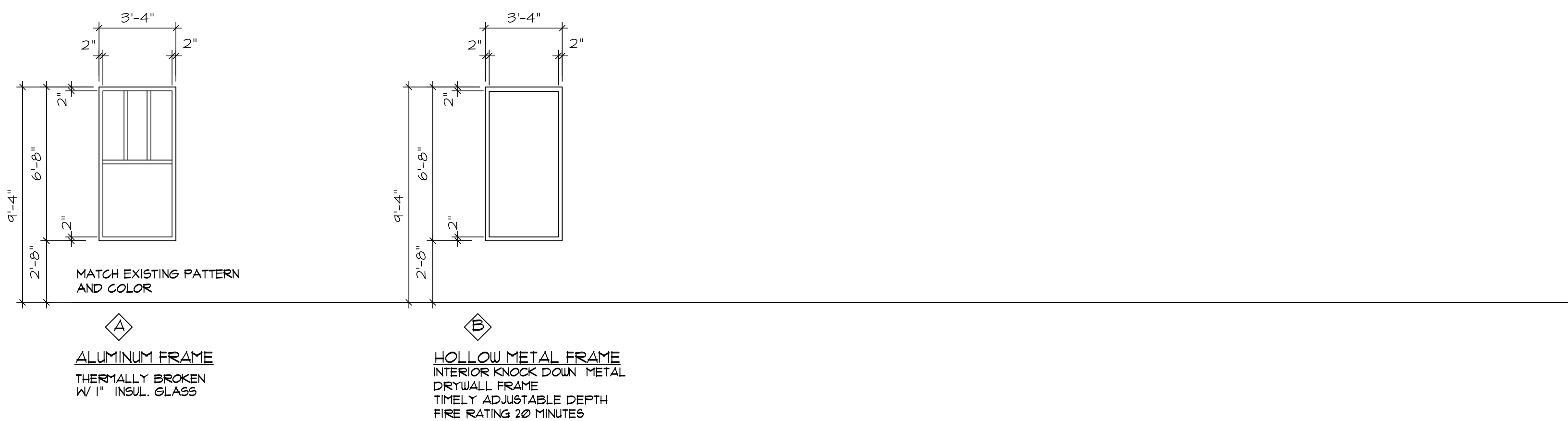
FRAME TYPES

1/4" = 1'-0"



ALUMINUM FRAME TYPES

1/4" = 1'-0"



WINDOW TYPES

1/4" = 1'-0"

VERIFY EXACT WINDOW SIZES -
ROUGH OPENINGS
WINDOW TO HAVE TOTAL
PERFORMANCE U-FACTOR .49 MIN.

MARK	SIZE	TYPE				FRAME		DETAIL			OTHER REQUIREMENTS
		DOOR	FRAME	FINISHING (UNITED)	HARDWARE	FRAME PROFILE	ANCHOR	HEAD	JAMB	SILL	
UNIT DOORS											
(A)	3'-0" X 6'-8" X 1-3/4"	W2	H-M3	20	L1, H1, C2, W8, W82						UNIT ENTRANCE DOOR
(B)	3'-0" X 6'-8" X 1-3/8"	W2	H-M3		L9, H1, W8						UNIT BATHROOM DOOR
(C)	2'-8" X 6'-8" X 1-3/8"	W2	H-M3		L9, H1, W8						UNIT BATHROOM DOOR
(D)	4'-0" X 6'-8" X 1-3/8"	W2	H-M3		L-11, H1						UNIT CLOSET DOOR
(E)	5'-0" X 6'-8" X 1-3/8"	W2	H-M3		L-11, H1						UNIT CLOSET DOOR
(F)	2'-8" X 6'-8" X 1-3/8"	W2	H-M3		MANUF. STD. WALL MNTD. TRACK						UNIT CLOSET DOOR
(G)	3'-0" X 6'-8" X 1-3/8"	W2	H-M3		L9, H1, W8						UNIT BEDROOM DOOR
(H)	2'-8" X 6'-8" X 1-3/8"	W2	H-M3		L9, H1, W8						UNIT BEDROOM DOOR
(J)	3'-0" X 6'-8" X 1-3/8"	W2	H-M3		L9, H1						UNIT CLOSET DOOR
(K)	2'-8" X 6'-8" X 1-3/8"	W2	H-M3		L9, H1						UNIT CLOSET DOOR

MARK	SIZE	TYPE				FRAME		DETAIL			OTHER REQUIREMENTS
		DOOR	FRAME	FINISHING (UNITED)	HARDWARE	FRAME PROFILE	ANCHOR	HEAD	JAMB	SILL	
100A	FR 3'-0" X 7'-0" X 1-3/4"	AL1	AL1		L6, L7, L10, H2, C1, T1, W81						PANIC HOUR
101A	FR 3'-0" X 7'-0" X 1-3/4"	H-M1	H-M2	45	L1, L10, H1, C2, W8						
102A	3'-0" X 7'-0" X 1-3/4"	H-M1	H-M2	45	L1, L10, H1, C2, W8						
103A	3'-0" X 7'-0" X 1-3/4"	H-M1	H-M2		L1, L10, H1, C2, W8						PANIC HOUR
103B	3'-0" X 7'-0" X 1-3/4"	H-M1	H-M2	45	L1, L10, H1, C2, W8						PANIC HOUR
104A	FR 3'-0" X 7'-0" X 1-3/4"	W1	H-M2		L1, L10, H1, C2, W8						
200A	3'-0" X 7'-0" X 1-3/4"	W1	H-M2	45	L1, L12, H1, C2, W8, W82						EGRESS THROUGH FIRE BARRIER MAGNETIC HOLD OPEN
200B	3'-0" X 7'-0" X 1-3/4"	AL1	AL1		L6, L7, L10, H2, C1, T1, W81						PANIC HOUR
201A	3'-0" X 7'-0" X 1-3/4"	W1	H-M2		L4, H1, W8						
202A	3'-0" X 7'-0" X 1-3/4"	W1	H-M2		L9, H1, W8						SIGNAGE "UNISEX"
203A	3'-0" X 7'-0" X 1-3/4"	W1	H-M2		L4, H1, W8						
204A	3'-0" X 7'-0" X 1-3/4"	W1	H-M2		L9, H1, W8						SIGNAGE "UNISEX"
205A	FR 3'-0" X 7'-0" X 1-3/4"			45	(VERIFY FIRE RATING)						EXISTING DOOR FRAME AND HARDWARE TO REMAIN
206A	ELEVATOR DOOR										EXISTING DOOR FRAME AND HARDWARE TO REMAIN
207A	3'-0" X 7'-0" X 1-3/4"										EXISTING DOOR FRAME AND HARDWARE TO REMAIN
208A	ELEVATOR DOOR										EXISTING DOOR FRAME AND HARDWARE TO REMAIN
209A	FR 3'-0" X 7'-0" X 1-3/4"	W1	H-M2	45	L1, L12, H1, C2, W8, W82						EGRESS THROUGH FIRE BARRIER MAGNETIC HOLD OPEN
209B	3'-0" X 7'-0" X 1-3/4"	W1	H-M2	45	L1, L12, H1, C2, W8, W82						EGRESS THROUGH FIRE BARRIER MAGNETIC HOLD OPEN
211A	3'-0" X 7'-0" X 1-3/4"	W1	H-M2	45	L1, L10, H1, C2, W8						
212A	3'-0" X 7'-0" X 1-3/4"										EXISTING DOOR FRAME AND HARDWARE TO REMAIN
213A	3'-0" X 7'-0" X 1-3/4"	H-M1	H-M2	45	L1, L10, H1, C2, W8						PANIC HOUR
214A	3'-0" X 7'-0" X 1-3/4"										EXISTING DOOR FRAME AND HARDWARE TO REMAIN
216A	3'-0" X 7'-0" X 1-3/4"	W1	H-M2	45	L1, L10, H1, C2, W8						PANIC HOUR
217A	3'-0" X 7'-0" X 1-3/4"	W1	H-M2	45	L1, L10, H1, C2, W8						PANIC HOUR
218A	FR 3'-0" X 7'-0" X 1-3/4"	H-M1	H-M2	45	L1, L10, H1, C2, W8						
219A	FR 3'-0" X 7'-0" X 1-3/4"	H-M1	H-M2	45	L1, L12, H1, C2, W8						MAGNETIC HOLD OPEN

NOTES: ALL FIRE RATED DOORS TO HAVE MEDIUM DUTY CLOSER, CLOSERS ON PANIC AND PUSH/PULL DOORS
PROVIDE DOOR STOPS AT ALL MOTEL UNIT BATHROOM DOORS

DOOR AND FRAME SCHEDULE NOTES

- ALL HARDWARE FOR ALUMINUM DOORS (EXCEPT CYLINDERS) TO BE SUPPLIED BY DOOR SUPPLIER
- ALL DOORS TO HAVE 1 1/2 PAIR BUTTS (MIN.)
- ALL DOORS WIDER THAN 3'-4" OR TALLER THAN 8'-0" TO HAVE 2 PAIR
- ALL EXTERIOR BUTTS TO HAVE NON-REMOVABLE PINS
- THRESHOLDS REQUIRED FOR CHANGES IN FLOOR MATERIAL NOT INDICATED
- ALL LOCKSETS TO BE SCHLAGE D SERIES (OR EQUAL) W/ LEVER HANDLES

ABBREVIATIONS	LOCK SET FUNCTIONS
FB - FLUSH BOLTS C1 - CLOSER (W/ STOP FOR EXT.) C2 - CLOSER (W/ STOP FOR INT.) C3 - CLOSER (180 DEG. FOR INT.) DB - DOOR BOTTOM K - KICK PLATES H1 - BUTT HINGE (BALL BEARING) H2 - BUTT HINGE (BALL BEARING W/ NON-REMOVABLE PINS)	OS - OVERHEAD STOP FP - PUSH/PULL DB - DOOR BOTTOM TI - THRESHOLD T2 - THRESHOLD (SOUND) T3 - THRESHOLD (FIRE RATED) W81 - WEATHERSTRIPPING W82 - WEATHERSTRIPPING (SOUND) W8 - WALL STOP
NOTES: ALL FIRE RATED DOORS TO HAVE MEDIUM DUTY CLOSER ALL LOCKS TO BE MASTER KEYED AND PROVIDE 6 KEYS PER LOCK	L1 - ENTRANCE L2 - EXIT (BLANK AT EXTERIOR) L3 - OFFICE L4 - STOREROOM L5 - PASSAGE L6 - CYLINDER L7 - PANIC L8 - DEADBOLT L9 - PRIVACY L10 - ELECTRIC STRIKE L11 - SINGLE DUMMY W/ PUSH ON INSIDE AND ROLLER CATCH AT HEAD L12 - MAGNETIC HOLD OPEN L13 - MAGNETIC LOCK

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ADAMS STREET BUILDING
301 NORTH ADAMS STREET
CITY OF GREEN BAY

DRAWN BY:

RJF

CHK'D BY:

RJF

JOB NUMBER:

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DATE:

12/8/20

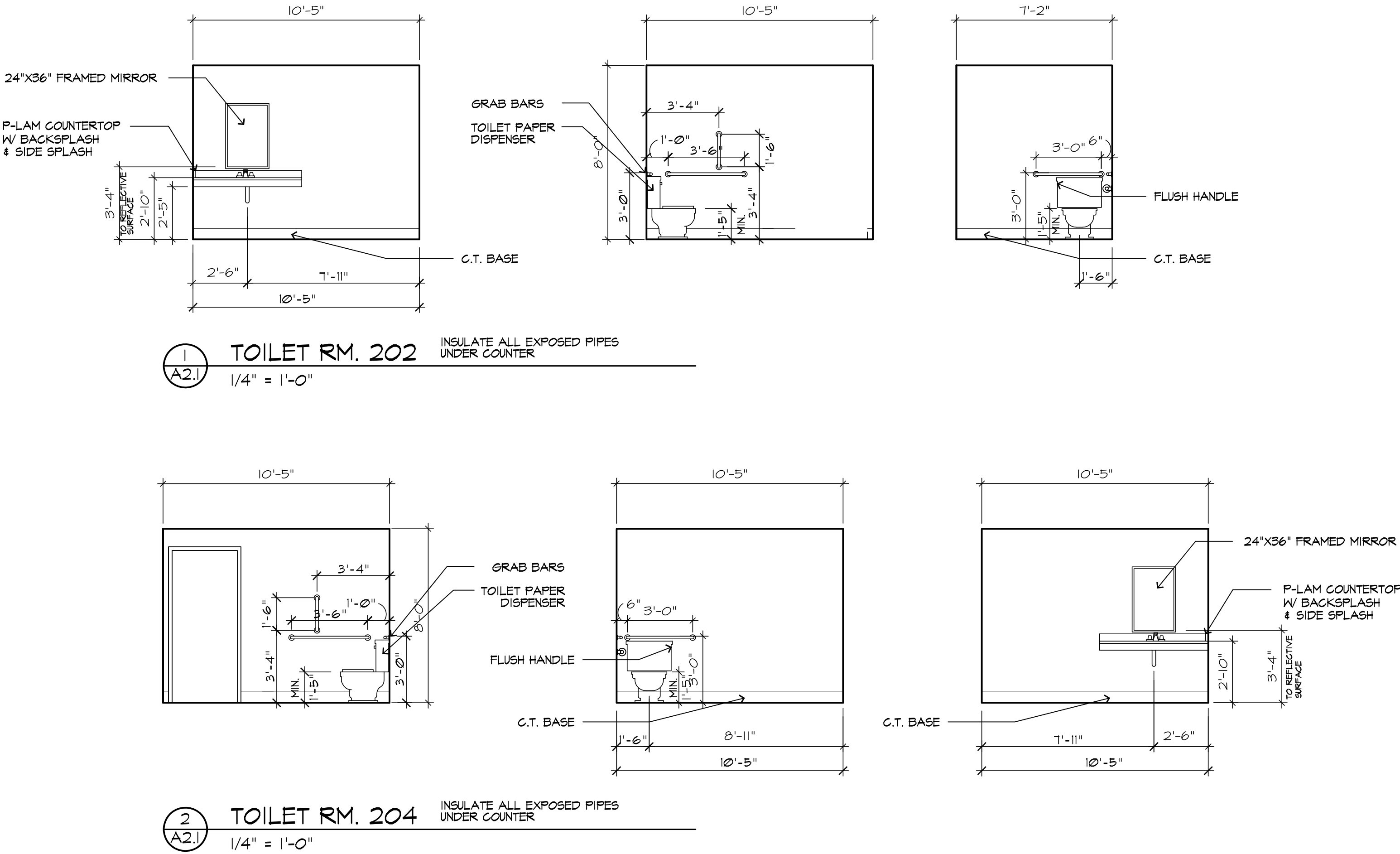
A2.1

ROOM FINISH SCHEDULE										
ROOM		FLOOR	BASE	WALL MATERIAL / FINISH				CEILING		OTHER REQUIREMENTS
NO.	NAME			N	E	S	W	CLG	HGT	
200	VESTIBULE	PCONC	VB4	DW / P	DW / P	DW / P	DW / P	ACT2	9'-0"	
202	RESIDENT BIKE STORAGE	SC	VB4	DW / P	DW / P	DW / P	DW / P	ES / P	16'-0"	
203	LOADING DOCK	SC	VB4	DW / P	DW / P	DW / P	DW / P	ES / P	16'-0"	
204	STAIR	VTR	-	DW / P	DW / P	DW / P	DW / P	ACT1	9'-0" SLOPED	
200	MULTI PURPOSE	PCONC	VB4	DW / P	DW / P	DW / P	DW / P	ACT1	9'-0"	
201	STORAGE	PCONC	VB4	DW / P	DW / P	DW / P	DW / P	ACT1	9'-0"	
202	TOILET	PCONC	VB4	DW / P	DW / P	DW / P	DW / P	ACT2	9'-0"	
203	JANITOR CLOSET	PCONC	VB4	DW / P	DW / P	DW / P	DW / P	ACT2	9'-0"	
204	TOILET	PCONC	VB4	DW / P	DW / P	DW / P	DW / P	ACT2	9'-0"	
205	ELEV. LOBBY	PCONC	VB4	DW / P	DW / P	DW / P	DW / P	ACT2	9'-0"	EXISTING FINISHES TO REMAIN
206	FREIGHT ELEVATOR									EXISTING FINISHES TO REMAIN
207	ELEV. EQUIP ROOM									EXISTING FINISHES TO REMAIN
208	ELEVATOR									EXISTING FINISHES TO REMAIN
209	PASSAGE	PCONC	VB4	DW / P	DW / P	DW / P	DW / P	ES / P	VARIES 16'-0"-18'-6"	
210	PASSAGE	PCONC	VB4	DW / P	DW / P	DW / P	DW / P	ES / P	VARIES 16'-0"-18'-6"	
211	EXERSIZE	PCONC	VB4	DW / P	DW / P	DW / P	DW / P	ACT1	9'-0"	
212	MECHANICAL									EXISTING FINISHES TO REMAIN
213	CORRIDOR	PCONC	VB4	DW / P	DW / P	DW / P	DW / P	ACT1	9'-0"	
214	STAIR			DW / P	DW / P	DW / P	DW / P			EXISTING FINISHES TO REMAIN
215	PASSAGE	PCONC	VB4	DW / P	DW / P	DW / P	DW / P	ES / P	VARIES 16'-0"-18'-6"	
216	STAIR			DW / P	DW / P	DW / P	DW / P			EXISTING FINISHES TO REMAIN
217	STAIR			DW / P	DW / P	DW / P	DW / P			EXISTING FINISHES TO REMAIN
218	STAFF ROOM	PCONC	VB4	DW / P	DW / P	DW / P	DW / P	ACT1	9'-0"	
219	ELEVATOR LOBBY	PCONC	VB4	DW / P	DW / P	DW / P	DW / P	ACT1	9'-0"	
VERIFY ALL FINISHES W/ OWNER										

APARTMENT UNIT FINISH SCHEDULE										
ROOM		FLOOR	BASE	WALL MATERIAL / FINISH				CEILING		OTHER REQUIREMENTS
NAME				N	E	S	W	CLG	HGT	
LIVING ROOM		PCONC	VB4	DW / P	DW / P	DW / P	DW / P	ES / P	VARIES 16'-0"-18'-6"	ACCENT PAINT COLOR ON ONE WALLS
KITCHEN		PCONC	VB4	DW / P	DW / P	DW / P	DW / P	ES / P	VARIES 16'-0"-18'-6"	
TOILET ROOM		PCONC	VB4	DW / P	DW / P	DW / P	DW / P	DW / P	7'-6"	
CLOSET		PCONC	VB4	DW / P	DW / P	DW / P	DW / P	DW / P	7'-6"	
BEDROOM		PCONC	VB4	DW / P	DW / P	DW / P	DW / P	DW / P	7'-6"	
STAIR		WOOD	VB4	DW / P	DW / P	DW / P	DW / P	ES / P	VARIES 8'-0"-10'-6"	
LOFT		LVT	VB4	DW / P	DW / P	DW / P	DW / P	ES / P	VARIES 8'-0"-10'-6"	
LOFT BEDROOM		LVT	VB4	DW / P	DW / P	DW / P	DW / P	ES / P	VARIES 8'-0"-10'-6"	
LOFT BATHROOM		LVT	VB4	DW / P	DW / P	DW / P	DW / P	DW / P	7'-0"	
LOFT CLOSET		LVT	VB4	DW / P	DW / P	DW / P	DW / P	DW / P	7'-0"	

MATERIALS KEY	
DW	DRYWALL
CB	CONCRETE BLOCK
EXP	EXPOSED STRUCTURE

FINISH KEY			
FLOOR		WALL	
PCONC	POLISHED CONC.	P	PAINT - SHERWIN WILLIAMS
CT	CERAMIC TILE -	EP	EPOXY PAINT
VST	VINYL STAIR TREADS & RISERS	FRP	FIBERGLASS REINF. PANEL
CPT	CARPET-	MAS	DECORATIVE MASONRY
LVT	LUXURY VINYL TILE		
EP	EPOXY COATING		
SC	SEALED CONCRETE		
BASE		CEILING	
VB4	VINYL BASE 4"	ACT1	2' X 2' ACOUSTIC CEILING TILE - REVEALED EDGE
VB6	VINYL BASE 6"	ACT2	2' X 2' VINYL COATED DRYWALL TILE
CT	CERAMIC TILE BASE 6"	ACT3	2' X 2' ACOUSTIC CEILING TILE - REVEALED EDGE
CPT	CARPET BASE 4" H. W/ HEMMED EDGE		
EPC	EPOXY COVE BASE	EXP	EXPOSED STRUCTURE



- TOILET ROOM ACCESORIES**
PER TOILET ROOM
- (1) 18" GRAB BAR FOR TOILET
 - (1) 36" GRAB BAR FOR TOILET
 - (1) 42" GRAB BAR FOR TOILET
 - (1) TOWEL DISPENSER
 - WALL MOUNTED MIRROR W/ STAINLESS STEEL FRAME (SEE ELEVATION)
 - TOILET TISSUE HOLDERS (SEE ELEVATION)
 - (1) SOAP DISPENSER
 - (1) A.D.A. RESTROOM SIGN

REVISED PER FIELD MEETING 8/14/23
REVISED PER FIELD INVESTIGATIONS 5/11/23
REVISED FOR CONSTRUCTION 3/11/23

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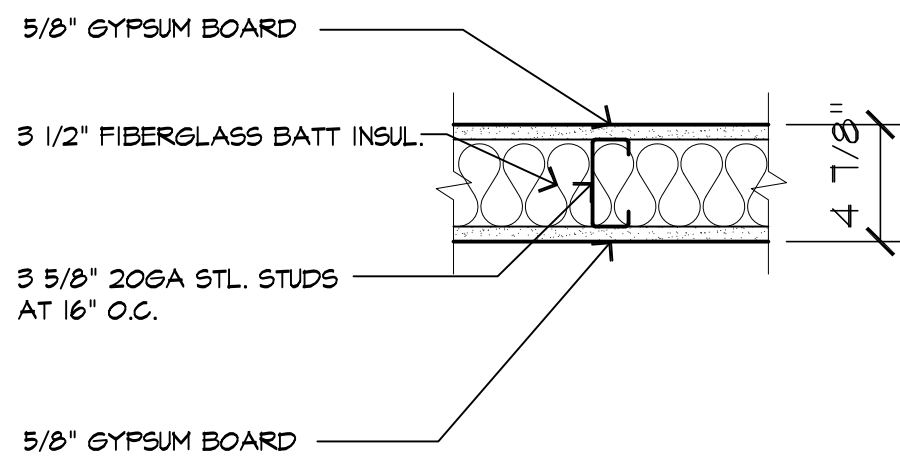
PROJECT:
PROPOSED BUILDING ALTERATIONS FOR:
ADAMS STREET BUILDING
301 NORTH ADAMS STREET
CITY OF GREEN BAY

DRAWN BY:
R.J.F.

CHK'D BY:
R.J.F.

JOB NUMBER:
20059

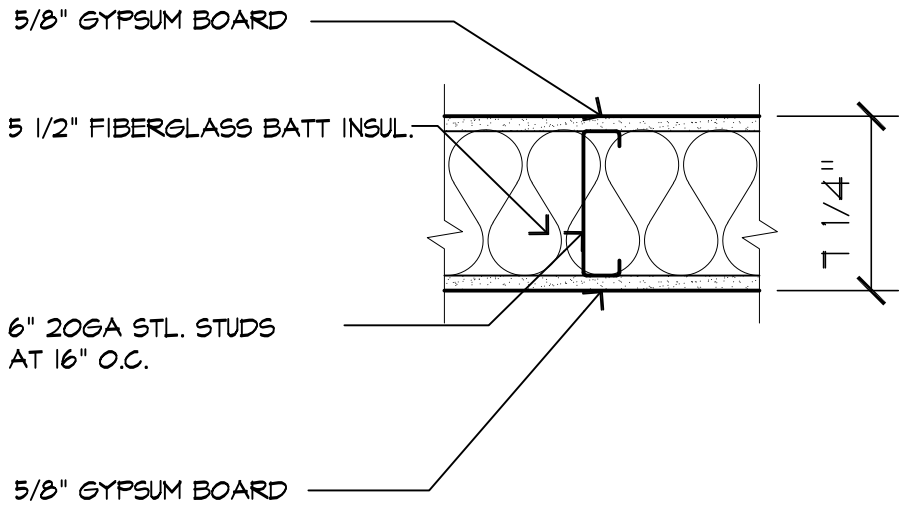
DATE:
12/8/20



A WALL TYPE

1 1/2" = 1'-0" ONE-HOUR FIRE RATED ASSEMBLY ULC DESIGN W415
INTERIOR PARTITION WALL WALLS
STC RATING BASED ON DESIGN 45-49

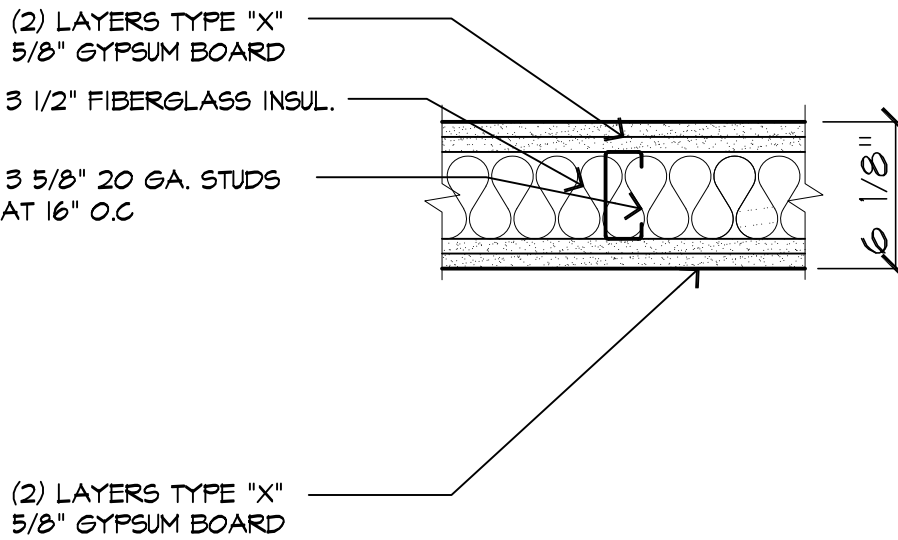
NOT ACCEPTABLE FOR UNIT SEPARATION



B WALL TYPE

1 1/2" = 1'-0" ONE-HOUR FIRE RATED ASSEMBLY ULC DESIGN W415
INTERIOR PARTITION WALL WALLS
STC RATING BASED ON DESIGN 45-49

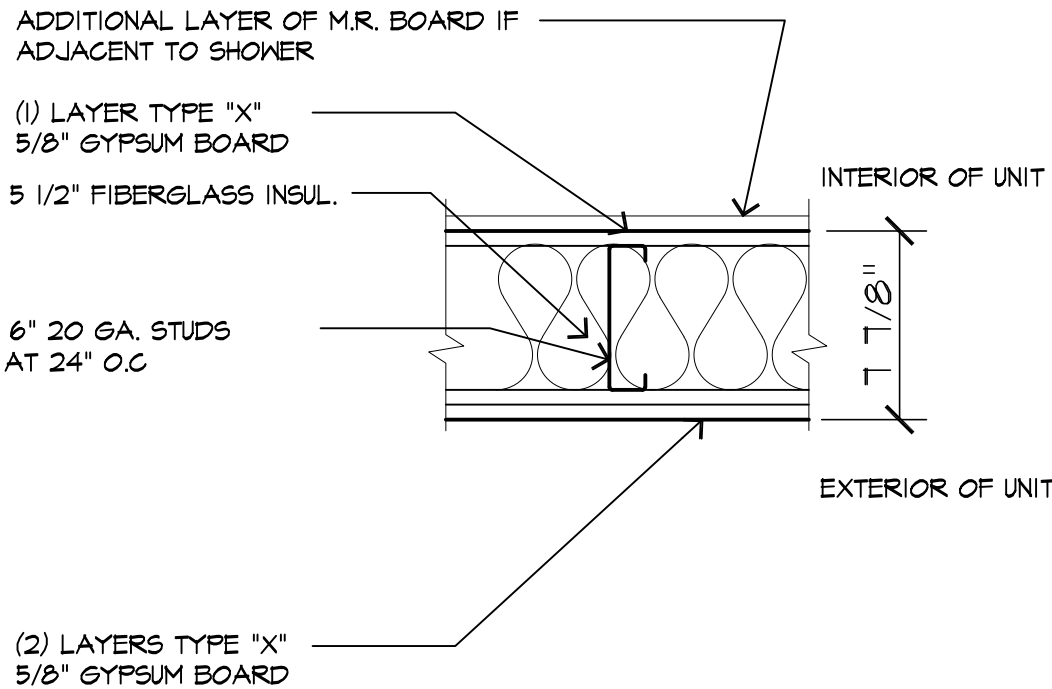
NOT ACCEPTABLE FOR UNIT SEPARATION



C WALL TYPE (2 HOUR FIRE BARRIER)

1 1/2" = 1'-0" TWO-HOUR FIRE RATED ASSEMBLY ULC W411
STAIRWAY WALLS
INTERIOR NON-BEARING WALLS
STC RATING BASED ON DESIGN 50-54

NOTE: ALL STUDS UP TO UNDERSIDE OF ROOF DECK
BASE LAYER 5/8" TYPE X GYPSUM WALLBOARD OR GYPSUM VENEER BASE APPLIED PARALLEL TO EACH SIDE OF 55/8" STEEL STUDS 24" O.C. WITH 1" TYPE S DRYWALL SCREWS 8" O.C. AT VERTICAL JOINTS AND 12" O.C. AT INTERMEDIATE STUDS. FACE LAYER 5/8" PLAIN OR PREDECORATED TYPE X GYPSUM WALLBOARD OR GYPSUM VENEER BASE APPLIED PARALLEL TO EACH SIDE LAMINATING COMPOUND COMBED OVER ENTIRE SURFACE. METAL BASE AND TOP RETAINER CHANNELS. JOINTS STAGGERED 24" EACH LAYER AND SIDE. (NLB)

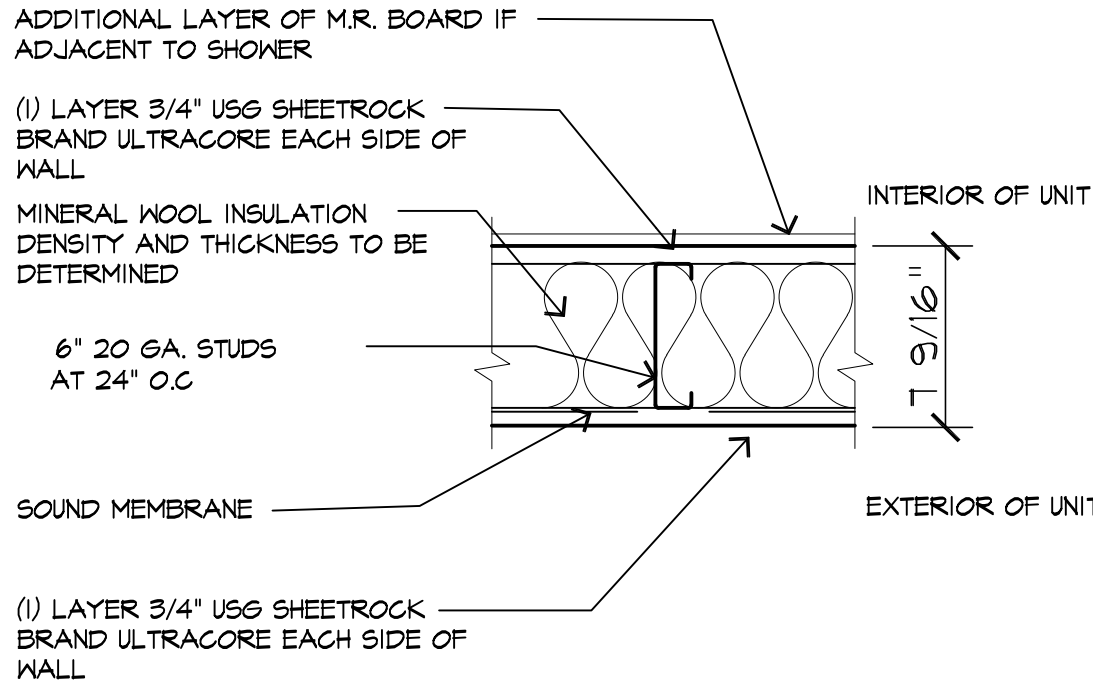


6" SOUND WALLS (BEARING) WALL TYPE

1 1/2" = 1'-0" ONE-HOUR FIRE RATED ASSEMBLY ULC W415
CORRIDOR WALLS, DEMISING WALLS BETWEEN UNITS
INTERIOR BEARING WALLS
STC RATING BASED ON DESIGN 50-54

NOTE: ALL STUD WALLS UP TO TRUSSES ABOVE
ONE LAYER 5/8" TYPE "X" GYPSUM WALLBOARD OR GYPSUM VENEER BASE APPLIED PARALLEL OR AT RIGHT ANGLES TO EACH SIDE OF 20 GA 6" STEEL STUDS AT 24" O.C. WITH 1 1/4" TYPE S DRYWALL SCREWS AT 8" O.C. AT VERTICAL JOINTS AND 12" O.C. AT WALL PERIMETER AND INTERMEDIATE STUDS.
FACE LAYER 5/8" TYPE "X" GYPSUM WALLBOARD OR GYPSUM VENEER BASE APPLIED PARALLEL OR AT RIGHT ANGLES TO ONE SIDE OF WITH 1 5/8" TYPE S DRYWALL SCREWS AT 12" O.C.
JOINTS STAGGERED AT 24" EACH LAYER AND SIDE. SOUND TESTED W/ 3 1/2" GLASS FIBER FRICTION FIT IN EACH STUD SPACE (NLB)

NOTE:
MAINTAIN ALL FIRE RATED GYP. BD. WALL ASSEMBLIES - MOISTURE RESISTANT (M.R.) BOARD TO BE INSTALLED OVER ASSEMBLY ALL PENETRATIONS TO BE RATED TO MAINTAIN ASSEMBLY FIRE RATING.
CONTRACTOR TO SUBMIT PROTECTION INFORMATION TO ARCHITECT PRIOR TO INSTALLATION



ALTERNATE 6" SOUND WALLS (BEARING) WALL TYPE

1 1/2" = 1'-0" ONE-HOUR FIRE RATED ASSEMBLY UL DESIGN ?????
CORRIDOR WALLS, DEMISING WALLS BETWEEN UNITS
INTERIOR BEARING WALLS
STC RATING 54

NOTE: ALL STUD WALLS UP TO TRUSSES ABOVE

REVISED FOR CONSTRUCTION
REVISED FOR CONSTRUCTION
REVISED FOR VARIANCE

3/1/23
11/30/22
11/2/22

PROPOSED BUILDING ALTERATIONS FOR:
ADAMS STREET BUILDING
301 NORTH ADAMS STREET
CITY OF GREEN BAY

DRAWN BY:
RUF
CHK'D BY:
RUF
JOB NUMBER:
20059
DATE:
1/23/21

WISCONSIN

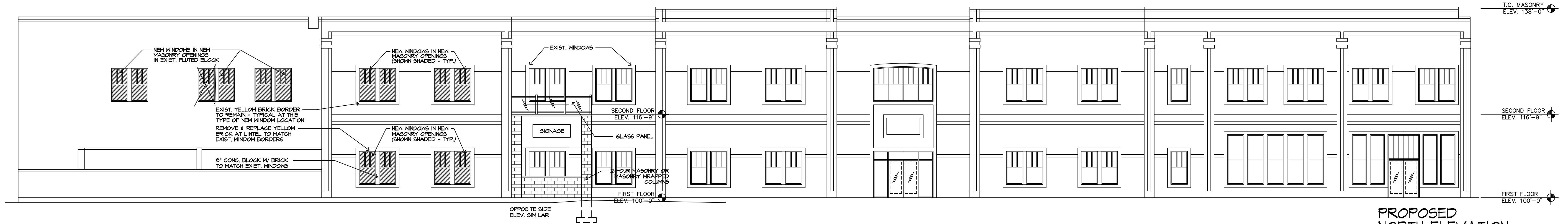
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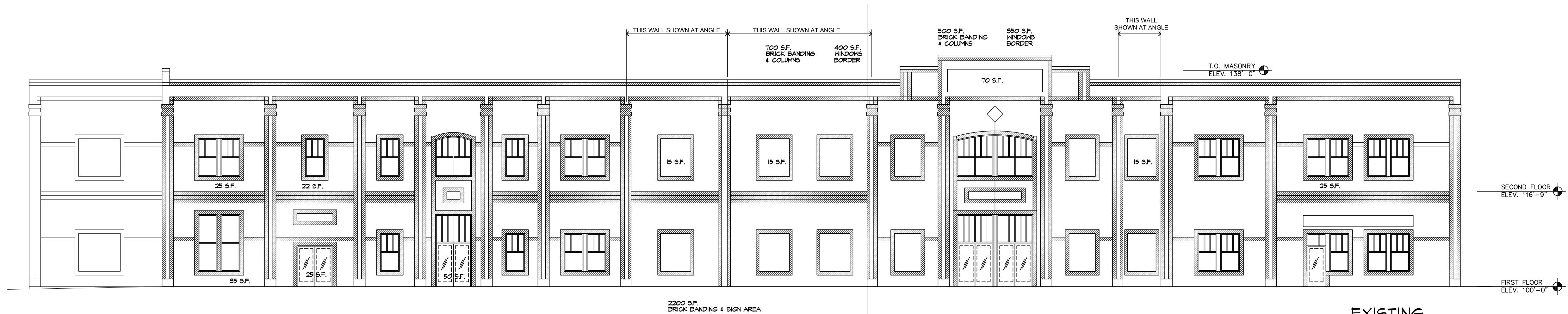
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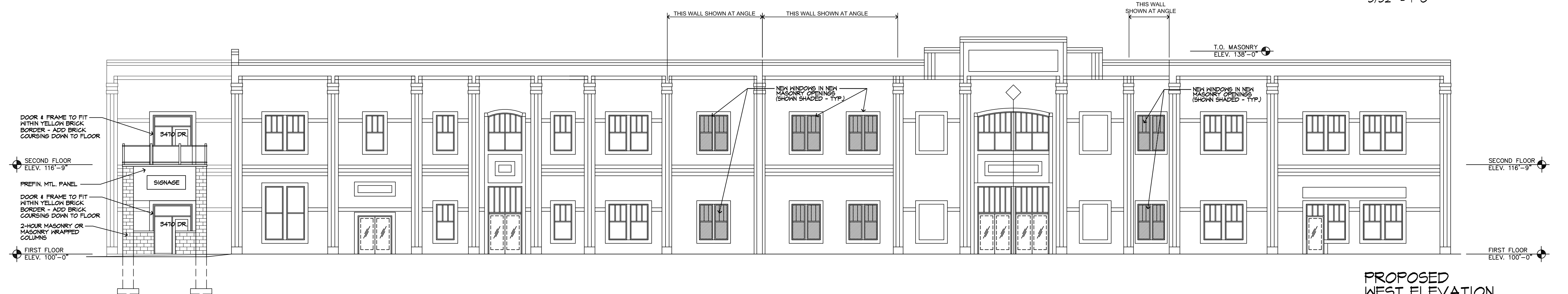
EXISTING
NORTH ELEVATION
3/32" = 1'-0"



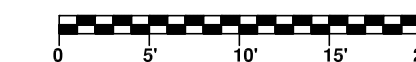
PROPOSED
NORTH ELEVATION
3/32" = 1'-0"



EXISTING
WEST ELEVATION
3/32" = 1'-0"



PROPOSED
WEST ELEVATION
3/32" = 1'-0"



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rfisher@fisherandassociatesllc.com

PROJECT:

PROPOSED BUILDING ALTERATIONS FOR:

ADAMS STREET BUILDING

301 NORTH ADAMS STREET

CITY OF GREEN BAY

DRAWN BY:

RJF

CHK'D BY:

RJF

JOB NUMBER:

20059

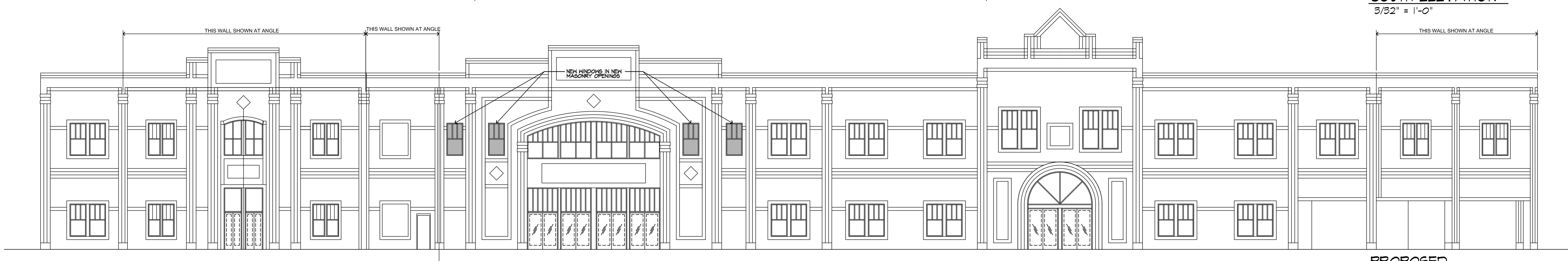
DATE:

6/07/23

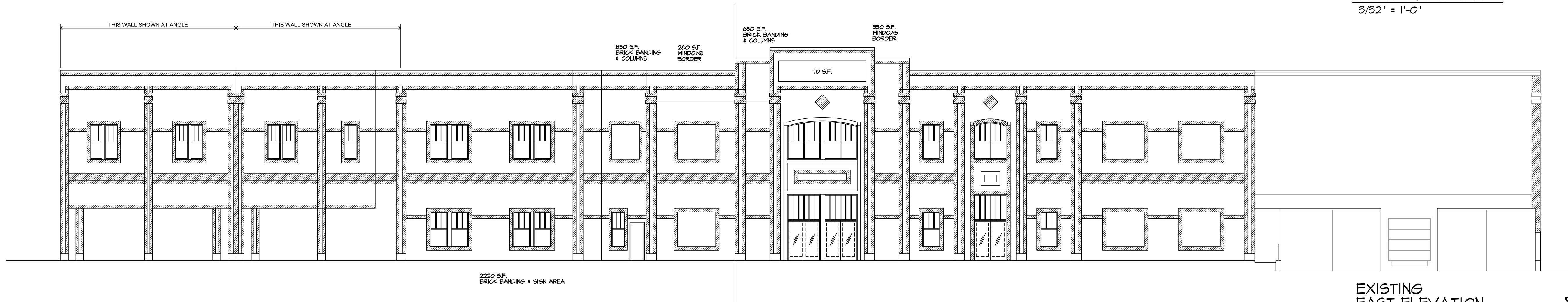
A3.1



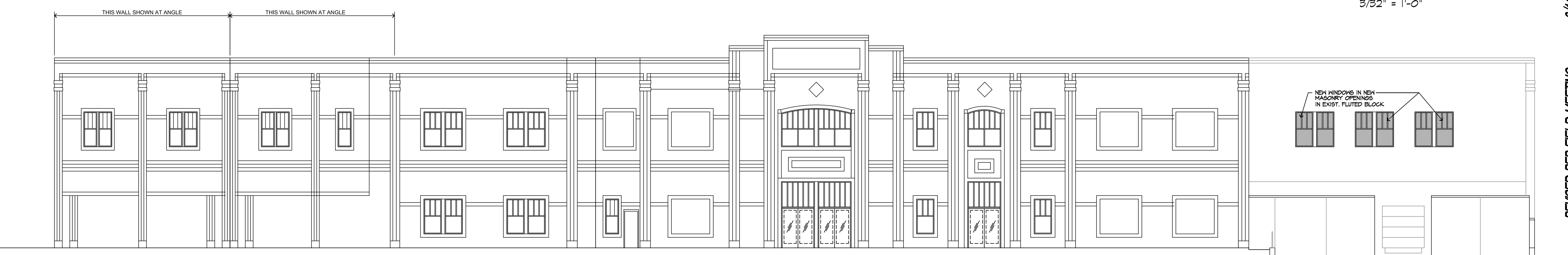
EXISTING
SOUTH ELEVATION
3/32" = 1'-0"



PROPOSED
SOUTH ELEVATION
3/32" = 1'-0"



EXISTING
EAST ELEVATION
3/32" = 1'-0"



PROPOSED
EAST ELEVATION
3/32" = 1'-0"



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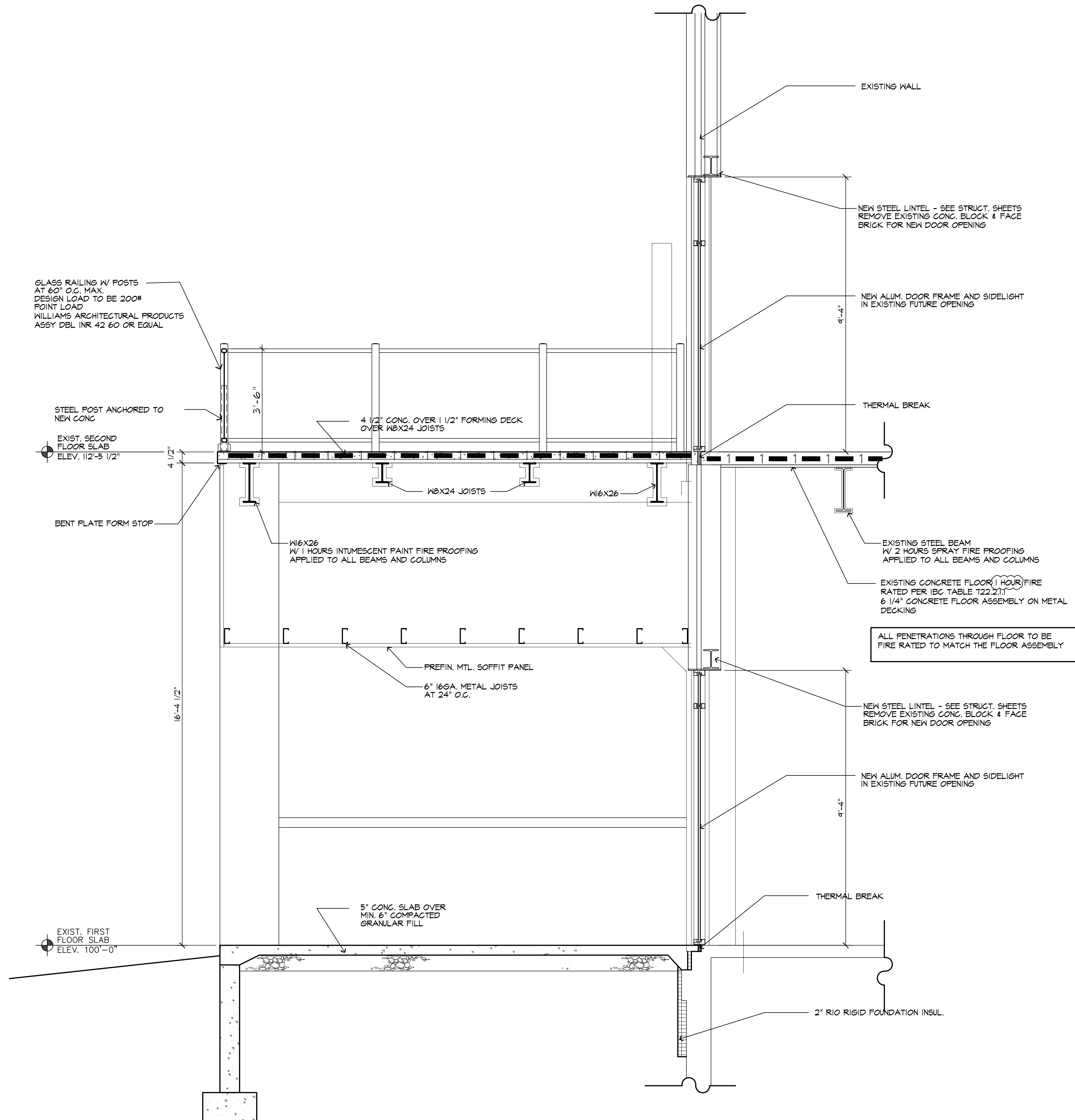
PROJECT:	PROPOSED BUILDING ALTERATIONS FOR: ADAMS STREET BUILDING 301 NORTH ADAMS STREET CITY OF GREEN BAY
DRAWN BY:	R.F.
CHK'D BY:	R.F.
JOB NUMBER:	20059
DATE:	6/07/23

A3.2

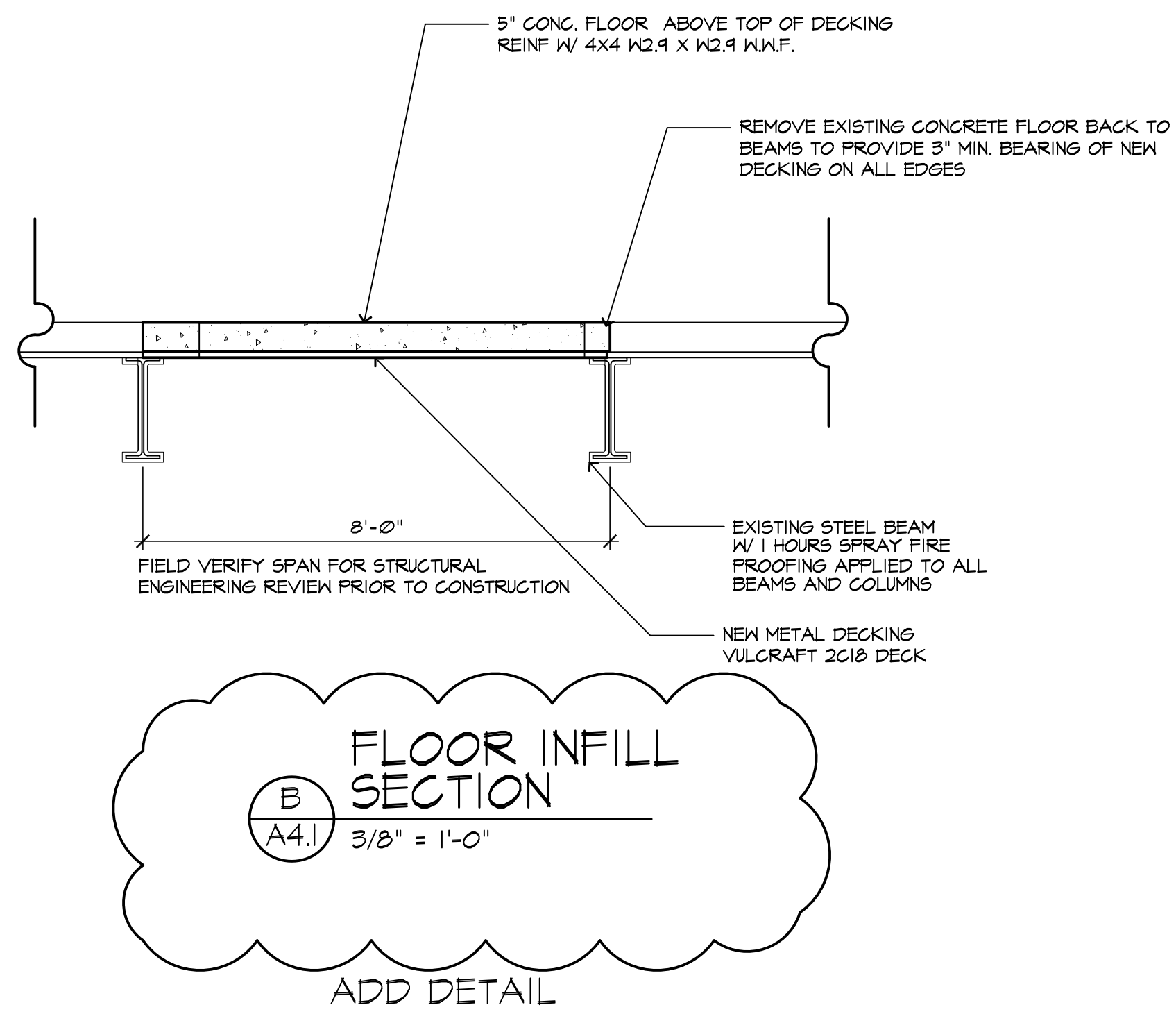
REVISED PER FIELD MEETING 8/14/23
REVISED PER FIELD INVESTIGATIONS 5/11/23
REVISED FOR CONSTRUCTION 3/1/23

REFUSED FOR CONSTRUCTION

11/30/22

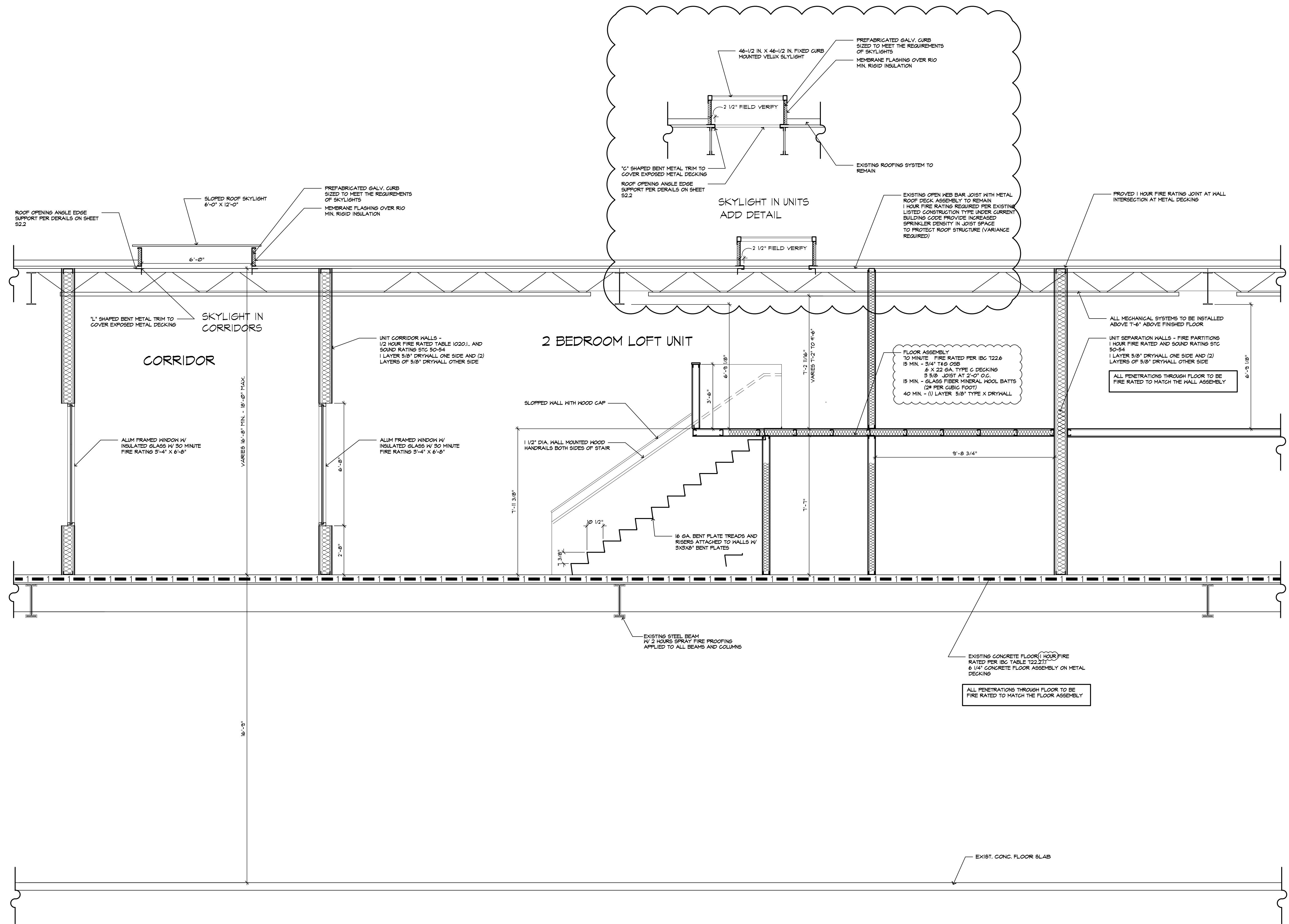


A SECTION
A4.1 3/8" = 1'-0"



REVISED PER FIELD MEETING 8/14/23
REVISED PER FIELD INVESTIGATIONS 5/11/23
REVISED FOR CONSTRUCTION 3/11/23

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DRAWN BY:	R.F.
CHK'D BY:	R.F.
JOB NUMBER:	20059
DATE:	12/8/20



A SECTION
A4.2 3/8" = 1'-0"

REVISED PER FIELD MEETING 8/14/23
REVISED PER FIELD INVESTIGATIONS 5/11/23
REVISED FOR CONSTRUCTION 3/11/23

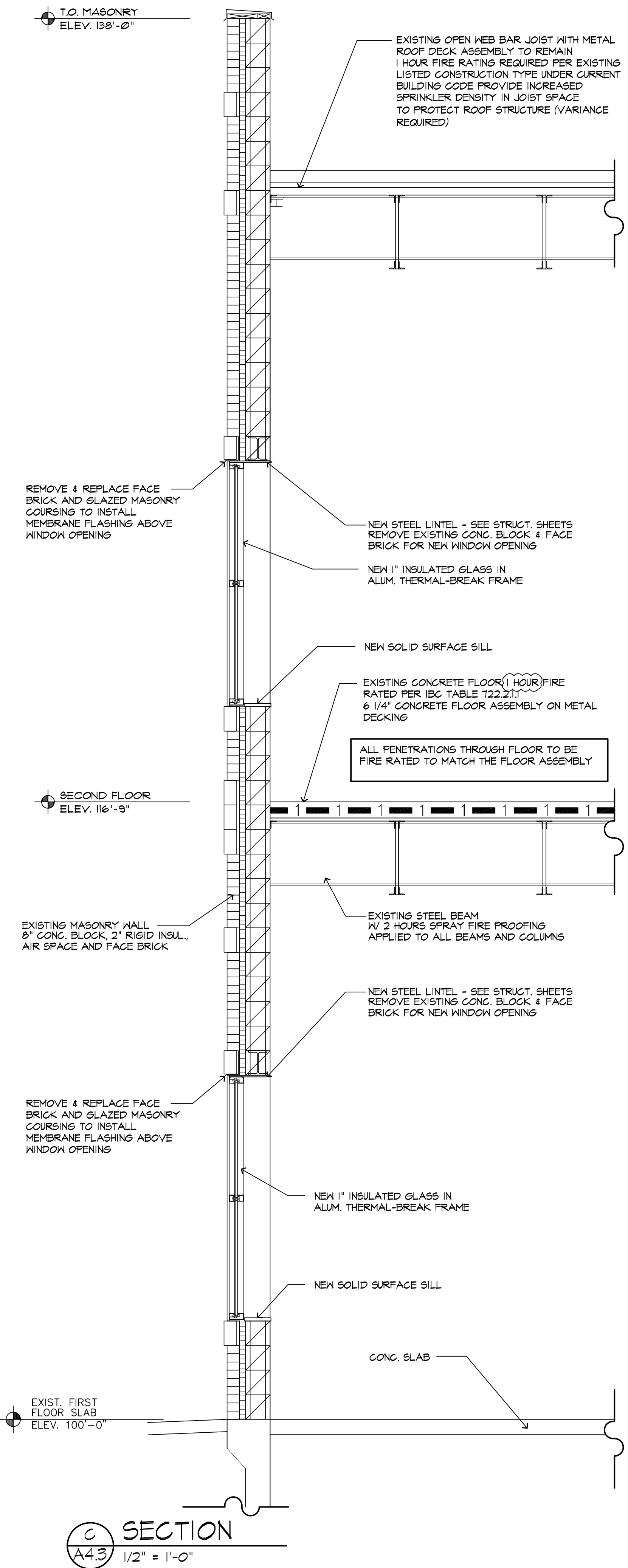
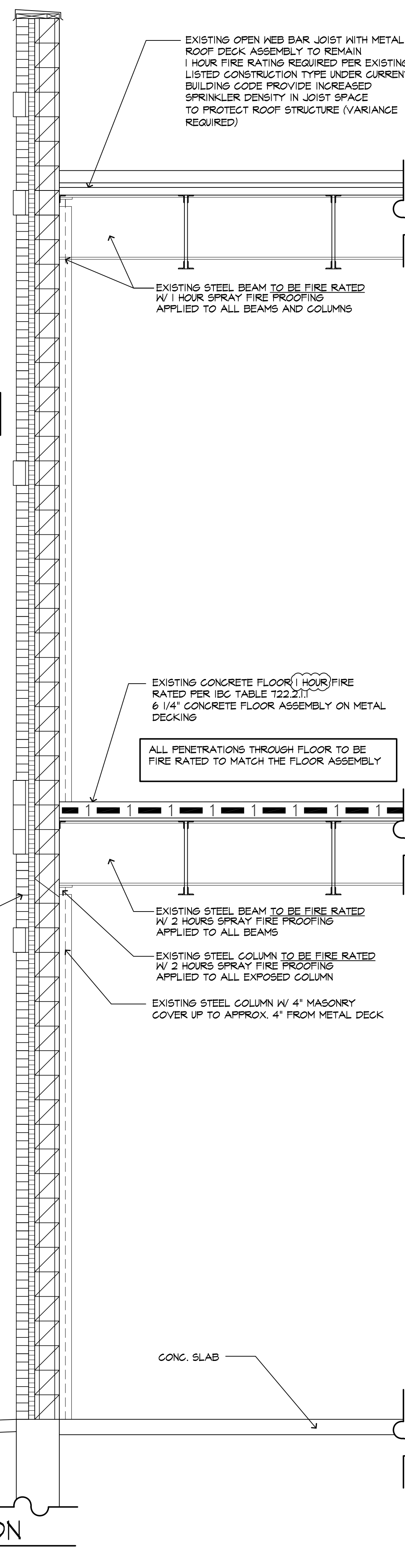
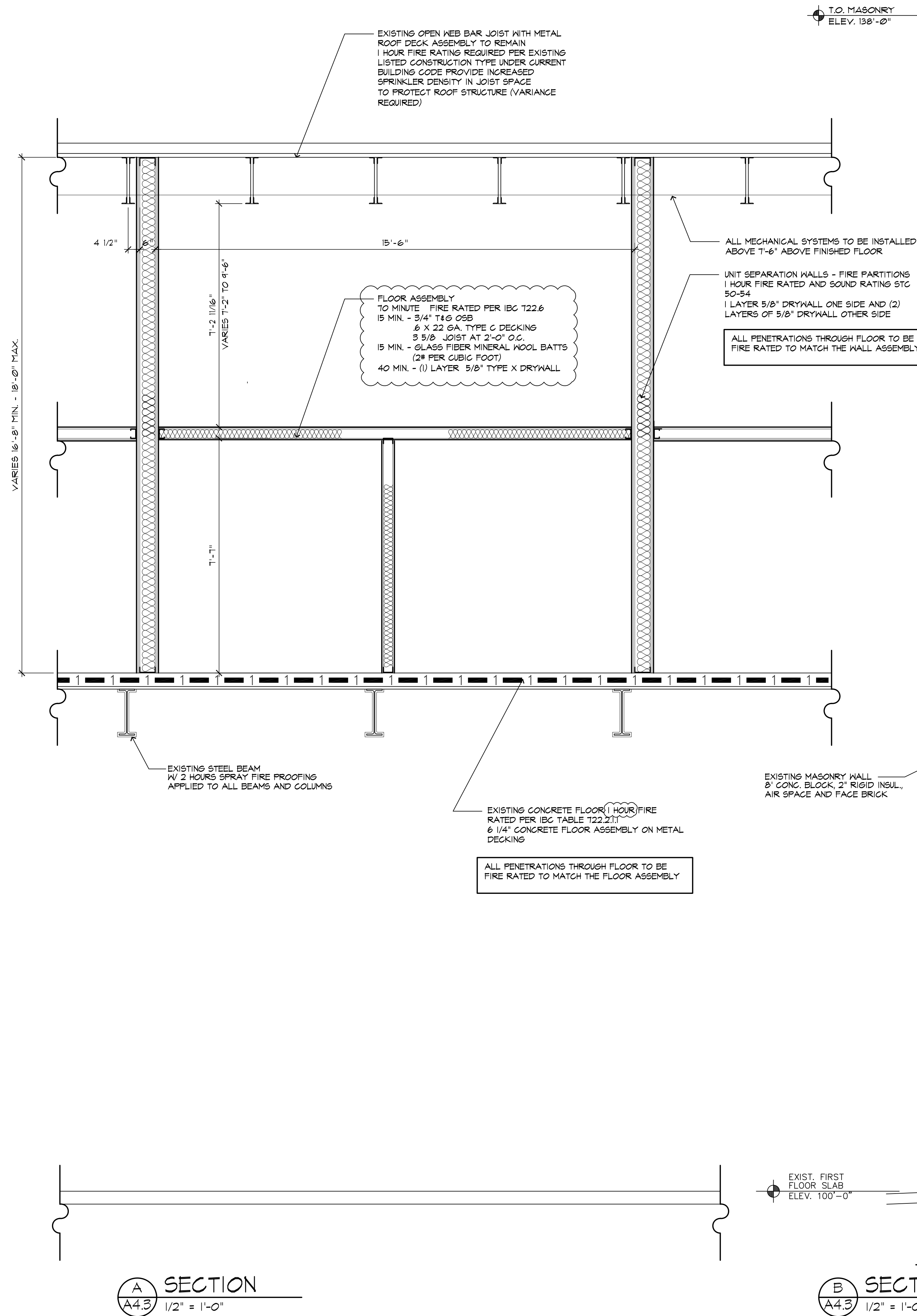
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DRAWN BY:	R.F.
CHK'D BY:	R.F.
JOB NUMBER:	20059
DATE:	12/8/20

A4.2

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fisherandassociatesllc.com

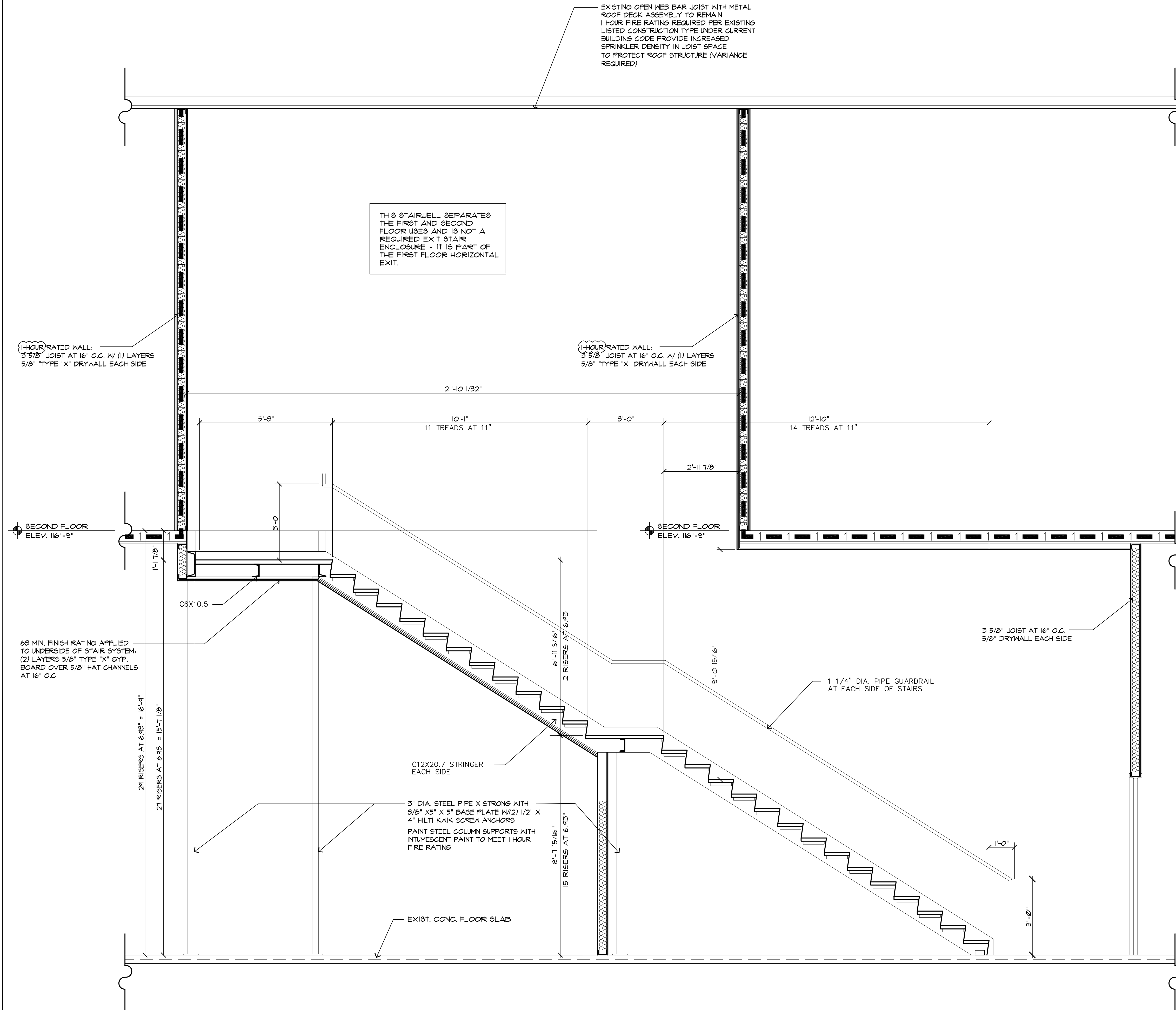
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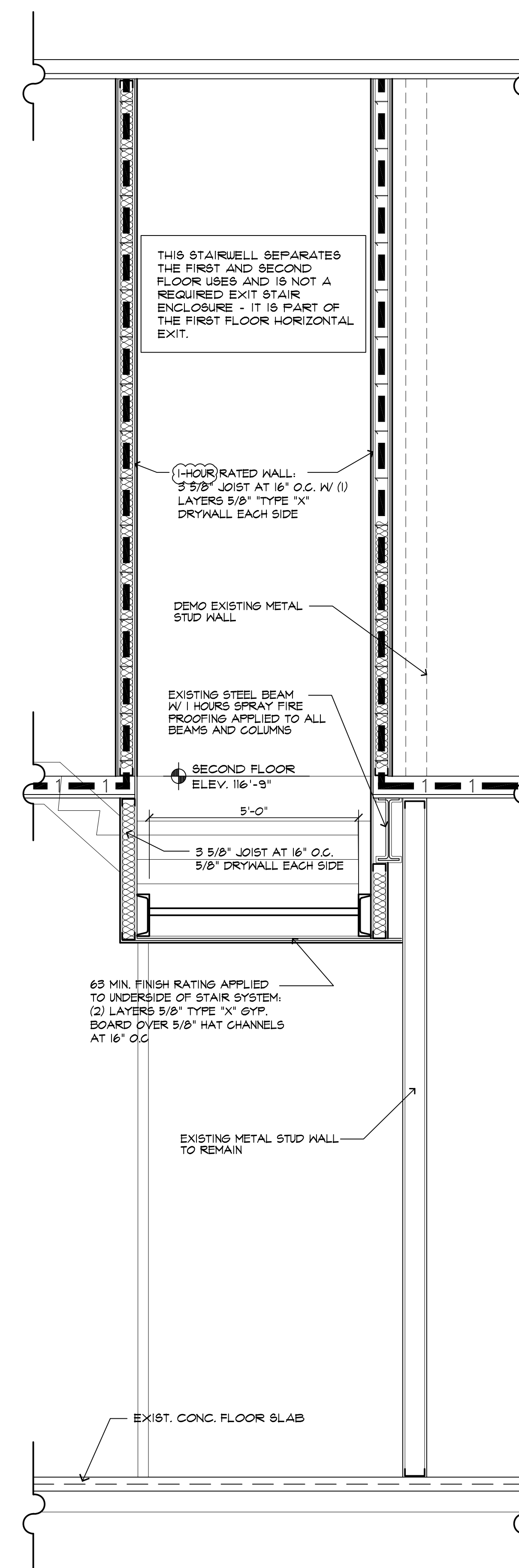


REVISED PER FIELD MEETING 8/14/23
REVISED PER FIELD INVESTIGATIONS 5/11/23
REVISED FOR CONSTRUCTION 3/11/23

PROJECT: PROPOSED BUILDING ALTERATIONS FOR: ADAMS STREET BUILDING 301 NORTH ADAMS STREET CITY OF GREEN BAY		REVISIONS: <table border="1"> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> </table>										
DRAWN BY: R.F.												
CHK'D BY: R.F.												
JOB NUMBER: 20059												
DATE: 12/8/20												
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A SECTION
A4.4 1/2" = 1'-0"



B SECTION
B4.4 1/2" = 1'-0"

REVISED PER FIELD MEETING 8/14/23
REVISED PER FIELD INVESTIGATIONS 5/11/23
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PROJECT: PROPOSED BUILDING ALTERATIONS FOR: ADAMS STREET BUILDING 301 NORTH ADAMS STREET CITY OF GREEN BAY	
DRAWN BY: R.F.	REVISIONS:
CHK'D BY: R.F.	
JOB NUMBER: 20059	
DATE: 12/8/20	

GENERAL

1. ALL MATERIALS, WORKMANSHIP AND DETAILS SHALL CONFORM TO THE REQUIREMENTS OF THE 2004 EDITION OF THE 'INTERNATIONAL BUILDING CODE'.
2. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH ALL ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS TO VERIFY THE LOCATION AND DIMENSIONS OF CHASES, INSERTS, OPENINGS, SLEEVES, REGLETS, DEPRESSIONS AND OTHER PROJECT REQUIREMENTS NOT SHOWN ON THE STRUCTURAL DRAWINGS.
3. OPENINGS SHOWN ON THE STRUCTURAL DRAWINGS SHALL NOT BE REVISED WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT & ENGINEER.
4. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.
5. THE TYPICAL DETAILS SHOWN ON THE DRAWINGS SHALL BE APPLICABLE TO ALL PARTS OF THE CONTRACT DRAWINGS UNLESS SPECIFICALLY NOTED OTHERWISE.
6. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SAFETY DURING CONSTRUCTION.

DESIGN LOADS

SNOW LOADS:		SEISMIC LOADS PER IBC 1616.4:	
GROUND SNOW LOAD	$F_g = 40 \text{ PSF}$	S S	$= 6.6\%$
ROOF SNOW LOAD	$F_g = 28.0 \text{ PSF}$	S 1	$= 3.3\%$
SNOW EXPOSURE	$C_E = 1.0$	OCCUPANCY CATEGORY	$= \text{II}$
SNOW LOAD IMPORTANCE	$I = 1.0$	SITE CLASS	$= \text{D}$
THERMAL FACTOR	$C = 1.1$	SEISMIC CATEGORY	$= \text{A}$
		SEISMIC RESISTANCE SYSTEM	MASONRY SHEAR WALLS
		S DS	$= .070$
		S D1	$= .050$

WIND LOADS:	
BASIC WIND SPEED	$V = 90 \text{ MPH}$
EXPOSURE	C
ENCLOSED BUILDING	
IMPORTANCE FACTOR	1.0

CONCRETE

1. CONCRETE WORK SHALL CONFORM TO THE LATEST EDITION OF THE FOLLOWING STANDARDS:

ACI 301 - "SPECIFICATIONS FOR STRUCTURAL CONCRETE"
ACI 308 - "MANUAL OF CONCRETE PRACTICE"
ACI 318 - "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE"
ACI 310 - "BUILDING CODE REQUIREMENTS FOR STRUCTURAL PLAIN CONCRETE"

2. CONCRETE SHALL HAVE A MINIMUM 28-DAY ULTIMATE COMPRESSIVE STRENGTH AS FOLLOWS:

PILE CAPS AND GRADE BEAMS	3500 PSI
SLABS-ON-GRADE	4,000 PSI
FOOTINGS AND FROST WALLS	3500 PSI
PRECAST CONCRETE	3,000 PSI
EXTERIOR EXPOSED CONCRETE	3,500 PSI
RETAINING WALLS	4,000 PSI

3. CONCRETE MIX DESIGN (INCLUDING AGGREGATE SIZE, WATER/CEMENT RATIO, AIR ENTRAINMENT, ADMIXTURES AND SLUMP) SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO COMMENCEMENT OF ANY WORK. MAXIMUM WATER/CEMENT RATIOS PERMITTED AS FOLLOWS:

0.50 FOR SLABS-ON-GRADE
0.54 FOR BELOW GRADE CONCRETE
0.48 FOR EXPOSED CONCRETE

4. CONCRETE TO BE EXPOSED TO THE WEATHER SHALL HAVE AIR-ENTRAINING ADMIXTURE AS REQUIRED TO PROVIDE 4-6% AIR ENTRAINMENT.

5. CONCRETE STRENGTH SHALL BE EVALUATED ACCORDING TO METHOD 1 OR METHOD 2 AS DESCRIBED IN ACI 301. THE RESULTS OF THESE ANALYSES SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO ANY WORK.

6. CONTRACTOR SHALL MAKE PROVISIONS TO ALLOW AN INDEPENDENT TESTING AGENCY, HIRED BY THE OWNER, TO CAST 4 TEST CYLINDERS FOR EACH 50 CUBIC YARDS OF CONCRETE PLACED OR FOR ANY ONE DAY'S OPERATION. TESTING AGENCY SHALL BE RESPONSIBLE FOR CASTING AND CURING SPECIMENS IN CONFORMANCE TO ASTM C31 AND TESTING SPECIMENS IN CONFORMANCE TO ASTM C39.

7. CONSTRUCTION JOINTS SHOWN ON THE CONTRACT DRAWINGS SHALL NOT BE ALTERED WITHOUT WRITTEN APPROVAL OF THE ARCHITECT.

8. DRAWINGS SHOWING THE LOCATION OF CONSTRUCTION JOINTS, CONTROL JOINTS AND PLACING SEQUENCE SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO THE PREPARATION OF REINFORCING SHOP DRAWINGS.

9. GROUT USED TO SET PLATES SHALL BE NON-SHRINK AND NON-METALLIC.

10. CONTRACTOR SHALL USE SMOOTH FORMS FOR EXPOSED CONCRETE SURFACES. BOARD FORMS MAY BE USED FOR UNEXPOSED CONCRETE SURFACES. EARTH FORMS ARE FORBIDDEN.

11. PROVIDE A MINIMUM OF 6" COMPACTED GRANULAR FILL UNDER ALL SLABS-ON-GRADE.

12. FLATWORK CONTRACTOR SHALL SUBMIT FLOOR SLAB PLACEMENT SEQUENCE TO ENGINEER FOR APPROVAL PRIOR TO BEGINNING WORK.

13. FLOOR FLATNESS AND LEVELNESS: CONCRETE SLABS-ON-GRADE SHALL HAVE MINIMUM F NUMBERS OF FF 35/FL25 AS RECOGNIZED BY THE MOST CURRENT VERSION OF ASTM E 1155 AND ACI 302.1. SEE SPECIFICATIONS FOR FURTHER RESTRICTIONS IF APPLICABLE.

REINFORCEMENT

1. DETAILING, FABRICATION AND ERECTION OF REINFORCING STEEL SHALL CONFORM TO THE FOLLOWING:

ACI 315 - "DETAILS AND DETAILING OF CONCRETE REINFORCEMENT"
ACI 318 - "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE"
MSRP - "CRSI MANUAL OF STANDARD PRACTICE"
AISC D14 - "STRUCTURAL WELDING CODE - REINFORCING STEEL"
WRI - "WELDED WIRE FABRIC MANUAL OF STANDARD PRACTICE"

2. STEEL REINFORCING BARS SHALL CONFORM TO ASTM A615 (GRADE 60), DEFORMED. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185.

3. REINFORCEMENT FABRICATOR SHALL PROVIDE AND SCHEDULE ON SHOP DRAWINGS ALL REQUIRED REINFORCING STEEL AND THE NECESSARY ACCESSORIES TO HOLD REINFORCEMENT SECURELY IN PLACE AT THE CORRECT LOCATIONS.

4. CLEARANCES FOR REINFORCEMENT: CONCRETE PLACED DIRECTLY ON EARTH (FOOTINGS, SLABS, ETC.) 3" FROM BOTTOM. ALL OTHER CONCRETE PROVIDE 2" CLEAR TO REINFORCING.

5. CONTRACTOR SHALL REFER TO TYPICAL DETAILS SHOWN ON CONTRACT DRAWINGS FOR ADDITIONAL REINFORCEMENT REQUIREMENTS.

6. WHERE REINFORCEMENT IS REQUIRED IN SECTIONS, REINFORCEMENT IS CONSIDERED TYPICAL WHEREVER SECTION APPLIES.

7. WELDED WIRE FABRIC SHALL LAP A MINIMUM OF 6" AND BE TIED TOGETHER.

8. CONTRACTOR SHALL NOTIFY ARCHITECT OF COMPLETION OF REINFORCEMENT INSTALLATION AND ALLOW AT LEAST 24 HOURS BEFORE SCHEDULED CONCRETE PLACEMENT FOR ARCHITECT TO INSPECT REINFORCEMENT.

REINFORCEMENT DEVELOPMENT AND SPLICE LENGTH SCHEDULE											
$F_y = 60 \text{ KSI}$ $f'_c = 3000 \text{ PSI}$											
BAR SIZE		#3	#4	#5	#6	#7	#8	#9	#10	#11	
CLASS A SPLICE LENGTH	TOP BARS	22	29	36	43	63	72	91	91	101	
	OTHERS	17	22	28	33	48	55	62	70	78	
CLASS B SPLICE LENGTH	TOP BARS	28	37	47	56	81	93	105	118	131	
	OTHERS	22	29	36	43	63	72	81	91	101	

NOTES	
1. ALL SPLICE LENGTHS SHALL BE CLASS B UNLESS NOTED OTHERWISE.	
2. TABULATED VALUES ARE BASED ON GRADE 60 REINFORCING BARS AND NORMAL WEIGHT CONCRETE.	
3. TENSION DEVELOPMENT LENGTHS AND TENSION LAP SPLICE LENGTHS ARE CALCULATED PER ACI 318-95. SECTIONS 12.2 AND 12.15 RESPECTIVELY. TABULATED VALUES FOR BEAMS AND COLUMNS ARE BASED ON TRANSVERSE REINFORCEMENT AND CONCRETE COVER MEETING MIN. CODE REQUIREMENTS. LENGTHS ARE IN INCHES.	
4. TOP BARS ARE HORIZONTAL BARS WITH MORE THAN 12" OF CONCRETE CAST IN THE MEMBER BELOW THE REINFORCEMENT. (EXCEPT IN WALLS)	
5. SPLICE AND DEVELOPMENT LENGTHS IN THIS SCHEDULE ARE BASED ON THE SPACING GREATER THAN OR EQUAL TO SIX(6) BAR DIAMETERS AND CONCRETE COVER GREATER THAN OR EQUAL TO TWO(2) INCHES, IN NORMAL WEIGHT CONCRETE.	
BEAMS OR COLUMNS:	COVER AT LEAST 1.0 BAR DIA. AND C.--C. SPACING AT LEAST 2.0 BAR DIA.
ALL OTHERS:	COVER AT LEAST 1.0 BAR DIA. AND C.--C. SPACING AT LEAST 3.0 BAR DIA.

REINFORCED MASONRY

1. ALL REINFORCED CONCRETE MASONRY MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE FOLLOWING:

ACI 530/ASCE 6/TMS 602 SPECIFICATIONS FOR MASONRY STRUCTURES"

ACI 530/ASCE 5/TMS 402 BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES.

2. CONCRETE BLOCK SHALL CONFORM TO ASTM C-40. THE REQUIRED STRENGTH ON THE NET CROSS SECTIONAL OF THE CONCRETE BLOCK SHALL BE 2500 PSI.

3. MORTAR SHALL BE TYPE M OR S, CONFORMING TO ASTM C270.

4. GROUT SHALL CONFORM TO ASTM C416. GROUT MAY BE PLACED BY THE 'HIGH LIFT' METHOD, CONFORMING TO THE GROUTING PATTERS REQUIRED BY THE CONTRACT DRAWINGS.

5. THE REQUIRED MINIMUM 28-DAY COMPRESSIVE STRENGTH OF THE COMBINATION OF CONCRETE BLOCK, GROUT AND MORTAR ON THE NET AREA OF THE WALL (FM) SHALL BE 1830 PSI.

6. ALL CONCRETE BLOCK MASONRY UNITS SHALL BE LAID IN A RUNNING BOND.

7. MASONRY BLOCK CELLS CONTAINING VERTICAL REINFORCING SHALL BE GROUTED SOLID. FILLING CELLS WITH MORTAR IS UNACCEPTABLE.

8. THE BASE OF EACH CELL IN WHICH A BAR IS PLACED, MUST HAVE A CLEANOUT HOLE.

9. REINFORCING STEEL SHALL CONFORM TO ASTM A615 GRADE 60.

10. PROVIDE CONTINUOUS REINFORCED BOND-BEAMS IN ALL REINFORCED MASONRY WALLS AT TOPS OF WALLS, IMMEDIATELY BELOW STEEL BEARINGS AND WHEREVER CALLED FOR IN CONTRACT DRAWINGS. BOND BEAM REINFORCING SHALL EXTEND INTO AND BE CONTINUOUS WITH ALL INTERSECTING BOND BEAMS.

11. REINFORCED MASONRY WALLS SHALL HAVE #4 GAUGE (TRUSS TYPE) HORIZONTAL REINFORCING AT SPACING AS NOTED ON THE CONTRACT DRAWINGS, BUT AT A MINIMUM OF 16" O.C.

12. FILL CORES OF MASONRY UNDER ALL BEARING PLATES FOR A WIDTH EQUAL TO THREE TIMES THE BEARING PLATE LENGTH FOR THREE COURSES BELOW BEARING.

13. PROVIDE AND INSTALL ONE LINTEL FOR EACH 4' OF WALL THICKNESS ACCORDING TO THE FOLLOWING SCHEDULE:

FOR NON-BEARING WALLS			
OPENING	LINTEL		
3'-0"	3 1/2X3 1/2X 5/16		
4'-0"	4X3 1/2X5/16		
5'-0"	4X3 1/2X5/16		
6'-0"	4X3 1/2X5/16	LINTELS SHALL BEAR A MINIMUM OF 6"	
7'-0"	4X3 1/2X5/16	ON EACH SIDE OF OPENING. LONG LEG	
7'-0"	4X3 1/2X5/16	OF ANGLE SHALL BE VERTICAL.	

STRUCTURAL STEEL

1. STRUCTURAL STEEL WORK SHALL CONFORM TO THE FOLLOWING:

AISC - "SPECIFICATION FOR DESIGN, FABRICATION AND ERECTION OF STEEL FOR BUILDINGS".

AISC - "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES".

AWS D11 - "STRUCTURAL WELDING CODE - STEEL".

AISC - "STRUCTURAL STEEL DETAILING MANUAL".

2. STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING:

HOT ROLLED WIDE-FLANGE - ASTM A992 ($F_y=50 \text{ KSI}$)
ALL OTHER STRUCTURAL SHAPES AND PLATES - ASTM A572 ($F_y=50 \text{ KSI}$)
STRUCTURAL STEEL PIPE - ASTM A53 GRADE B ($F_y=35 \text{ KSI}$).
TUBULAR STEEL - ASTM A500 GRADE B ($F_y=46 \text{ KSI}$)
HIGH STRENGTH BOLTS - ASTM A325N (BEARING TYPE)
ASTM A325F (FRICTION TYPE)
ANCHOR BOLTS - ASTM A307 OR A36

3. PROVIDE 2 MIL THICK RED OR GREY OXIDE PRIMER ON ALL STEEL SURFACES UNLESS NOTED OTHERWISE.

4. ANCHOR BOLTS SHALL BE PRESET WITH TEMPLATES AT REQUIRED LOCATIONS.

5. LEVELING PLATES AND BEARING PLATES SHALL BE SET IN FULL BED OF NON-SHRINK GROUT.

6. CONNECTIONS MAY BE EITHER BOLTED OR WELDED AT THE FABRICATOR'S OPTION. BOLTED CONNECTIONS SHALL BE AS FOLLOWS:

MINIMUM BOLT DIAMETER: 3/4"

SHEAR CONNECTIONS FOR MOMENT CONNECTED MEMBERS: FRICTION TYPE HIGH STRENGTH BOLTS IN SINGLE OR DOUBLE SHEAR.

SHEAR CONNECTIONS FOR OTHER MEMBERS: BEARING TYPE HIGH STRENGTH BOLTS IN SINGLE OR DOUBLE SHEAR.

SIMPLE SHEAR CONNECTIONS SHALL BE CAPABLE OF END ROTATION PER AISI REQUIREMENTS FOR "UNRESTRAINED MEMBERS".

7. ALL BEAM CONNECTIONS NOT DETAILED SHALL SUPPORT 1/2 THE TOTAL UNIFORM LOAD CAPACITY FOR THE GIVEN BEAM AND SPAN OR THE INDICATED REACTION, WHICHEVER IS GREATER. CONNECTIONS SHALL GENERALLY FOLLOW THE TYPES SHOWN IN THE "AISC MANUAL OF STEEL CONSTRUCTION" TABLE II, III, OR IV.

8. WELDS SHALL FULLY DEVELOP STRENGTH OF THE MATERIALS BEING WELDED, UNLESS NOTED OTHERWISE. EXCEPT THAT FILLET WELDS SHALL BE A MINIMUM 3/16".

9. WELDED CONNECTIONS SHALL BE MADE BY APPROVED CERTIFIED WELDERS USING FILLER METAL CONFORMING TO E10XX.

10. CONTRACTOR SHALL PROVIDE TEMPORARY ERECTION BRACING AND SUPPORTS TO HOLD STRUCTURAL STEEL FRAMING SECURELY IN POSITION. TEMPORARY BRACING SHALL REMAIN UNTIL THE PERMANENT LATERAL BRACING HAS BEEN INSTALLED AND AND THE CONCRETE FOR FLOOR SLABS HAS ATTAINED 75% OF ITS REQUIRED STRENGTH.

11. STRUCTURAL STEEL FRAMING SHALL BE TRUE AND PLUMB BEFORE FINAL BOLTING OR WELDING OF CONNECTIONS.

12. CONTRACTOR SHALL NOT MODIFY OR CUT ANY STRUCTURAL STEEL WITHOUT WRITTEN APPROVAL FROM THE ENGINEER.

13. CONTRACTOR SHALL FIELD TOUCH UP ALL ABRASIONS, BURNS AND SIMILAR DEFECTS IN PAINT OF THE STRUCTURAL STEEL, JOISTS AND STEEL DECK.

STEEL DECK

1. ALL STEEL DECK MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE FOLLOWING STANDARDS:

AISI - "SPECIFICATIONS FOR THE DESIGN OF LIGHT-GAUGE COLD-FORMED STEEL STRUCTURAL MEMBERS"

AISC - "SPECIFICATIONS FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS"

AWS D01.3 - "STRUCTURAL WELDING CODE - SHEET METAL"

SDI - "CODE OF STANDARD PRACTICE"

2. ROOF DECK SHALL BE 1/2" DEEP X 22 GAUGE, WIDE RIB STEEL DECK CONFORMING TO ASTM A611, GRADE C (PAINTED) OR ASTM A446, GRADE A (GALVANIZED) WITH A MINIMUM YIELD STRESS OF 35 KSI.

3. GALVANIZING SHALL CONFORM TO ASTM A525, COATING CLASS G-60.

4. PRIMER PAINT SHALL BE SHOP APPLIED OVER CLEANED AND PHOSPHATIZED STEEL.

5. STEEL DECK SHALL EXTEND OVER THREE OR MORE SPANS WHEREVER POSSIBLE.

6. STEEL ROOF DECK SHALL BE FASTENED TO SUPPORTS WITH #12-24 TEK'S SCREWS OR HILTI PAF'S AT SPACING NOTED ON DRAWINGS. SIDE LAPS SHALL BE FASTENED WITH #10-16 TEK'S SCREWS AT SPACING NOTED ON DRAWINGS.

COLD FORMED STRUCTURAL STEEL MEMBERS INCLUDING LIGHT GAUGE STEEL

1. ALL COLD FORMED STRUCTURAL MATERIAL AND WORK SHALL CONFORM TO THE LATEST EDITIONS OF THE FOLLOWING:

AISI "SPECIFICATIONS FOR THE DESIGN OF LIGHT-GAUGE COLD-FORMED STEEL STRUCTURAL MEMBERS"

AISC "SPECIFICATIONS FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS"

2. COLD FORMED STEEL SHALL CONFORM TO THE FOLLOWING:

LIGHT GAUGE STUDS, JOIST, TRACKS AND ACCESSORIES: ASTM A 655 /655 M, 660 GALVANIZED.

ASTM 5653 COLD FORMED GALVANIZED LIGHT GAUGE FRAMING MEMBERS

- A. STUDS AND JOISTS SHALL BE CHANNEL SHAPED WITH LIPPED FLANGES, PUNCHED WEB, SIZE, GAUGE AND GRADE AS SHOWN ON THE DRAWINGS (AS REQUIRED BY STRUCTURAL CALCULATIONS).

- B. TRACKS SHALL BE CHANNEL SHAPED SOLID WEB, DEPTH COMPATIBLE WITH STUDS, GAUGE AND GRADE AS SHOWN ON THE DRAWINGS (AS REQUIRED BY STRUCTURAL CALCULATIONS).

- C. FRAMING ACCESSORIES SHALL HAVE A MINIMUM YIELD STRENGTH OF 65 KSI.

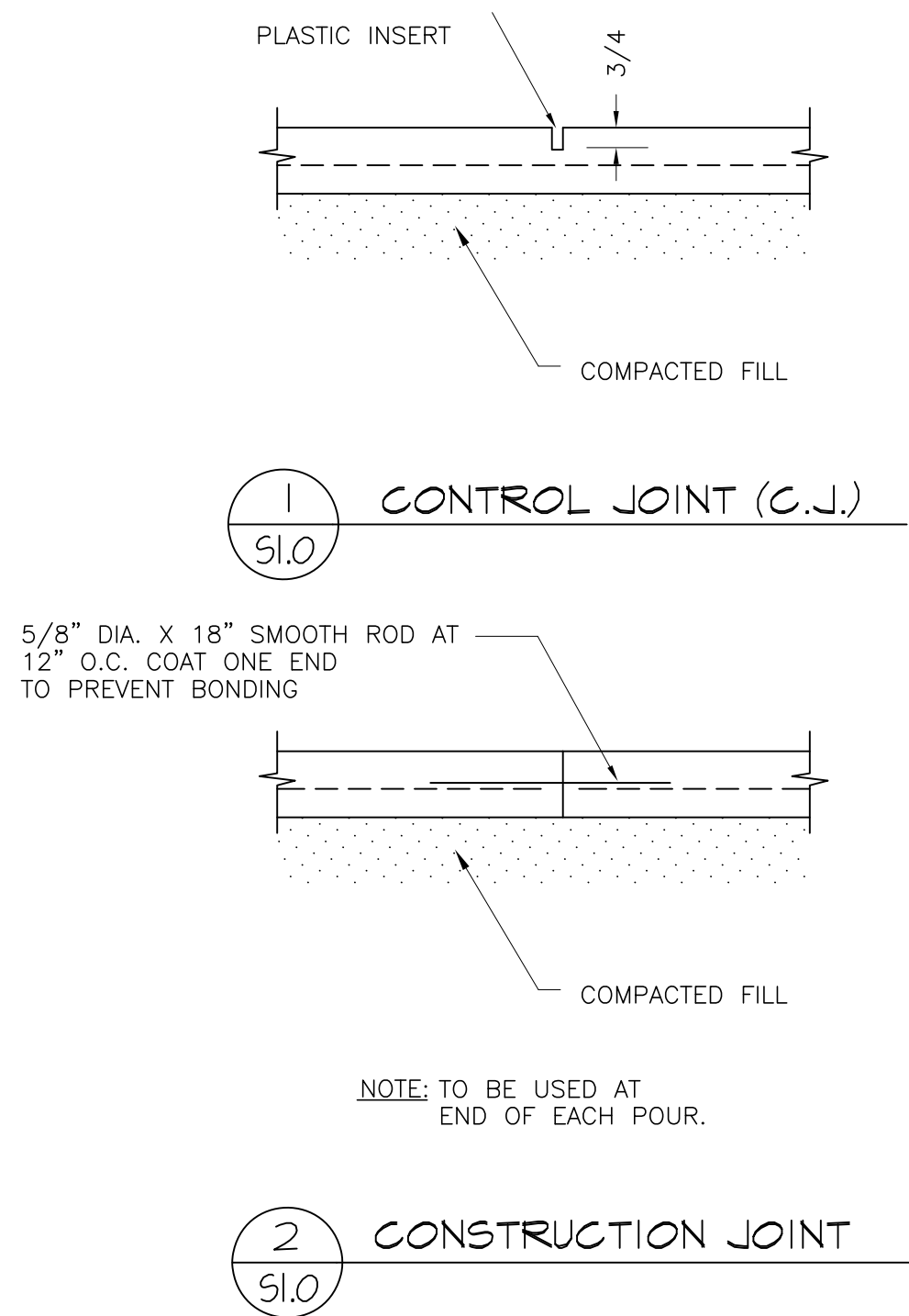
- D. SCREWS SHALL BE CORROSION RESISTANT, SELF DRILLING PAN OR HEX WASHER HEAD AS SHOWN ON THE DRAWINGS (AS REQUIRED BY STRUCTURAL CALCULATIONS).

- E. POWDER ACTUATED FASTENERS: AISI 1062 OR 1065 STEEL, MINIMUM CORE HARDNESS 50 TO 54 HRC AND ZINC PLATED IN ACCORDANCE WITH ASTM B 633 DIAMETER AND LENGTH AS SHOWN ON THE DRAWINGS (AS REQUIRED BY STRUCTURAL CALCULATIONS).

- F. ALL LIGHT GAUGE FRAMING MEMBERS SHALL BE DIETRICH CSJ OR CSW SERIES UNLESS NOTED OTHERWISE.

- G. WIND DESIGN LOADS FOR SECONDARY FRAMING PER THE LATEST ADDITION OF ASCE 7 FOR COMPONENTS AND CLADDING. WIND DESIGN SPEED AND EXPOSURE ARE NOTED UNDER DESIGN LOADS.

- H. MATERIAL SUPPLIER IS RESPONSIBLE FOR MEMBER DESIGN, THEREFORE CALCULATIONS MUST BE INCLUDED WITH SHOP DRAWINGS FOR APPROVAL.



REVISED PER FIELD MEETING 8/14/23
REVISED PER FIELD INVESTIGATIONS 5/11/23
REVISED FOR CONSTRUCTION 3/11/23

PROPOSED BUILDING ALTERNATIONS FOR:
ADAMS STREET BUILDING
301 NORTH ADAMS STREET
CITY OF GREEN BAY

DRAWN BY:

RJF

CHK'D BY:

RJF

JOB NUMBER:

20059

DATE:

12/8/20

S1.0

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WISCONSIN

PROJECT:

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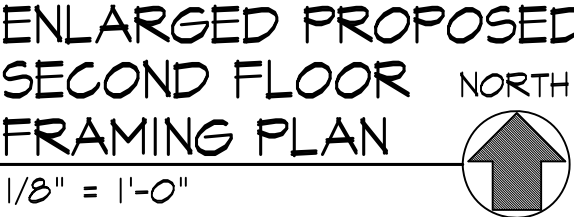


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<i>CHK'D BY:</i>
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<i>JOB NUMBER:</i>
<i>20059</i>
<i>DATE:</i>
<i>9/10/22</i>

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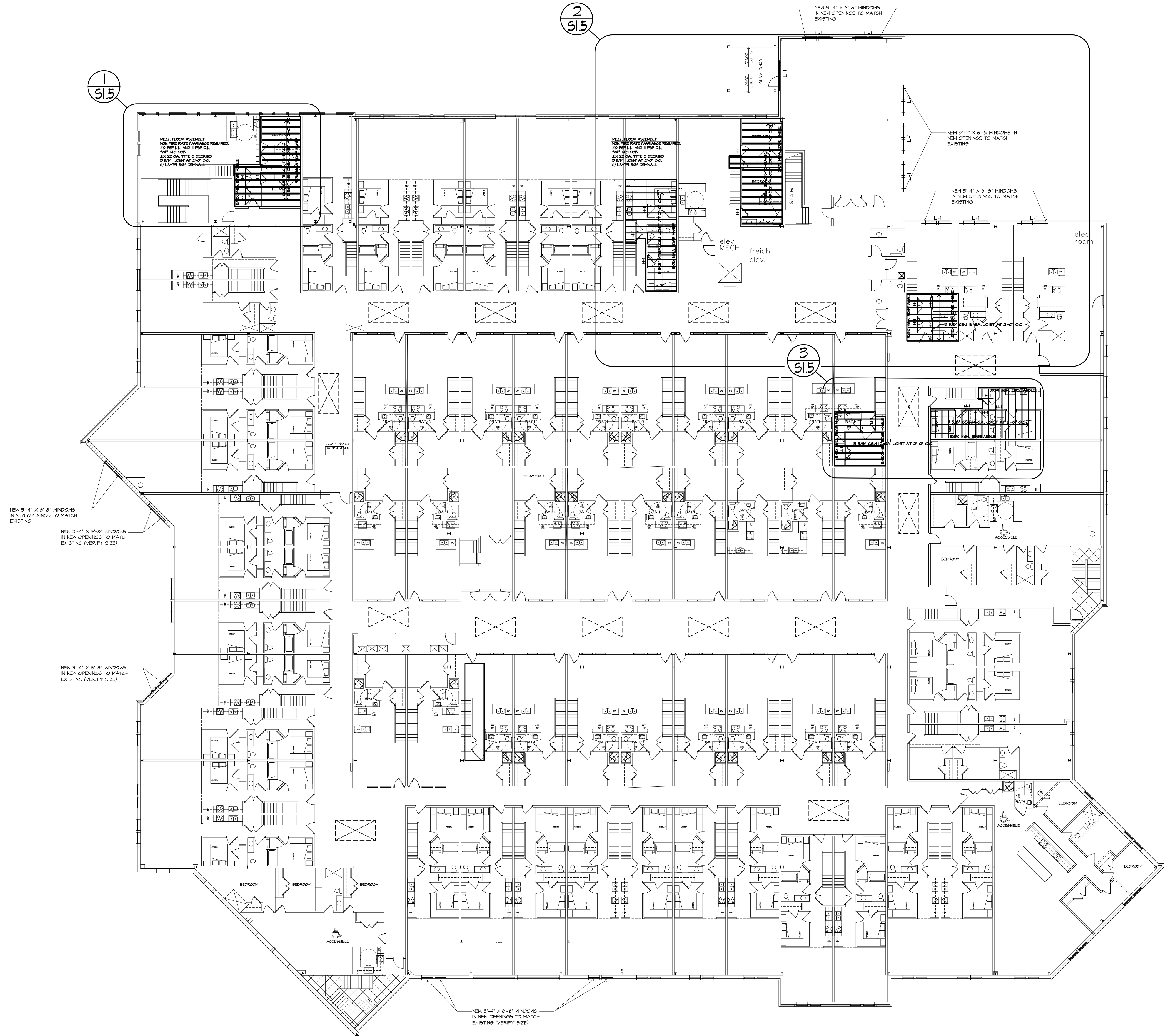


PROJECT:
PROPOSED BUILDING ALTERATIONS FOR:
ADAMS STREET BUILDING
301 NORTH ADAMS STREET
CITY OF GREEN BAY

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SEE SHEET S1.5 FOR ENLARGED FRAMING PLANS

PROPOSED
THIRD FLOOR
FRAMING PLAN
1/16" = 1'-0"



REVISED FOR CONSTRUCTION
REVISED FOR CONSTRUCTION
REVISED FOR VARIANCE

3/1/23
11/30/22
11/2/22

PROPOSED BUILDING ALTERATIONS FOR:
ADAMS STREET BUILDING
301 NORTH ADAMS STREET
CITY OF GREEN BAY

DRAWN BY:
R.J.F.
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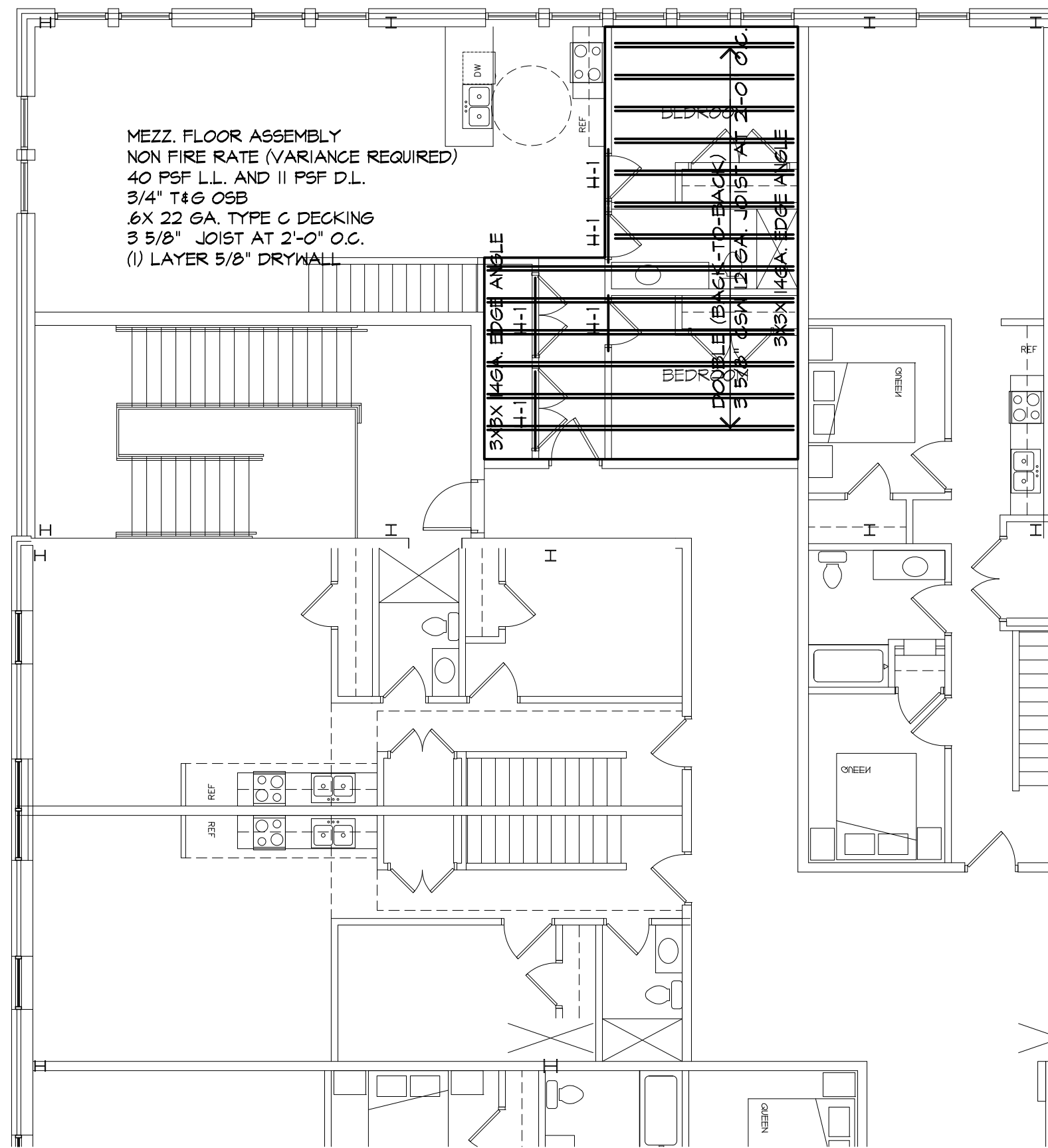
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S1.4



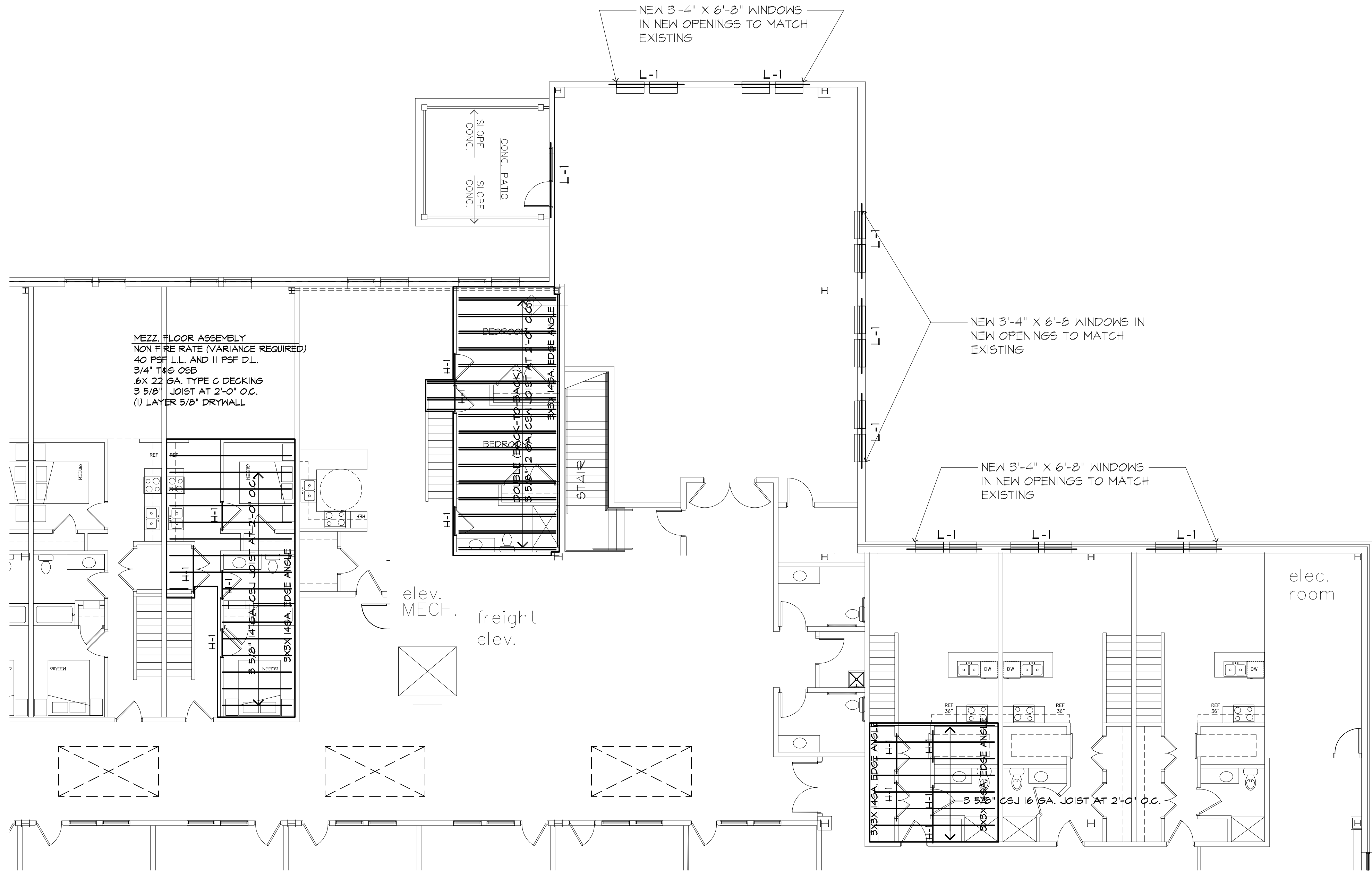
ENLARGED PROPOSED
THIRD FLOOR
FRAMING PLAN NORTH
1
S1.5 1/8" = 1'-0"

LINTEL SCHEDULE

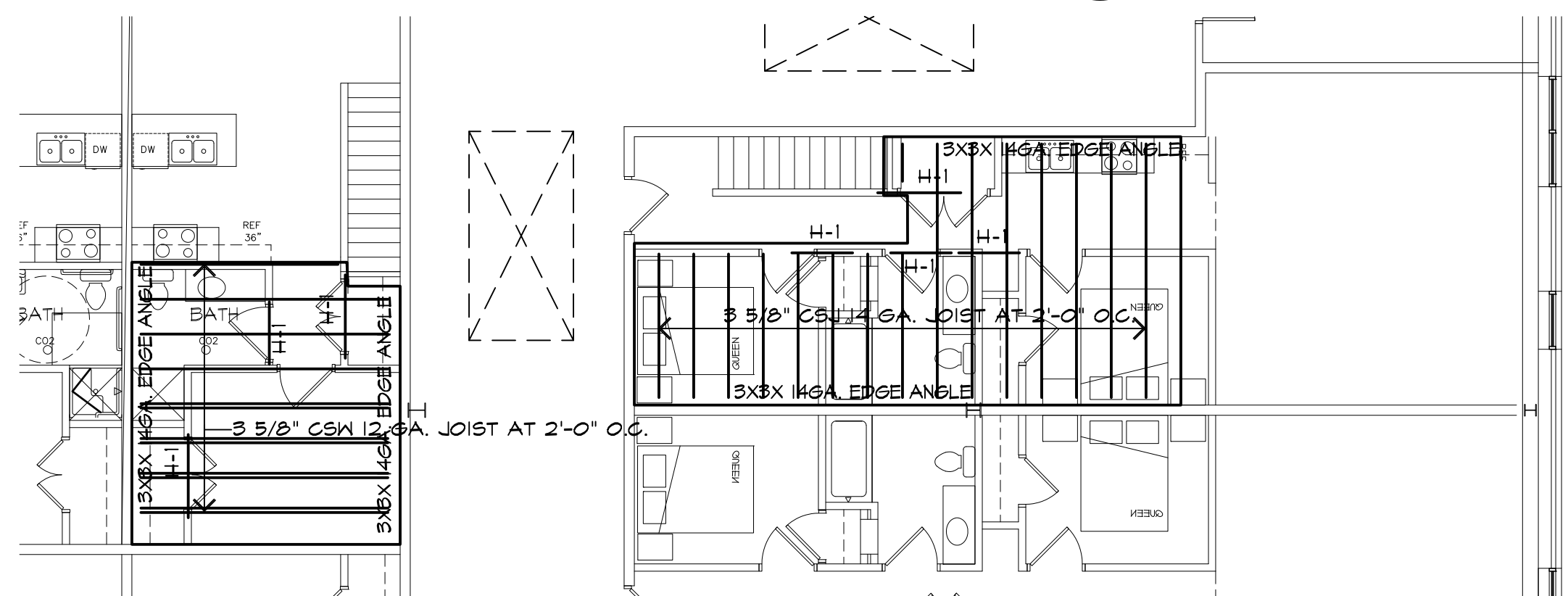
L-1 W8X24 W 5/16 X 13 1/2" CONT.
STEEL PLATE W 8" MIN BEARING
EACH END ON GROUT FILLED CELL
W/ (1) #5 VERT.

WALL OPENING FRAMING SCHEDULE			
MARK	HEADER SIZE	KING STUD EACH END	CONNECTION NOTE
		NO. / SIZE	
H-1	(2) 12025162-43 3 5/8" TRACK T 4 B	(1) 3625162-43	VERIFY
H-2	NON-LOADBEARING 3 5/8" TRACK T 4 B	(1) 3625162-33	VERIFY

NOTE: ALL NON-LOADBEARING DOOR HEADERS ARE H-2



ENLARGED PROPOSED
THIRD FLOOR
FRAMING PLAN NORTH
2
S1.5 1/8" = 1'-0"



ENLARGED PROPOSED
THIRD FLOOR
FRAMING PLAN NORTH
3
S1.5 1/8" = 1'-0"

REVISED FOR CONSTRUCTION
REVISED FOR CONSTRUCTION
REVISED FOR VARIANCE

3/1/23
11/30/22
11/2/22

PROJECT:
PROPOSED BUILDING ALTERATIONS FOR:
ADAMS STREET BUILDING
301 NORTH ADAMS STREET
CITY OF GREEN BAY

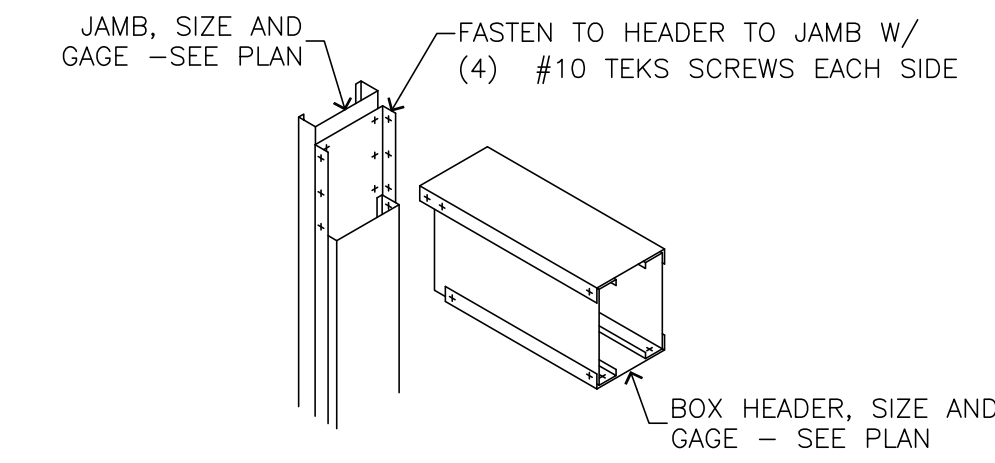
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R.J.F.
CHK'D BY:
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JOB NUMBER:
20059
DATE:
12/8/20

S1.5

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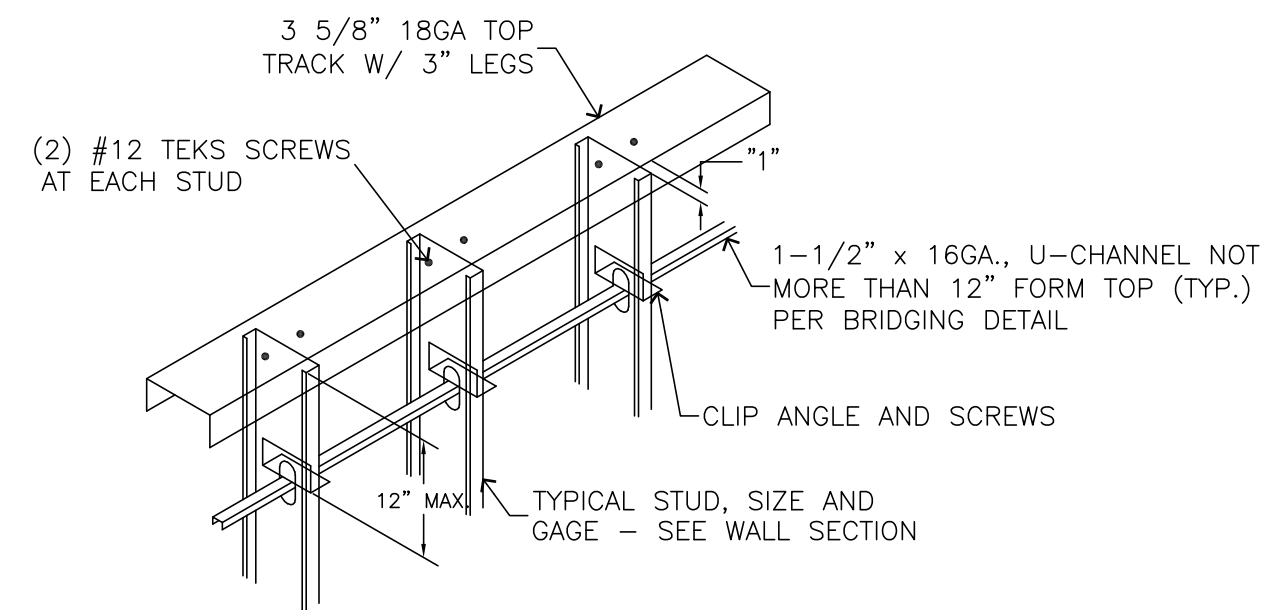
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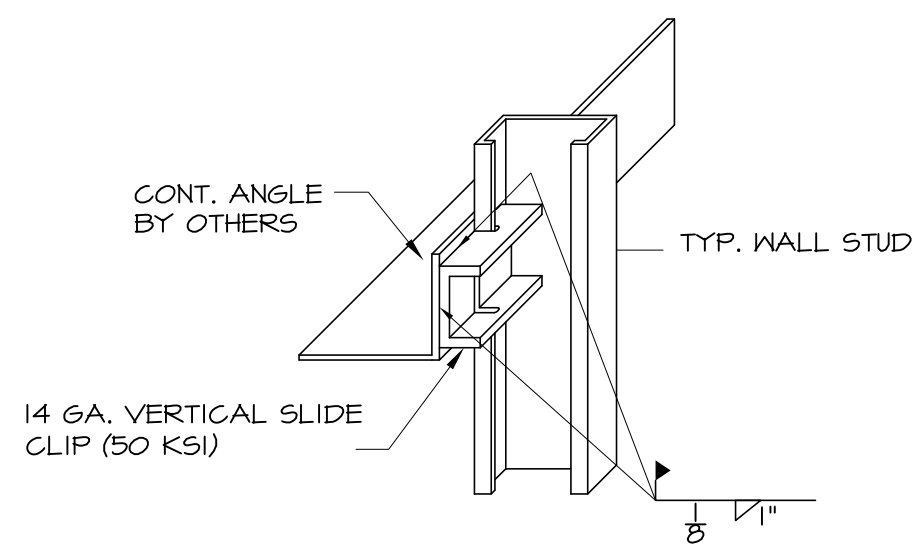
HEADER DETAIL

N.T.S.

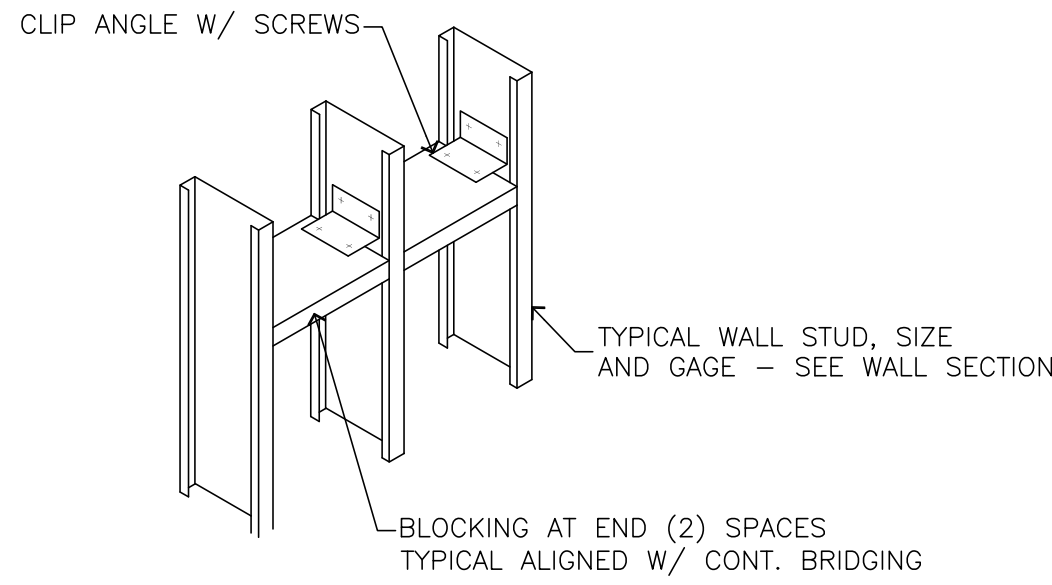
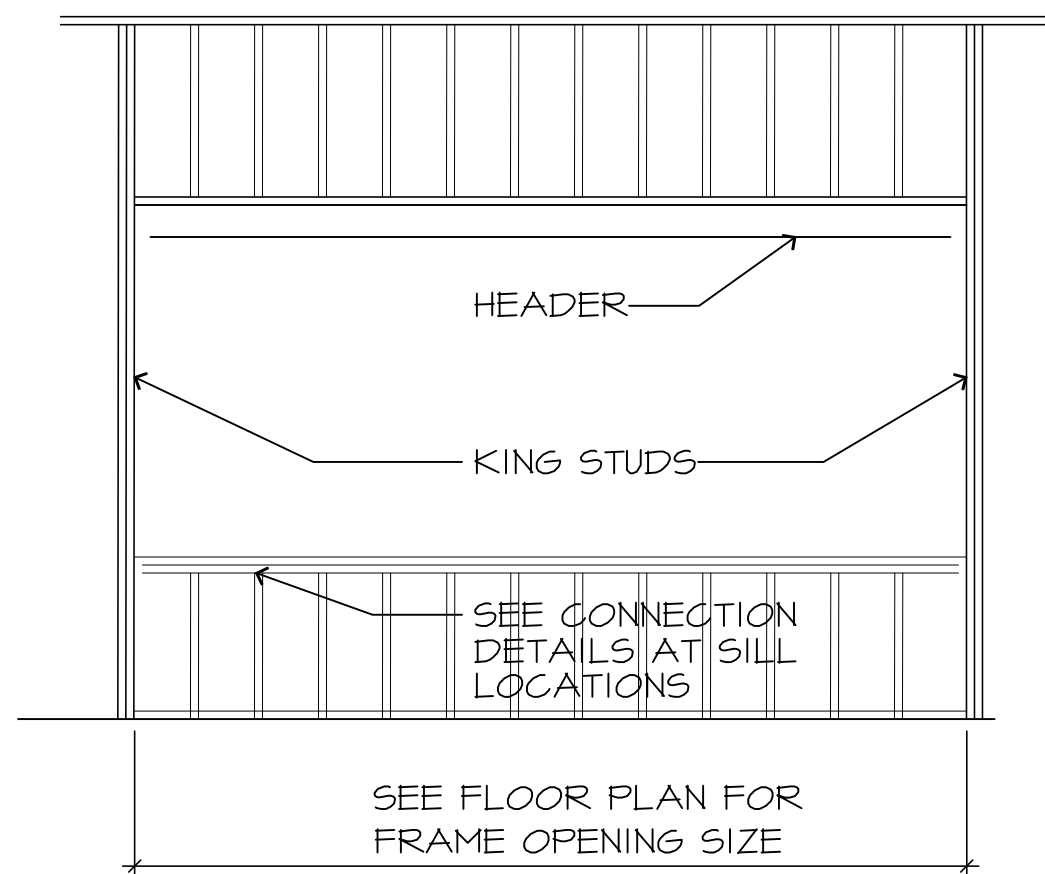


SLIP TRACK DETAIL

N.T.S.

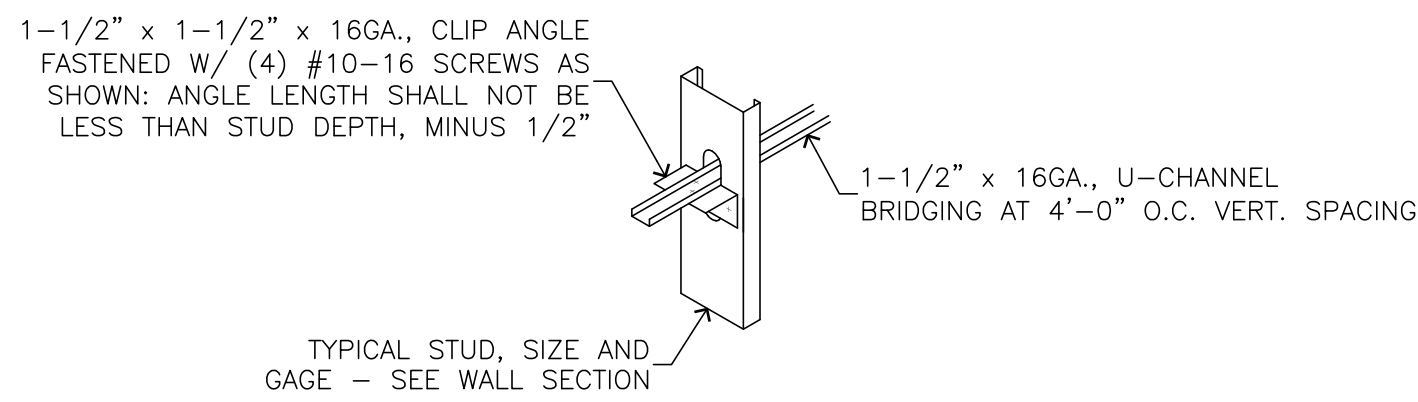


TYPICAL CLIP ATTACHMENT DETAIL



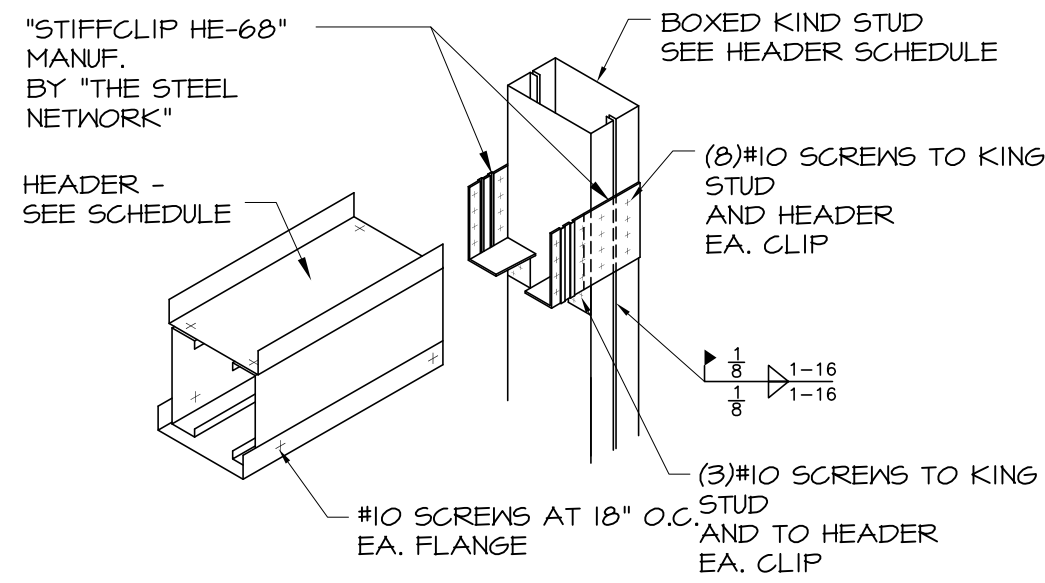
SOLID BLOCKING DETAIL

N.T.S.

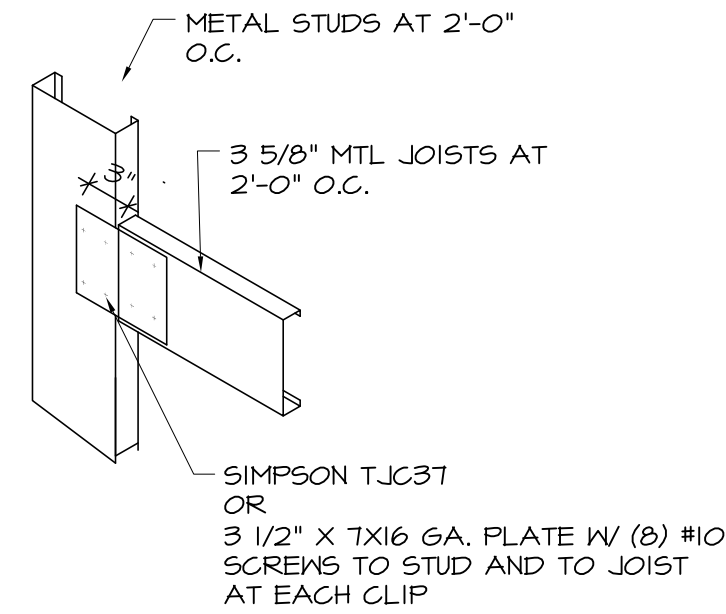


U-CHANNEL BRIDGING CONNECTION

N.T.S.



TYPICAL HEADER DETAIL



TYPICAL JOIST TO STUD DETAIL

METAL STUD CONTRACTOR TO PROVIDE ENGINEERED SHOP DRAWINGS FOR REVIEW

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WISCONSIN

PROJECT:

PROPOSED BUILDING ALTERNATIONS FOR:

ADAMS STREET BUILDING

301 NORTH ADAMS STREET

CITY OF GREEN BAY

DRAWN BY:

RJF

CHK'D BY:

RJF

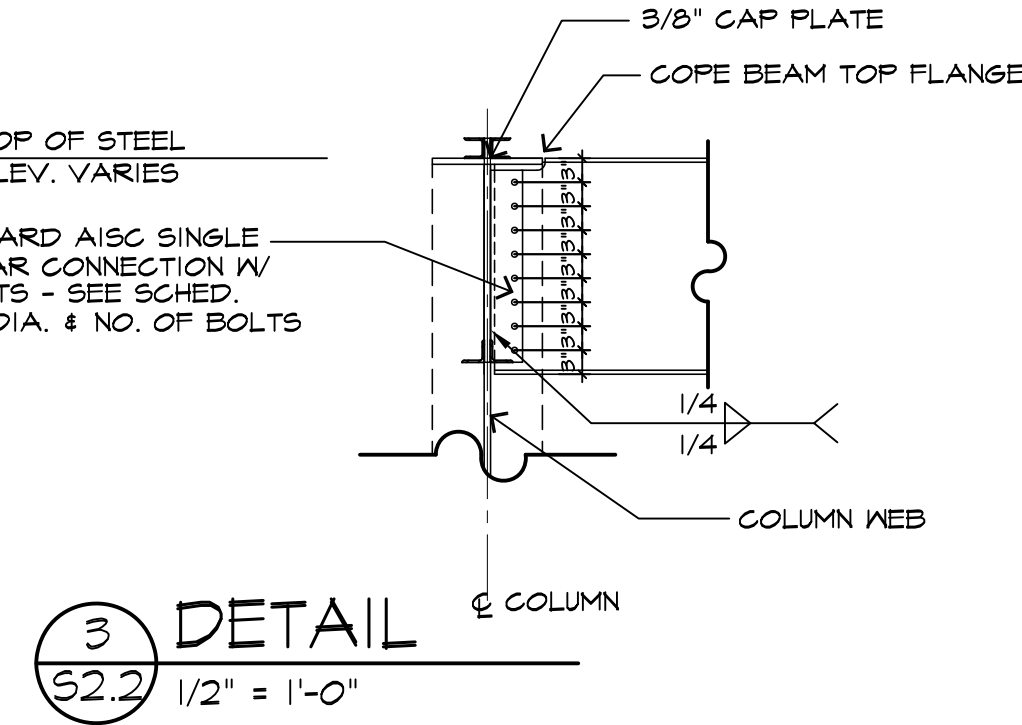
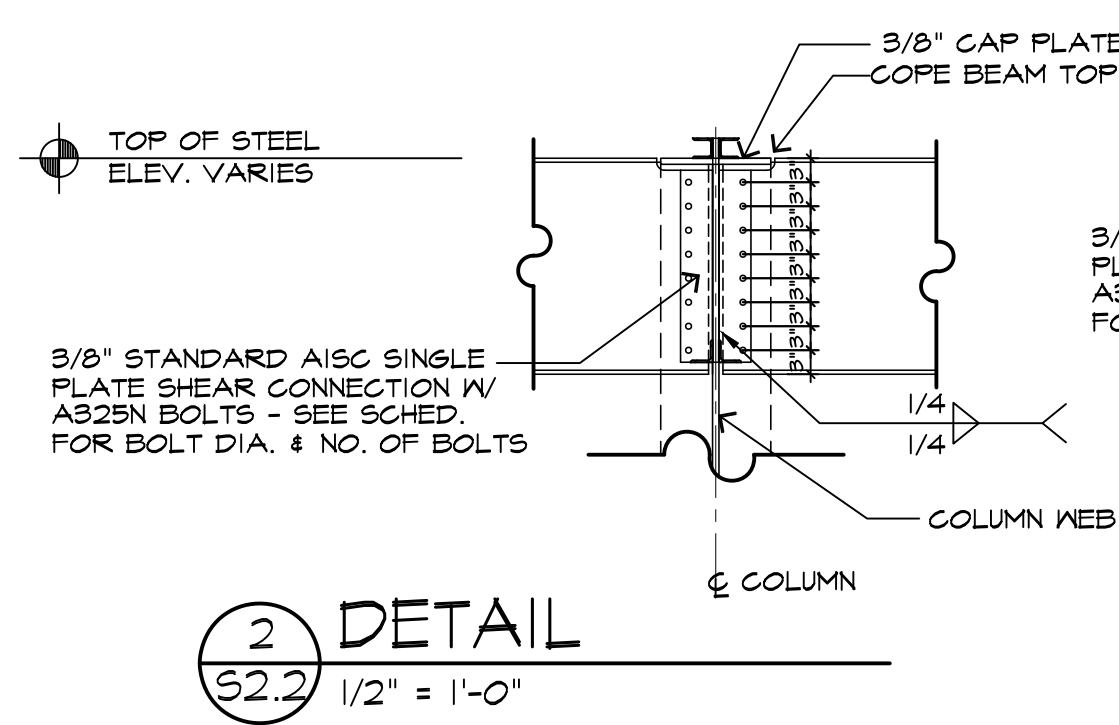
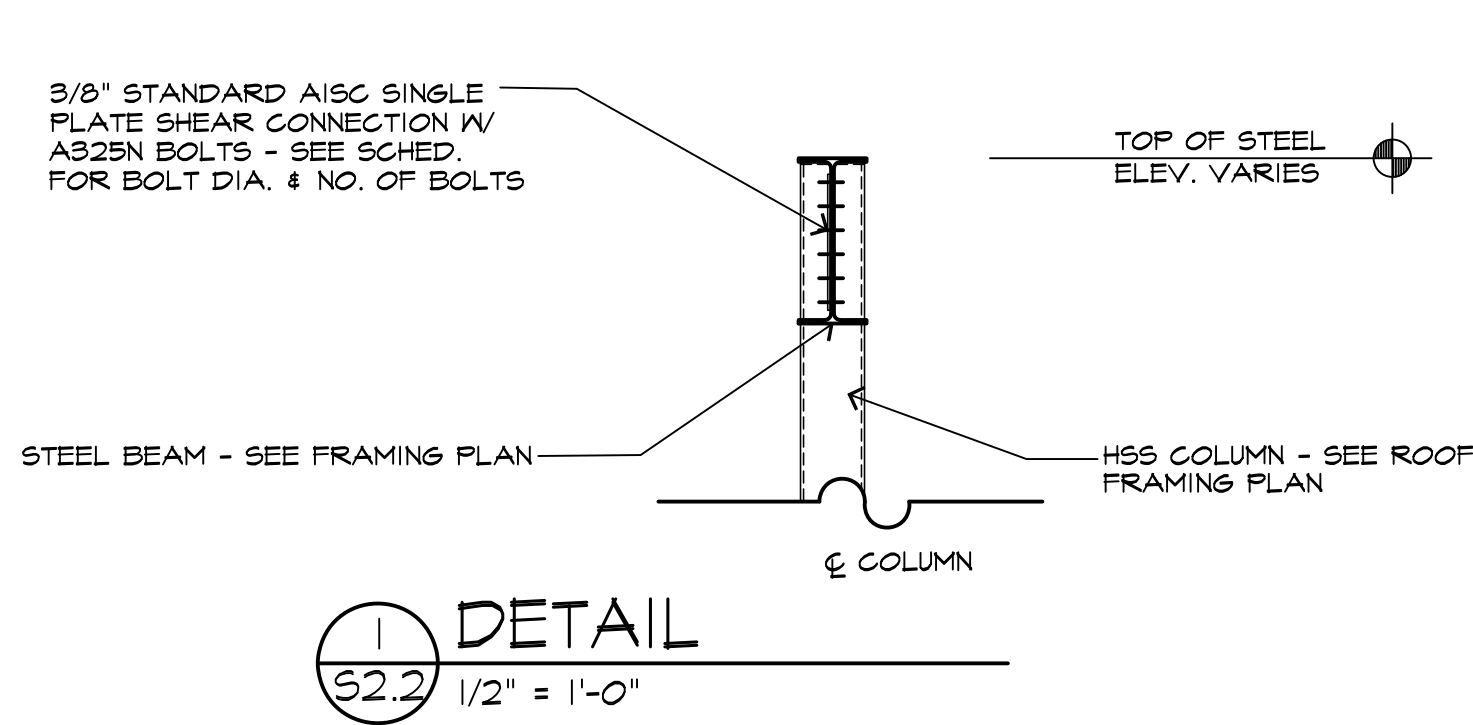
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20059

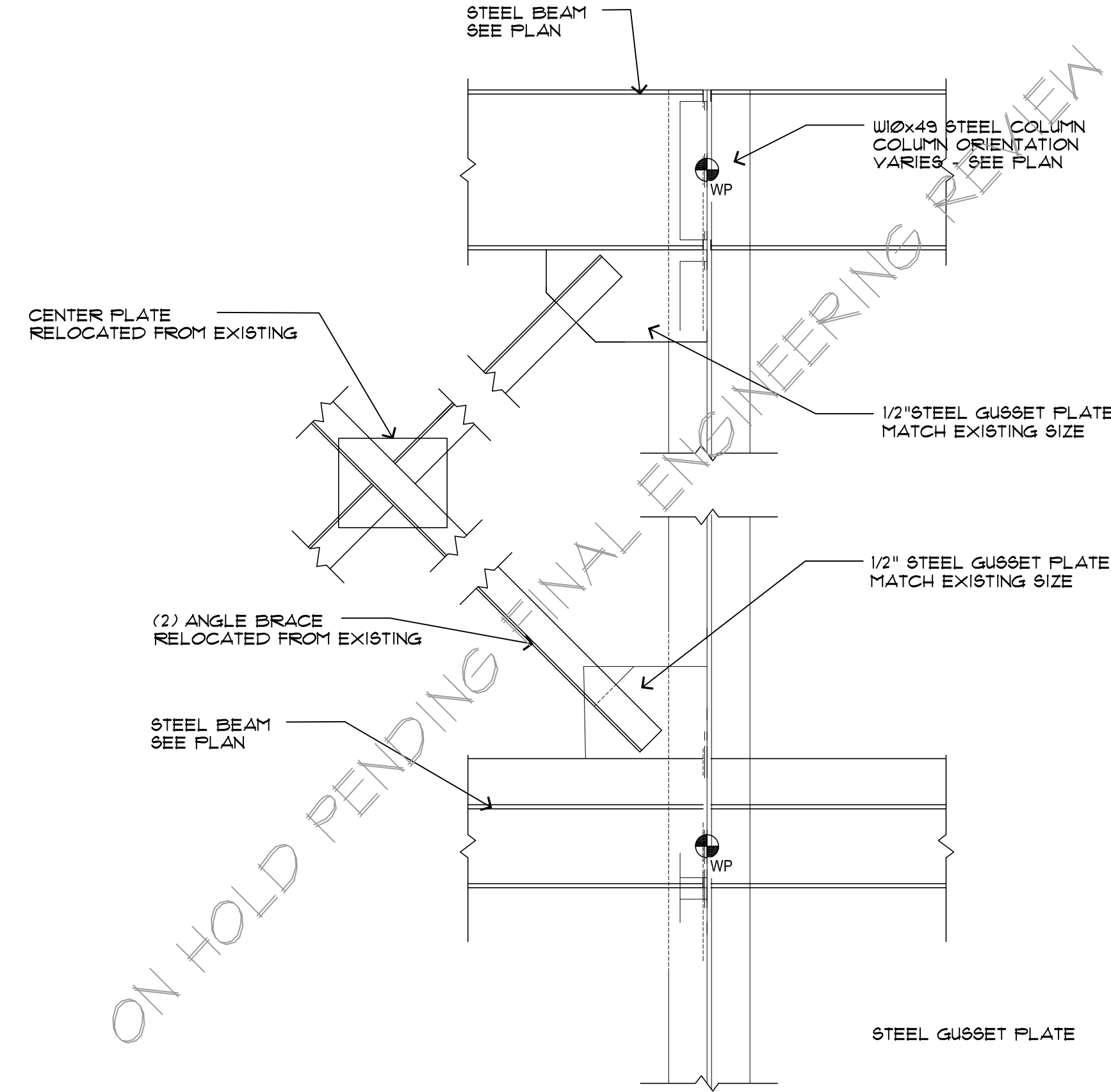
DATE:

12/8/20

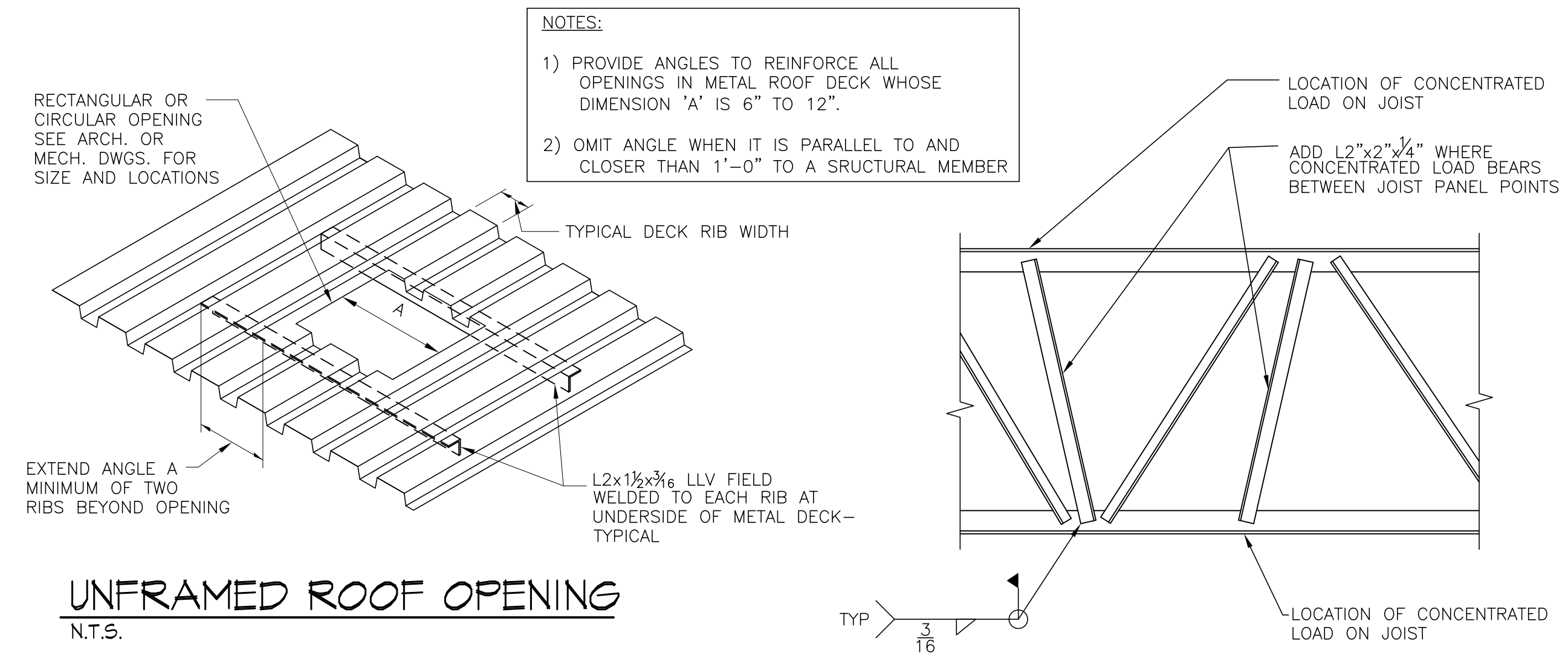
S2.1



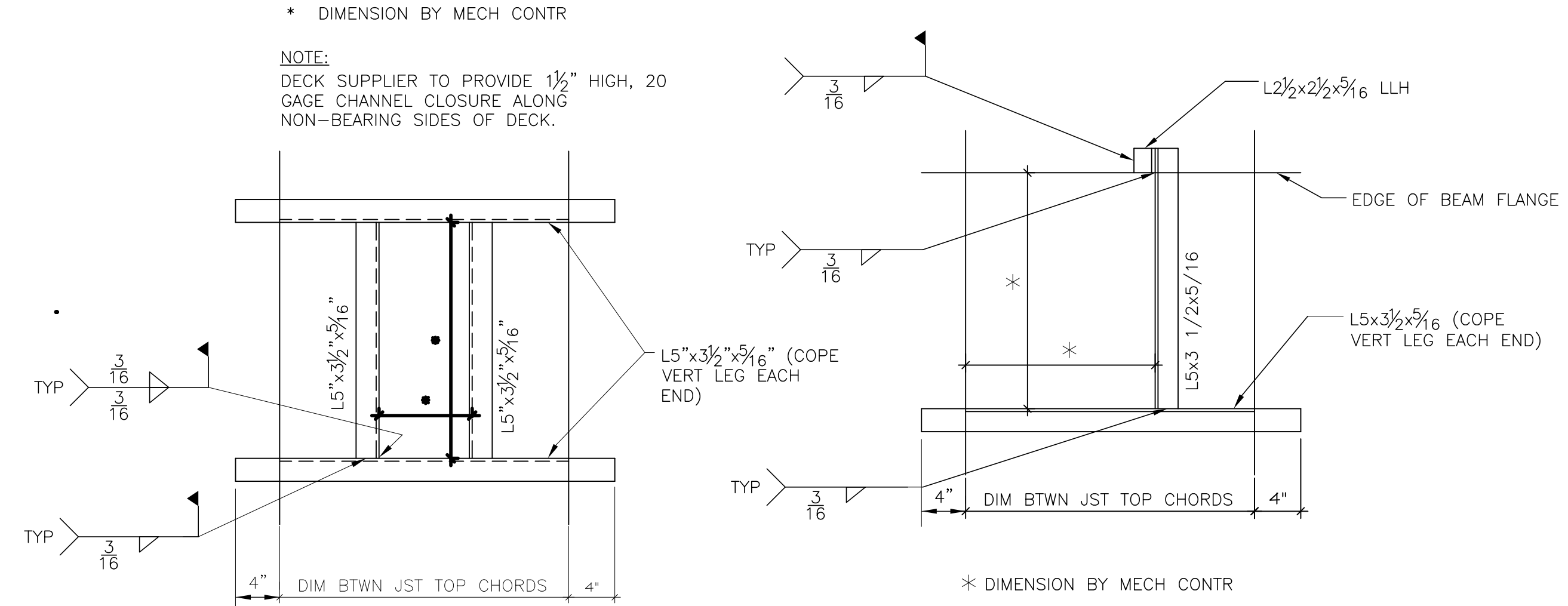
BEAM DEPTH	NO. OF A325N BOLTS	BOLT DIA.
W8	2	1\" DIA.
W12	3	1\" DIA.
W14	3	3/4\" DIA.
W16	4	3/4\" DIA.
W18	5	3/4\" DIA.
W21	6	3/4\" DIA.
W24	7	3/4\" DIA.
W27	8	3/4\" DIA.



TYPICAL X-BRACING CONNECTIONS
NOT TO SCALE



UNFRAMED ROOF OPENING
N.T.S.



ROOF TOP UNIT CURB SUPPORTS
N.T.S.

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PROJECT:
PROPOSED BUILDING ALTERNATIONS FOR:
ADAMS STREET BUILDING
301 NORTH ADAMS STREET
CITY OF GREEN BAY
WISCONSIN
DRAWN BY: R/JF
CHK'D BY: R/JF
JOB NUMBER: 20059
DATE: 12/8/20

REVISED PER FIELD MEETING 8/14/23
REVISED PER FIELD INVESTIGATIONS 5/11/23
REVISED FOR CONSTRUCTION 3/11/23

What You Need to Know About City Center Lofts

WHAT ARE THE CITY CENTER LOFTS?

City Center Lofts are beautiful, high-quality, reasonably priced apartments being constructed in downtown Green Bay's Baylake City Center. For Green Bay, Wisconsin, it's a fairly cutting-edge project. While "adaptive reuse" has been a hot topic for the past few years, the conversion of unused office space into much needed residential units has mainly taken place in larger cities such as Washington, DC, Philadelphia, San Francisco and Chicago. Now, adaptive reuse is coming to downtown Green Bay!

Having received all of the necessary City of Green Bay approvals and meeting all code requirements, construction is now underway, with leasing applications being taken this fall for January 2024 occupancy. New downtown residents, coupled with an improved and upgraded building, will add to the area's vibrancy and local economy. City Center Lofts will include 72 one- to four-bedroom units and retail space for businesses and ministries, with rents starting at approximately \$800 per month for one-bedroom units.



Unit features will include:

- A loft layout in most apartments
- Granite countertops
- Stainless steel appliances
- Luxury vinyl plank flooring
- High ceilings
- Keyless entry
- Large sky lights in oversized hallways
- Each of the 29 interior units feature sky lights & front living room windows
- ADA accessible features on first floors units

Amenities will include:

- A fitness space
- Outdoor patio
- Indoor, secure and temperature-controlled bike storage
- Open, community gathering and dining spaces and lounge areas
- Naturally lit hallways with streetscape designs to bring the outdoors in
- On-site after school programming

WHAT CITY CENTER LOFTS ARE NOT

City Center Lofts are not and won't ever become a homeless shelter. While such facilities are needed in our community, City Center Lofts is being built for working people. City Center Lofts is not substandard housing. These are high quality apartments that will be leased at affordable rates to essential employees, working families, young professionals and retirees looking to downsize.





Report to the
**Housing Authority
of the City of Green Bay**

MEETING DATE

March 14, 2024

PREPARED BY

Stephanie Schmutzer, Staff, Cheryl Renier-
Wigg, Staff

AGENDA ITEM # F.1

Consideration with possible action to approve the final resolution No. 2024-01 regarding housing revenue bond financing for the Gateway Collective, Inc. Project.

BACKGROUND

The Green Bay Housing Authority has been approached to consider revenue bond financing for The Gateway Collective, Inc. ("Gateway Collective") housing project. The communication is Gateway Collective's formal request for the Green Bay Housing Authority to consider the Final Resolution No. 2024-01 relating to conduit housing revenue bond financing for Gateway Collective's housing project located at 301 N. Adams Street in the City of Green Bay. This project is requesting a not to Exceed \$12,045,000 GBHA, Wisconsin Housing Revenue Bonds, Series 2024 for The Gateway Collective, Inc. Project. This funding will help facilitate the creation of 72 total units, of which only 50 units ranging from 1 to 3 bedrooms apartment options will be financed with the Bonds in order to provide housing for mixed-income residents at low income, moderate income, and workforce rates.

RECOMMENDATION

To approve the final resolution No. 2024-01 regarding housing revenue bond financing for the Gateway Collective, Inc. Project.

FISCAL IMPACT

This could create additional revenue for the GBHA in the form of an annual bond fee of \$12,045 for the life of the bond.

ATTACHMENTS

- I. NO 2024-01 Housing Authority of City of Green Bay Final Resolution - Gateway Collective

HOUSING AUTHORITY OF THE
CITY OF GREEN BAY, WISCONSIN

RESOLUTION NO. 2024-01

**FINAL RESOLUTION REGARDING
HOUSING REVENUE BOND FINANCING
FOR THE GATEWAY COLLECTIVE, INC. PROJECT**

WHEREAS, the Housing Authority of the City of Green Bay, Wisconsin (the “Authority”), is a public body corporate and politic duly organized and existing under the laws of the State of Wisconsin and vested with the powers under Sections 66.1201 to 66.1211 of the Wisconsin Statutes, as amended (the “Act”), to carry out housing projects in the City of Green Bay, Wisconsin (the “City”); and

WHEREAS, pursuant to an Initial Resolution duly adopted on September 21, 2023, the Authority expressed its intent to issue revenue bonds of the Authority in an amount not to exceed \$12,150,000 to finance a housing project on behalf of The Gateway Collective, Inc., a Wisconsin nonstock, nonprofit corporation (the “Borrower”) located at 301 North Adams Street, Green Bay, Wisconsin (and not 700 Adams Street as stated in the Initial Resolution); and

WHEREAS, the Borrower has requested the Authority to issue its Housing Revenue Bonds, Series 2024 (The Gateway Collective, Inc. Project) in an aggregate principal amount not to exceed \$12,045,000 (the “Bonds”), for the purpose of financing the (i) acquisition of a design-build housing facility located at 301 North Adams Street, Green Bay, Wisconsin (the “Facility”) comprised of 72 total units, of which only 50 units ranging from 1 to 3 bedroom apartment options will be financed with the Bonds in order to provide housing for mixed-income residents at low income, moderate income, and workforce rates, (ii) acquisition and installation of certain furniture, fixtures, and equipment at the Facility, and (iii) payment of professional fees and costs (collectively, the “Housing Project”); and

WHEREAS, the Housing Project to be financed with the Bonds will not include the apartment units to be offered at market rate; and

WHEREAS, the Act authorizes the Authority to issue tax-exempt revenue bonds in its discretion to finance its activities under the Act; and

WHEREAS, the Borrower has heretofore presented the Authority with proposed documentation for the Bonds (collectively, the “Bond Documents”), as follows:

(a) a Bond Agreement (the “Bond Agreement”) to be entered into among the Authority, the Borrower, Bank First, N.A., as original purchaser (“Original Purchaser”) and Bank First, N.A., as trustee (the “Trustee”);

(b) a Promissory Note (the “Promissory Note”) relating to the Bonds to be executed by the Borrower and endorsed by the Authority, providing for the payment by the Borrower to provide the Authority with revenue sufficient to retire the Bonds in accordance with their terms;

(c) a Tax Compliance Agreement to be entered into among the Issuer, the Borrower, and the Trustee; and

(d) a Land Use Restriction Agreement (the “Land Use Restriction Agreement”) to be entered into among the Issuer, the Borrower, and the Trustee.

WHEREAS, it is hereby found and determined to be in the best interests of the City and in furtherance of the Authority’s development objectives for the Authority to proceed with the issuance and sale of the Bonds for the purpose of financing the Housing Project.

NOW, THEREFORE, BE IT RESOLVED by the Authority as follows:

Section 1. Additional Findings and Determinations. It has been found and determined and is hereby declared as follows:

(a) the purpose of the Authority’s financing the costs of the Housing Project is and the effect thereof will be to promote the public purposes set forth in the Act;

(b) the Housing Project is a qualified housing project under the Act;

(c) it is desirable that a series of tax-exempt revenue bonds in the principal amount not to exceed \$12,045,000 (the “Bond Amount”) be issued by the Authority, maturing on such date and in such amount and at interest rates, and upon the terms set forth in the Bond Agreement, under the provisions of which the Authority’s interests in the Bond Agreement (except for certain rights described in the Bond Agreement) will be assigned and pledged to the Trustee as security for the payment of principal of, premium, if any, and interest on all Bonds outstanding under the Bond Agreement;

(d) based upon representations from the Borrower, the estimated aggregate cost of financing the Housing Project and paying the costs incident to the financing is not less than the Bond Amount;

(e) the loan repayments required to be made by the Borrower under the Bond Agreement will be sufficient to produce income and revenue to provide for prompt payment of principal of and interest on and premium, if any, on all Bonds issued under the Bond Agreement when due; the amount necessary in each year to pay principal and interest on the Bonds due in such year, whether on a stated payment date, a redemption date, or otherwise; and the Bond Agreement provides that the Borrower shall provide for the maintenance of the Housing Project in good repair and keeping it properly insured;

(f) a Notice of Public Hearing was published and a hearing was held before the Authority on March 14, 2024 in order to comply with the requirements of Section 147(f) of the Internal Revenue Code of 1986, as amended; and

(g) based on information provided by the Borrower, the Housing Project provides residential apartment units for mixed-income residents which includes a certain percentage of units reserved for persons of low income and moderate income in accordance with the income standards adopted by the Authority as set forth in the Land Use Restriction Agreement.

Section 2. Designation, Denomination, Tenor, and Maturity of Bonds Created for Issuance. The Bonds shall be issued in the principal amount not to exceed \$12,045,000 and designated as follows:

Housing Authority of the City of Green Bay, Wisconsin
Housing Revenue Bonds, Series 2024
(The Gateway Collective, Inc. Project)

The Bonds shall be issued in the form and upon the terms set forth in the Bond Agreement, which terms, including without limitation interest rates, denominations, redemption provisions and maturity, are for this purpose incorporated in this Resolution and made a part hereof, with such insertions therein as shall be necessary to comply with the terms of this Resolution and with such corrections therein, if any, as counsel for the Authority and bond counsel may require for conformity with the terms of this Resolution, the Bond Agreement and the Act.

Section 3. Approvals and Authorizations. The terms of the Bond Documents are hereby approved. The Chairperson and the Executive Director of the Authority are hereby authorized and directed in the name and on behalf of the Authority to execute such documents to which the Authority is a party, and either one of them or both of them are authorized and directed to execute such other documents, agreements, instruments or certificates as are deemed necessary or desirable by counsel for the Authority or bond counsel, including an Internal Revenue Service Form 8038, certified copies of all proceedings and records of the Authority relating to the Bonds, and such other affidavits and certificates as may be required by the Purchaser and bond counsel to show the facts relating to the legality and marketability of the Bonds as such facts appear from the books and records in the officers' custody and control or as otherwise known to them; and all such certified copies, certificates and affidavits, including any heretofore furnished, shall constitute representations of the Authority as to the truth of all statements contained therein, and such other documents as may be necessary to effectuate the closing of the Bonds and which are approved by counsel for the Authority and bond counsel. The execution and delivery of any Bond Document or any other document by the Chairperson or the Executive Director of the Authority shall be conclusive evidence of the approval of the Authority of such document in accordance with the terms thereof. The approval hereby given to the various Bond Documents referred to in this Resolution includes the approval of such additional details therein as may be necessary and appropriate for their completion and such modifications thereto, deletions therefrom and additions thereto as may be approved by the counsel for the Authority and bond counsel.

Section 4. Execution and Authentication of Bonds. The Bonds shall be executed on behalf of the Authority with the facsimile or manual signature of its Chairperson, countersigned with the facsimile or manual signature of its Executive Director, and shall have impressed, imprinted or otherwise reproduced thereon an official seal, if any, of the Authority or a facsimile thereof. No Bond shall be issued unless first authenticated by the Trustee to be evidenced by the manual signature of an authorized signatory of the Trustee on the Bond.

Section 5. Bonds as Special Limited Obligations. The Bonds shall be special, limited obligations of the Authority. The Bonds shall not be the debt or obligation of the Authority, the City, Brown County, the State of Wisconsin or any political subdivision thereof, shall not constitute or give rise to a pecuniary liability or a charge against their general credit or taxing powers, if any, are not payable in any manner from revenues raised by taxation, shall not constitute an indebtedness within the meaning of any constitutional or statutory debt limitation or restriction of the Authority, the City, Brown County, the State of Wisconsin or any political subdivision or public body thereof. The Authority has no taxing power.

Section 6. Source of Payment; Pledge of Revenues. The Bonds shall be special, limited obligations of the Authority payable by it solely from revenues and income derived by or for the account of the Authority from or for the account of the Borrower, including (i) all payments by the Borrower on the Promissory Note and pursuant to the Bond Agreement, (ii) all amounts realized upon recourse to the Bond Agreement or any collateral given by the Borrower to secure the Borrower's obligations under the Bond Agreement, (iii) all amounts realized upon recourse to the Bond Agreement and the collateral documents described in the Bond Agreement to pay amounts due on the Promissory Note and (iv) and all cash and securities held from time to time in the trust funds created under the Bond Agreement and investment earnings thereon.

As security for the payment of the principal of, premium, if any, and interest on the Bonds, the Authority shall pledge and assign to the Trustee all of its right, title and interest in and to the trust estate described in the Bond Agreement (except certain reserved rights set forth in the Bond Agreement).

Section 7. Redemption of Bonds Prior to Maturity. In addition to scheduled principal payments, the Bonds shall be subject to mandatory and optional redemption prior to maturity as provided in the Bond Agreement.

Section 8. Purchase of the Bonds. The Bonds shall be purchased by Bank First, N.A., as original purchaser.

Section 9. Effective Date; Conformity. This Resolution shall be effective immediately upon its passage and approval. To the extent that any prior resolutions of the Authority are inconsistent with the provisions hereof, this Resolution shall control and such prior resolutions shall be deemed amended or superseded to such extent as may be necessary to bring them in conformity with this Resolution.

Section 10. Fees. The cost of all City and Authority staff time and all out-of-pocket costs of the Authority and the City, including attorneys' fees, in connection with the issuance and sale of the Bonds shall be paid from the proceeds of the Bonds or by the Borrower.

Section 11. Notice of Bond Sale. Notice of sale of the Bonds, in the form attached hereto as Exhibit A, shall be published in the official newspaper of the Authority as a class 1 notice under Chapter 985 of the Wisconsin Statutes.

Dated: March 14, 2024.

**HOUSING AUTHORITY OF THE CITY OF
GREEN BAY, WISCONSIN**

By: _____
William Vande Castle, Chairperson

By: _____
Cheryl Renier-Wigg, Executive Director

CERTIFICATION BY EXECUTIVE DIRECTOR

I, Cheryl Renier-Wigg, being first duly sworn, hereby certify that I am the duly qualified and acting Executive Director of the Housing Authority of the City of Green Bay, Wisconsin (the "Authority"), and as such I have in my possession, or have access to, the complete corporate records of the Authority; that I have carefully compared the transcript attached hereto with the aforesaid records; and that said transcript attached hereto is a true, correct and complete copy of all the records in relation to the adoption of Resolution No. _____ entitled:

FINAL RESOLUTION
REGARDING HOUSING REVENUE BOND FINANCING
FOR THE GATEWAY COLLECTIVE, INC. PROJECT

I hereby further certify as follows:

1. Said Resolution was considered for adoption by the Authority at a meeting held at City Hall, 100 North Jefferson Street, Green Bay, Wisconsin, at 10:30 a.m. on March 14, 2024. Said meeting was a _____ (*insert regular or special*) meeting of the Authority and was held in open, public session.

2. Said Resolution was on the agenda for said meeting and public notice thereof was given not less than twenty-four (24) hours prior to the commencement of said meeting in compliance with Section 19.84 of the Wisconsin Statutes, including, without limitation, by posting on the bulletin board in the City Hall, by notice to those news media who have filed a written request for notice of meetings, and by notice to the official newspaper of the City of Green Bay.

3. Said meeting was called to order by _____, who chaired the meeting. The following commissioners were present:

_____	_____
_____	_____
_____	_____
_____	_____

and that the following commissioners were absent:

_____	_____
_____	_____

A quorum was present. Various matters and business were taken up during the course of the meeting without intervention of any closed session. One of the matters taken up was said Resolution, which was introduced, and its adoption was moved by _____ and seconded by _____. Following discussion and after all commissioners who desired to do so had expressed their views for or against said Resolution, the question was called, and upon roll being called and the continued presence of a quorum being noted, the recorded vote was as follows:

AYE:

_____	_____
_____	_____
_____	_____
_____	_____

NAY:

_____	_____
_____	_____

ABSTAIN OR NOT VOTING:

_____	_____
_____	_____

WHEREUPON, the meeting chair declared said Resolution adopted, and I so recorded it.

IN WITNESS WHEREOF, I have signed my name and affixed the seal, if any, of the Authority hereto on this 14th day of March, 2024.

**HOUSING AUTHORITY OF
THE CITY OF GREEN BAY, WISCONSIN**

[SEAL]

By: _____
Cheryl Renier-Wigg, Executive Director

EXHIBIT A

NOTICE TO THE ELECTORS

On March 14, 2024, a resolution was offered, read, approved and adopted whereby the Housing Authority of the City of Green Bay, Wisconsin authorized the issuance and sale of its Housing Revenue Bonds, Series 2024 (The Gateway Collective, Inc. Project) in an aggregate amount not to exceed \$12,045,000 (the “Bonds”). The closing of the bond sale was held on _____, 2024. A copy of all proceedings had to date with respect to the authorization and sale of said Bonds is on file and may be examined in the office of the Executive Director, 100 North Jefferson Street, Green Bay, Wisconsin.

This notice is given pursuant to Section 893.77, Wisconsin Statutes, which provides that an action or proceeding to contest the validity of such financing, for other than constitutional reasons, must be commenced within 30 days after the date of publication of this notice.

Cheryl Renier-Wigg, Executive Director
Housing Authority of the City of Green Bay, Wisconsin



Report to the
Housing Authority
of the City of Green Bay

MEETING DATE

March 14, 2024

PREPARED BY

AGENDA ITEM # G.I

GBHA Bills.

BACKGROUND

RECOMMENDATION

FISCAL IMPACT

ATTACHMENTS

1. Check Detail - Jan
2. Check Detail - Feb

Green Bay Housing Authority
Check Detail
January 2024

Type	Num	Date	Name	Memo	Account
Check		01/31/2024		Service Cha...	1111.01 · General ...
				Service Charge	4530.00 · Bank Fees
TOTAL					
Bill Pmt -Check	7344	01/25/2024	CITY OF GREEN B...		1111.01 · General ...
Bill	70-12422	12/31/2023		Wages	4110.00 · Admin Sa...
				Benefits	4182.00 · Employee...
				Wages	4110.00 · Admin Sa...
				Benefits	4182.00 · Employee...
Bill	970-12420 1/2/24	01/02/2024		fees collected	1242.00 · Fees coll...
Bill	181233	01/09/2024		Nov & Dec m...	4190.02 · Postage
Bill	181604	01/22/2024		HR Fees	4190.10 · Miscellan...
TOTAL					

Green Bay Housing Authority
Check Detail
January 2024

<u>Paid Amount</u>
<u>-75.00</u>
-75.00
-5,184.23
-2,096.38
-34.60
-14.73
-33.19
-11.44
<u>-3,945.15</u>
-11,319.72

12:08 PM

03/06/24

Green Bay Housing Authority

Check Detail

February 2024

Type	Num	Date	Name	Memo	Account
Bill Pmt -Check	7345	02/08/2024	CITY OF GREEN B...		1111.01 · General ...
Bill	181827	12/31/2023		admin charges	4190.10 · Miscellan...
Bill	182291	12/31/2023		copies	4190.01 · Printing
				supplies & m...	4190.03 · Paper & ...
Bill	970-12420 1/15/24	01/15/2024		tax forms	4190.03 · Paper & ...
Bill	970-12422 1/31/24	01/31/2024		wages	4110.00 · Admin Sa...
				benefits	4182.00 · Employee...
TOTAL					
Bill Pmt -Check	7346	02/08/2024	Lutheran Social S...	social worker	1111.01 · General ...
Bill	168516	12/31/2023		social worker...	4210.00 · Ten Ser-...
TOTAL					
Bill Pmt -Check	7347	02/21/2024	CITY OF GREEN B...		1111.01 · General ...
Bill	182579	12/31/2023		IT services	4190.06 · Computer...
Bill	970-12420 2/1/24	02/01/2024		Buildum fees	1242.00 · Fees coll...
TOTAL					
Bill Pmt -Check	7348	02/21/2024	Jayme Valentine		1111.01 · General ...
Bill	9/1-30/23 mileage	09/30/2023		mileage	4150.00 · Travel
				mileage	4150.00 · Travel
Bill	11/1-30/23 mileage	11/30/2023		mileage	4150.00 · Travel
				mileage	4150.00 · Travel
Bill	10/1-31/23 mileage	10/31/2024		mileage	4150.00 · Travel
				mileage	4150.00 · Travel
TOTAL					
Bill Pmt -Check	7349	02/21/2024	WAHA	2024 dues	1111.01 · General ...
Bill	2024 dues	02/06/2024		2024 Dues	4190.05 · Members...
TOTAL					

Green Bay Housing Authority
Check Detail
February 2024

Paid Amount

-2,008.00
-51.38
-24.34
-22.49
-5,319.36
-1,432.99

-8,858.56

-2,793.36

-2,793.36

-2,362.56
-102.34

-2,464.90

-23.58
-14.41
-24.56
-24.57
-23.25
-21.95

-132.32

-70.00

-70.00



Report to the
Housing Authority
of the City of Green Bay

MEETING DATE

March 14, 2024

PREPARED BY

AGENDA ITEM # G.2

GBHA Financial Report.

BACKGROUND

RECOMMENDATION

FISCAL IMPACT

ATTACHMENTS

- I. Financial Statement

Green Bay Housing Authority

Budget vs. Actual

Green Bay Housing Authority

Feb-24

	COCC		Mason Manor		RevBonds		TOTAL	
	YTD	Budget	YTD	Budget	YTD	Budget	YTD	Budget
Total Income	120,952.98	174,131.60	469,897.12	868,235.02	29,636.26	63,341.84	620,486.36	1,105,708.46
Total Expense	72,755.82	162,000.00	1,460,427.68	1,014,043.76	639.33	4,900.00	1,533,822.83	1,180,943.76
Net Income	48,197.16	12,131.60	-990,530.56	-145,808.74	28,996.93	58,441.84	-913,336.47	-75,235.30

Reserve Spreadsheet

	MM
2023 Unaudited Report	1,140,399
YTD Net Income/(loss)	(990,531)
Without Depreciation	
Committed Funds	-
Remaining Projects	-
Subtotal	149,868
Transfer	-
Projected Reserve	149,868
6 Month Expenses	455,052
Excess/shortfall	(305,183)
	☹

Green Bay Housing Authority

Budget vs. Actual

	COCC				Mason Manor			
	YTD	Budget	\$ Over Budget	% of Budget	YTD	Budget	\$ Over Budget	% of Budget
Income								
2802.00 · Hud Contributions	0.00	0.00	0.00	0.0%	147,299.50	217,980.00	-70,680.50	67.58%
3110.00 · Dwelling Rental	0.00	0.00	0.00	0.0%	194,774.00	505,630.00	-310,856.00	38.52%
3120.00 · Excess Utilities	0.00	0.00	0.00	0.0%	2,028.00	5,000.00	-2,972.00	40.56%
3510.00 · Management Fee Revenue	60,338.89	131,781.60	129,864.00	45.79%	0.00	0.00	0.00	0.0%
3520.00 · Asset Management Rev	10,050.00	24,000.00	24,000.00	41.88%	0.00	0.00	0.00	0.0%
3530.00 · BookKeeping Fee Rev	7,417.50	18,000.00	18,000.00	41.21%	0.00	0.00	0.00	0.0%
3610.00 · Int Income	17,804.50	250.00	2,500.00	7,121.8%	80,090.05	2,000.00	78,090.05	4,004.5%
3690.00 · Other Income - Tenants	0.00	0.00	0.00	0.0%	2,900.00	4,000.00	-1,100.00	72.5%
3690.01 · Other Income - Ins Dividends	322.09	100.00	15.00	322.09%	9,501.62	5,750.00	3,751.62	165.25%
3690.02 · Other Income	25,020.00	0.00	25,020.00	100.0%	10,258.45	15,000.00	-4,741.55	68.39%
3690.03 · Cell Tower Rent	0.00	0.00	0.00	0.0%	23,045.50	112,875.02	-89,829.52	20.42%
Total Income	120,952.98	174,131.60	-53,178.62	69.46%	469,897.12	868,235.02	-398,337.90	54.12%
Expense								
4110.00 · Admin Salaries	38,141.59	71,500.00	-33,358.41	53.35%	39,886.32	117,500.00	-77,613.68	33.95%
4120.00 · Compensated Absences	0.00	0.00	0.00	0.0%	0.00	500.00	-500.00	0.0%
4130.00 · Legal Expense	0.00	6,000.00	-6,000.00	0.0%	267.65	750.00	-482.35	35.69%
4130.01 · Investigations Expense	0.00	0.00	0.00	0.0%	712.00	1,300.00	-588.00	54.77%
4140.00 · Staff Training	0.00	9,000.00	-9,000.00	0.0%	1,147.10	5,000.00	-3,852.90	22.94%
4150.00 · Travel	40.81	200.00	-159.19	20.41%	199.26	250.00	-50.74	79.7%
4160.00 · Management Fee	0.00	0.00	0.00	0.0%	46,367.60	96,639.84	-50,272.24	47.98%
4163.00 · BookKeeping Fee	0.00	0.00	0.00	0.0%	5,700.00	13,680.00	-7,980.00	41.67%
4165.00 · Asset Management Fee	0.00	0.00	0.00	0.0%	7,650.00	18,240.00	-10,590.00	41.94%
4171.00 · Auditing Fees	2,242.00	2,500.00	-258.00	89.68%	4,484.00	4,500.00	-16.00	99.64%
4182.00 · Employee Benefits - Admin	15,920.23	29,000.00	-13,079.77	54.9%	14,354.58	38,000.00	-23,645.42	37.78%
4190.01 · Printing	303.69	300.00	3.69	101.23%	1,048.14	1,000.00	48.14	104.81%
4190.02 · Postage	330.06	200.00	130.06	165.03%	167.61	1,100.00	-932.39	15.24%
4190.03 · Paper & Office Supplies	104.32	900.00	-795.68	11.59%	183.25	1,500.00	-1,316.75	12.22%
4190.04 · Publications	0.00	300.00	-300.00	0.0%	0.00	0.00	0.00	0.0%
4190.05 · Membership Dues & Fees	75.41	400.00	-324.59	18.85%	51.00	0.00	51.00	100.0%
4190.06 · Computer Support	3,046.21	7,000.00	-3,953.79	43.52%	9,311.13	7,500.00	1,811.13	124.15%
4190.07 · Tele Fax & Comm	0.00	0.00	0.00	0.0%	746.84	2,250.00	-1,503.16	33.19%
4190.08 · Marketing	0.00	5,000.00	-5,000.00	0.0%	100.00	2,300.00	-2,200.00	4.35%
4190.10 · Miscellaneous	11,408.64	15,000.00	-3,591.36	76.06%	60,299.75	1,500.00	58,799.75	4,019.98%
4220.00 · Ten Ser-Recr Etc	0.00	0.00	0.00	0.0%	0.00	200.00	-200.00	0.0%
4220.01 · Ten Ser - Resident Part	0.00	0.00	0.00	0.0%	526.18	2,900.00	-2,373.82	18.14%
4230.00 · Ten Ser-Contrs	0.00	0.00	0.00	0.0%	22,669.44	47,433.92	-24,764.48	47.79%
4310.00 · Water	0.00	0.00	0.00	0.0%	15,333.63	37,500.00	-22,166.37	40.89%
4320.00 · Electricity	0.00	0.00	0.00	0.0%	31,947.45	66,000.00	-34,052.55	48.41%
4330.00 · Gas	0.00	0.00	0.00	0.0%	7,089.16	46,000.00	-38,910.84	15.41%
4390.00 · Other Utilities	0.00	0.00	0.00	0.0%	2,159.70	5,000.00	-2,840.30	43.19%
4410.00 · Maint - Labor	0.00	0.00	0.00	0.0%	50,245.20	134,000.00	-83,754.80	37.5%
4420.00 · Maint - Supplies	0.00	100.00	-100.00	0.0%	5,867.95	10,000.00	-4,132.05	58.68%
4430.00 · Maint - Contracts	0.00	0.00	0.00	0.0%	2,965.40	10,000.00	-7,034.60	29.65%
4430.01 · Maint - Non-Contract	0.00	0.00	0.00	0.0%	958.00	5,000.00	-4,042.00	19.16%
4430.03 · Maint - Truck Maint	0.00	100.00	-100.00	0.0%	976.11	3,000.00	-2,023.89	32.54%
4430.09 · Fire Protection - Maint	0.00	0.00	0.00	0.0%	1,646.00	5,000.00	-3,354.00	32.92%
4430.10 · Heating and Cooling	0.00	0.00	0.00	0.0%	51.00	5,000.00	-4,949.00	1.02%
4430.11 · Snow Removal	0.00	0.00	0.00	0.0%	0.00	3,000.00	-3,000.00	0.0%
4430.12 · Elevator Maintenance	0.00	0.00	0.00	0.0%	6,523.00	14,500.00	-7,977.00	44.99%
4430.13 · Landscape and Grounds	0.00	0.00	0.00	0.0%	159.88	1,500.00	-1,340.12	10.66%
4430.15 · Electrical	0.00	0.00	0.00	0.0%	0.00	0.00	0.00	0.0%
4430.16 · Plumbing	0.00	0.00	0.00	0.0%	1,662.47	1,500.00	162.47	110.83%
4430.17 · Extermination	0.00	0.00	0.00	0.0%	9,609.52	17,500.00	-7,890.48	54.91%
4430.18 · Appliances	0.00	0.00	0.00	0.0%	0.00	0.00	0.00	0.0%
4430.19 · Garbage & Trash Removal	0.00	0.00	0.00	0.0%	2,829.84	7,000.00	-4,170.16	40.43%
4430.25 · Unit Repair	0.00	0.00	0.00	0.0%	0.00	0.00	0.00	0.0%
4432.00 · Extraordinary Maintenance	0.00	0.00	0.00	0.0%	0.00	0.00	0.00	0.0%
4433.00 · Emp Ben Contr-ord maint	0.00	0.00	0.00	0.0%	16,668.81	37,000.00	-20,331.19	45.05%
4480.00 · Protect Service	0.00	0.00	0.00	0.0%	0.00	0.00	0.00	0.0%
4510.00 · Insurance Expense - Property	0.00	0.00	0.00	0.0%	42,955.71	40,000.00	2,955.71	107.39%
4510.01 · Insurance Expenses - Liability	500.00	750.00	-250.00	66.67%	8,205.00	8,500.00	-295.00	96.53%
4520.00 · PILOT	0.00	0.00	0.00	0.0%	0.00	38,000.00	-38,000.00	0.0%
4530.00 · Bank Fees	642.86	1,100.00	-457.14	58.44%	0.00	0.00	0.00	0.0%
4572.00 · Bad Debt - Tenant Rents	0.00	0.00	0.00	0.0%	0.00	5,000.00	-5,000.00	0.0%
4590.00 · Other General	0.00	12,000.00	-12,000.00	0.0%	0.00	0.00	0.00	0.0%
4800.00 · Depreciation Expense	0.00	650.00	-650.00	0.0%	0.00	150,000.00	-150,000.00	0.0%

Green Bay Housing Authority
Budget vs. Actual

	COCC				Mason Manor			
	YTD	Budget	\$ Over Budget	% of Budget	YTD	Budget	\$ Over Budget	% of Budget
9120.00 - Transfers Out	0.00	0.00	0.00	0.0%	1,036,702.00	0.00	1,036,702.00	100.0%
Total Expense	72,755.82	162,000.00	-89,244.18	44.91%	1,460,427.68	1,014,043.76	446,383.92	144.02%
Net Income/(Loss)	48,197.16	12,131.60	36,065.56	397.29%	-990,530.56	-145,808.74	-844,721.82	679.34%

Green Bay Housing Authority

Budget vs. Actual

	RevBonds				TOTAL			
	YTD	Budget	\$ Over Budget	% of Budget	YTD	Budget	\$ Over Budget	% of Budget
Income								
2802.00 · Hud Contributions	0.00	0.00	0.00	0.0%	147,299.50	217,980.00	-70,680.50	67.58%
3110.00 · Dwelling Rental	0.00	0.00	0.00	0.0%	194,774.00	505,630.00	-310,856.00	38.52%
3120.00 · Excess Utilities	0.00	0.00	0.00	0.0%	2,028.00	5,000.00	-2,972.00	40.56%
3510.00 · Management Fee Revenue	0.00	0.00	0.00	0.0%	60,338.89	131,781.60	-71,442.71	45.79%
3520.00 · Asset Management Rev	0.00	0.00	0.00	0.0%	10,050.00	24,000.00	-13,950.00	41.88%
3530.00 · BookKeeping Fee Rev	0.00	0.00	0.00	0.0%	7,417.50	18,000.00	-10,582.50	41.21%
3610.00 · Int Income	0.00	250.00	-250.00	0.0%	97,894.55	2,500.00	95,394.55	3,915.78%
3690.00 · Other Income - Tenants	0.00	0.00	0.00	0.0%	2,900.00	4,000.00	-1,100.00	72.5%
3690.01 · Other Income - Ins Dividends	0.00	0.00	0.00	0.0%	9,823.71	5,850.00	3,973.71	167.93%
3690.02 · Other Income	10,132.96	63,091.84	-52,958.88	16.06%	45,411.41	78,091.84	-32,680.43	58.15%
3690.03 · Cell Tower Rent	19,503.30	0.00	19,503.30	100.0%	42,548.80	112,875.02	-70,326.22	37.7%
Total Income	29,636.26	63,341.84	-33,705.58	46.79%	620,486.36	1,105,708.46	-485,222.10	56.12%
Expense								
4110.00 · Admin Salaries	34.60	550.00	-515.40	6.29%	78,062.51	189,550.00	-111,487.49	41.18%
4120.00 · Compensated Absences	0.00	0.00	0.00	0.0%	0.00	500.00	-500.00	0.0%
4130.00 · Legal Expense	0.00	0.00	0.00	0.0%	267.65	6,750.00	-6,482.35	3.97%
4130.01 · Investigations Expense	0.00	0.00	0.00	0.0%	712.00	1,300.00	-588.00	54.77%
4140.00 · Staff Training	0.00	0.00	0.00	0.0%	1,147.10	14,000.00	-12,852.90	8.19%
4150.00 · Travel	0.00	0.00	0.00	0.0%	240.07	450.00	-209.93	53.35%
4160.00 · Management Fee	0.00	0.00	0.00	0.0%	46,367.60	96,639.84	-50,272.24	47.98%
4163.00 · BookKeeping Fee	0.00	0.00	0.00	0.0%	5,700.00	13,680.00	-7,980.00	41.67%
4165.00 · Asset Management Fee	0.00	0.00	0.00	0.0%	7,650.00	18,240.00	-10,590.00	41.94%
4171.00 · Auditing Fees	590.00	600.00	-10.00	98.33%	7,316.00	7,600.00	-284.00	96.26%
4182.00 · Employee Benefits - Admin	14.73	250.00	-235.27	5.89%	30,289.54	67,250.00	-36,960.46	45.04%
4190.01 · Printing	0.00	0.00	0.00	0.0%	1,351.83	1,300.00	51.83	103.99%
4190.02 · Postage	0.00	0.00	0.00	0.0%	497.67	1,300.00	-802.33	38.28%
4190.03 · Paper & Office Supplies	0.00	0.00	0.00	0.0%	287.57	2,400.00	-2,112.43	11.98%
4190.04 · Publications	0.00	0.00	0.00	0.0%	0.00	300.00	-300.00	0.0%
4190.05 · Membership Dues & Fees	0.00	0.00	0.00	0.0%	126.41	400.00	-273.59	31.6%
4190.06 · Computer Support	0.00	0.00	0.00	0.0%	12,357.34	14,500.00	-2,142.66	85.22%
4190.07 · Tele Fax & Comm	0.00	0.00	0.00	0.0%	746.84	2,250.00	-1,503.16	33.19%
4190.08 · Marketing	0.00	3,000.00	-3,000.00	0.0%	100.00	10,300.00	-10,200.00	0.97%
4190.10 · Miscellaneous	0.00	500.00	-500.00	0.0%	71,708.39	17,000.00	54,708.39	421.81%
4220.00 · Ten Ser-Recr Etc	0.00	0.00	0.00	0.0%	0.00	200.00	-200.00	0.0%
4220.01 · Ten Ser - Resident Part	0.00	0.00	0.00	0.0%	526.18	2,900.00	-2,373.82	18.14%
4230.00 · Ten Ser-Contrs	0.00	0.00	0.00	0.0%	22,669.44	47,433.92	-24,764.48	47.79%
4310.00 · Water	0.00	0.00	0.00	0.0%	15,333.63	37,500.00	-22,166.37	40.89%
4320.00 · Electricity	0.00	0.00	0.00	0.0%	31,947.45	66,000.00	-34,052.55	48.41%
4330.00 · Gas	0.00	0.00	0.00	0.0%	7,089.16	46,000.00	-38,910.84	15.41%
4390.00 · Other Utilities	0.00	0.00	0.00	0.0%	2,159.70	5,000.00	-2,840.30	43.19%
4410.00 · Maint - Labor	0.00	0.00	0.00	0.0%	50,245.20	134,000.00	-83,754.80	37.5%
4420.00 · Maint - Supplies	0.00	0.00	0.00	0.0%	5,867.95	10,100.00	-4,232.05	58.1%
4430.00 · Maint - Contracts	0.00	0.00	0.00	0.0%	2,965.40	10,000.00	-7,034.60	29.65%
4430.01 · Maint - Non-Contract	0.00	0.00	0.00	0.0%	958.00	5,000.00	-4,042.00	19.16%
4430.03 · Maint - Truck Maint	0.00	0.00	0.00	0.0%	976.11	3,100.00	-2,123.89	31.49%
4430.09 · Fire Protection - Maint	0.00	0.00	0.00	0.0%	1,646.00	5,000.00	-3,354.00	32.92%
4430.10 · Heating and Cooling	0.00	0.00	0.00	0.0%	51.00	5,000.00	-4,949.00	1.02%
4430.11 · Snow Removal	0.00	0.00	0.00	0.0%	0.00	3,000.00	-3,000.00	0.0%
4430.12 · Elevator Maintenance	0.00	0.00	0.00	0.0%	6,523.00	14,500.00	-7,977.00	44.99%
4430.13 · Landscape and Grounds	0.00	0.00	0.00	0.0%	159.88	1,500.00	-1,340.12	10.66%
4430.15 · Electrical	0.00	0.00	0.00	0.0%	0.00	0.00	0.00	0.0%
4430.16 · Plumbing	0.00	0.00	0.00	0.0%	1,662.47	1,500.00	162.47	110.83%
4430.17 · Extermination	0.00	0.00	0.00	0.0%	9,609.52	17,500.00	-7,890.48	54.91%
4430.18 · Appliances	0.00	0.00	0.00	0.0%	0.00	0.00	0.00	0.0%
4430.19 · Garbage & Trash Removal	0.00	0.00	0.00	0.0%	2,829.84	7,000.00	-4,170.16	40.43%
4430.25 · Unit Repair	0.00	0.00	0.00	0.0%	0.00	0.00	0.00	0.0%
4432.00 · Extraordinary Maintenance	0.00	0.00	0.00	0.0%	0.00	0.00	0.00	0.0%
4433.00 · Emp Ben Contr-ord maint	0.00	0.00	0.00	0.0%	16,668.81	37,000.00	-20,331.19	45.05%
4480.00 · Protect Service	0.00	0.00	0.00	0.0%	0.00	0.00	0.00	0.0%
4510.00 · Insurance Expense - Property	0.00	0.00	0.00	0.0%	42,955.71	40,000.00	2,955.71	107.39%
4510.01 · Insurance Expenses - Liability	0.00	0.00	0.00	0.0%	8,705.00	9,250.00	-545.00	94.11%
4520.00 · PILOT	0.00	0.00	0.00	0.0%	0.00	38,000.00	-38,000.00	0.0%
4530.00 · Bank Fees	0.00	0.00	0.00	0.0%	642.86	1,100.00	-457.14	58.44%
4572.00 · Bad Debt - Tenant Rents	0.00	0.00	0.00	0.0%	0.00	5,000.00	-5,000.00	0.0%
4590.00 · Other General	0.00	0.00	0.00	0.0%	0.00	12,000.00	-12,000.00	0.0%
4800.00 · Depreciation Expense	0.00	0.00	0.00	0.0%	0.00	150,650.00	-150,650.00	0.0%

Green Bay Housing Authority
Budget vs. Actual

	RevBonds				TOTAL			
	YTD	Budget	\$ Over Budget	% of Budget	YTD	Budget	\$ Over Budget	% of Budget
9120.00 - Transfers Out	0.00	0.00	0.00	0.0%	1,036,702.00	0.00	1,036,702.00	100.0%
Total Expense	639.33	4,900.00	-4,260.67	13.05%	1,533,822.83	1,180,943.76	352,879.07	129.88%
Net Income/(Loss)	28,996.93	58,441.84	-29,444.91	49.62%	-913,336.47	-75,235.30	-838,101.17	1,213.97%



Report to the
Housing Authority
of the City of Green Bay

MEETING DATE

March 14, 2024

PREPARED BY

AGENDA ITEM # G.3

Director's Report.

BACKGROUND

RECOMMENDATION

FISCAL IMPACT

ATTACHMENTS

None



Report to the
Housing Authority
of the City of Green Bay

MEETING DATE

March 14, 2024

PREPARED BY

AGENDA ITEM # G.4

Occupancy Report.

BACKGROUND

RECOMMENDATION

FISCAL IMPACT

ATTACHMENTS

None