



AGENDA OF THE GREEN BAY PLAN COMMISSION

MONDAY, OCTOBER 7, 2024, 6:00 PM
City Hall, Room 604 - The Harry Maier Room.
Virtual attendance is also available via Zoom.

A. Zoom Meeting Information.

- I. Join Zoom Meeting Online:

<https://us02web.zoom.us/j/84137675822?pwd=L2EyVlpDSIZGZlFjcmlpWnZlOEVnUT09>

Or call in by phone: +1 312 626 6799

Meeting ID: 841 3767 5822

Passcode: 483400

If you wish to speak at this public meeting or leave a comment, please fill out the online [Comment Form](#) prior to the meeting. More detailed [Zoom Instructions](#) can be found online.

B. Roll Call.

- I. Members: Chair Lisa Hanson, Vice-Chair Jacob Miller, Ald. Jim Hutchison, Derius Daniels, Ken Rovinski, Emma Fulwilder and Kelsey Lutzow.

C. Approval of the Agenda.

- I. Approval of the agenda for the Monday, October 7, 2024, meeting of the Green Bay Plan Commission.

D. Approval of Minutes.

- I. Approval of the minutes from the September 23, 2024, meeting.

E. Regular Business.

- I. (ZP 24-32) Public Hearing on a request to rezone properties along the west side of St. Agnes Drive from Low-Density Residential (R1) district to Medium-Density residential (R2) district, submitted by Community and Economic Development. (Ald. Eck, District 11)

2. (ZP 24-32) Consideration with possible action on a request to rezone properties along the west side of St. Agnes Drive from Low-Density Residential (R1) district to Medium-Density residential (R2) district, submitted by Community and Economic Development. (Ald. Eck, District 11)
3. (ZP 24-33) Public Hearing on a request to rezone 1830 Military Access Road (Parcel 6-310) from Low-Density Residential (R1) district to Public Institutional (PI) district and General Commercial (C1) district, submitted by Dan Van Straten of Highland Crest Baptist Church, Property Owner. (Ald. Eck, District 11)
4. (ZP 24-33) Consideration with possible action on a request to rezone 1830 Military Access Road (Parcel 6-310) from Low-Density Residential (R1) district to Public Institutional (PI) district and General Commercial (C1) district, submitted by Dan Van Straten of Highland Crest Baptist Church, Property Owner. (Ald. Eck, District 11)
5. (ZP 24-34) Public Hearing on a request for a Conditional Use Permit for a carriage house at 1824 Tenth Avenue, submitted by Andrew Mevis, property owner. (Ald. Johnson, District 9)
6. (ZP 24-34) Consideration with possible action on a request for a Conditional Use Permit for a carriage house at 1824 Tenth Avenue, submitted by Andrew Mevis, property owner. (Ald. Johnson, District 9)
7. (CSM 24-15) Consideration with possible action on a request to create a 3-lot Certified Survey Map that includes public street dedication at 2035 Crestwood Springs Drive (Parcel 6H-4449), 2041 Crestwood Springs Drive (6H-4448), 2045 Crestwood Springs Drive (6H-4447), 0 Bayberry Court (6H-1247-2), and 0 Packerland Drive (Parcel 6H-1247-3), submitted by Brad Rymer of Vierbicher, on behalf of Thomas and Mary Saphner, property owners. (Ald. Hinkfuss, District 12)

F. Informational.

1. Director's report.
2. Date of next meeting: November 4, 2024.

G. Adjournment.

- 1) THIS MEETING IS RECORDED: THE VIDEO OF THIS MEETING AND MINUTES ARE AVAILABLE ONLINE AT www.greenbaywi.gov
- 2) ACCESSIBILITY: Any person wishing to attend who requires special accommodation because of a disability, should contact the City Safety Manager at 920-448-3125 at least 48 hours before the scheduled meeting time so that arrangements can be made.
- 3) QUORUM: Please take notice that a majority or quorum of the Common Council will attend this Plan Commission meeting and will constitute a meeting of the Common Council for purposes of discussion and information gathering relative to this agenda.
- 4) REPRESENTATION: The party requesting the communication, or their representative, should be present at this meeting.



Report to the Green Bay Plan Commission

MEETING DATE

October 7, 2024

PREPARED BY

AGENDA ITEM # E.I

(ZP 24-32) Public Hearing on a request to rezone properties along the west side of St. Agnes Drive from Low-Density Residential (R1) district to Medium-Density residential (R2) district, submitted by Community and Economic Development. (Ald. Eck, District 11)

BACKGROUND

RECOMMENDATION

FISCAL IMPACT

ATTACHMENTS

None



Report to the Green Bay Plan Commission

MEETING DATE

October 7, 2024

PREPARED BY

Stephanie Hummel, Staff

AGENDA ITEM # E.2

(ZP 24-32) Consideration with possible action on a request to rezone properties along the west side of St. Agnes Drive from Low-Density Residential (R1) district to Medium-Density residential (R2) district, submitted by Community and Economic Development. (Ald. Eck, District 11)

BACKGROUND

Primary Addresses:

- 1710 ST AGNES DR
- 1720 ST AGNES DR
- 1716 ST AGNES DR
- 1614 ST AGNES DR
- 1610 ST AGNES DR
- 1606 ST AGNES DR
- 1624 ST AGNES DR
- 1704 ST AGNES DR
- 1700 ST AGNES DR
- 1620 ST AGNES DR
- 1524 ST AGNES DR
- 1512 ST AGNES DR
- 1508 ST AGNES DR
- 1551 BIEMERET ST

Alderson/District: Ald. Eck, District 11

Reason for Request: The proposed rezoning will best match the existing land use.

Surrounding Zoning and Land Uses:

Subject Property: Low-Density Residential (R1) | Two-Family Homes

North: Low-Density Residential (R1) | Single- & Two-Family Homes

South: Low-Density Residential (R1) | Church Parking Lot

East: Low-Density Residential (R1) | Single- & Two-Family Homes

West: Low-Density Residential (R1) | Single- & Two-Family Homes

Comprehensive Plan: The 2022 Smart Growth Green Bay Comprehensive Plan currently recommends Low Density Residential uses for this parcel. This rezoning is consistent with this recommendation.

Report: There are 14 parcels included in this rezoning request. All are currently zoned Low-Density Residential (R1) and have two-family, side-by-side duplexes on them. All parcels are between 11,691 square feet and 14,446 square feet in size. These parcels were built as duplexes sometime between 1960 and 1978 based on aerial photos.

Staff is proposing a rezoning from Low-Density Residential (R1) to Medium-Density Residential (R2). R1 zoning allows two-family dwellings in limited numbers and requires a Conditional Use Permit. R2 zoning allows two-family uses by-right. Single-family uses are also allowed by-right in the R2 district. Considering this stretch of parcels was originally developed as and has always been two-family homes, R2 is the appropriate zoning district. This also allows for building work/expansions without the need to acquire a CUP to do so. Staff considers this action as a zoning map “clean-up” action.

Ald. Eck and neighbors within 200 feet were noticed of the meeting based on Plan Commission policy. One inquiry for more details has been made, but no other comments have been made as of the drafting of this report.

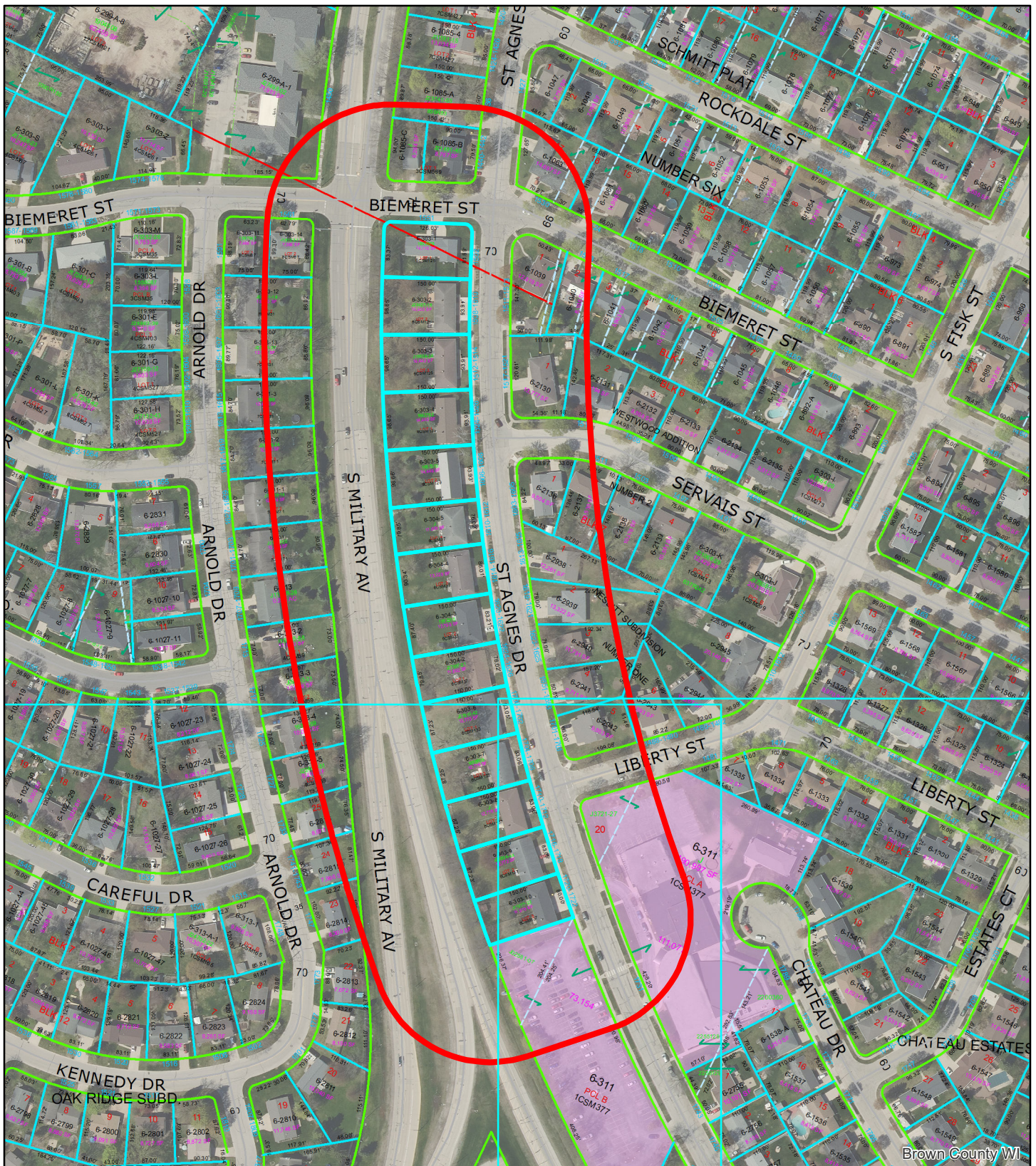
RECOMMENDATION

Approval of the Request.

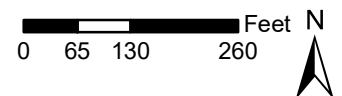
FISCAL IMPACT

ATTACHMENTS

- I. ZP 24-32 Map



(ZP 24-32) Rezone from R1 to R2 Along St. Agnes Drive



This is a compilation of records and data located in various City of Green Bay offices and is to be used for reference purposes only. The City of Green Bay is not responsible for any inaccuracies or unauthorized use of the information contained within. No warranties are implied. Map prepared by City of Green Bay Department of Community and Economic Development. E.R. 10 Sep 2024 X:\Planning\Basesmaps\template_8.5x11.mxd

- Impacted Parcels
- 200' Notification Area



Report to the Green Bay Plan Commission

MEETING DATE

October 7, 2024

PREPARED BY

AGENDA ITEM # E.3

(ZP 24-33) Public Hearing on a request to rezone 1830 Military Access Road (Parcel 6-310) from Low-Density Residential (RI) district to Public Institutional (PI) district and General Commercial (CI) district, submitted by Dan Van Straten of Highland Crest Baptist Church, Property Owner. (Ald. Eck, District 11)

BACKGROUND

RECOMMENDATION

FISCAL IMPACT

ATTACHMENTS

None



Report to the Green Bay Plan Commission

MEETING DATE

October 7, 2024

PREPARED BY

Jon LeRoy, Zoning Administrator

AGENDA ITEM # E.4

(ZP 24-33) Consideration with possible action on a request to rezone 1830 Military Access Road (Parcel 6-310) from Low-Density Residential (R1) district to Public Institutional (PI) district and General Commercial (C1) district, submitted by Dan Van Straten of Highland Crest Baptist Church, Property Owner. (Ald. Eck, District 11)

BACKGROUND

Primary Address: 1830 Military Access Road

Aldersperson/District: Ald. Eck, District 11

Reason for Request: The proposed rezoning places the existing church in alignment with typical zoning (Public Institutional) classification as Highland Crest Baptist Church is seeking to create additions to the existing church facility.

Surrounding Zoning and Land Uses:

Subject: Varied-Density Residential (R1) | Highland Crest Baptist Church and Surface Parking

North: Low-Density Residential (R1) | Single-Family Homes, Pilgrim Church, and Military Access Road

South: Village of Ashwaubenon

East: Low-Density Residential (R1) | Single-Family Homes and Military Access Road

West: Planned Unit Development | Offices

Comprehensive Plan: The 2022 Smart Growth Green Bay Comprehensive Plan currently recommends both Public (eastern portion) and Commercial (western portion) classification on the property. The proposed rezoning is consistent with this recommendation.

Report: The subject area is located on the eastern part of the block, which is situated between Military Access Road, Lombardi Avenue, and South Military Avenue. The parcel is just over 4 acres in size. Highland Crest Baptist Church has been on the block for generations. The applicants are seeking to create a building addition to the existing church building as well as some parking lot enhancements on the eastern portion of the property.

Low Density Residential (R1) zoning has been used in the past (prior to 2006) as a typical zoning designation for existing churches. In recent years, city staff has been 'cleaning up' these designations, especially when a church seeks expansion of facilities on its property. Public Institutional (PI) zoning was adopted by the City in 2006 and is the more appropriate classification for church uses compared to Low Density Residential zoning, which has bulk requirements that are better suited for single- and two-family residential form compared to a larger institutional uses such as a church. Staff is supportive of this clean up to better permit reinvestment on the site.

The applicant requests a rezone of the parcel to a split zoning of Public Institutional (PI) and General

Commercial (CI). Staff does not recommend a split rezoning of the property as the western portion of the property is not being redeveloped, but rather remains being used for accessory parking purposes for both Highland Crest Church and the neighboring office building to the west as shared parking. Staff supports sharing parking, but does not believe a split zoning is appropriate on a single lot with one primary use and normal accessory uses like recreational facilities, surface parking, and a church kitchen.

Ald. Eck and neighbors within 200 feet have been notified of the meeting based on Plan Commission policy. No inquiries have been made as of the drafting of this report. A conceptual site plan is attached with this report.

RECOMMENDATION

Approval of a request to rezone. Staff recommends the entire property rezone from Low-Density Residential (RI) to Public Institutional (PI).

FISCAL IMPACT

ATTACHMENTS

1. ZP 24-33 Application
2. ZP 24-33 Applicant Narrative
3. ZP 24-33 Site Plan



REQUEST FOR CITY ACTION PLAN COMMISSION

Community and Economic
Development Department
100 N. Jefferson Street, Rm 608
Green Bay, WI 54301-5026
(920) 448-3400 - phone
(920) 448-3426 - fax
www.greenbaywi.gov

Location of Property: 1830 MILITARY ACCESS RD

Parcel Number(s): 6-310

Petitioner(s): HIGHLAND CREST BAPTIST CHURCH

Date: 8/28/24

Email: Shinglehoy@gmail.com

Phone Number: 920-609-3353

Address: 2559 Little Creek

City: Green Bay State: WI Zip: 54311

Property Owner: Dan Van Sturten

Phone Number: 920-609-3353

Submit this Request Form and all required attachments to the Community and Economic Development Department, Room 608, City Hall

To: Honorable Mayor and Common Council, c/o City Clerk

I, _____, respectfully request that the City of Green Bay take the following action:

- | | |
|--|--|
| ☒ | Rezone Property (\$375.00 Review Fee) |
| ☐ | Conditional Use and CUP Amendment, including Single Lot Duplexes (\$375.00 Review Fee) |
| ☐ | PUD and PUD Amendments (\$425.00 Review Fee) |
| ☐ | Approve Preliminary City/Extraterritorial Subdivision Plat (\$150.00 + \$35.00 per Lot/Outlot Review Fee) |
| ☐ | Approve Preliminary Condominium Plat (\$250.00 + \$35.00 per Lot/Outlot/Lot Equivalent Review Fee) |
| ☐ | Approve Preliminary City/Extraterritorial Certified Survey Map (\$250.00 Review Fee) |
| ☐ | Approve Final City/Extraterritorial Subdivision Plat (\$150.00 Review Fee) |
| ☐ | Approve Final Condominium Plat (\$150.00 Review Fee) |
| ☐ | Grant a City/Extraterritorial Subdivision/CSM Variance (\$150.00 Review Fee) |
| ☐ | Development District Map Amendment (\$200.00 Administration Fee) |
| ☐ | Official Map Amendment (\$200.00 Administration Fee) |
| ☐ | Plat of Right-of-Way (\$200.00 Administration Fee) |
| ☐ | Discontinue a Public Utility Easement (\$200.00 Administration Fee) |
| ☐ | Street Name Change (\$200.00 Administration Fee) |
| ☐ | Declare City Property "City Surplus" (\$200.00 Administration Fee) |
| ☐ | Vacate a Street/Alley/Pedestrian Way (\$300.00 Administration Fee) PLEASE FILL OUT PAGE 2 OF APPLICATION |
| ☐ | Closure of Street/Alley/Pedestrian Way (\$300.00 Administration Fee) PLEASE FILL OUT PAGE 2 OF APPLICATION |
| ☐ | Comprehensive Plan Amendments (\$275.00 Review Fee) |
| ☐ | Other (\$200.00 Administration Fee): _____ |

Owner Signature: _____

Date: 9-9-24

Petitioner Signature(s): _____

Checklist of required attachments:

- Map
- Legal Description
- Applicant Narrative Describing Project
- All Other Pertinent Information

For office use only:

Review Fee: _____

Receipt No.: _____

Zoning Petition No.: _____

Community and Economic Development Department
Development Department 100 N. Jefferson Street,
Green Bay, WI 54301

September 5, 2024

To whom it may concern,

RE: 1830 Military Access Road

Parcel# 6-310

The legal description:

LOT 1 OF 22 CSM 178 BNG PRT OF LOTS 19 & 20 OF CLA TANKS SUBD OF PC 12 & N1/2 OF PC 13
WSFR

Highland Crest Church is requesting that their property located at 1830 Military Access Road be rezoned to PI Public Institutional where the existing church is located and the balance of the sit be rezoned to C1 General Commercial. We are planned an expansion to the existing building that creates a new entry with a gathering space with a catering kitchen, updated office with public toilet rooms and a new multipurpose room, We are also replacing the adjacent parking lot to meet the current requirements for ADA accessible parking and drop off lane with 6 new landscape islands.

This requested zoning change will allow the existing site conditions to become compliant with the zoning requirements. The parking lot is being reconstructed to meet the setback and greenspace requirements. The site will meet the green space requirements. The building height of the proposed building will be compliant.

The building will meet the setback requirements. The existing building has an addition that was constructed in 1992 that is not conforming with the current setback from Lombardi Ave. This zoning change would make that existing portion of the building conforming.

This same portion of the building appears to encroach on a 12'-0" wide utility easement by approximately 2'-0". We also request that the encroachment be allowed to remain.

For all these reasons we are requesting that the City of Green Bay rezone this property.

Sincerely,

Richard J. Fisher, A.I.A.
Senior Project Architect



FISHER & ASSOCIATES, LLC

Architects/Planners

W13654 Balsam Lake Road, Crivitz, WI 54114 Phone 920-376-0007



Report to the Green Bay Plan Commission

MEETING DATE

October 7, 2024

PREPARED BY

AGENDA ITEM # E.5

(ZP 24-34) Public Hearing on a request for a Conditional Use Permit for a carriage house at 1824 Tenth Avenue, submitted by Andrew Mevis, property owner. (Ald. Johnson, District 9)

BACKGROUND

RECOMMENDATION

FISCAL IMPACT

ATTACHMENTS

None



Report to the Green Bay Plan Commission

MEETING DATE

October 7, 2024

PREPARED BY

Stephanie Hummel, Staff

AGENDA ITEM # E.6

(ZP 24-34) Consideration with possible action on a request for a Conditional Use Permit for a carriage house at 1824 Tenth Avenue, submitted by Andrew Mevis, property owner. (Ald. Johnson, District 9)

BACKGROUND

Primary Address: 1824 Tenth Avenue

Aldersperson/District: Ald. Johnson, District 9

Reason for Request: To allow for the development of a carriage house

Surrounding Zoning and Land Uses:

Subject Property: Low-Density Residential (RI) | Single-Family Home

North: Low-Density Residential (RI) | Single-Family Homes

South: Low-Density Residential (RI) | Single-Family Homes

East: Low-Density Residential (RI) | Single-Family Homes

West: Low-Density Residential (RI) | Single-Family Homes

Comprehensive Plan: The 2022 Smart Growth Plan currently designates this area for Low Density Residential uses and High Intensity Retail, Office, or Housing. The CUP request is consistent with the recommendations of the Comprehensive Plan.

Report: 1824 Tenth Avenue is a 6,000 square foot parcel, a half-block north of Lombardi Avenue. This parcel has an existing single-family home. The applicant is seeking a Conditional Use Permit for a carriage house on the property.

A new garage is proposed for the parcel, sized 26' x 30' and reaching 22' in height. It will be a two-car garage with living quarters above, making it a carriage house. Carriage houses require a Conditional Use Permit in the RI zoning district. This project also includes work done to the primary structure (house), but that work does not require a CUP. After the improvements, the house will be 23' in height. The primary structure on a property must be taller than the accessory structures, so the new house height is required for the proposed carriage house and reflected in a condition of approval.

Neither the house nor the carriage house plans have been through the City's Site Plan Review process; they will both need to meet all other requirements in the Green Bay Municipal Code (setbacks, impervious coverage, etc.), as well as the Land Use Development Standards for carriage houses which are as follows:

Section 44-1580 (g) Carriage-house dwelling in all residential districts.

(1) A carriage-house dwelling unit shall be located above a detached garage that is accessory to a single-family detached dwelling and located within the rear yard.

(2) Any exterior changes or additions for a carriage-house dwelling shall be constructed of similar materials and

shall be architecturally compatible with the main (principal) building.

(3) The dwelling unit may not contain more than 30 percent of the total floor area on the zoning lot.

(4) There shall be a total of no more than one carriage-house dwelling on a zoning lot.

(5) The minimum lot area shall be 2,500 square feet greater than the minimum lot area required for the main (principal) building in the zoning district.

(6) A detached garage with a carriage-house dwelling shall meet all requirements for accessory buildings. If walls of a carriage-house dwelling facing interior lot lines contain windows or other openings, the wall shall be set back at least four feet from the lot line.

(7) There shall be an unobstructed walkway leading from the public street to the carriage-house dwelling.

(8) At least one dwelling unit on the zoning lot shall be owner-occupied.

(9) A site plan and a building plan shall be submitted to the Plan Commission at the time of application for review and approval.

Item(5) cannot be met for this parcel and will require a variance from the Board of Appeals.

Item(6) is not currently being met on their site plan but could be accommodated without a Variance.

Item(7) is not currently being met on their site plan but could be accommodated without a Variance.

Item(8) is listed as a condition of this CUP approval, noting also that only one unit can be a short-term rental unit, as defined by Green Bay Municipal Code.

Conditional use approval may be recommended by the Plan Commission with reasonable consideration of the following:

- The establishment, maintenance, or operation of the conditional use will not be detrimental to or endanger the public health, safety, or general welfare.
- The establishment of the conditional use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.
- The conditional use, its exterior architectural design, and functional plan of any proposed structure will not be injurious to the use of other property in the immediate vicinity nor substantially diminish or impair property values within the surrounding neighborhood.
- Adequate utilities, access roads, drainage, and/or necessary facilities have been or are being provided.
- Adequate measures have been or will be taken to provide ingress and egress and so designed as to minimize traffic congestion.
- Adequate parking facilities as specified in Article XVIII of Section 44-83 within the Municipal Code.
- The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located and all other applicable City ordinances.

Staff feels this addition of a carriage house to this parcel is in keeping with both the existing neighborhood fabric, as well as the Comprehensive Plan's recommendation for higher density in this area. If the applicant can adjust their site plan to meet bulk requirements and/or receive a Variance from the Board of Appeals concerning lot size, this use and site should function much like it does today while adding a housing unit to the market.

Ald. Johnson and adjacent property owners within 200 ft. of the subject area have been notified of the request. There have been no inquiries regarding this request as of the drafting of this report.

RECOMMENDATION

Approval of the request, subject to the following conditions:

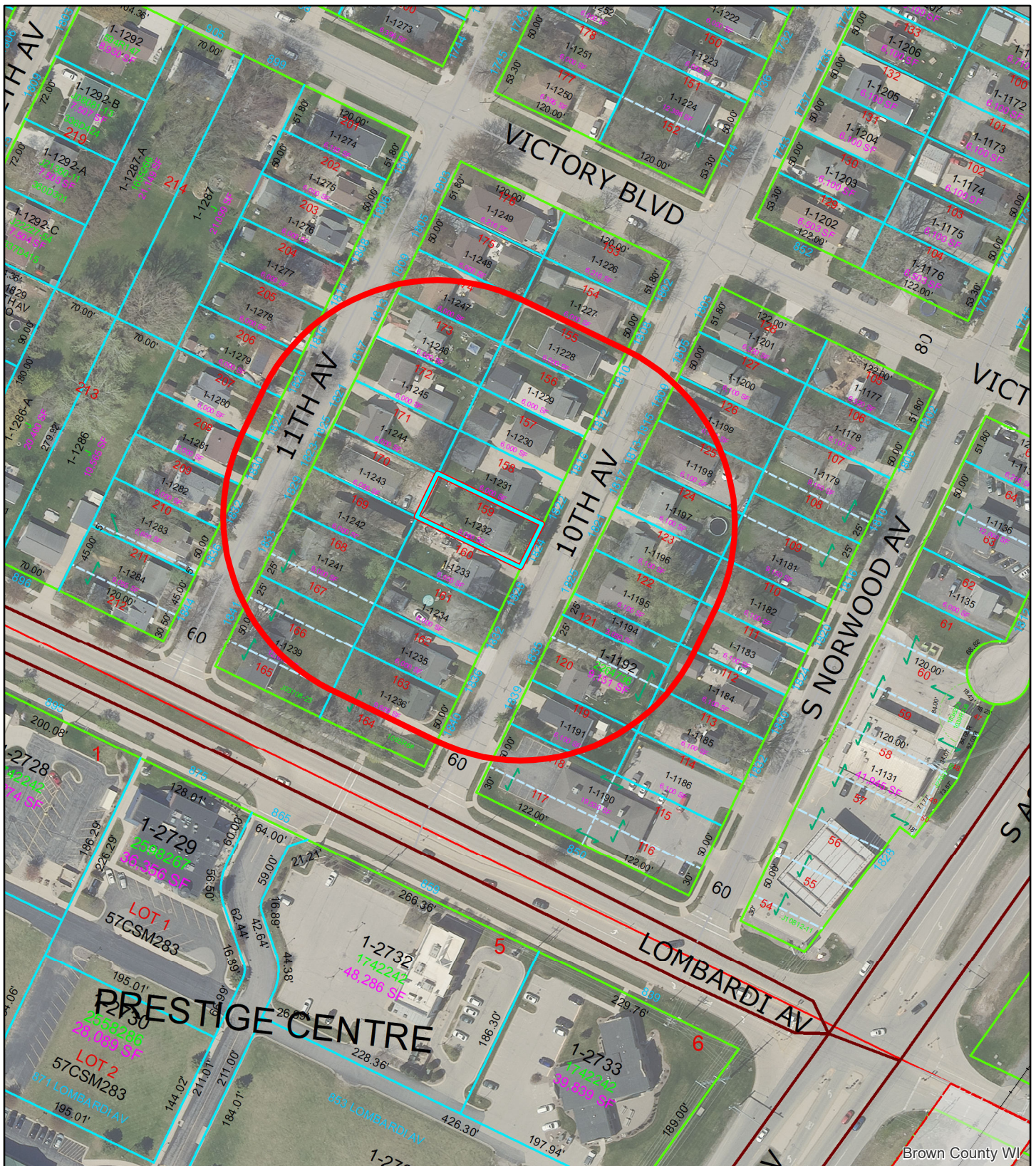
- I. An approved Variance for Section 44-1580(g)(5) relating to lot size for carriage houses.

2. The height of the primary structure (house) shall exceed the height of the accessory structure (carriage house) at the time of occupancy of the carriage house.
3. At least one unit on this parcel shall be owner occupied.
4. Only one unit on this parcel is allowed to be a short-term rental (as defined by Green Bay Municipal Code).
5. Compliance with all other regulations of the Green Bay Municipal Code.

FISCAL IMPACT

ATTACHMENTS

1. ZP 24-34 Map
2. ZP 24-34 Street View
3. ZP 24-34 Carriage House Details
4. ZP 24-34 Site Plan
5. ZP 24-34 House Details
6. ZP 24-34 Project Narrative
7. ZP 24-34 Application



Brown County WI



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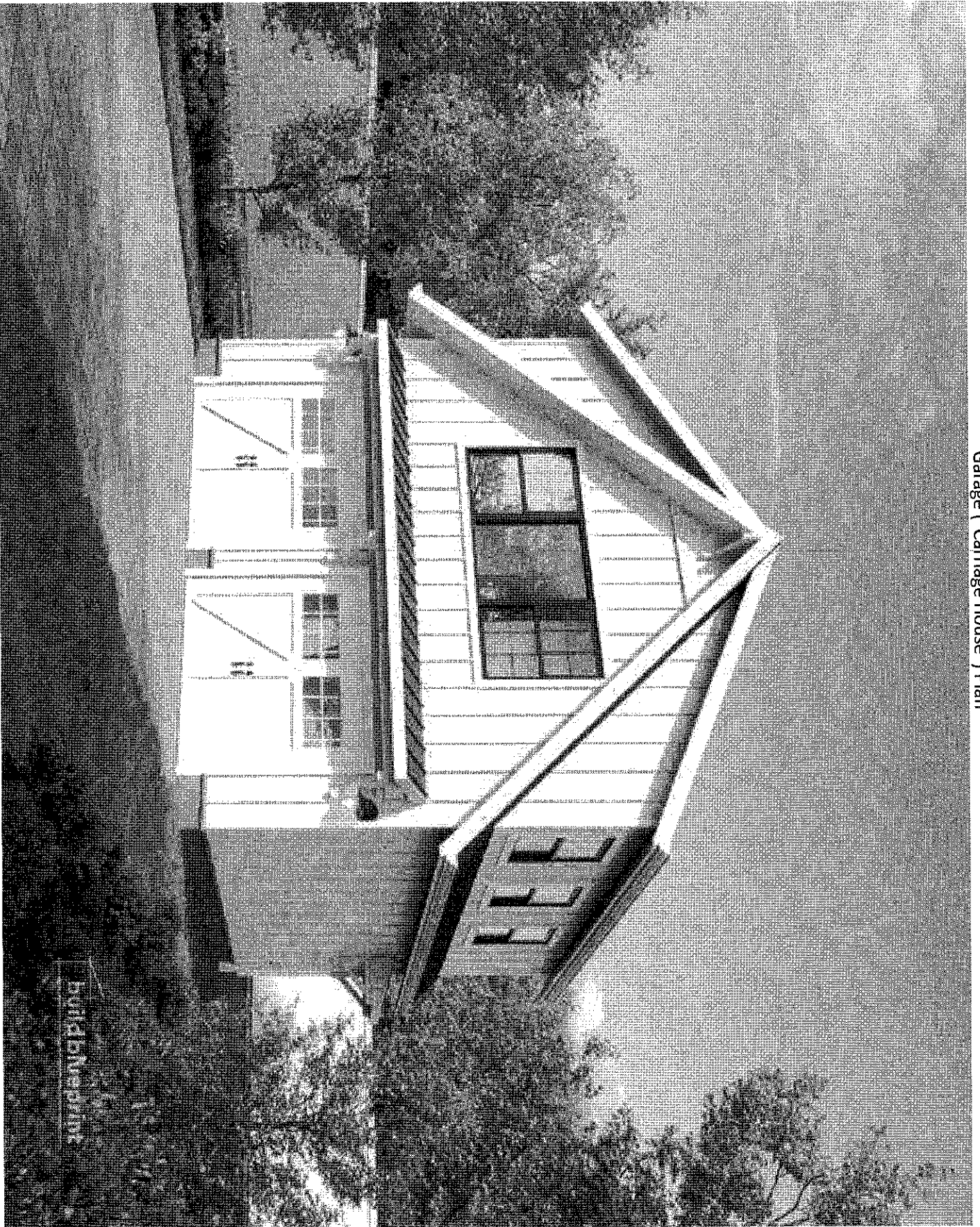
(ZP 24-34) Carriage House at 1824 10th Avenue



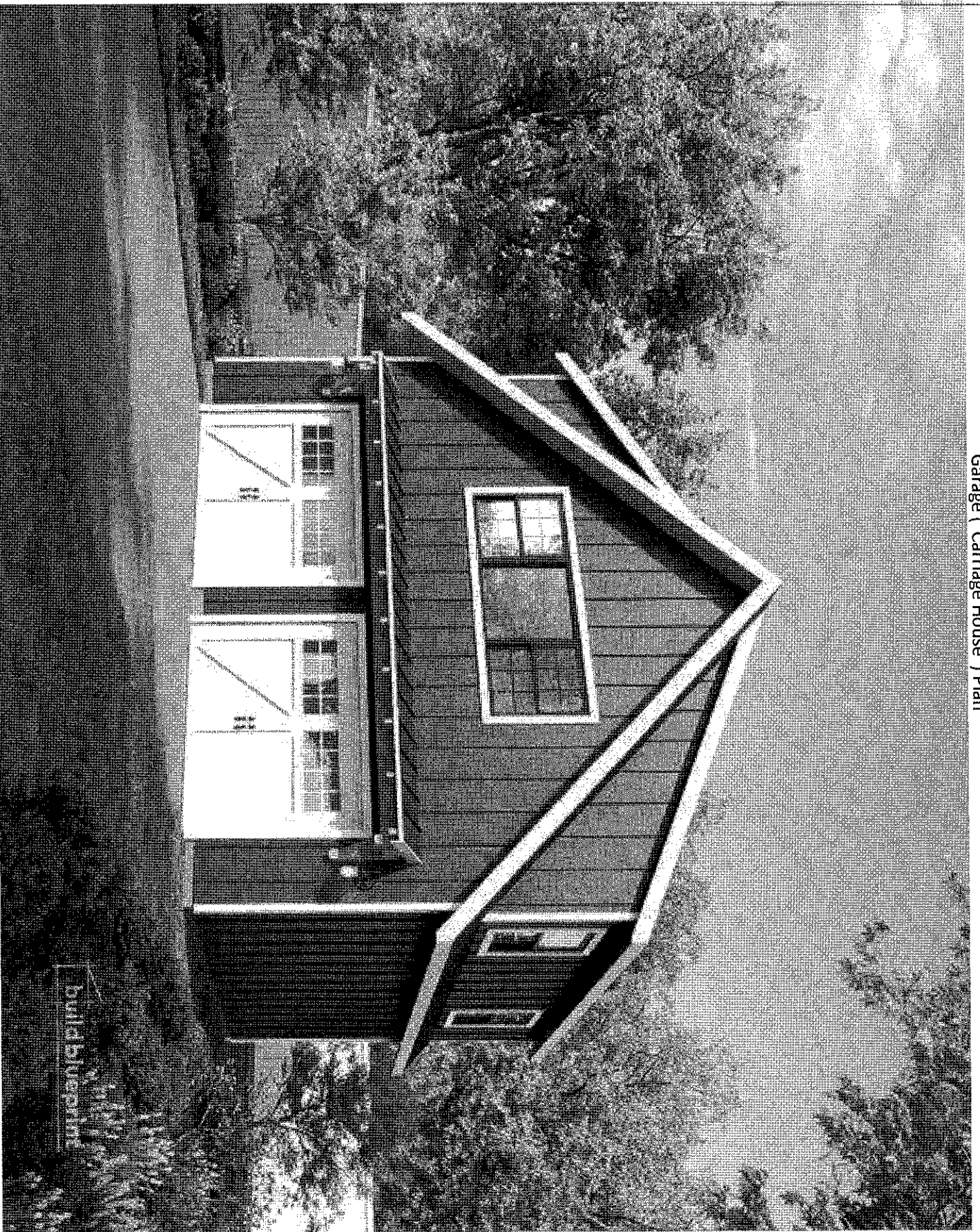
- 1824 10th Avenue
- 200' Notification Area

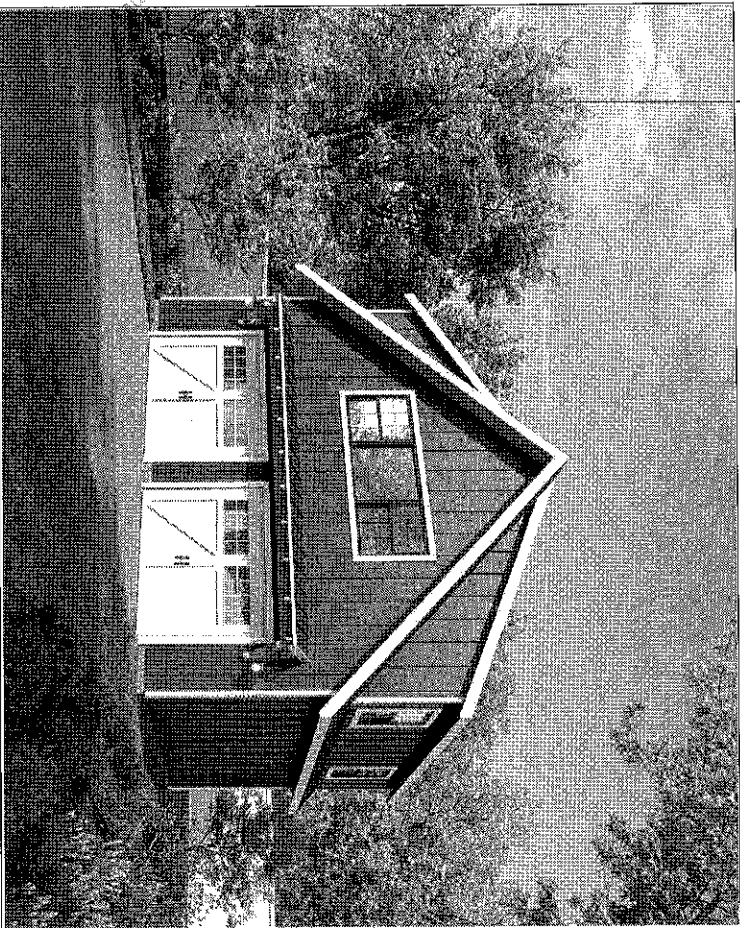


Garage ("Carriage House") Plan

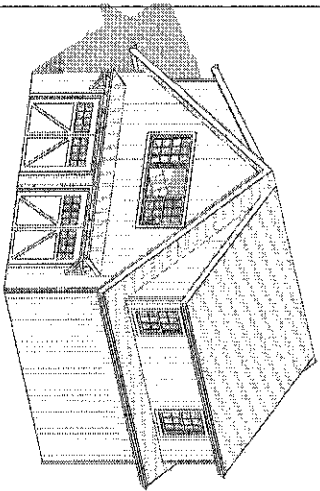


Garage ("Carriage House") Plan

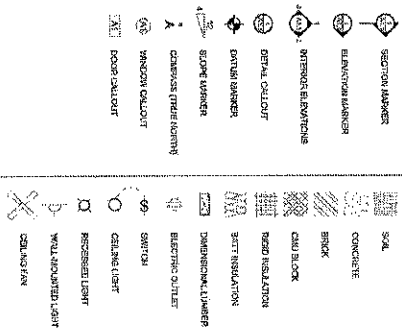




AXONOMETRIC VIEW



SYMBOLS LEGEND



LICENSE & DISCLAIMER

1. THE WORK INCLUDED WITHIN THESE DRAWINGS DOES NOT REPRESENT A LEGAL CONTRACT, NOR DOES IT CONSTITUTE A GUARANTEE OF RESULTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS. NO PERSON OR ORGANIZATION MAKES ANY WARRANTY, EXPRESS OR IMPLIED, REGARDING THE INFORMATION PROVIDED. THE CONTRACTOR ASSUMES FULL LIABILITY FOR ANY DAMAGES THAT MAY RESULT FROM THE USE OF THESE DRAWINGS.

2. THIS PLAN HAS BEEN PREPARED TO MEET PROFESSIONAL STANDARDS AND PRACTICES, HOWEVER, BUILDING CODE REQUIREMENTS VARY WITH LOCATION AND CHANGE FROM TIME TO TIME. BEFORE STARTING CONSTRUCTION THE CONTRACTOR MUST REVIEW AND BE RESPONSIBLE FOR ALL DIMENSIONS AND OTHER DETAILS AND SHOULD REVIEW PLANS TO INSURE THEY MEET CURRENT REQUIREMENTS. THE CONTRACTOR ASSUMES FULL RESPONSIBILITY TO VERIFY THE CONDITIONS, DIMENSIONS, AND STRUCTURAL DETAILS OF THE BUILDING, AND ASSUMES FULL LIABILITY FOR ANY PROBLEMS THAT MAY ARISE DUE TO POSSIBLE ERRORS ON THESE PLANS. ALL FEDERAL, STATE AND LOCAL CODES, ORDINANCES, REGULATIONS, ETC., SHALL BE CONSIDERED AS PART OF SPECIFICATIONS FOR THIS BUILDING AND SHALL TAKE PRECEDENCE OVER ANYTHING SHOWN, DESCRIBED OR IMPLIED WHERE SAME ARE AT VARIANCE. USE OF THESE PLANS CONSTITUTES COMPLIANCE WITH THE ABOVE TERMS.

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SHEET INDEX

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B-102	DETAILED FIRST FLOOR PLAN
B-103	DETAILED ELEVATION
B-104	DETAILED ELEVATION
B-105	GROUND FLOOR ELECTRICAL PLAN
B-106	FIRST FLOOR ELECTRICAL PLAN
B-107	ROOF PLAN
B-108	ROOF FRAMING PLAN
B-109	SLAB FOUNDATION
B-110	SECTION DETAIL
B-111	DETAILS
C-101	DOOR SCHEDULE
C-102	WINDOW SCHEDULE



NOTES

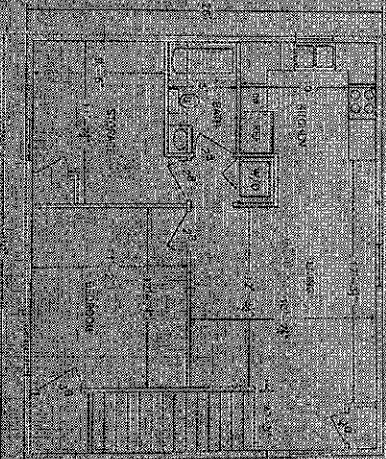
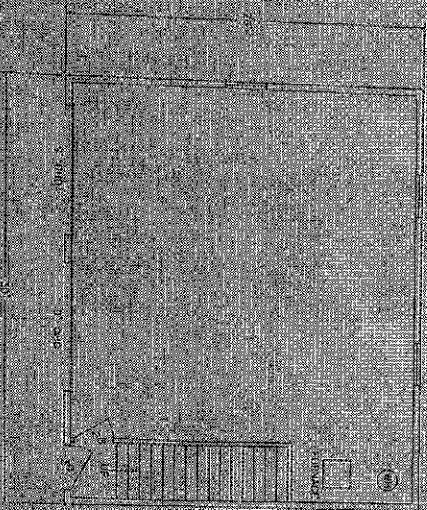
1. DRAWINGS SHOULD BE PRINTED ON ARCH D OR LARGER TO ENSURE ACCURATE SCALE PRINTING.

2. CONSULTATION WITH A PROFESSIONAL ENGINEER IS REQUIRED FOR THIS SET OF TYPICAL. CONSULT WITH YOUR LOCAL BUILDING CODE.

3. MATERIALS AND FINISHES LISTED IN THESE SET OF TYPICALS ARE SUGGESTED BY THE ARCHITECT AND SHOULD BE REVIEWED BY THE OWNER OR ARCHITECT BEFORE CONSTRUCTION.

26 X 26 ADU GARAGE	
COVER PAGE	
Project Number	BB-000000
Drawn by	J.L.
Checked by	J.L.
Scale	A-000
Sheet Number	1 of 1

Garage ("Carriage House") Plans



PROJECT: **Garage ("Carriage House") Plans**
 DRAWN BY: **ARCHITECT**
 CHECKED BY: **ARCHITECT**
 DATE: **1/1/2020**
 SCALE: **1/8" = 1'-0"**
 SHEET: **1 OF 1**

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NOTES

1. DRAWINGS SHOULD BE PRINTED ON A4 SIZE PAPER TO ENSURE ACCURATE SCALE PRINTING. $1/2" = 1'-0"$
2. CONSTRUCTION DETAILS ILLUSTRATED IN THIS SET ARE TYPICAL. CONSULT WITH YOUR SUBMITTER FOR DETAILS THAT MEETS YOUR LOCAL BUILDING CODE.
3. MATERIALS AND FINISHES ILLUSTRATED IN THIS SET ARE TYPICAL AND SHOULD BE VERIFIED BY YOUR BUILDER OR DESIGNER BEFORE CONSTRUCTION.

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26 X 26 ADU GARAGE

GROUND FLOOR PLAN

Project number/	B9-GP000
Date	
Drawn by	B.B.
Checked by	J.L.

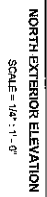
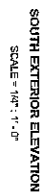
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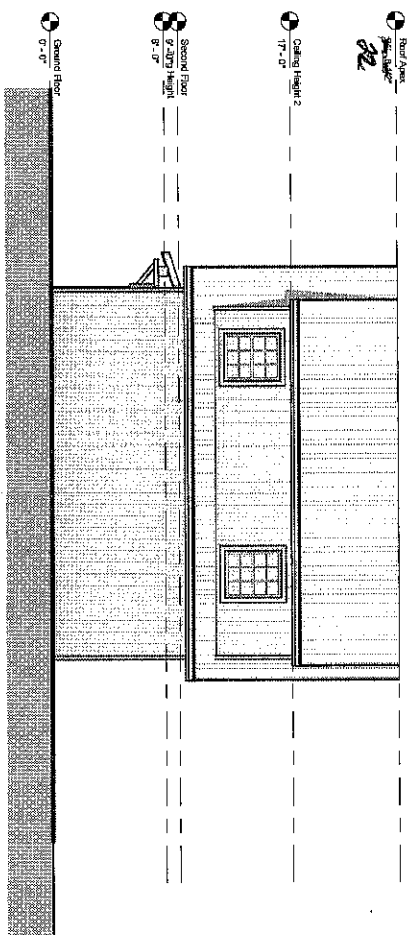
A-001

Sheet Number
Scale 1/2" = 1'-0"

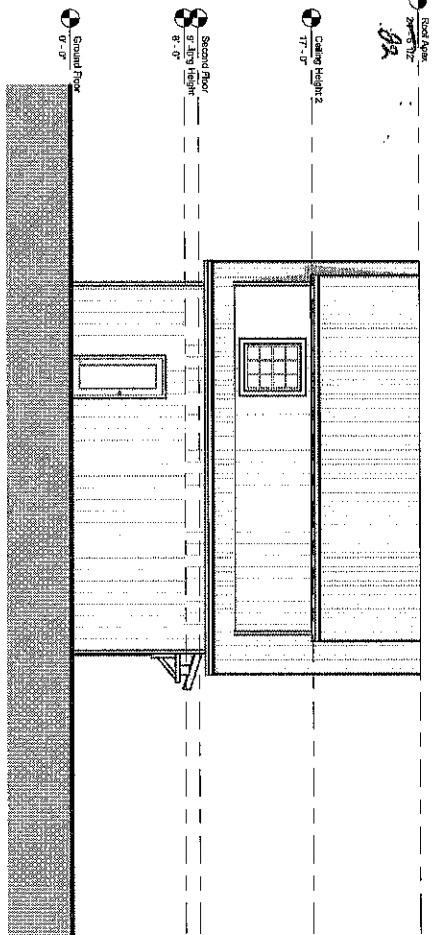
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[illegible]

[illegible]



EAST EXTERIOR ELEVATION
SCALE = 1/4" = 1' - 0"



WEST EXTERIOR ELEVATION
SCALE = 1/4" = 1' - 0"

[illegible]

1. LOGWAYS SHOULD BE PRINTED ON ARCH D SIZE PAPER TO BEHAVE ACCURATE SCALE MATTERS. $L/A^2 = 1/40$



25 •

GROUND FLOOR

$$\sqrt{2} = 1.414$$

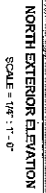
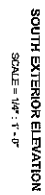
NOTES

1. DRAWINGS SHOULD BE PRINTED ON ARCH D SIZE PAPER TO ENSURE ACCURATE SCALE PRINTING. $1/2" = 1'-0"$

2. CONSTRUCTION DETAILS ILLUSTRATED IN THIS SET ARE TYPICAL. CONSULT WITH YOUR BUILDER FOR DETAILS THAT MEET YOUR LOCAL BUILDING CODE.

3. MATERIALS AND FINISHES ILLUSTRATED IN THIS SET ARE TYPICAL AND SHOULD BE VERIFIED BY YOUR BUILDER OR DESIGNER BEFORE CONSTRUCTION.

[illegible]

26 X 26 ADU GARAGENORTH & SOUTH
ELEVATION

B-103

Project number	BB-CPO003
Class	
Drawn by	B.B
Checked by	J.L
Sheet Number	B-103
Scale	$1/4" = 1'-0"$

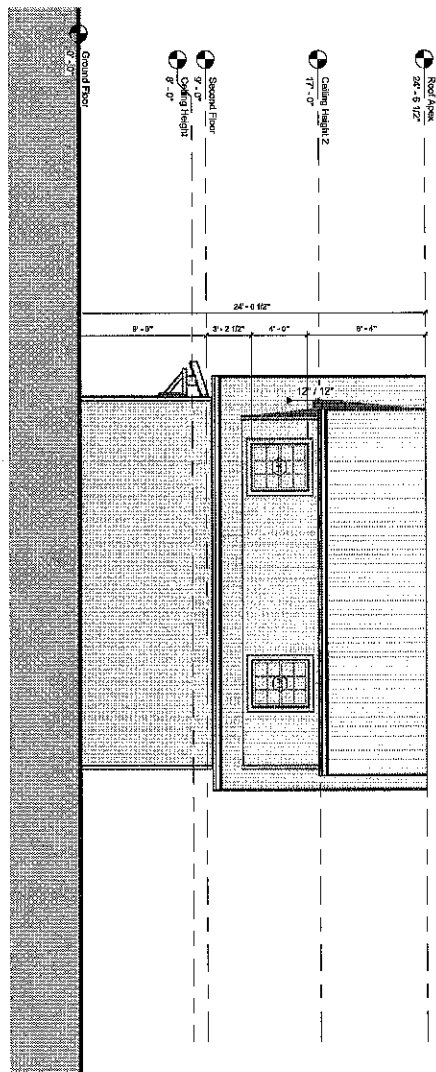
build
Copyright © BuickBlower

NOTES

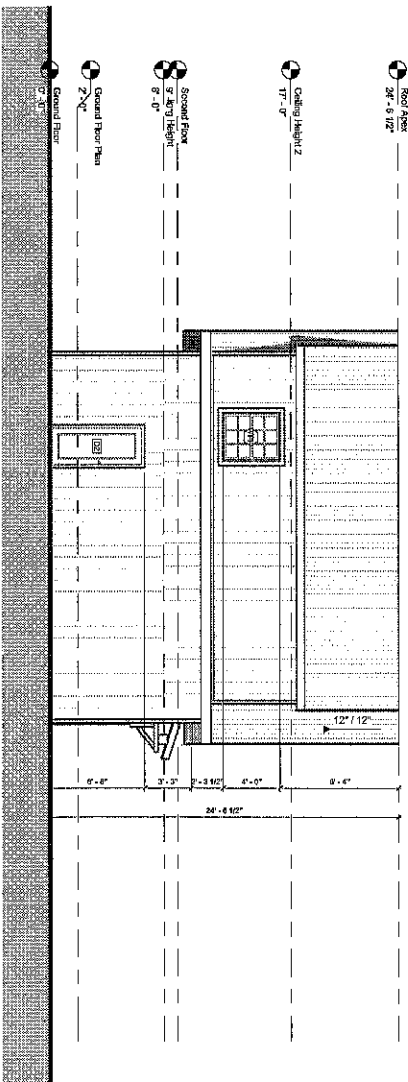
1. DRAWINGS SHOULD BE PRINTED ON EACH SIDE OF SHEET PAPER TO ENSURE ACCURATE SCALE PRINTING. $1/4" = 1'-0"$

2. CONSTRUCTION DETAILS ILLUSTRATED IN THIS SET ARE TYPICAL. CONSULT WITH YOUR BUILDER FOR DETAILS THAT MEET YOUR LOCAL BUILDING CODE.

3. MATERIALS AND FINISHES ILLUSTRATED IN THIS SET ARE TYPICAL, AND SHOULD BE VERIFIED BY YOUR BUILDER OR DESIGNER BEFORE CONSTRUCTION.



EAST EXTERIOR ELEVATION
SCALE = 1/4" = 1' - 0"



WEST EXTERIOR ELEVATION
SCALE = 1/4" = 1' - 0"

build

NOTES

1. DRAWINGS SHOULD BE PRINTED ON ARCH D SIZE PAPER TO ENSURE ACCURATE SCALE PRINTING. $1/8" = 1'-0"$
2. CONSTRUCTION DETAILS ILLUSTRATED IN THIS SET ARE TYPICAL, CONSULT WITH YOUR BUILDER FOR DETAILS THAT ADAPT TO YOUR LOCAL BUILDING CODE.
3. MATERIALS AND FINISHES ILLUSTRATED IN THIS SET ARE TYPICAL, AND SHOULD BE VERIFIED BY YOUR BUILDER OR DESIGNER BEFORE CONSTRUCTION.

[illegible]

26 X 26 ADU GARAGE

EAST & WEST ELEVATION

Project number	BB-GP0003
Date	
Drawn by	B.B.
Checked by	J.L.

B-104

Sheet Number	1/4" = 1'-0"
Scale	

26 X 26 ADU GARAGE

**GROUND FLOOR
ELECTRICAL PLAN**

B-105

Sheet Number	
Scale	1/2" = 1'-0"

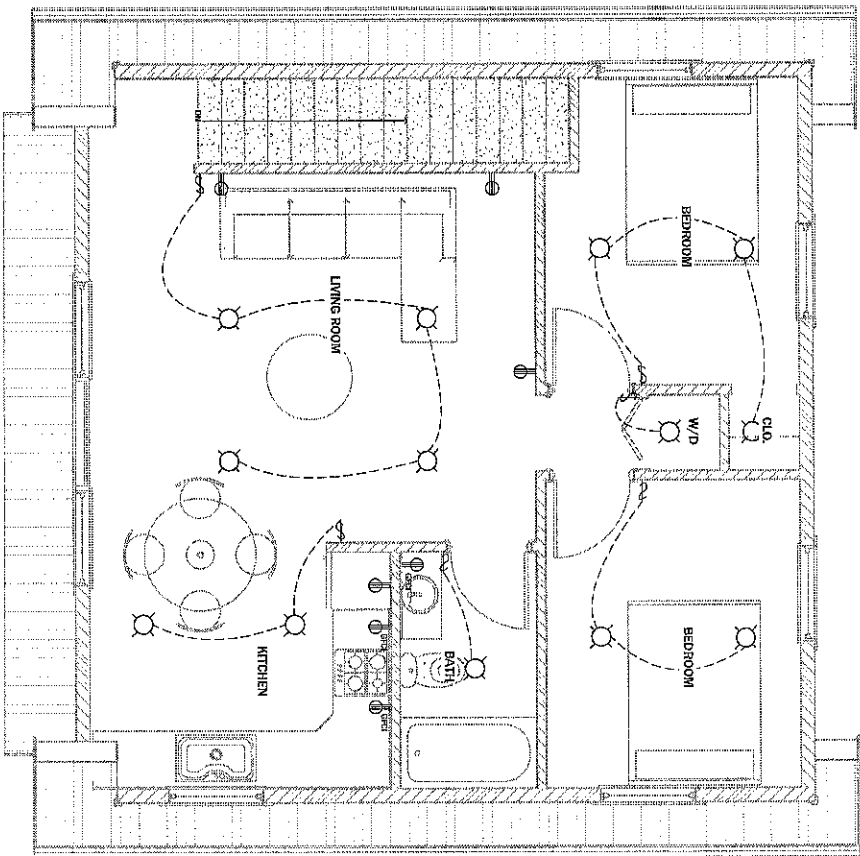
build **blueprints**
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NOTES

1. DRAWINGS SHOULD BE PRINTED ON ARCH D SIZE PAPER TO ENSURE ACCURATE SCALE PRINTING. 1/2" = 1'-0"
2. CONSTRUCTION DETAILS ILLUSTRATED IN THIS SET ARE TYPICAL. CONSULT WITH YOUR BUILDER FOR DETAILS THAT MEET YOUR LOCAL BUILDING CODE.
3. MATERIALS AND FINISHES ILLUSTRATED IN THIS SET ARE TYPICAL, AND SHOULD BE VERIFIED BY YOUR BUILDER OR DESIGNER BEFORE CONSTRUCTION.

NOTES

1. DRAWINGS SHOULD BE PRINTED ON ARCHITECT SCALE PAPER 11" x 17" ARCHITECT SCALE PRINTING 1/4" = 1'-0"
2. DIMENSIONS ARE SHOWN IN DIMENSIONS IN THIS SET ARE TYPICAL. CONSULT WITH YOUR DESIGNER FOR ANY CHANGES TO YOUR DESIGN BEFORE CONSTRUCTION.
3. MATERIALS AND FINISHES LISTED BE VERIFIED BY YOUR DESIGNER OR DESIGNER BEFORE CONSTRUCTION.



GROUND FLOOR ELECTRICAL PLAN

26 X 26 ADU GARAGE

FIRST FLOOR ELECTRICAL
PLAN

Project number	B-106
Date	11/11/2023
Drawn by	B.L.
Checked by	J.L.
Sheet Number	B-106
Scale	1/4" = 1'-0"



ROOF PLAN

B-107

No.	Description	Date
-----	-------------	------

build blueprint
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NOTES

1. DRAWINGS SHOULD BE PRINTED ON ARCH D SIZE PAPER TO ENSURE ACCURATE SCALE PRINTING. 1/2" = 1'-0"
2. CONSTRUCTION DETAILS ILLUSTRATED IN THIS SET ARE TYPICAL. CONSULT WITH YOUR BUILDER FOR DETAILS THAT MEETS YOUR LOCAL BUILDING CODE.
3. MATERIALS AND FINISHES ILLUSTRATED IN THIS SET ARE TYPICAL, AND SHOULD BE VERIFIED BY YOUR BUILDER OR DESIGNER BEFORE CONSTRUCTION.

26 X 26 ADU GARAGE

ROOF FRAMING PLAN

B-108

Sheet Number	
Scale	1/2" = 1'-0"

build
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NOTES

1. DRAWINGS SHOULD BE PRINTED ON A4 SIZE PAPER TO ENSURE ACCURATE SCALE PRINTING. 1/2" = 1'-0"
2. CONSTRUCTION DETAILS ILLUSTRATED IN THESE SET ARE TO BE CONSULTED WITH YOUR BUILDER FOR DETAILS THAT MEANS YOUR LOCAL BUILDING CODE.
3. MATERIALS AND FINISHES ILLUSTRATED IN THIS SET ARE TYPICAL, AND SHOULD BE VERIFIED BY YOUR BUILDER OR DESIGNER BEFORE CONSTRUCTION.

NOTES

1. DIMENSIONS SHOULD BE PRICED ON A LATCH SIZE BASIS TO ENSURE ACCURATE SCALE PAINTING. 1/2" = 1'-0."

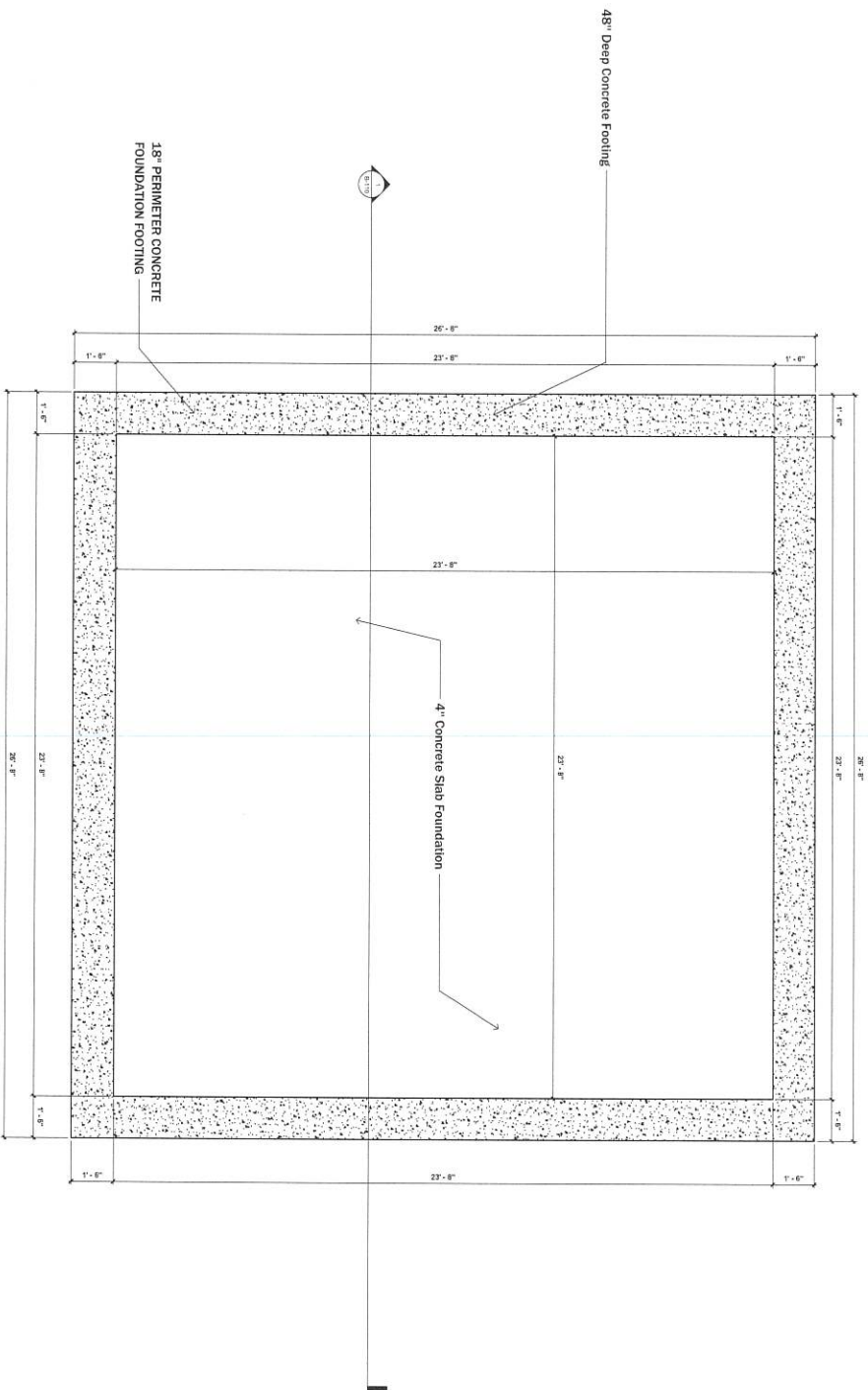
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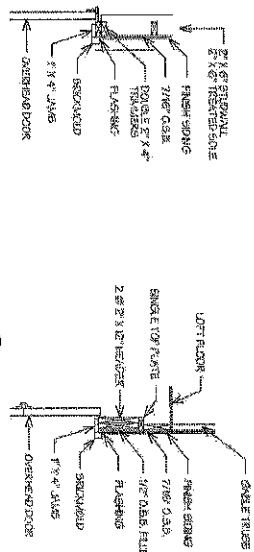
26 X 26 ADU GARAGE

SLAB FOUNDATION

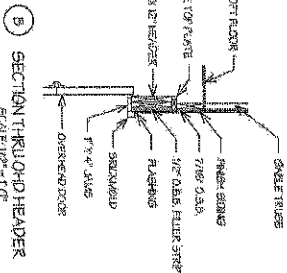
B-109

Sheet Number	
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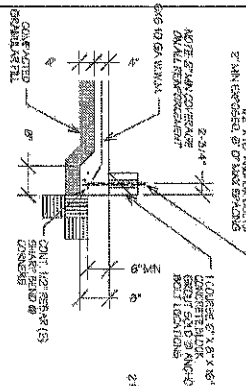




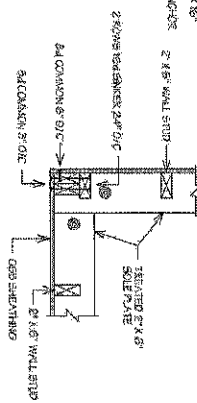
SECTION THRU OLD JAMS
SCALE 1/2" = 1'-0"



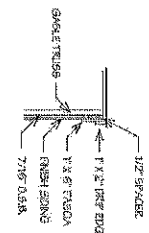
SECTION THROUGH HEADER
SCALE: 1/2" = 1'-0"



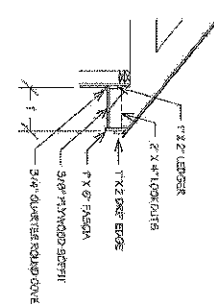
SLAB EDGE DETAIL
SECTION 1:12 = 1" = 3'



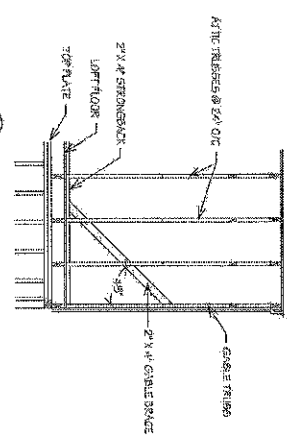
① CORNER FRAMING DETAIL.
SCALE = 1" = 3'-0"



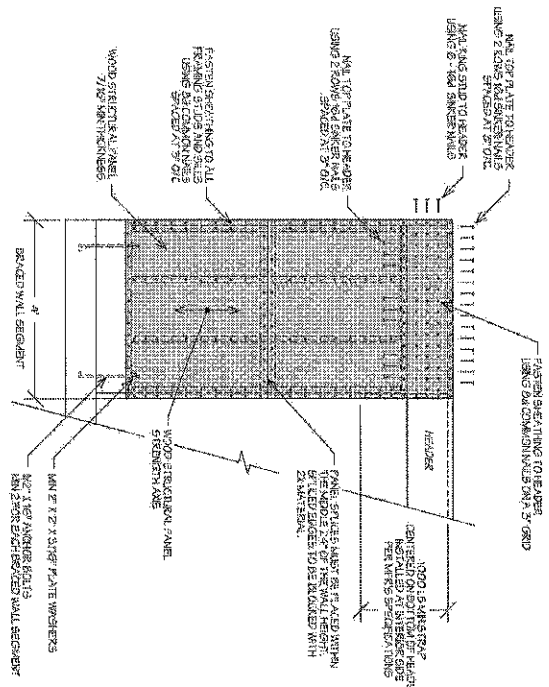
① F GABLE RAKE DETAIL
SCALE: 1/2" = 1'-0"

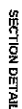


OVERHANG DETAIL
SCALE 1/2" = 1'-0"



⑤
GABLE BRACE DETAIL
BEAM: 14" x 1" b₁

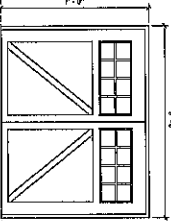
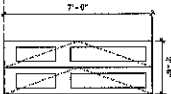
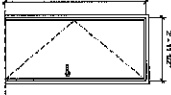
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NOTES

1. DRAWINGS SHOULD BE PRINTED OR
ACQUAINT (SCALE PRINTING) 3/4" = 1'-0"
2. CONSTRUCTION DETAILS SHOWN IN
THIS DRAWING ARE SUBJECT TO CHANGE
WITHOUT NOTICE. THE USER SHALL
VERIFY ALL DIMENSIONS AND CONDITIONS
BEFORE CONSTRUCTION.
3. MATERIALS AND FINISHES LISTED
ARE SUGGESTIONS ONLY. THE USER SHALL
VERIFY ALL DIMENSIONS AND CONDITIONS
BEFORE CONSTRUCTION.

DOOR SCHEDULE

FL	GR	SR	DR
			
Headering	D1	D2	D3
Quantity	2	1	2
Location	Garage	Kitchen	Laundry
Description	Timber Sash door Exterior door Paint finished	Glaz Panel door Exterior door Paint finished	Timber Sash door Exterior door Paint finished

26 X 26 ADU GARAGE

DOOR SCHEDULES

Project Name	BR-000000
Date	8.8
Drawn by	J.L.
Checked by	
C-101	
Scale	3/4" = 1'-0"

NOTES

1. DIMENSIONS SHOULD BE NOTED ON ALL DRAWINGS AND SPECIFICATIONS. ALL DIMENSIONS ARE IN FEET AND INCHES. 1" = 1'-0".
2. DIMENSIONS ARE APPROXIMATE. ALWAYS VERIFY DIMENSIONS ON THE GROUND BEFORE CONSTRUCTION.
3. MATERIALS AND FINISHES LISTED ARE SUGGESTIONS. ALWAYS VERIFY MATERIALS AND FINISHES WITH THE ARCHITECT BEFORE CONSTRUCTION.

WINDOWS SCHEDULE

Window	Location	Quantity	Description
W1	Kitchen	5	Double Hung Window Wood Frame
W2	Living Room South Facade	1	Double Hung Window Wood Frame

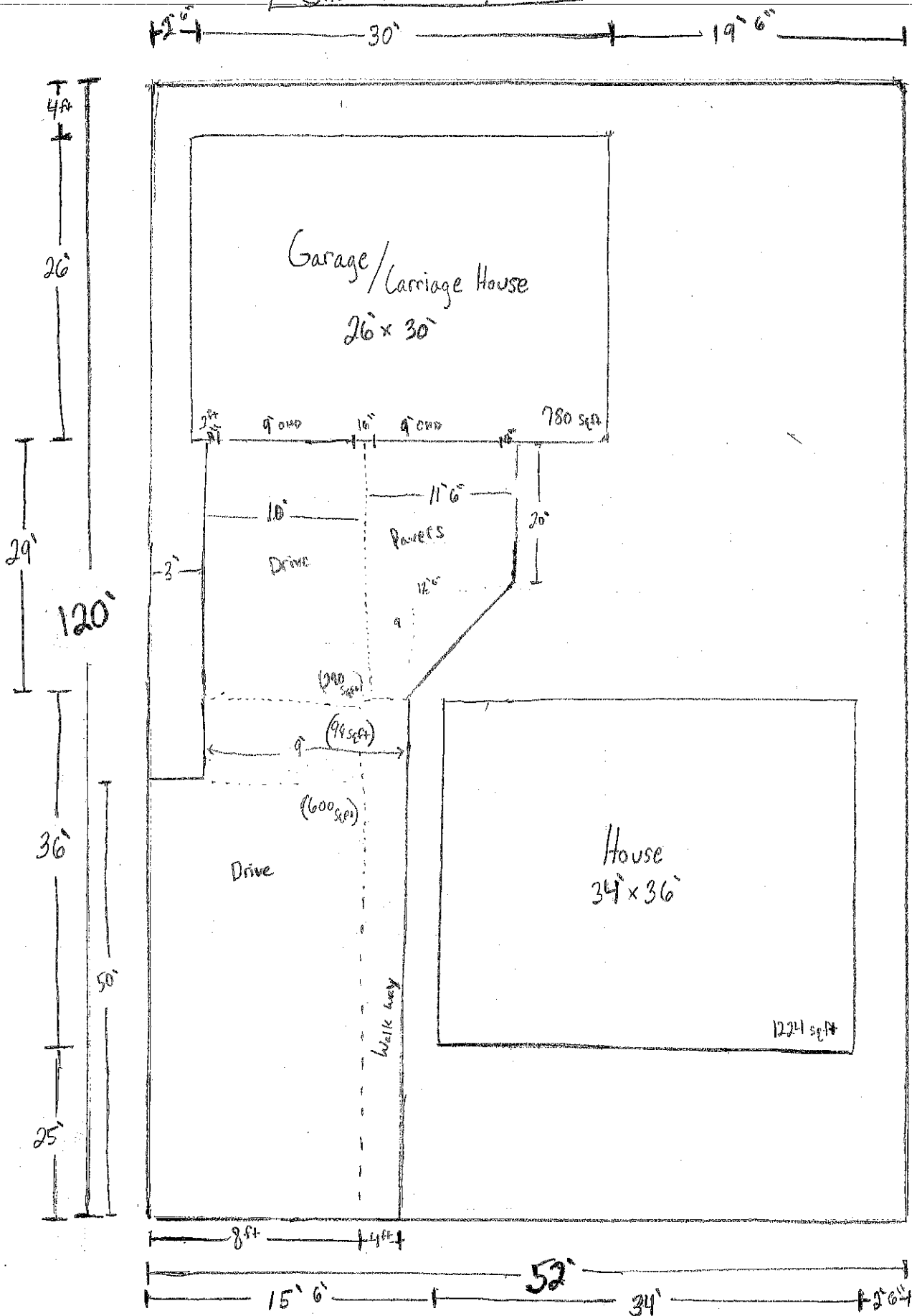
26 X 26 ADU GARAGE

WINDOW SCHEDULE

Project Number	BB-000000
Date	8.3
Drawn by	J.L.
Checked by	J.L.
Scale	3/8" = 1'-0"

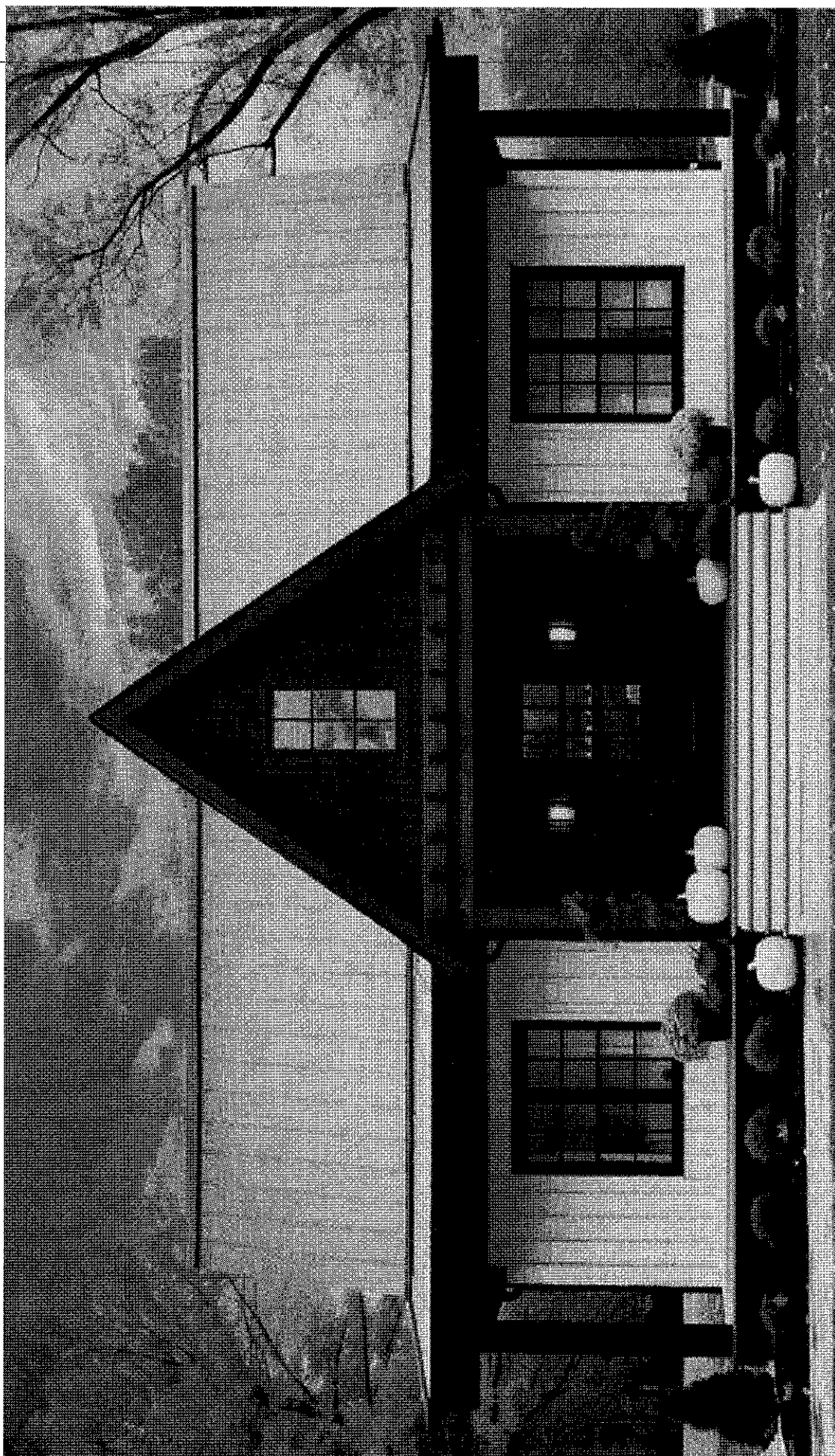
1874 Tenth Ave Green Bay WI, 54304

Site Plan Layout

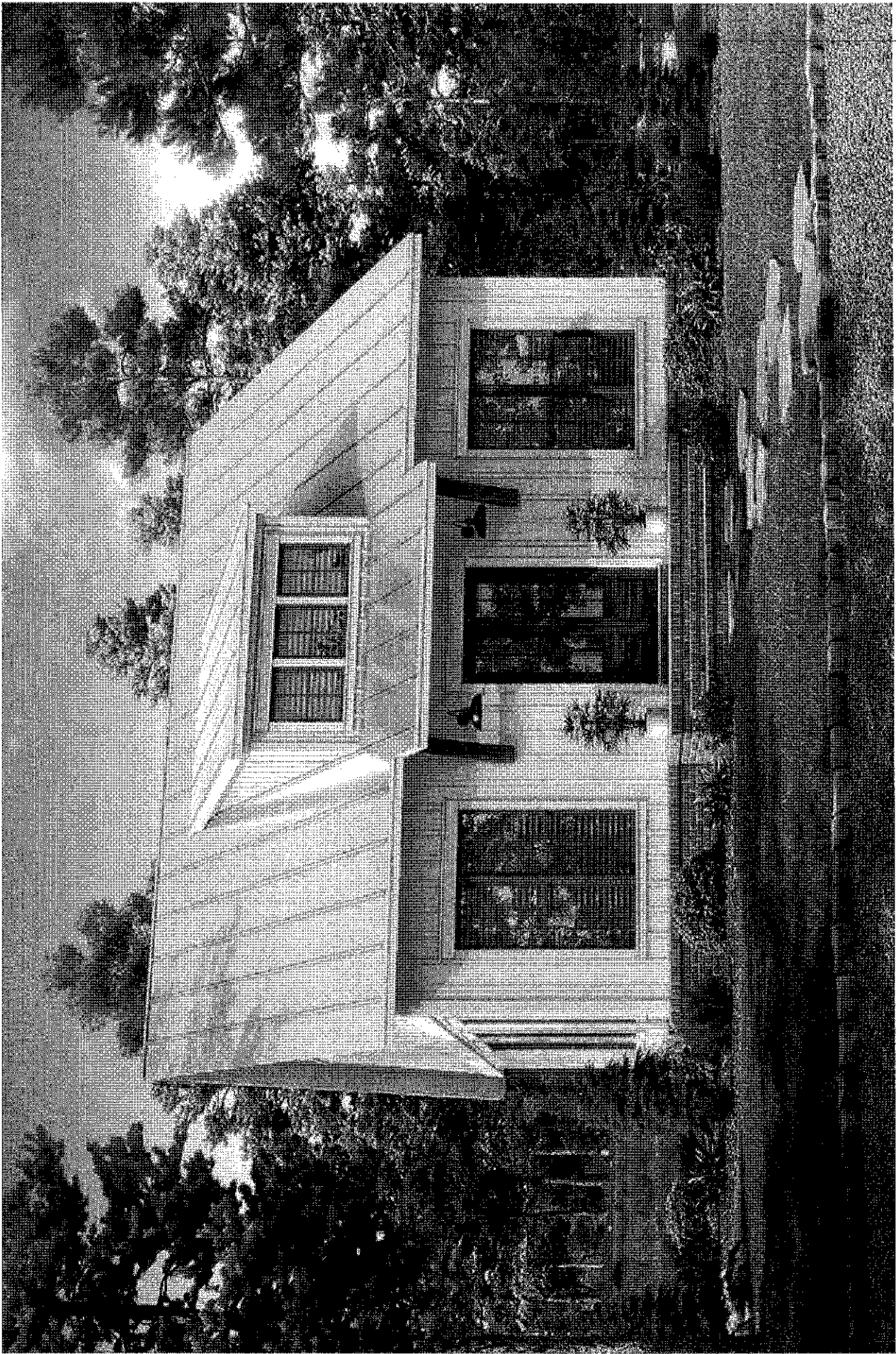


Impervious
2,993

House Plan

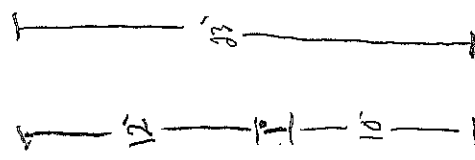
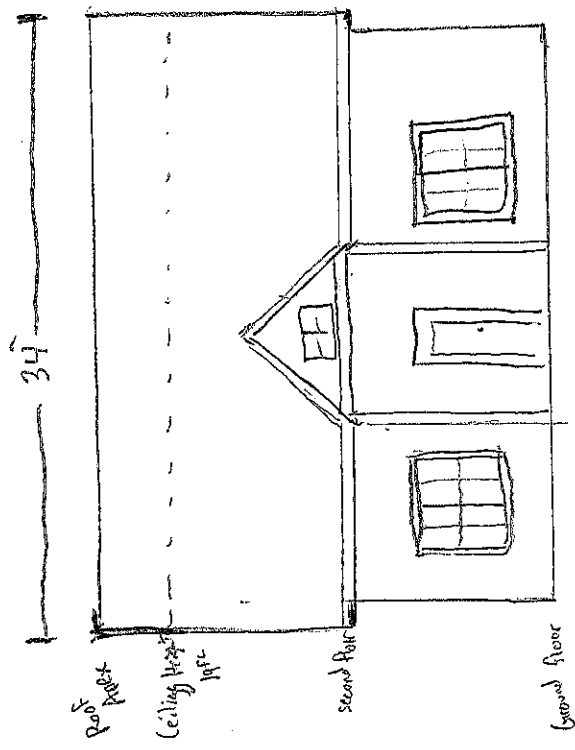


House Plan

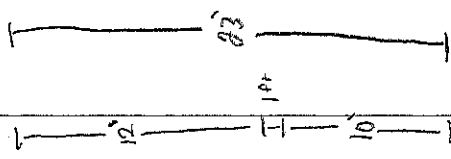
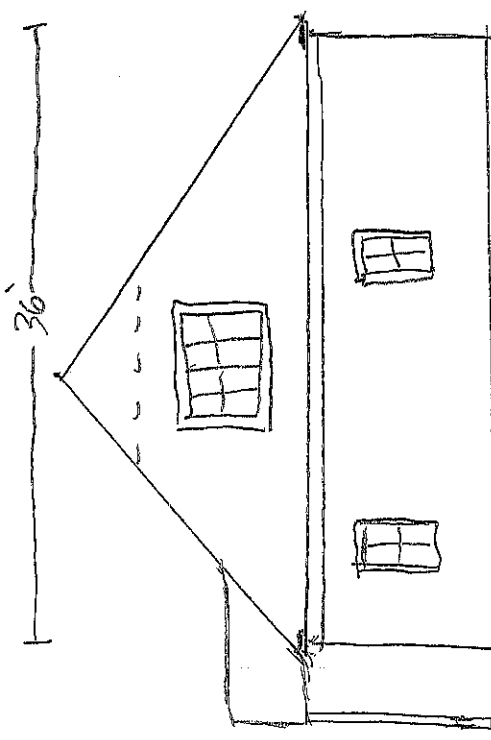


House Elevation

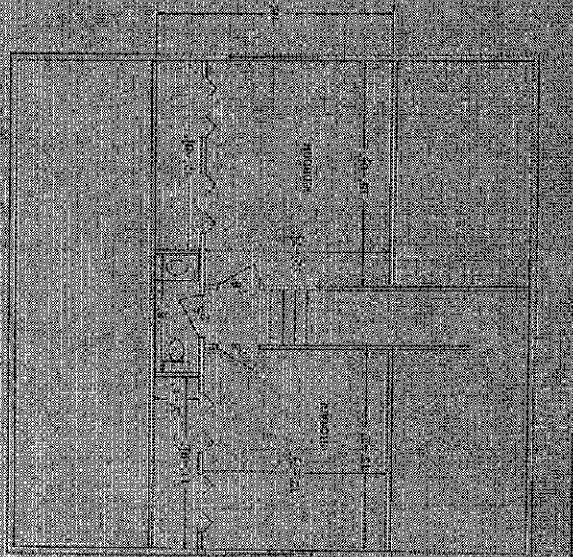
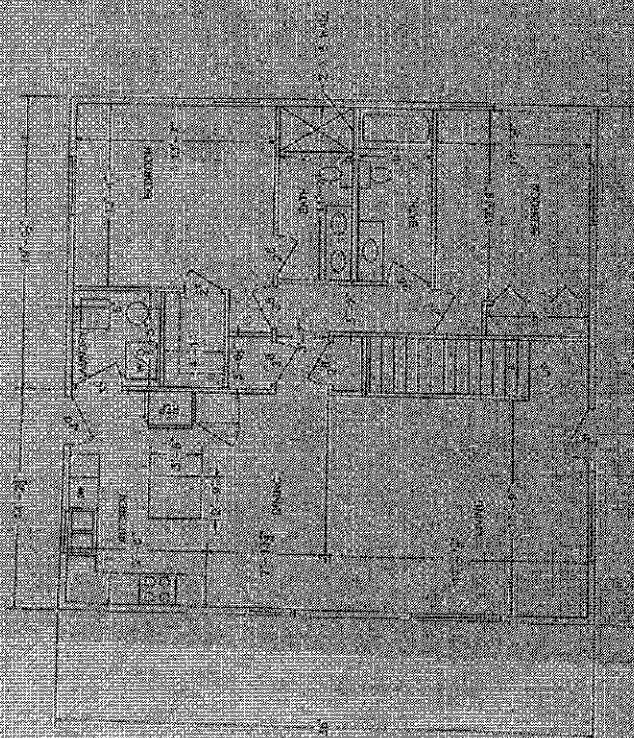
Front



Side



House Plans



25B15

100

THE UNIVERSITY OF CHICAGO

05

1. The first part of the document is a list of names and addresses, which are arranged in a columnar format. The names are written in a cursive script, and the addresses are written in a more formal, printed style. The list includes names such as "John Smith", "Mary Jones", and "Robert Brown", along with their respective addresses.

THE

Andrew Mevis

Project Narrative

1824 Tenth Ave Green Bay WI, 54304

September 9, 2024

The scope of this project is to first, make improvements to the property. The home currently is a two bedroom one bath home. I would like to upgrade the home to a three bedroom, two and a half bath. The square footage number improvements will be from 763 to 1768 square feet. The house currently is a 30' x 25' feet home, built on a block foundation. My plans make the home 34' x 36'. By adding 4' to one side and 11' to the back, this will allow me to have the adequate space in order to execute the improvements to the fullest.

Currently, the property does not have a garage. Neighbors on the street have two car garages. I would like to build a two car garage with living quarters above (26' x 30'). I want to make this improvement for my family who live all over the country. When they come to visit, I want them to have their own space. I also see that there is a home a few houses down from me that have living quarters with their garage. It will be a wonderful improvement that will be perfect for the space, lot, and location!

As I am applying for this Conditional Use Permit, I am providing the evidence that my description of the project and improvements meet the code between the primary and secondary structure heights. The primary structure (Home) will have a final elevation roofline higher than the secondary structure (Garage). In review, the scope of this project will improve the property in many ways, that not only will be a great place to live, spend time with family, but also bring a nice curb appeal and improvement to the neighborhood.

The Conditional Use Permit is extremely important for this project scope in order to complete these improvements in a timely, and efficient manner.



REQUEST FOR CITY ACTION PLAN COMMISSION

Community and Economic
Development Department
100 N. Jefferson Street, Rm 608
Green Bay, WI 54301-5026
(920) 448-3400 - phone
(920) 448-3426 - fax
www.greenbaywi.gov

Location of Property: 1824 Tenth Ave

Parcel Number(s): 159

Petitioner(s): Andrew Mevis

Date: 9/9/2024

Email: andrewmevis17@gmail.com

Phone Number: (574) 376-5670

Address: 1824 Tenth Ave ~~Green Bay~~

City: Green Bay State: WI Zip: 54304

Property Owner: Andrew Mevis

Phone Number: (574) 376-5670

Submit this Request Form and all required attachments to the Community and Economic Development Department, Room 608, City Hall

To: Honorable Mayor and Common Council, c/o City Clerk

I, Andrew Mevis, respectfully request that the City of Green Bay take the following action:

- ☐ Rezone Property (\$375.00 Review Fee)
- ☒ Conditional Use and CUP Amendment, including Single Lot Duplexes (\$375.00 Review Fee)
- ☐ PUD and PUD Amendments (\$425.00 Review Fee)
- ☐ Approve Preliminary City/Extraterritorial Subdivision Plat (\$150.00 + \$35.00 per Lot/Outlot Review Fee)
- ☐ Approve Preliminary Condominium Plat (\$250.00 + \$35.00 per Lot/Outlot/Lot Equivalent Review Fee)
- ☐ Approve Preliminary City/Extraterritorial Certified Survey Map (\$250.00 Review Fee)
- ☐ Approve Final City/Extraterritorial Subdivision Plat (\$150.00 Review Fee)
- ☐ Approve Final Condominium Plat (\$150.00 Review Fee)
- ☐ Grant a City/Extraterritorial Subdivision/CSM Variance (\$150.00 Review Fee)
- ☐ Development District Map Amendment (\$200.00 Administration Fee)
- ☐ Official Map Amendment (\$200.00 Administration Fee)
- ☐ Plat of Right-of-Way (\$200.00 Administration Fee)
- ☐ Discontinue a Public Utility Easement (\$200.00 Administration Fee)
- ☐ Street Name Change (\$200.00 Administration Fee)
- ☐ Declare City Property "City Surplus" (\$200.00 Administration Fee)
- ☐ Vacate a Street/Alley/Pedestrian Way (\$300.00 Administration Fee) PLEASE FILL OUT PAGE 2 OF APPLICATION
- ☐ Closure of Street/Alley/Pedestrian Way (\$300.00 Administration Fee) PLEASE FILL OUT PAGE 2 OF APPLICATION
- ☐ Comprehensive Plan Amendments (\$275.00 Review Fee)
- ☐ Other (\$200.00 Administration Fee): _____

Owner Signature: Andrew Mevis

Date: 9/9/2024

Petitioner Signature(s): Andrew Mevis

Checklist of required attachments:

- Map
- Legal Description
- Applicant Narrative Describing Project
- All Other Pertinent Information

For office use only:

Review Fee: _____

Receipt No.: _____

Zoning Petition No.: 2P24-34



Report to the Green Bay Plan Commission

MEETING DATE

October 7, 2024

PREPARED BY

Dena Mooney, Staff

AGENDA ITEM # E.7

(CSM 24-15) Consideration with possible action on a request to create a 3-lot Certified Survey Map that includes public street dedication at 2035 Crestwood Springs Drive (Parcel 6H-4449), 2041 Crestwood Springs Drive (6H-4448), 2045 Crestwood Springs Drive (6H-4447), 0 Bayberry Court (6H-1247-2), and 0 Packerland Drive (Parcel 6H-1247-3), submitted by Brad Rymer of Vierbicher, on behalf of Thomas and Mary Saphner, property owners. (Ald. Hinkfuss, District 12)

BACKGROUND

Reason for Request: To create a 3-lot Certified Survey Map (CSM) that includes the dedication of right-of-way for the development of three home sites.

Subject Parcel Zoning and Land Use: Subject area is vacant and currently zoned Rural Residential (RR) but is in the process of being rezoned to Low Density Residential (R-1).

Surrounding Zoning and Land Uses:

Subject Property: Rural Residential (RR) | Undeveloped Lands

North: Low Density Residential (R-1) | Single-Family Residential

South: Rural Residential (RR) | Undeveloped Lands; Low Density Residential (R-1) | Single-Family Residential

East: Low Density Residential (R-1) | Single and Two-Family Residential

West: Rural Residential (RR) | Single-Family Residential

Comprehensive Plan: The 2022 Smart Growth Plan designates this area for Low Density Residential.

Analysis: On July 30, 2024, City Council approved amending the City's official map to remove the future extension of Lafayette Drive to connect with future Eric Street extension. The reason for the request was so the property owners, Thomas and Mary Saphner, could build a home where this connection was identified. Since approval for the official map amendment has been granted, the Saphner's are moving forward with creating a cul-de-sac at the end of Lafayette Drive. This CSM creates the Lafayette Drive cul-de-sac (road dedication) along with 3-lots for future homesites. Certified Survey Maps (CSM) and Plats that include a dedication to the public require approval by City Council. A public hearing for this item is scheduled to be held by City Council on November 12, 2024.

Planning staff has forwarded the 3-lot CSM to the land division review team for review. All comments received have been addressed by the surveyor and are reflected on the CSM.

Aldersperson Hinkfuss and property owners adjacent to the road dedication have been notified of the request. Staff has not received any comments as of the drafting of this report.

RECOMMENDATION

Staff is recommending approval of the request.

FISCAL IMPACT

ATTACHMENTS

1. CSM 24-15 Application
2. CSM 24-15 Map
3. CSM 24-15 Final CSM



REQUEST FOR CITY ACTION PLAN COMMISSION

Community and Economic
Development Department
100 N. Jefferson Street, Rm 608
Green Bay, WI 54301-5026
(920) 448-3400 - phone
(920) 448-3426 - fax
www.greenbaywi.gov

Location of Property: _____

Parcel Number(s): _____

Petitioner(s): _____ Date: _____

Email: _____ Phone Number: _____

Address: _____ City: _____ State: _____ Zip: _____

Property Owner: _____ Phone Number: _____

Submit this Request Form and all required attachments to the Community and Economic Development Department, Room 608, City Hall

To: Honorable Mayor and Common Council, c/o City Clerk

I, _____, respectfully request that the City of Green Bay take the following action:

Rezone Property (\$375.00 Review Fee)

Conditional Use and CUP Amendment, including Single Lot Duplexes (\$375.00 Review Fee)

PUD and PUD Amendments (\$425.00 Review Fee)

Approve Preliminary City/Extraterritorial Subdivision Plat (\$150.00 + \$35.00 per Lot/Outlot Review Fee)

Approve Preliminary Condominium Plat (\$250.00 + \$35.00 per Lot/Outlot/Lot Equivalent Review Fee)

Approve Preliminary City/Extraterritorial Certified Survey Map (\$250.00 Review Fee)

Approve Final City/Extraterritorial Subdivision Plat (\$150.00 Review Fee)

Approve Final Condominium Plat (\$150.00 Review Fee)

Grant a City/Extraterritorial Subdivision/CSM Variance (\$150.00 Review Fee)

Development District Map Amendment (\$200.00 Administration Fee)

Official Map Amendment (\$200.00 Administration Fee)

Plat of Right-of-Way (\$200.00 Administration Fee)

Discontinue a Public Utility Easement (\$200.00 Administration Fee)

Street Name Change (\$200.00 Administration Fee)

Declare City Property "City Surplus" (\$200.00 Administration Fee)

Vacate a Street/Alley/Pedestrian Way (\$300.00 Administration Fee) PLEASE FILL OUT PAGE 2 OF APPLICATION

Closure of Street/Alley/Pedestrian Way (\$300.00 Administration Fee) PLEASE FILL OUT PAGE 2 OF APPLICATION

Comprehensive Plan Amendments (\$275.00 Review Fee)

Other (\$200.00 Administration Fee): _____

Owner Signature: _____ Date: _____

Petitioner Signature(s): _____

Checklist of required attachments:

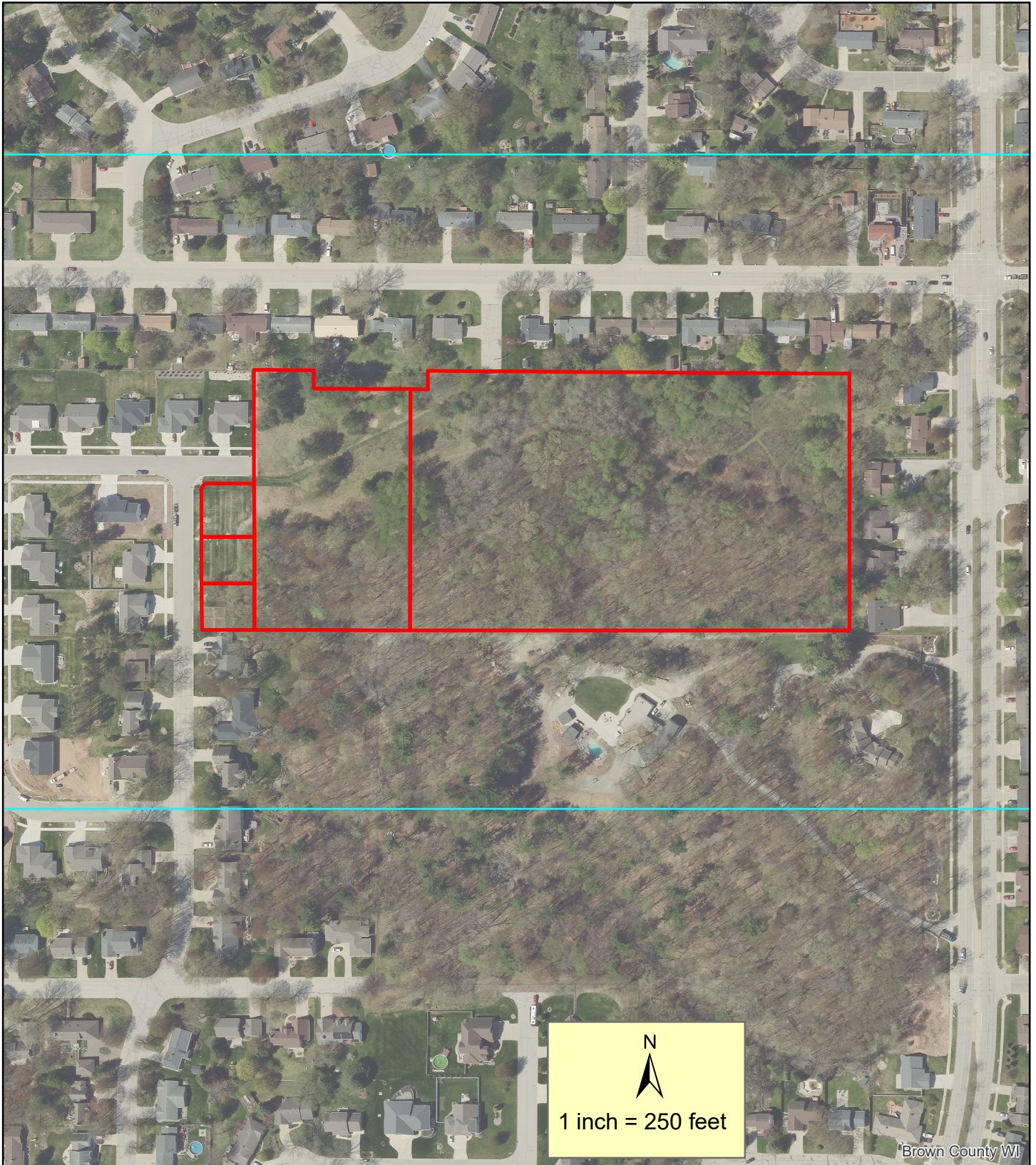
- Map
- Legal Description
- Applicant Narrative Describing Project
- All Other Pertinent Information

For office use only:

Review Fee: _____

Receipt No.: _____

Zoning Petition No.: _____



Subject Area

This is a compilation of records and data located in various City of Green Bay offices and is to be used for reference purposes only. The City of Green Bay is not responsible for any inaccuracies or unauthorized use of the information contained within. No warranties are implied. Map prepared by DM.

**Certified Survey Map
(CSM 24-15)
Lafayette Drive/
Crestwood Springs Drive/
Eric Street**



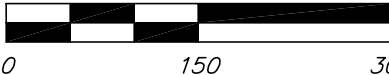
CERTIFIED SURVEY MAP

LOTS 20, 21 & 22 OF THE RECORDED PLAT "PLAT OF PINE ACRES ESTATES" (VOLUME 24, PLATS, PAGE 73, DOCUMENT NUMBER 2825587, BROWN COUNTY RECORDS), SAID PLAT BEING IN PART OF LOTS 23 & 24, SECTION 32, AND ALSO PART OF LOT 22, SAID SECTION 32, ALL IN T24N-R20E, IN THE CITY OF GREEN BAY, BROWN COUNTY, WISCONSIN.

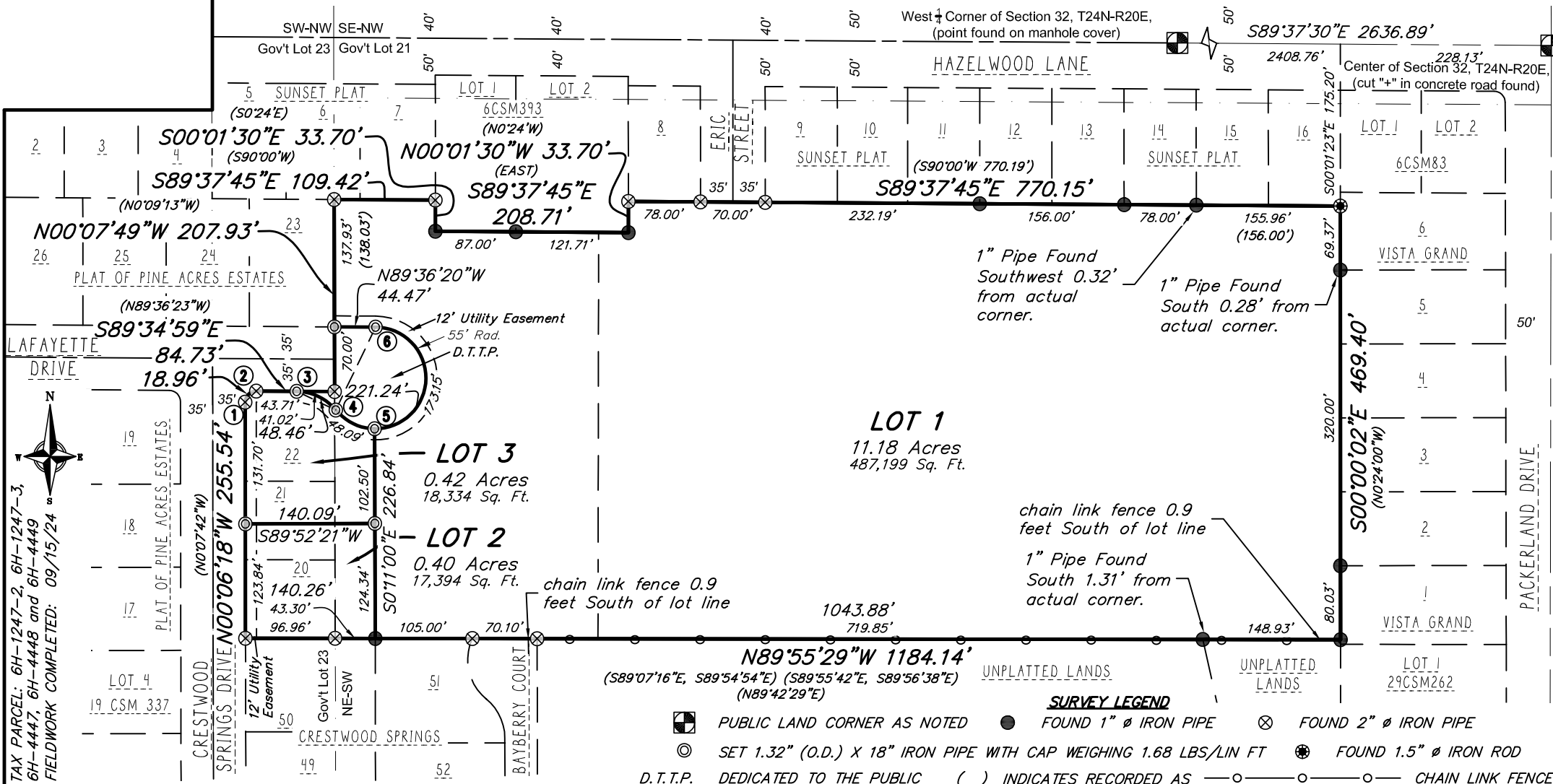
BEARINGS ARE REFERENCED TO THE EAST-WEST 1/4 LINE OF THE NORTHWEST 1/4 OF SECTION 32, T24N-R20E, ASSUMED TO BE S89°37'30"E.

THE COUNTY MONUMENTS USED IN THIS SURVEY ARE SHOWN AND THEIR TIES HAVE BEEN FOUND AND VERIFIED AND/OR BROWN COUNTY PLANNING AND LAND SERVICES HAS BEEN NOTIFIED OF ANY DISCREPANCIES.

GRAPHIC SCALE: 1" = 150'



Steven M. Bieda
PLS-2275
September 3rd, 2024
revised: October 1st, 2024



- SURVEY LEGEND**
- PUBLIC LAND CORNER AS NOTED
 - FOUND 1" Ø IRON PIPE
 - FOUND 2" Ø IRON PIPE
 - SET 1.32" (O.D.) X 18" IRON PIPE WITH CAP WEIGHING 1.68 LBS/LIN FT
 - FOUND 1.5" Ø IRON ROD
 - DEDICATED TO THE PUBLIC
 - () INDICATES RECORDED AS
 - CHAIN LINK FENCE

TAX PARCEL: 6H-1247-2, 6H-1247-3, 6H-4447, 6H-4448 and 6H-4449
FIELDWORK COMPLETED: 09/15/24

SURVEYED BY:
Verbicher Associates, Inc.
400 Security Blvd, Ste 1
Green Bay, WI 54313
(920) 434-9670

SURVEYED FOR:
Tom & Mary Saphner
Crestwood Springs Drive
Green Bay, WI 54304

Job #: B-15018
Date: 09/03/2024
Drawing No.: L-12323
Drafted By: BAR/NDK
Checked By: MRA



verbicher
planners | engineers | advisors

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CERTIFIED SURVEY MAP

LOTS 20, 21 & 22 OF THE RECORDED PLAT "PLAT OF PINE ACRES ESTATES" (VOLUME 24, PLATS, PAGE 73, DOCUMENT NUMBER 2825587, BROWN COUNTY RECORDS), SAID PLAT BEING IN PART OF LOTS 23 & 24, SECTION 32, AND ALSO PART OF LOT 22, SAID SECTION 32, ALL IN T24N-R20E, IN THE CITY OF GREEN BAY, BROWN COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE

I, Steven M. Bieda, Professional Land Surveyor, PLS-2275, do hereby certify that I have surveyed, divided and mapped all of Lots 20, 21 & 22 of the recorded plat "Plat of Pine Acres Estates" (Volume 24, Plats, Page 73, Document Number 2825587, Brown County Records), said plat being in part of Lots 23 & 24, Section 32, and also part of Lot 22, said Section 32, all in T24N-R20E, in the City of Green Bay, Brown County, Wisconsin, more fully described as follows:

Commencing at the West 1/4 Corner of Section 32, T24N-R20E; thence S89°37'30"E, 2408.76 feet along the North line of the Southwest 1/4 corner of Section 32, T24N-R20E; thence S0°01'23"E, 175.20 feet to the Southeast Corner of Lot 16 of the Plat of "Sunset Plat", (Volume 15, Plats, Page 28, Document Number 741572, Brown County records) being the Point of Beginning; thence S0°00'02"E, 469.40 feet along the monumented West line of the recorded plat of "Vista Grande", (Volume 17, Plats, Page 5, Document Number 878984, Brown County Records); thence N89°55'29"W, 1184.14 feet along the monumented North line of the recorded plat of "Crestwood Springs" (Volume 17, Plats, Page 147, Document Number 932935, Brown County Records) and its extension; thence N00°06'18"W, 255.54 feet along the monumented West line of Lots 20, 21 and 22 of the recorded plat of "Plat of Pine Acres Estates" (Volume 24, Plats, Page 73, Document Number 2825587, Brown County Records), also being the East right of way of Crestwood Springs Drive; thence 18.96 feet along said West line and East right of way being an arc of a 12.00 foot radius curve to the Right whose long chord bears N45°09'21"E, 17.05 feet; thence S89°34'59"E, 84.73 feet along the monumented North line of said Lot 22 of recorded plat, also being the South right of way of Lafayette Drive; thence N0°07'49"W, 207.93 feet along the monumented East line of Lot 23 of said recorded plat and the East right of way of said Lafayette Drive; thence S89°37'45"E, 109.42 feet along the monumented South line of Lots 6 and 7 of said Sunset Plat; thence S0°01'30"E, 33.70 feet along the monumented West line of Lot 1, Volume 6, Certified Survey Maps, Page 393, Map Number 1599, Document Number 861605, Brown County Records; thence S89°37'45"E, 208.71 feet along the monumented South line of said Lot 1 and Lot 2 of said Certified Survey Map; thence N0°01'30"W, 33.70 feet along the monumented East line of said Lot 2; thence S89°37'45"E, 770.15 feet along the monumented South line of Lots 9 though 16 of said Sunset Plat to the Point of Beginning.

Parcel contains 532,466 square feet / 12.22 acres more or less.
Road dedication 9,539 square feet / 0.22 acres more or less.
Parcel is subject to easements and restrictions of record.

That such plat is a correct representation of all the exterior boundaries of the land survey and the division thereof. That I have made such a survey, land division and plat by the direction of the owners listed hereon. That I have fully complied with the provisions of Chapter 236, section 236.34 of the Wisconsin Statutes, the City of Green Bay and the Brown County Planning Commission Code in surveying, dividing and mapping the same.

Steven M. Bieda
PLS-2275
September 3rd, 2024
revised:
October 1st, 2024



Curve Data

CURVE	ARC LENGTH	RADIUS	CHORD LENGTH	CHORD BEARING	CENTRAL ANGLE	TANGENT BEARING
1-2	18.96'	12.00'	17.05'	N45°09'21"E	90°31'19"	-
3-4	48.46'	55.00'	46.90	S64°20'39"E	50°28'41"	S39°56'20"E
4-6	221.24	55.00'	99.50'	N25°38'02"E	230°28'44"	-
4-5	48.09'	55.00'	46.57'	S64°10'27"E	50°05'42"	-
5-6	173.15'	55.00'	110.00	N0°35'11"E	180°23'02"	-

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CERTIFIED SURVEY MAP

LOTS 20, 21 & 22 OF THE RECORDED PLAT "PLAT OF PINE ACRES ESTATES" (VOLUME 24, PLATS, PAGE 73, DOCUMENT NUMBER 2825587, BROWN COUNTY RECORDS), SAID PLAT BEING IN PART OF LOTS 23 & 24, SECTION 32, AND ALSO PART OF LOT 22, SAID SECTION 32, ALL IN T24N-R20E, IN THE CITY OF GREEN BAY, BROWN COUNTY, WISCONSIN.

CERTIFICATE OF THE GREEN BAY CITY CLERK

As the duly appointed City Clerk for the City of Green Bay, I hereby certify that the records in my office show no unpaid taxes or special assessments affecting any of the lands included in the Certified Survey Map.

Celestine Jeffreys Date
Green Bay City Clerk

CERTIFICATE OF THE CITY OF GREEN BAY

Approved for the City of Green Bay, as required by Wisconsin Statutes Chapter 236, and the City of Green Bay Municipal Code Chapter 36, Subdivisions, on this ____ day of _____, 20__.

Cheryl Renier-Wigg
Director of Community and Economic Development

OWNER'S CERTIFICATE

As Owners, We hereby certify that we caused the land described on this plat to be surveyed, divided, mapped and dedicated as represented hereon. We understand that the City will discontinue any public improvements upon discovery or notice of any other condition requiring abnormal public improvement costs. We further acknowledge that the City's action or inaction in this regard shall not be construed as an admission of liability for hazardous waste clean-up or burial site preservation costs. We certify that this Certified Survey Map is required by s.236.10 or 236.12 to be submitted to the following for approval or objection:

CITY OF GREEN BAY

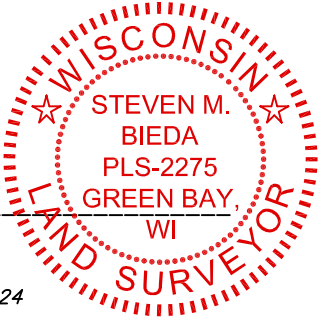
Thomas J. Saphner Mary K. Saphner
Thomas J. and Mary K. Saphner, as Trustees of The Thomas J. and Mary K. Saphner Trust of 1996, u/d/o August 30, 1996

Personally came before me this ____ day of _____, 20__, the above named Owners, to me known to the persons who executed the foregoing instrument and acknowledged the same.

Notary Public My Commission Expires _____
Brown County, Wisconsin

STATE OF WISCONSIN]
] SS
COUNTY OF BROWN]

Steven M. Bieda
PLS-2275
September 3rd, 2024
revised: October 1st, 2024



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01 Oct 2024 - 9:10a G:\Projects\B-15018 Bouchie Eric Street west Green Bay Brown Co\DWG\B-15018CSM 082624.dwg by:nkov © Vierbicher Associates, Inc.

CERTIFIED SURVEY MAP

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NOTES

This Certified Survey Map is a (portion or all) of tax parcel number 6H-1247-2, 6H-4447, 6H-4448 and 6H-4449.

The property owner(s) of record are Thomas J. and Mary K. Saphner, as Trustees of The Thomas J. and Mary K. Saphner Trust of 1996, u/d/o August 30, 1996.

This Certified Survey Map is contained wholly within the property described in the following recorded instrument(s) Document No. 2848857 and 2869118.

City of Green Bay zoning and building approvals are required prior to commencing construction of buildings, structures, drives, or parking areas, and may also be required prior to commencing grading, excavation, filling, or other land disturbing activity.

The property owners, at the time of construction, shall implement the appropriate soil erosion control methods outlined in the Wisconsin Construction Site Erosion and Sediment Control Technical Standards (available from the Wisconsin Department of Natural Resources) to prevent soil erosion. However, if at the time of construction the City of Green Bay has adopted a soil erosion control ordinance, it shall govern over this requirement. This provision applies to any grading, construction, or installation-related activities.

Development on Lot 1 requires public sewer and water be available OR acquisition of all state, county, and/or municipal permits concerning onsite sewage disposal systems for sanitary waste disposal.

Subject parcels lie within Airport Zoning District "C".The Austin Straubel International Airport Director shall be contacted for review and approval prior to any development and land disturbing activities within Airport Zoning Districts.

RESTRICTIVE COVENANTS

The land on all side and rear lot lines of all lots shall be graded by the lot owner and maintained by the abutting property owners to provide for adequate drainage of surface water.

Each lot owner shall grade the property to conform to the adopted sidewalk grade elevation and maintain said elevation for future sidewalks.

Concrete sidewalks shall be installed along the east of Crestwood Springs Drive for Lots 2 and 3 and along both sides of Lafayette Drive for Lots 1 and 3 at the time that the lots are developed and prior to receiving an occupancy permit or as directed by the Common Council of the City of Green Bay.

UTILITY EASEMENT PROVISIONS

An easement for electric, natural gas, and communications service is hereby granted by

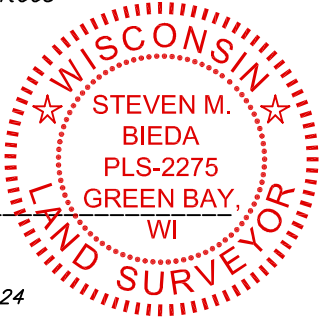
Thomas J. and Mary K. Saphner of Thomas J. and Mary K. Saphner, as Trustees of The Thomas J. and Mary K. Saphner Trust of 1996, u/d/o August 30, 1996, Grantor, to

WISCONSIN PUBLIC SERVICE CORPORATION, a Wisconsin corporation, Grantee,

their respective successors and assigns, to construct, install, operate, repair, maintain and replace from time to time, facilities used in connection with overhead and underground transmission and distribution of electricity and electric energy, natural gas, telephone and cable TV facilities for such purposes as the same is now or may hereafter be used, all in, over, under, across, along and upon the property shown within those areas on the plat designated as "Utility Easement"and the property designated on the plat for streets and alleys, whether public or private, together with the right to install service connections upon, across, within and beneath the surface of each lot to serve improvements, thereon, or on adjacent lots; also the right to trim or cut down trees, brush and roots as may be reasonably required incident to the rights herein given, and the right to enter upon the subdivided property for all such purposes. The Grantees agree to restore or cause to have restored, the property, as nearly as is reasonably possible, to the condition existing prior to such entry by the Grantees or their agents. This restoration, however, does not apply to the initial installation of said underground and/or above ground electric facilities, natural gas facilities, or telephone and cable TV facilities or to any trees, brush or roots which may be removed at any time pursuant to the rights herein granted. Structures shall not be placed over Grantees' facilities or in, upon or over the property within the lines marked "Utility Easement" without the prior written consent of Grantees. After installation of any such facilities, the grade of the subdivided property shall not be altered by more than six inches without written consent of grantees. This Utility Easement Provision does not prevent or prohibit others from utilizing or crossing the Utility Easement as the Utility easement(s) are non-exclusive.

The grant of easement shall be binding upon and inure to the benefit of the heirs, successors and assigns of all parties hereto.

Steven M. Bieda
PLS-2275
September 3rd, 2024
revised: October 1st, 2024





Report to the Green Bay Plan Commission

MEETING DATE

October 7, 2024

PREPARED BY

AGENDA ITEM # F.I

Director's report.

BACKGROUND

RECOMMENDATION

FISCAL IMPACT

ATTACHMENTS

None