



AGENDA OF THE REDEVELOPMENT AUTHORITY OF THE CITY OF GREEN BAY

TUESDAY, JUNE 10, 2025, 1:30 PM
City Hall, Room 604 - The Harry Maier Room.
Virtual attendance is also available via Zoom.

A. Zoom Meeting Information.

I. Join Zoom Meeting Online:

<https://us02web.zoom.us/j/83188044732?pwd=YUducEM2VUZWOGVYZzMyNTA0c1FJQT09>

Or call in by phone: +1 312 626 6799

Meeting ID: 831 8804 4732

Passcode: 084117

If you wish to speak at this public meeting or leave a comment, please fill out the online [Comment Form](#) prior to the meeting. More detailed [Zoom Instructions](#) can be found online.

B. Roll Call.

- I. Members: Chair Gary Delveaux, Vice-Chair Matt Schueller, Deby Dehn, Ald. Kathy Hinkfuss, Stephen Srubas, Melanie Parma, and Renita Robinson.
Liaisons: Jeff Mirkes, Leah Weycker, and Brooke Hafs.

C. Approval of the Agenda.

- I. Approval of the agenda for the Tuesday, June 10, 2025, meeting of the Redevelopment Authority.

D. Approval of Minutes.

- I. Approval of the minutes from the May 13, 2025, meeting.

E. Public Hearings.

- I. Consideration with possible action on the proposed creation of Tax Incremental District No. 30 (TID 30): US Bank Conversion, the proposed boundaries of the District, and the proposed Project Plan for the District.

2. Consideration with possible action on the proposed creation of Tax Incremental District No. 31 (TID 31): One Astor, the proposed boundaries of the District, and the proposed Project Plan for the District.

F. Regular Business.

1. Consideration with possible action on a Resolution Establishing the Boundaries of and Approving the Project Plan for Tax Incremental District No. 30, US Bank Conversion.
2. Consideration with possible action on a Resolution Establishing the Boundaries of and Approving the Project Plan for Tax Incremental District No. 31: One Astor.
3. Consideration with possible action to approve a 60-day planning option extension to Deals, Development & Partnership Capital for the construction of six townhomes on the sites located at 1118 N. Van Buren Street, 1124 N. Van Buren Street, and 910 Reber Street.
4. Consideration with possible action to approve a one-year development agreement with Greater Green Bay Habitat for Humanity to develop a 1.5-story, single-family home on the site located at 1305 S. Chestnut Avenue along with a HOME funding request of \$9,970.00.
5. Consideration with possible action on HOME funding request from Greater Green Bay Habitat for Humanity to build a home at 1216 S. Broadway.
6. Consideration with possible action on HOME funding request from Greater Green Bay Habitat for Humanity to build a home at 1319 S. Broadway.
7. Consideration with possible action on HOME funding request from Greater Green Bay Habitat for Humanity to build a home at 1321 S. Broadway.
8. Consideration with possible action on a substantial amendment to the 2022, 2023, and 2024 Annual Action Plans to reallocate \$87,559.87 of Beautification/Art Funding to the Home Improvement Loan Program.

G. Informational.

1. Communication dated 5/6/2025 from Ald. Brian Johnson "for consideration and possible action to update the housing study completed in 2020 to capture current housing demand, document other development tools and resources to help close gaps in capital stacks, and recommend policy modifications to accelerate housing projects that align with existing demands and needs."
2. Financial report and check register.
3. Director's report and project updates.
4. Date of next meeting: July 8, 2025.
5. Progress update on the Community Land Trust.

H. Adjournment.

- 1) THIS MEETING IS RECORDED: THE VIDEO OF THIS MEETING AND MINUTES ARE AVAILABLE ONLINE AT www.greenbaywi.gov
- 2) ACCESSIBILITY: Any person wishing to attend who requires special accommodation because of a disability, should contact the City Safety Manager at 920-448-3125 at least 48 hours before the scheduled meeting time so that arrangements can be made.
- 3) QUORUM: Please take notice that a majority or quorum of the Common Council will attend this Redevelopment Authority meeting and will constitute a meeting of the Common Council for purposes of discussion and information gathering relative to this agenda.
- 4) REPRESENTATION: The party requesting the communication, or their representative, should be present at this meeting.



Report to the
**Redevelopment Authority
of the City of Green Bay**

MEETING DATE

June 10, 2025

PREPARED BY

Rebecca Finco, Staff

AGENDA ITEM # F.1

Consideration with possible action on a Resolution Establishing the Boundaries of and Approving the Project Plan for Tax Incremental District No. 30, US Bank Conversion.

BACKGROUND

TID 30: US Bank Conversion is a proposed rehabilitation and conservation district comprising approximately 1.35 acres located at 425 Pine Street in Downtown Green Bay. TID 30 will be classified as a rehabilitation and conservation district based on the identification and classification of the property proposed to be included within the TID. The creation of the district is proposed to pay the costs of development incentives needed to support the planned residential conversion of the US Bank building to be undertaken by Living Downtown LLC.

Eligible project costs include development incentives, land acquisition, site preparation activities, utility and infrastructure improvements, street and streetscape improvements, and administration. Proposed costs include projects within the proposed boundary and within a one-half (1/2) mile radius of the proposed boundary of the TID.

In accordance with the Comprehensive Plan, the City of Green Bay ("City") and Redevelopment Authority of the City of Green Bay ("RDA") seek to create a more safe, productive, accessible, and innovative community in order to generate economic activity and tax base. The City and RDA have concluded that the property located at 425 Pine Street is not attaining its highest and best land use based on the Comprehensive Plan. But for the creation of TID 30, the future land use identified in the Comprehensive Plan would not occur in the manner desired by the City and RDA.

RECOMMENDATION

Recommend the RDA and the Common Council adopt a Creation Resolution to establish Tax Incremental District No. 30 (TID 30): US Bank Conversion and adopt the Project Plan.

FISCAL IMPACT

A fiscal impact analysis has been included as part of the draft Project Plan and will be discussed at the meeting.

ATTACHMENTS

1. RDA Resolution 25-06 - TID 30 6.10.25
2. TID30 - Boundary
3. DRAFT TID 30 Project Plan 05.21.25

RESOLUTION 25-06

RESOLUTION ESTABLISHING THE BOUNDARIES OF AND APPROVING THE PROJECT PLAN FOR TAX INCREMENTAL DISTRICT NO. 30

WHEREAS, the City of Green Bay (the "City") has determined that use of Tax Incremental Financing is required to promote development and redevelopment within the City; and

WHEREAS, Tax Incremental District No. 30 (the "District") is proposed to be created by the City in accordance with the provisions of Wisconsin Statutes Section 66.1105 (the "Tax Increment Law"); and

WHEREAS, a Project Plan for the District has been prepared that includes:

- a. A statement listing of the kind, number and location of all proposed public works or improvements within the District, or to the extent provided in Wisconsin Statutes Sections 66.1105(2)(f) l.k. and 66.1105(2)(f) l.n., outside of the District;
- b. An economic feasibility study;
- c. A detailed list of estimated project costs;
- d. A description of the methods of financing all estimated project costs and the time when the related costs or monetary obligations are to be incurred;
- e. A map showing existing uses and conditions of real property in the District;
- f. A map showing proposed improvements and uses in the District;
- g. Proposed changes of zoning ordinances, master plan, map, building codes and City ordinances;
- h. A list of estimated non-project costs;
- i. A statement of the proposed plan for relocation of any persons to be displaced;
- j. A statement indicating how the District promotes the orderly development of the City;
- k. An opinion of the City Attorney or of an attorney retained by the City advising that the plan is complete and complies with Wisconsin Statutes Section 66.1105(4)(f); and

WHEREAS, prior to its publication, a copy of the notice of public hearing was sent to the chief executive officers of Brown County, the Green Bay Area Public School District and the Northeast Wisconsin Technical College District, and any other entities having the power to levy taxes on property located within the District, in accordance with the procedures specified in the Tax Increment Law; and

WHEREAS, prior to its publication, a copy of the notice of public hearing was also sent to the owners of all property in the proposed District; and

WHEREAS, in accordance with the procedures specified in the Tax Increment Law, the RDA, on June 10, 2025 held a public hearing concerning the proposed creation of the District, its proposed boundaries and its proposed Project Plan, providing interested parties a reasonable opportunity to express their views thereon.

NOW, THEREFORE, BE IT RESOLVED by the RDA of the City of Green Bay that:

1. It recommends to the Common Council that Tax Incremental District No. 30 be created with boundaries as designated in Exhibit A of this Resolution.
2. It approves and adopts the Project Plan for the District, attached as Exhibit B, and recommends its approval to the Common Council.
3. Creation of the District promotes orderly development in the City.

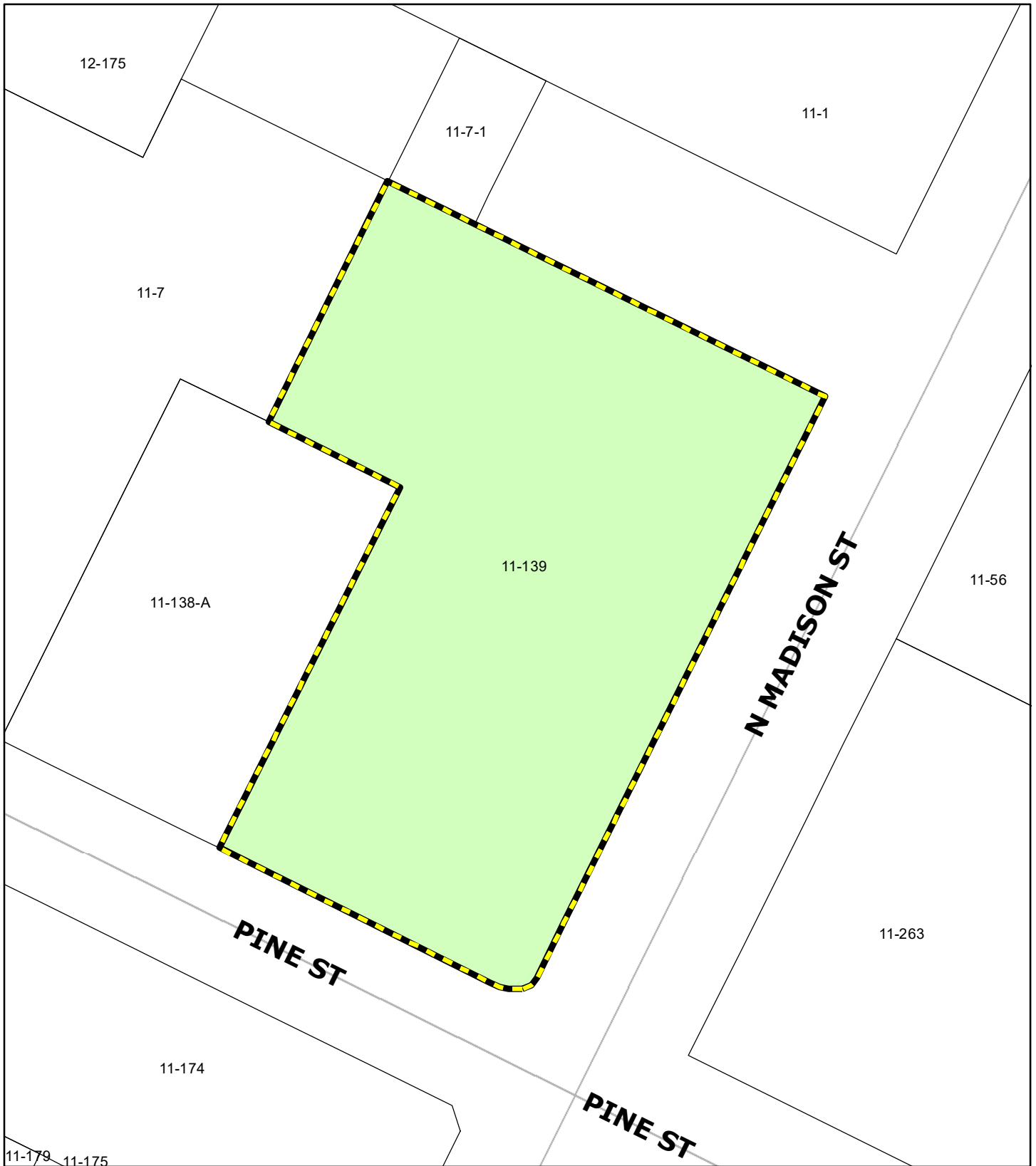
Adopted _____

Approved _____

REDEVELOPMENT AUTHORITY
OF THE CITY OF GREEN BAY


Gary J. Delveaux
Redevelopment Authority, Chair

Cheryl Renier-Wigg
Redevelopment Authority, Secretary





TID 30

This is a compilation of records and data located in various City of Green Bay offices and is to be used for reference purposes only. The City of Green Bay is not responsible for any inaccuracies or unauthorized use of the information contained within. No warranties are implied. Map prepared by City of Green Bay Department of Community and Economic Development. E.R. 12 May 2025 X:\Planning\Work Order Requests\2025\25.03 TID\TID 30\TID5 - Boundary.mxd


TID Boundary


TID Parcel

June 1, 2025

PROJECT PLAN

City of Green Bay, Wisconsin

Tax Incremental District No. 30

US Bank Conversion



Prepared by:

Ehlers
N19W24400 Riverwood Drive,
Suite 100
Waukesha, WI 53188

BUILDING COMMUNITIES. IT'S WHAT WE DO.

KEY DATES

Organizational Joint Review Board Meeting Held:	June 10 th , 2025
Public Hearing Held:	June 10 th , 2025
Consideration by Redevelopment Authority:	June 10 th , 2025
Adoption by Common Council:	June 24 th , 2025
Approval by the Joint Review Board:	Scheduled for TBD

TABLE OF CONTENTS

Executive Summary.....	3
Preliminary Map of Proposed District Boundary	6
Map Showing Existing Uses and Conditions.....	8
Preliminary Parcel List and Analysis	10
Equalized Value Test	11
Statement Listing the Kind, Number and Location of All Proposed Public Works or Improvements Within the District	12
Map Showing Proposed Improvements and Uses.....	19
Detailed List of Estimated Project Costs	21
Economic Feasibility Study, Description of the Methods of Financing Estimated Project Costs and the Time When Related Costs or Monetary Obligations are to be Incurred.....	22
Annexed Property.....	27
Estimate of Property to Be Devoted to Retail Business	27
Proposed Changes of Zoning Ordinances, Master Plan, Map, Building Codes and City Ordinances.....	27
Statement of the Proposed Method for the Relocation of any Persons to be Displaced	28
How Creation of the Tax Incremental District Promotes the Orderly Development of the City	28
List of Estimated Non-Project Costs	29
Legal Opinion Advising Whether the Plan is Complete and Complies with Wis. Stat. § 66.1105(4)(f).....	30
Calculation of the Share of Projected Tax Increments Estimated to be Paid by the Owners of Property in the Overlying Taxing Jurisdictions.....	32

SECTION 1:

Executive Summary

DESCRIPTION OF DISTRICT

Tax Incremental District (“TID”) No. 30 (“District”) is a proposed In Need of Rehabilitation or Conservation District comprising approximately 1.35 acres located in downtown Green Bay. The District will be created to pay the costs of development incentives needed to support the planned residential conversion of the former US Bank tower (the “Project”) to be undertaken by Living Downtown LLC (the “Developer”). In addition to the incremental property value that will be created, the City expects construction-related job creation related to housing development, additional employment opportunities for commercial jobs post-construction, increased property values, increased income and sales tax collection, increased commercial activity, and other economic benefits from the purchase of goods and services related to the construction and operation of the Project.

AUTHORITY

The City is creating the District under the provisions of Wis. Stat. § 66.1105.

ESTIMATED TOTAL PROJECT COST EXPENDITURES

The City anticipates making total expenditures of approximately \$7.46 million (“Project Costs”) to undertake the projects listed in this Project Plan (“Plan”). Project Costs include an estimated \$7.00 million in Pay As You Go (“PAYGO”) developer incentives and \$464 thousand in ongoing planning and administrative costs.

INCREMENTAL VALUATION

The City projects that new land and improvements value of approximately \$8.44 million will result from the Project. Creation of this additional value will be made possible by the Project Costs made within the District. A table detailing assumptions as to the development timing and associated values is included in the Economic Feasibility Study located within this Plan.

EXPECTED TERMINATION OF DISTRICT

Based on the Economic Feasibility Study located within Section 9 of this Plan, the City anticipates that the District will generate sufficient tax increment to pay all Project Costs within its allowable 27 years.

SUMMARY OF FINDINGS

As required by Wis. Stat. § 66.1105, and as documented in this Plan and the exhibits contained and referenced herein, the following findings are made:

1. That “but for” the creation of this District, the development projected to occur as detailed in this Plan: 1) would not occur; or 2) would not occur in the manner, at the values, or within the timeframe desired by the City. The Developer will incur costs to redevelop the property within the District that are not expected to be fully recovered through sale or rent while also generating market-appropriate investor returns. The City has evaluated a request from the Developer for Tax Incremental Financing (“TIF”) assistance and confirmed that the public investment is necessary, and that “but for” that investment, the related redevelopment will not occur. The development incentives included in this Plan are based on the approved Development Agreement 24-06 which prescribed the incentive would be provided on a PAYGO basis. The economic benefits of the District, as measured by increased employment, business and personal income, and property value, are sufficient to compensate for the cost of the improvements.
2. The benefits of the proposal outweigh the anticipated tax increments to be paid by the owners of property in the overlying taxing jurisdictions. As required by Wis. Stat. § 66.1105(4)(i)4., a calculation of the share of projected tax increments estimated to be paid by the owners of property in the overlying taxing jurisdictions has been prepared and can be found in this Plan. However, because the Project would not occur without the use of tax incremental financing, these tax increments would not be paid but for creation of the District. Accordingly, the City finds that the benefits expected to be realized as set forth in this Plan outweigh the value of the tax increments to be invested in the Project.
3. Not less than 50% by area of the real property within the District is in need of rehabilitation or conservation work as defined by Wis. Stat. § 66.1337(2m)(a).
4. Based on the foregoing finding, the District is designated as a district in need of rehabilitation or conservation.
5. The Project Costs relate directly to the rehabilitation or conservation of property and improvements in the District, consistent with the purpose for which the District is created.
6. Improvements to be made in the District are likely to significantly enhance the value of substantially all of the other real property in the District.

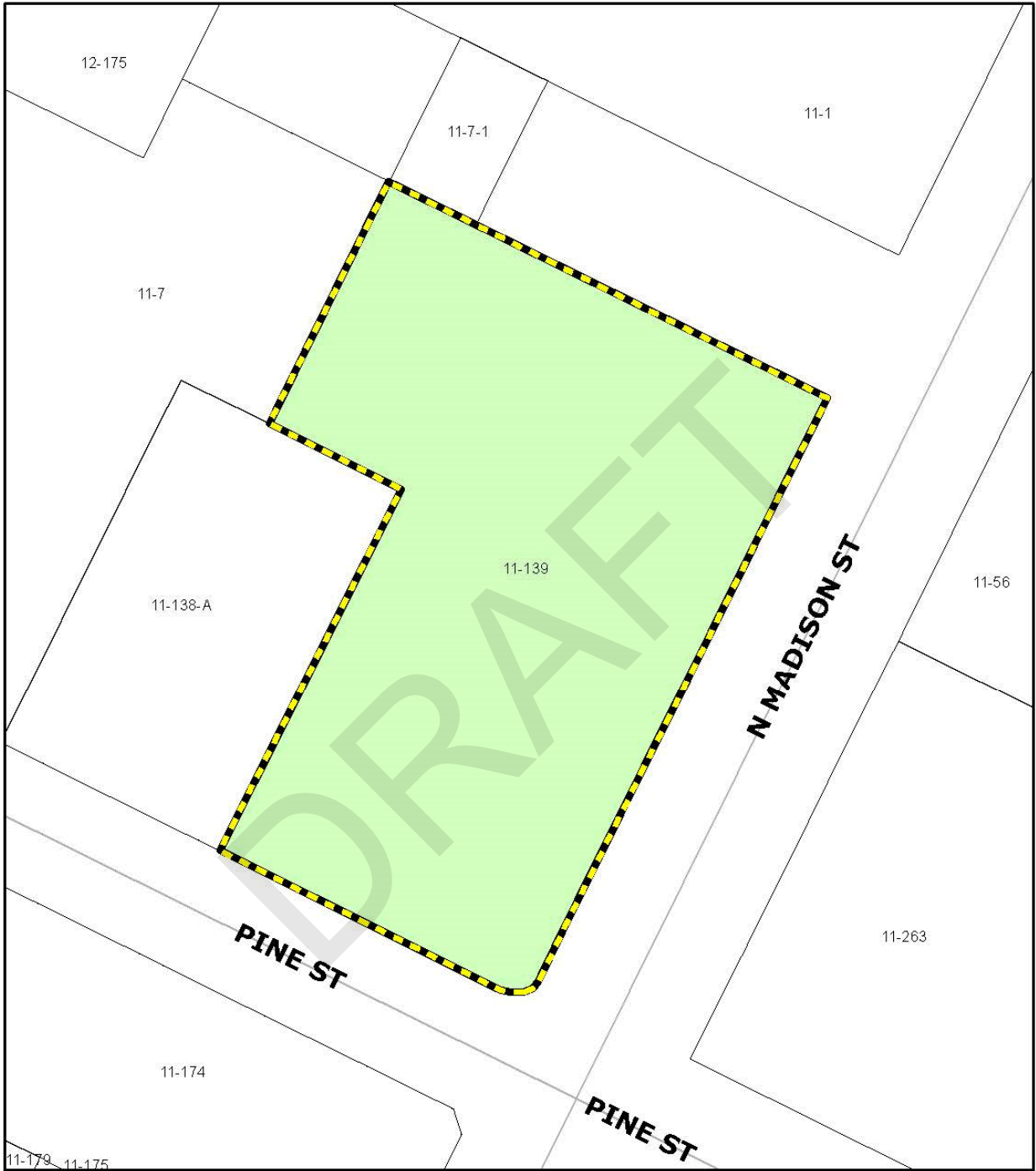
7. The equalized value of taxable property in the District, plus the incremental value of all existing tax incremental districts within the City does not exceed 12% of the total equalized value of taxable property within the City.
8. The City estimates that none of the territory within the District will be devoted to retail business at the end of the District's maximum expenditure period, pursuant to Wis. Stat. § 66.1105(5)(b).
9. That there are no parcels to be included within the District that were annexed by the City within the preceding three-year period.
10. The Plan for the District is feasible and is in conformity with the Master Plan of the City.

DRAFT

SECTION 2: Preliminary Map of Proposed District Boundary

Map Found on Following Page.

DRAFT



TID 30

This is a compilation of records and data located in various City of Green Bay offices and is to be used for reference purposes only. The City of Green Bay is not responsible for any inaccuracies or unauthorized use of the information contained within. No warranties are implied. Map prepared by City of Green Bay Department of Community and Economic Development. E.R. 12 May 2025 X:\Planning\Work Order Requests\2025\25.03 TID\TID 30\TIDS - Boundary.mxd

0 15 30 60 Feet

N

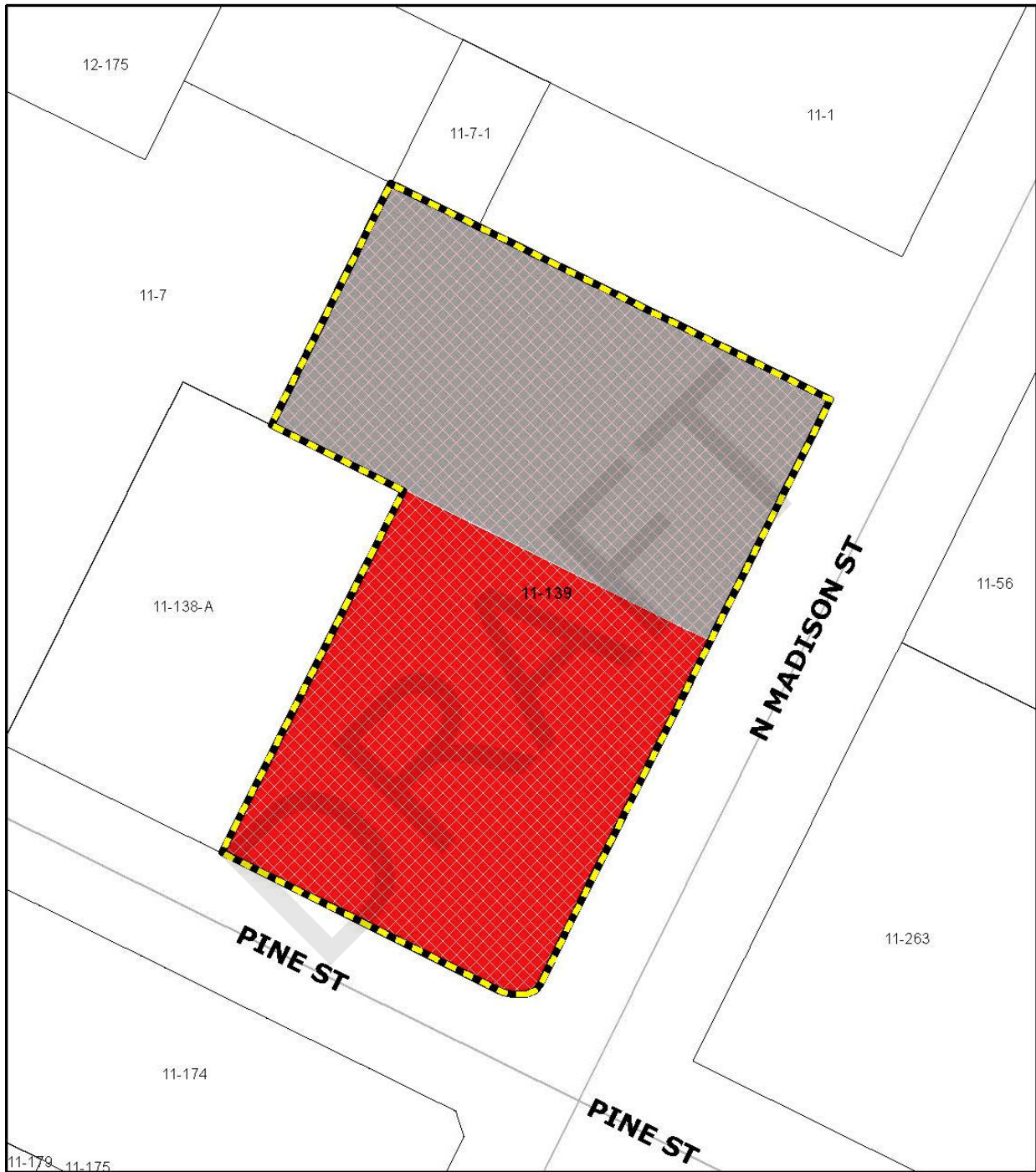
TID Boundary

TID Parcel

SECTION 3: Map Showing Existing Uses and Conditions

Map Found on Following Page.

DRAFT



TID 30



This is a compilation of records and data located in various City of Green Bay offices and is to be used for reference purposes only. The City of Green Bay is not responsible for any inaccuracies or unauthorized use of the information contained within. No warranties are implied. Map prepared by City of Green Bay Department of Community and Economic Development. E.R. 12 May 2025 X:\Planning\Work Order Requests\2025\25.03 TID\TID 30\TID30 - LandUse.mxd

0 15 30 60 Feet

N

-  Rehabilitation Needed
-  TID Boundary
-  Existing Commercial
-  Existing Public Parking

SECTION 4: Preliminary Parcel List and Analysis

The District will consist of a single parcel as identified in the below tables:

Parcel Data

Parcel Number	Address	Owner	Acres	Designated Acres	Rehab/ Conservation Condition
				Rehab/ Conservation	
11-139	425 Pine St	Living Downtown LLC	1.35	1.35	Condition 4
TOTALS			1.35	1.35	

Percentage of TID Area Designated as in Need of Rehabilitation or Conservation (at least 50%)

100%

Percentage of TID Area Not Designated as in Need of Rehabilitation

0%

The parcel will be rehabilitated in accordance with the objectives of the urban renewal project and will include undertakings and activities for the prevention of the development of blighted, deteriorated or deteriorating areas, thereby qualifying the parcel as in need of rehabilitation or conservation.

Calculation of Estimated Base Value¹

Parcel	Assessed Value			Equalized Value ²		
	Land	Improvement	Total	Land	Improvement	Total
11-139	595,600	2,265,900	2,861,500	745,900	2,837,700	3,583,600
TOTALS	595,600	2,265,900	2,861,500	745,900	2,837,700	3,583,600

1) Estimated based on values as of January 1, 2024. Actual base value will be as of January 1, 2025.

2) Calculation based on aggregate assessment ratio of 79.85%.

SECTION 5: Equalized Value Test

The following calculations demonstrate that the City expects to be in compliance with Wis. Stat. § 66.1105(4)(gm)4.c., which requires that the equalized value of the taxable property in the proposed District, plus the value increment of all existing tax incremental districts, does not exceed 12% of the total equalized value of taxable property within the City.

Calculation of City Equalized Value Limit

City TID IN Equalized Value (Jan. 1, 2024)	\$	10,834,009,900
TID Valuation Limit @ 12% of Above Value	\$	1,300,081,188

Calculation of Value Subject to Limit

Estimated Base Value of Territory to be Included in District	\$	3,583,600
Incremental Value of Existing Districts (Jan. 1, 2024)	\$	771,458,500
Total Value Subject to 12% Valuation Limit	\$	775,042,100
Total Percentage of TID IN Equalized Value		7.15%
Residual Value Capacity of TID IN Equalized Value	\$	525,039,088

The equalized value of the increment of existing tax incremental districts within the City, plus the base value of the proposed District, totals \$775,042,100. This value is less than the maximum of \$1,300,081,188 in equalized value that is permitted for the City.

SECTION 6: Statement Listing the Kind, Number and Location of All Proposed Public Works or Improvements Within the District

Project Costs are any expenditure made, estimated to be made, or monetary obligations incurred or estimated to be incurred as outlined in this Plan. Project Costs will be diminished by any income, special assessments or other revenues, including user fees or charges, other than tax increments, received or reasonably expected to be received in connection with the implementation of the Plan. If Project Costs incurred benefit territory outside the District, a proportionate share of the cost is not a Project Cost. Costs identified in this Plan are preliminary estimates made prior to design considerations and are subject to change after planning, design and construction is completed.

With all Project Costs, the costs of engineering, design, survey, inspection, materials, construction, restoring property to its original condition, apparatus necessary for public works, legal and other consultant fees, testing, environmental studies, permits, updating City ordinances and plans, judgments or claims for damages and other expenses are included as Project Costs.

The following is a list of public works and other tax incremental financing eligible Project Costs that the City expects to make, or may need to make, in conjunction with the implementation of the District's Plan. The map found in Section 7 of this Plan along with the Detailed List of Project Costs found in Section 8 provide additional information as to the kind, number and location of potential Project Costs.

Property, Right-of-Way and Easement Acquisition

Property Acquisition for Development

To promote and facilitate development the City may acquire property within the District. The cost of property acquired, and any costs associated with the transaction, are eligible Project Costs. Following acquisition, other Project Costs within the categories detailed in this Section may be incurred to make the property suitable for development. Any revenue received by the City from the sale of property acquired pursuant to the execution of this Plan will be used to reduce the total project costs of the District. If total Project Costs incurred by the City to acquire property and make it suitable for development exceed the revenues or other consideration received from the sale or lease of that property, the net amount shall be considered "real property assembly costs" as

defined in Wis. Stat. § 66.1105(2)(f)1.c., and subject to recovery as an eligible Project Cost.

Property Acquisition for Conservancy

To promote the objectives of this Plan, the City may acquire property within the District that it will designate for conservancy. These conservancy objectives include: preserving historic resources or sensitive natural features; protection of scenic and historic views; maintaining habitat for wildlife; maintaining adequate open space; reduction of erosion and sedimentation by preserving existing vegetation; and providing adequate areas for management of stormwater. The cost of property acquired for conservancy, and any costs associated with the transaction, are eligible Project Costs.

Acquisition of Rights-of-Way

The City may need to acquire property to allow for installation of streets, driveways, sidewalks, utilities, stormwater management practices and other public infrastructure. Costs incurred by the City to identify, negotiate and acquire rights-of-way are eligible Project Costs.

Acquisition of Easements

The City may need to acquire temporary or permanent easements to allow for installation and maintenance of streets, driveways, sidewalks, utilities, stormwater management practices and other public infrastructure. Costs incurred by the City to identify, negotiate and acquire easement rights are eligible Project Costs.

Relocation Costs

If relocation expenses are incurred in conjunction with the acquisition of property, those expenses are eligible Project Costs. These costs may include, but are not limited to: preparation of a relocation plan; allocations of staff time; legal fees; publication of notices; obtaining appraisals; and payment of relocation benefits as required by Wis. Stat. Chapter 32 and Wis. Admin. Code ADM 92.

Site Preparation Activities

Environmental Audits and Remediation

If it becomes necessary to evaluate any land or improvement within the District, any cost incurred by the City related to environmental audits, testing, and remediation are eligible Project Costs.

Demolition

To make sites suitable for development, the City may incur costs related to demolition and removal of structures or other land improvements, to include abandonment of wells or other existing utility services.

Site Grading

Land within the District may require grading to make it suitable for development, to provide access, and to control stormwater runoff. The City may need to remove and dispose of excess material, or bring in fill material to provide for proper site elevations. Expenses incurred by the City for site grading are eligible Project Costs.

Utilities

Sanitary Sewer System Improvements

To allow development to occur, the City may need to construct, alter, rebuild or expand sanitary sewer infrastructure within the District. Eligible Project Costs include, but are not limited to, construction, alteration, rebuilding or expansion of: collection mains; manholes and cleanouts; service laterals; force mains; interceptor sewers; pumping stations; lift stations; wastewater treatment facilities; and all related appurtenances. To the extent sanitary sewer projects undertaken within the District provide direct benefit to land outside of the District, the City will make an allocation of costs based on such benefit. Those costs corresponding to the benefit allocated to land within the District, and necessitated by the implementation of the Project Plan, are eligible Project Costs. Implementation of the Project Plan may also require that the City construct, alter, rebuild or expand sanitary sewer infrastructure located outside of the District. That portion of the costs of sanitary sewer system projects undertaken outside the District which are necessitated by the implementation of the Project Plan are eligible Project Costs.

Water System Improvements

To allow development to occur, the City may need to construct, alter, rebuild or expand water system infrastructure within the District. Eligible Project Costs include, but are not limited to, construction, alteration, rebuilding or expansion

of: distribution mains; manholes and valves; hydrants; service laterals; pumping stations; wells; water treatment facilities; storage tanks and reservoirs; and all related appurtenances. To the extent water system projects undertaken within the District provide direct benefit to land outside of the District, the City will make an allocation of costs based on such benefit. Those costs corresponding to the benefit allocated to land within the District, and necessitated by the implementation of the Project Plan, are eligible Project Costs. Implementation of the Project Plan may also require that the City construct, alter, rebuild or expand water system infrastructure located outside of the District. That portion of the costs of water system projects undertaken outside the District which are necessitated by the implementation of the Project Plan are eligible Project Costs.

Stormwater Management System Improvements

Development within the District will cause stormwater runoff. To manage this stormwater runoff, the City may need to construct, alter, rebuild or expand stormwater management infrastructure within the District. Eligible Project Costs include, but are not limited to, construction, alteration, rebuilding or expansion of: stormwater collection mains; inlets, manholes and valves; service laterals; ditches; culvert pipes; box culverts; bridges; stabilization of stream and river banks; and infiltration, filtration and detention Best Management Practices (BMP's). To the extent stormwater management system projects undertaken within the District provide direct benefit to land outside of the District, the City will make an allocation of costs based on such benefit. Those costs corresponding to the benefit allocated to land within the District, and necessitated by the implementation of the Project Plan, are eligible Project Costs. Implementation of the Project Plan may also require that the City construct, alter, rebuild or expand stormwater management infrastructure located outside of the District. That portion of the costs of stormwater management system projects undertaken outside the District which are necessitated by the implementation of the Project Plan are eligible Project Costs.

Electric Service

To create sites suitable for development, the City may incur costs to provide, relocate or upgrade electric services. Relocation may require abandonment and removal of existing poles or towers, installation of new poles or towers, or burying of overhead electric lines. Costs incurred by the City to undertake this work are eligible Project Costs.

Gas Service

To create sites suitable for development, the City may incur costs to provide, relocate or upgrade gas mains and services. Costs incurred by the City to undertake this work are eligible Project Costs.

Communications Infrastructure

To create sites suitable for development, the City may incur costs to provide, relocate or upgrade infrastructure required for voice and data communications, including, but not limited to: telephone lines, cable lines and fiber optic cable. Costs incurred by the City to undertake this work are eligible Project Costs.

Streets and Streetscape

Street Improvements

To allow development to occur, the City may need to construct or reconstruct streets, highways, alleys, access drives and parking areas. Eligible Project Costs include, but are not limited to: excavation; removal or placement of fill; construction of road base; asphalt or concrete paving or repaving; installation of curb and gutter; installation of sidewalks and bicycle lanes; installation of culverts, box culverts and bridges; rail crossings and signals; utility relocation, to include burying overhead utility lines; street lighting; installation of traffic control signage and traffic signals; pavement marking; right-of-way restoration; installation of retaining walls; and installation of fences, berms, and landscaping.

Streetscaping and Landscaping

To attract development consistent with the objectives of this Plan, the City may install amenities to enhance development sites, rights-of-way and other public spaces. These amenities include, but are not limited to: landscaping; lighting of streets, sidewalks, parking areas and public areas; installation of planters, benches, clocks, tree rings, trash receptacles and similar items; and installation of brick or other decorative walks, terraces and street crossings. These and any other similar amenities installed by the City are eligible Project Costs.

Community Development

Cash Grants (Development Incentives)

The City may enter into agreements with property owners, lessees, or developers of land located within the District for sharing costs to encourage the desired kind of improvements and assure tax base is generated sufficient to recover Project Costs. No cash grants will be provided until the City executes a developer agreement with the recipient of the cash grant. Any payments of cash grants made by the City are eligible Project Costs.

Contribution to Redevelopment Authority (RDA)

As provided for in Wis. Stat. § 66.1105(2)(f)1.h and Wis. Stat. § 66.1333(13), the City may provide funds to its RDA to be used for administration, planning operations, and capital costs, including but not limited to real property acquisition, related to the purposes for which it was established in furtherance of any redevelopment or urban renewal project. Funds provided to the RDA for this purpose are eligible Project Costs.

Revolving Loan/Grant Program (Development Incentives)

To encourage private development consistent with the objectives of this Plan, the City, through its RDA, may provide loans or grants to eligible property owners in the District. Eligible improvements will be those that are likely to improve the value of the property, enhance the visual appearance of the property and surrounding area, correct safety deficiencies, or as otherwise specified by the RDA in the program manual. Any funds returned to the RDA from the repayment of loans made are not considered revenues to the District, and will not be used to offset District Project Costs. Instead, these funds may be placed into a revolving fund and will continue to be used for the program purposes stated above. Any funds provided to the RDA for purposes of implementing this program are considered eligible Project Costs.

Miscellaneous

Professional Service and Organizational Costs

The costs of professional services rendered, and other costs incurred, in relation to the creation, administration and termination of the District, and the undertaking of the projects contained within this Plan, are eligible Project Costs. Professional services include but are not limited to: architectural; environmental; planning; engineering; legal; audit; financial; and the costs of informing the public with respect to the creation of the District and the implementation of the Plan.

Administrative Costs

The City may charge to the District as eligible Project Costs reasonable allocations of administrative costs, including, but not limited to, employee salaries. Costs allocated will bear a direct connection to the time spent by City employees relating to the implementation of the Plan.

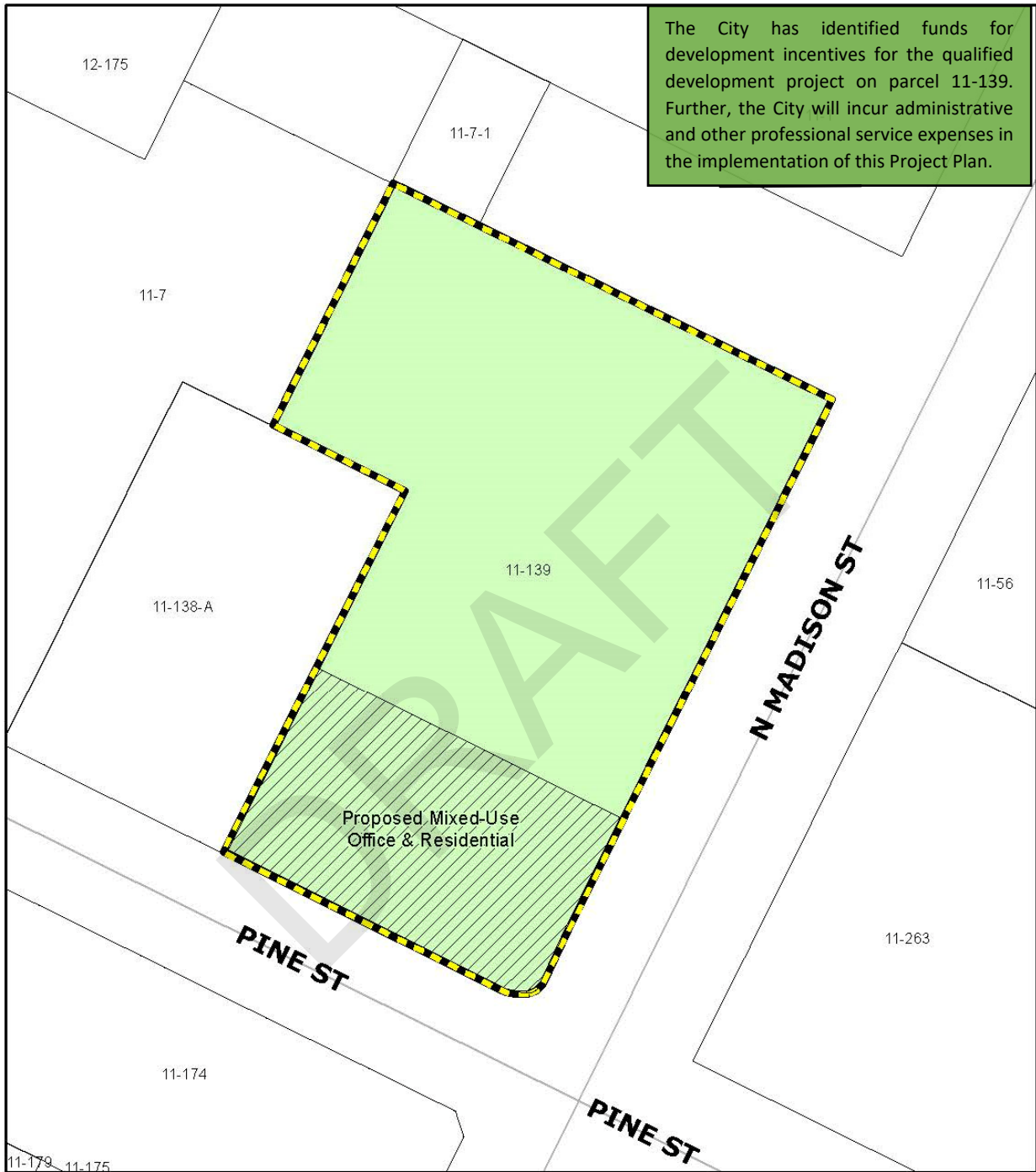
Financing Costs

Interest expense, debt issuance expenses, redemption premiums, and any other fees and costs incurred in conjunction with obtaining financing for projects undertaken under this Plan are eligible Project Costs.

SECTION 7: Map Showing Proposed Improvements and Uses

Map Found on Following Page.

DRAFT



The City has identified funds for development incentives for the qualified development project on parcel 11-139. Further, the City will incur administrative and other professional service expenses in the implementation of this Project Plan.




TID 30

This is a compilation of records and data located in various City of Green Bay offices and is to be used for reference purposes only. The City of Green Bay is not responsible for any inaccuracies or unauthorized use of the information contained within. No warranties are implied. Map prepared by City of Green Bay Department of Community and Economic Development. E.R. 12 May 2025 X:\Planning\Work Order Requests\2025\25.03 TID\TID 30\TID30 - Proposed.mxd




 Proposed Mixed-Use

 TID Boundary

 TID 30 Parcel

SECTION 8: Detailed List of Estimated Project Costs

The following list identifies the Project Costs that the City currently expects to incur in implementing the District’s Plan. All projects identified and related costs reflect the best estimates available as of the date of preparation of this Plan. All costs are preliminary estimates and may increase or decrease. Certain Project Costs listed may become unnecessary, and other Project Costs not currently identified may need to be made. (Section 6 details the general categories of eligible Project Costs). Changes in Project Cost totals or the types of Project Costs to be incurred will not require that this Plan be amended. This Plan is not meant to be a budget nor an appropriation of funds for specific Project Costs, but a framework within which to manage Project Costs.

Project ID	Project Name/Type	Est. Cost		Totals	Est. Timing
		Phase I	Ongoing		
1	Pay As You Go ("PAYGO") Development Incentives ¹	7,000,000		7,000,000	2025-2053
2	Ongoing Planning & Administrative Costs		464,309	464,309	2025-2053
Total Projects		7,000,000	464,309	7,464,309	

Notes:

1) Represents the Tax Incentive Cap per Section III.C.2 of the revised Development Agreement 24-06.

SECTION 9: Economic Feasibility Study, Description of the Methods of Financing Estimated Project Costs and the Time When Related Costs or Monetary Obligations are to be Incurred

This Section includes a forecast of the valuation increases expected within the District, the associated tax increment collections, a summary of how Project Costs would be financed, and a projected cash flow demonstrating that the District is economically feasible.

Key Assumptions

The Project Costs the City plans to make are expected to create \$8.44 million in incremental value by January 1, 2026. Estimated valuations and timing for construction of the Project are included in **Table 1**. Assuming the City's current equalized TID Interim tax rate of \$17.32 per thousand of equalized value decreases 0.50% annually and values increase 1.00% annually from economic appreciation, the Project would generate \$4.21 million in incremental tax revenue over the 27-year term of the District as shown in **Table 2**.

Table 1 - Development Assumptions

Construction Year		US Bank Residential Rehab ¹	Annual Total	Construction Year	
1	2025	8,439,500	8,439,500	2025	1
2	2026		0	2026	2
3	2027		0	2027	3
4	2028		0	2028	4
5	2029		0	2029	5
6	2030		0	2030	6
7	2031		0	2031	7
8	2032		0	2032	8
9	2033		0	2033	9
10	2034		0	2034	10
11	2035		0	2035	11
12	2036		0	2036	12
13	2037		0	2037	13
14	2038		0	2038	14
15	2039		0	2039	15
16	2040		0	2040	16
17	2041		0	2041	17
18	2042		0	2042	18
19	2043		0	2043	19
20	2044		0	2044	20
21	2045		0	2045	21
22	2046		0	2046	22
23	2047		0	2047	23
24	2048		0	2048	24
25	2049		0	2049	25
26	2050		0	2050	26
27	2051		0	2051	27
Totals		8,439,500	8,439,500		

Notes:

1) Development Agreement 24-06 estimated the assessed value of the property to be \$9,600,000 after completion. Represents the equalized value increase using the 2024 aggregate ratio of 79.85% and deducting the estimated base value of \$3,583,600.

Table 2 - Tax Increment Projection Worksheet

Type of District	Rehabilitation		Base Value	3,583,600
District Creation Date	June 24, 2025		Economic Change Factor	1.00%
Valuation Date	Jan 1,	2025	Apply to Base Value	
Max Life (Years)	27		Base Tax Rate	\$17.41
End of Expenditure Period	22	6/24/2047	Rate Adjustment Factor	-0.50%
Revenue Periods/Final Year	27	2053		
Extension Eligibility/Years	Yes	3		
Eligible Recipient District	Yes			

	Construction Year	Value Added	Valuation Year	Economic Change	Total Increment	Revenue Year	Tax Rate ¹	Tax Increment
1	2025	8,439,500	2026	0	8,439,500	2027	\$17.32	146,168
2	2026	0	2027	84,395	8,523,895	2028	\$17.23	146,891
3	2027	0	2028	85,239	8,609,134	2029	\$17.15	147,619
4	2028	0	2029	86,091	8,695,225	2030	\$17.06	148,349
5	2029	0	2030	86,952	8,782,178	2031	\$16.98	149,084
6	2030	0	2031	87,822	8,869,999	2032	\$16.89	149,822
7	2031	0	2032	88,700	8,958,699	2033	\$16.81	150,563
8	2032	0	2033	89,587	9,048,286	2034	\$16.72	151,308
9	2033	0	2034	90,483	9,138,769	2035	\$16.64	152,057
10	2034	0	2035	91,388	9,230,157	2036	\$16.56	152,810
11	2035	0	2036	92,302	9,322,458	2037	\$16.47	153,567
12	2036	0	2037	93,225	9,415,683	2038	\$16.39	154,327
13	2037	0	2038	94,157	9,509,840	2039	\$16.31	155,091
14	2038	0	2039	95,098	9,604,938	2040	\$16.23	155,858
15	2039	0	2040	96,049	9,700,988	2041	\$16.15	156,630
16	2040	0	2041	97,010	9,797,997	2042	\$16.07	157,405
17	2041	0	2042	97,980	9,895,977	2043	\$15.98	158,184
18	2042	0	2043	98,960	9,994,937	2044	\$15.90	158,967
19	2043	0	2044	99,949	10,094,887	2045	\$15.83	159,754
20	2044	0	2045	100,949	10,195,835	2046	\$15.75	160,545
21	2045	0	2046	101,958	10,297,794	2047	\$15.67	161,340
22	2046	0	2047	102,978	10,400,772	2048	\$15.59	162,138
23	2047	0	2048	104,008	10,504,779	2049	\$15.51	162,941
24	2048	0	2049	105,048	10,609,827	2050	\$15.43	163,747
25	2049	0	2050	106,098	10,715,926	2051	\$15.36	164,558
26	2050	0	2051	107,159	10,823,085	2052	\$15.28	165,373
27	2051	0	2052	108,231	10,931,316	2053	\$15.20	166,191
Totals		8,439,500		2,491,816		Future Value of Increment		4,211,288

Notes:
 1) Tax rate shown is actual 2024/2025 rate per DOR Form PC-202 (Tax Increment Collection Worksheet).

Financing and Implementation

The District's primary expenditures will be development incentives. Incentives will be provided on a PAYGO basis from the tax increment generated by the Project and such incentives may be structured in one or more phases. PAYGO payments will be made from and strictly limited to the tax increments generated by the District. The PAYGO incentives are not considered City debt nor will the City appropriate funds to make PAYGO incentive payments from any other sources aside from the tax increment generated by the District.

The City will also incur certain costs to create and administer the District. Costs incurred by the City prior to availability of tax increments will be paid from other funds of the City to be reimbursed. Once tax increments are collected, these costs will be paid from annual District revenue.

Based on the Project Cost expenditures as included within the cash flow exhibit (**Table 3**), the District is projected to require use of its entire 27-year maximum life to pay all Project cost liabilities and obligations. The projected closure is based on the various assumptions noted in this Plan and will vary dependent on actual Project Costs incurred and the actual amount of tax increments collected.

Table 3 - Cash Flow

Year	Projected Revenues		Projected Expenditures			Balances			Year
	Tax Increments	Total Revenues	MRO #1 2025 Living Downtown LLC ¹ \$7,000,000	Ongoing Planning & Administration	Total Expenditures	Annual	Cumulative	Liabilities Outstanding	
2025		0		35,000	35,000	(35,000)	(35,000)	7,000,000	2025
2026		0		10,000	10,000	(10,000)	(45,000)	7,000,000	2026
2027	146,168	146,168	124,243	10,300	134,543	11,625	(33,375)	6,875,757	2027
2028	146,891	146,891	124,858	10,609	135,467	11,425	(21,950)	6,750,900	2028
2029	147,619	147,619	125,476	10,927	136,403	11,216	(10,735)	6,625,424	2029
2030	148,349	148,349	126,097	11,255	137,352	10,997	263	6,499,327	2030
2031	149,084	149,084	126,721	11,593	138,314	10,770	11,033	6,372,606	2031
2032	149,822	149,822	127,348	11,941	139,289	10,533	21,565	6,245,257	2032
2033	150,563	150,563	127,979	12,299	140,277	10,286	31,851	6,117,279	2033
2034	151,308	151,308	128,612	12,668	141,280	10,029	41,880	5,988,666	2034
2035	152,057	152,057	129,249	13,048	142,297	9,761	51,640	5,859,418	2035
2036	152,810	152,810	129,889	13,439	143,328	9,482	61,123	5,729,529	2036
2037	153,567	153,567	130,532	13,842	144,374	9,193	70,315	5,598,997	2037
2038	154,327	154,327	131,178	14,258	145,435	8,891	79,207	5,467,820	2038
2039	155,091	155,091	131,827	14,685	146,512	8,578	87,785	5,335,993	2039
2040	155,858	155,858	132,480	15,126	147,605	8,253	96,038	5,203,513	2040
2041	156,630	156,630	133,135	15,580	148,715	7,915	103,953	5,070,378	2041
2042	157,405	157,405	133,794	16,047	149,841	7,564	111,516	4,936,583	2042
2043	158,184	158,184	134,457	16,528	150,985	7,199	118,716	4,802,127	2043
2044	158,967	158,967	135,122	17,024	152,147	6,821	125,536	4,667,004	2044
2045	159,754	159,754	135,791	17,535	153,326	6,428	131,964	4,531,213	2045
2046	160,545	160,545	136,463	18,061	154,524	6,021	137,985	4,394,750	2046
2047	161,340	161,340	137,139	18,603	155,742	5,598	143,583	4,257,611	2047
2048	162,138	162,138	137,818	19,161	156,979	5,160	148,743	4,119,794	2048
2049	162,941	162,941	138,500	19,736	158,236	4,705	153,448	3,981,294	2049
2050	163,747	163,747	139,185	20,328	159,513	4,234	157,682	3,842,109	2050
2051	164,558	164,558	139,874	20,938	160,812	3,746	161,428	3,702,234	2051
2052	165,373	165,373	140,567	21,566	162,133	3,240	164,668	3,561,668	2052
2053	166,191	166,191	141,262	22,213	163,475	2,716	167,384	3,420,405	2053
Totals	4,211,288	4,211,288	3,579,595	464,309	4,043,904				Totals

Notes:

1) The Developer will receive 85% of the annual tax increment generated by the project up to a total incentive of \$7,000,000 per Development Agreement 24-06.

PROJECTED CLOSURE YEAR

LEGEND:
 CALLABLE MATURITIES
 END OF EXP. PERIOD

SECTION 10: Annexed Property

A tax incremental district cannot include annexed territory unless at least three years have elapsed since the annexation, or certain other requirements are met. None of the property within the proposed District boundary was annexed during the past three years.

SECTION 11: Estimate of Property to Be Devoted to Retail Business

Pursuant to Wis. Stat. § 66.1105(5)(b), the City estimates that none of the territory within the District will be devoted to retail business at the end of the District's maximum expenditure period.

SECTION 12: Proposed Changes of Zoning Ordinances, Master Plan, Map, Building Codes and City Ordinances

Zoning Ordinances

The proposed Plan is in general conformance with the City's current zoning ordinances. Individual properties may require rezoning at the time of development.

Master (Comprehensive) Plan and Map

The proposed Plan is in general conformance with the City's Comprehensive Plan identifying the area as appropriate for Downtown land use which allows for and promotes high-intensity office, retail, housing, entertainment, convention and public land uses, preferably in mixed-use buildings with strong pedestrian orientations.

Building Codes and Ordinances

Development within the District will be required to conform to State Building Codes and will be subject to the City's permitting and inspection procedures. The proposed Plan conforms to all relevant State and local ordinances, plans, and codes. No changes to the existing regulations are proposed or needed.

SECTION 13: Statement of the Proposed Method for the Relocation of any Persons to be Displaced

Should implementation of this Plan require relocation of individuals or business operations, relocations will be handled in compliance with Wis. Stat. Chapter 32 and Wis. Admin. Code ADM 92.

SECTION 14: How Creation of the Tax Incremental District Promotes the Orderly Development of the City

Creation of the District and the implementation of the projects in its Plan will promote the orderly development of the City by rehabilitating and conserving property through the provision of appropriate financial incentives for private development projects. Through use of tax increment financing, the City can attract new investment that results in increased tax base. Development will occur in an orderly fashion in accordance with approved plans so that the Project will be compatible with adjacent land uses. Development of new uses in the District will add to the tax base and will generate positive secondary impacts in the community such as construction-related job creation, additional employment opportunities for commercial jobs post-construction, increased property values, increased income and sales tax collection, increased retail and commercial activity, and other economic benefits from the purchase of goods and services related to the construction and operation of the Project.

SECTION 15:

List of Estimated Non-Project Costs

Non-project costs are public works projects which only partly benefit the District. Costs incurred that do not benefit the District may not be paid with tax increments. Examples of non-project costs are:

- A public improvement made within the District that also benefits property outside the District. That portion of the total Project Costs allocable to properties outside of the District would be a non-project cost.
- A public improvement made outside the District that only partially benefits property within the District. That portion of the total Project Costs allocable to properties outside of the District would be a non-project cost.
- Projects undertaken within the District as part of the implementation of this Project Plan, the costs of which are paid fully or in part by impact fees, grants, special assessments, or revenues other than tax increments.

No improvements to be made within the District will benefit property outside the District. Furthermore, there will be no improvements made outside the District that will only partially benefit the District.

**SECTION 16:
Legal Opinion Advising Whether the Plan is Complete
and Complies with Wis. Stat. § 66.1105(4)(f)**

Legal Opinion Found on Following Page.

DRAFT

NEED WET SIGNATURE & DATED LEGAL OPINION ON ATTORNEY LETTERHEAD

SAMPLE

Mayor
City of Green Bay
100 N Jefferson St
Green Bay, Wisconsin 54301

RE: Project Plan for Tax Incremental District No. 30

Dear Mayor:

Wisconsin Statute 66.1105(4)(f) requires that a project plan for a tax incremental financing district include an opinion provided by the City Attorney advising as to whether the plan is complete and complies with Wisconsin Statute 66.1105.

As City Attorney for the City of Green Bay, I have been asked to review the above-referenced project plan for compliance with the applicable statutory requirements. Based upon my review, in my opinion, the Project Plan for the City of Green Bay Tax Incremental District No. 30 is complete and complies with the provisions of Wisconsin Statute 66.1105.

Sincerely,

City Attorney

SECTION 17: Calculation of the Share of Projected Tax Increments Estimated to be Paid by the Owners of Property in the Overlying Taxing Jurisdictions

The following projection is provided to meet the requirements of Wis. Stat. § 66.1105(4)(i)4. Allocation of future tax increments is based on the projections included in this Plan and assumes the same proportions as the actual breakdown of tax collections for the 2024/2025 levy year.

Revenue Year	Northeast				Total	Revenue Year
	Brown County	City of Green Bay	Green Bay Area School District	Wisconsin Tech. College		
2027	22,757	54,464	64,219	4,728	146,168	2027
2028	22,869	54,733	64,537	4,752	146,891	2028
2029	22,982	55,004	64,857	4,775	147,619	2029
2030	23,096	55,276	65,178	4,799	148,349	2030
2031	23,211	55,550	65,500	4,823	149,084	2031
2032	23,325	55,825	65,825	4,847	149,822	2032
2033	23,441	56,101	66,150	4,871	150,563	2033
2034	23,557	56,379	66,478	4,895	151,308	2034
2035	23,674	56,658	66,807	4,919	152,057	2035
2036	23,791	56,938	67,138	4,943	152,810	2036
2037	23,908	57,220	67,470	4,968	153,567	2037
2038	24,027	57,504	67,804	4,992	154,327	2038
2039	24,146	57,788	68,140	5,017	155,091	2039
2040	24,265	58,074	68,477	5,042	155,858	2040
2041	24,385	58,362	68,816	5,067	156,630	2041
2042	24,506	58,651	69,156	5,092	157,405	2042
2043	24,627	58,941	69,499	5,117	158,184	2043
2044	24,749	59,233	69,843	5,143	158,967	2044
2045	24,872	59,526	70,189	5,168	159,754	2045
2046	24,995	59,821	70,536	5,194	160,545	2046
2047	25,119	60,117	70,885	5,219	161,340	2047
2048	25,243	60,414	71,236	5,245	162,138	2048
2049	25,368	60,713	71,589	5,271	162,941	2049
2050	25,494	61,014	71,943	5,297	163,747	2050
2051	25,620	61,316	72,299	5,323	164,558	2051
2052	25,747	61,619	72,657	5,350	165,373	2052
2053	25,874	61,924	73,017	5,376	166,191	2053
Totals	655,647	1,569,165	1,850,243	136,233	4,211,288	



Report to the
**Redevelopment Authority
of the City of Green Bay**

MEETING DATE

June 10, 2025

PREPARED BY

Rebecca Finco, Staff

AGENDA ITEM # F.2

Consideration with possible action on a Resolution Establishing the Boundaries of and Approving the Project Plan for Tax Incremental District No. 31: One Astor.

BACKGROUND

TID 31: One Astor is a proposed blighted area district comprising approximately 5.57 acres located in the southern portion of Downtown Green Bay along South Adams Street and East Mason Street. TID 31 will be classified as a blighted area district based on the identification and classification of the properties proposed to be included within the TID. The creation of the district is proposed to pay the costs of development incentives needed to support an approximately 125-unit multifamily complex by One Astor Holdings LLC and the conversion of Fire Station 1 to a mixed-use building to include a restaurant and office space by MOWGS LLC.

Eligible project costs include development incentives, property acquisition, site preparation activities, utility and infrastructure improvements, street and streetscape improvements, and administration. Proposed costs include projects within the proposed boundary and within a one-half (1/2) mile radius of the proposed boundary of the TID.

In accordance with the Comprehensive Plan, the City of Green Bay ("City") and Redevelopment Authority of the City of Green Bay ("RDA") seek to create a more safe, productive, accessible, and innovative community in order to generate economic activity and tax base. The City and RDA have concluded that the properties are not attaining their highest and best land uses based on the Comprehensive Plan. But for the creation of TID 31, the future land uses identified in the Comprehensive Plan would not occur in the manner desired by the City and RDA.

RECOMMENDATION

Recommend the RDA and the Common Council adopt a Creation Resolution to establish Tax Increment District Thirty-one (TID 31): One Astor and adopt the Project Plan.

FISCAL IMPACT

A fiscal impact analysis has been included as part of the draft Project Plan and will be discussed at the meeting.

ATTACHMENTS

1. RDA Resolution 25-07 - TID 31 6.10.25
2. TID31 - Boundary
3. DRAFT TID 31 Project Plan 05.21.25

RESOLUTION 25-07

RESOLUTION ESTABLISHING THE BOUNDARIES OF AND APPROVING THE PROJECT PLAN FOR TAX INCREMENTAL DISTRICT NO. 31

WHEREAS, the City of Green Bay (the "City") has determined that use of Tax Incremental Financing is required to promote development and redevelopment within the City; and

WHEREAS, Tax Incremental District No. 31 (the "District") is proposed to be created by the City in accordance with the provisions of Wisconsin Statutes Section 66.1105 (the "Tax Increment Law"); and

WHEREAS, a Project Plan for the District has been prepared that includes:

- a. A statement listing of the kind, number and location of all proposed public works or improvements within the District, or to the extent provided in Wisconsin Statutes Sections 66.1105(2)(f)l.k. and 66.1105(2)(f)l.n., outside of the District;
- b. An economic feasibility study;
- c. A detailed list of estimated project costs;
- d. A description of the methods of financing all estimated project costs and the time when the related costs or monetary obligations are to be incurred;
- e. A map showing existing uses and conditions of real property in the District;
- f. A map showing proposed improvements and uses in the District;
- g. Proposed changes of zoning ordinances, master plan, map, building codes and City ordinances;
- h. A list of estimated non-project costs;
- i. A statement of the proposed plan for relocation of any persons to be displaced;
- j. A statement indicating how the District promotes the orderly development of the City;
- k. An opinion of the City Attorney or of an attorney retained by the City advising that the plan is complete and complies with Wisconsin Statutes Section 66.1105(4)(f); and

WHEREAS, prior to its publication, a copy of the notice of public hearing was sent to the chief executive officers of Brown County, the Green Bay Area Public School District and the Northeast Wisconsin Technical College District, and any other entities having the power to levy taxes on property located within the District, in accordance with the procedures specified in the Tax Increment Law; and

WHEREAS, prior to its publication, a copy of the notice of public hearing was also sent to the owners of all property in the proposed District; and

WHEREAS, in accordance with the procedures specified in the Tax Increment Law, the RDA, on June 10, 2025 held a public hearing concerning the proposed creation of the District, its proposed boundaries and its proposed Project Plan, providing interested parties a reasonable opportunity to express their views thereon.

NOW, THEREFORE, BE IT RESOLVED by the RDA of the City of Green Bay that:

1. It recommends to the Common Council that Tax Incremental District No. 31 be created with boundaries as designated in Exhibit A of this Resolution.
2. It approves and adopts the Project Plan for the District, attached as Exhibit B, and recommends its approval to the Common Council.
3. Creation of the District promotes orderly development in the City.

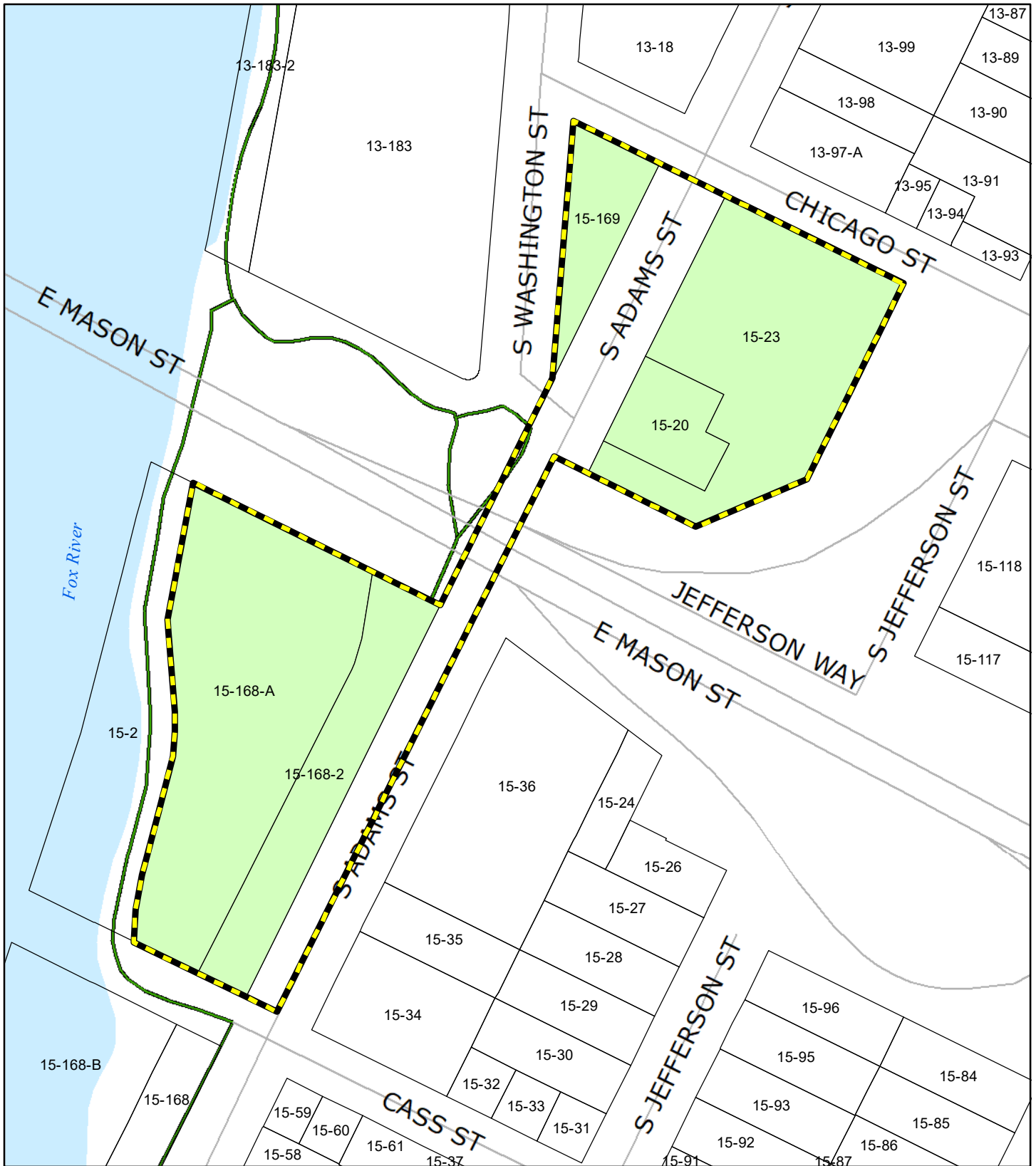
Adopted _____

Approved _____

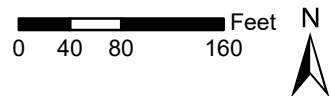
REDEVELOPMENT AUTHORITY
OF THE CITY OF GREEN BAY

Gary J. Delveaux
Redevelopment Authority, Chair


Cheryl Renier-Wigg
Redevelopment Authority, Secretary



TID 31



This is a compilation of records and data located in various City of Green Bay offices and is to be used for reference purposes only. The City of Green Bay is not responsible for any inaccuracies or unauthorized use of the information contained within. No warranties are implied. Map prepared by City of Green Bay Department of Community and Economic Development. E.R.
 12 May 2025 X:\Planning\Work Order Requests\2025\25.03 TID\TID 31\TID31 - Boundary.mxd

-  TID Boundary
-  TID Parcel

June 1, 2025

PROJECT PLAN

City of Green Bay, Wisconsin

Tax Incremental District No. 31

One Astor



Prepared by:

Ehlers
N19W24400 Riverwood Drive,
Suite 100
Waukesha, WI 53188

BUILDING COMMUNITIES. IT'S WHAT WE DO.

KEY DATES

Organizational Joint Review Board Meeting Held:	June 10 th , 2025
Public Hearing Held:	June 10 th , 2025
Consideration by Redevelopment Authority:	June 10 th , 2025
Adoption by Common Council:	June 24 th , 2025
Approval by the Joint Review Board:	Scheduled for TBD

TABLE OF CONTENTS

Executive Summary.....	3
Preliminary Map of Proposed District Boundary	6
Map Showing Existing Uses and Conditions.....	11
Preliminary Parcel List and Analysis	13
Equalized Value Test	15
Statement Listing the Kind, Number and Location of All Proposed Public Works or Improvements Within the District	16
Map Showing Proposed Improvements and Uses.....	23
Detailed List of Estimated Project Costs	25
Economic Feasibility Study, Description of the Methods of Financing Estimated Project Costs and the Time When Related Costs or Monetary Obligations are to be Incurred.....	26
Annexed Property.....	31
Estimate of Property to Be Devoted to Retail Business	31
Proposed Changes of Zoning Ordinances, Master Plan, Map, Building Codes and City Ordinances.....	31
Statement of the Proposed Method for the Relocation of any Persons to be Displaced	32
How Creation of the Tax Incremental District Promotes the Orderly Development of the City	32
List of Estimated Non-Project Costs	33
Legal Opinion Advising Whether the Plan is Complete and Complies with Wis. Stat. § 66.1105(4)(f).....	34
Calculation of the Share of Projected Tax Increments Estimated to be Paid by the Owners of Property in the Overlying Taxing Jurisdictions.....	36

SECTION 1: Executive Summary

DESCRIPTION OF DISTRICT

Tax Incremental District (“TID”) No. 31 (“District”) is a proposed Blighted Area District comprising approximately 5.57 acres located in the southern portion of downtown Green Bay. The District will be created to pay the costs of development incentives needed to support an approximately 125 unit apartment complex by One Astor Holdings, LLC, and the conversion of Fire Station 1 to a mixed-use building to include a restaurant and office space (collectively, the “Projects”) by MOWGS LLC (One Astor Holdings, LLC and MOWGS LLC collectively referred to as the “Developers”). In addition to the incremental property value that will be created, the City expects construction-related job creation, additional employment opportunities for commercial jobs post-construction, increased property values, increased income and sales tax collection, increased retail and commercial activity, and other economic benefits from the purchase of goods and services related to the construction and operation of the Projects.

AUTHORITY

The City is creating the District under the provisions of Wis. Stat. § 66.1105.

ESTIMATED TOTAL PROJECT COST EXPENDITURES

The City anticipates making total expenditures of approximately \$5.69 million (“Project Costs”) to undertake the projects listed in this Project Plan (“Plan”). Project Costs include an estimated \$5.22 million in Pay As You Go (“PAYGO”) developer incentives and \$464 thousand in ongoing planning and administrative costs.

INCREMENTAL VALUATION

The City projects that new land and improvements value of approximately \$20.41 million will result from the Projects. Creation of this additional value will be made possible by the Project Costs made within the District. A table detailing assumptions as to the development timing and associated values is included in the Economic Feasibility Study located within this Plan.

EXPECTED TERMINATION OF DISTRICT

Based on the Economic Feasibility Study located within Section 9 of this Plan, the City anticipates that the District will generate sufficient tax increment to pay all Project Costs within 18 of its allowable 27 years.

SUMMARY OF FINDINGS

As required by Wis. Stat. § 66.1105, and as documented in this Plan and the exhibits contained and referenced herein, the following findings are made:

1. That “but for” the creation of this District, the development projected to occur as detailed in this Plan: 1) would not occur; or 2) would not occur in the manner, at the values, or within the timeframe desired by the City. The Developers will incur costs to develop and redevelop the properties within the District which are not expected to be fully recovered through sale or rent while also generating market-appropriate investor returns. The City will evaluate requests from the Developers for Tax Incremental Financing (“TIF”) assistance and confirm that the public investment is necessary, and that “but for” that investment, the related development will not occur at all, in the same timeframe, or at the same level of investment. The development incentives included in this Plan are based on the approved Development Agreement 2025-03 and high level projections for the MOWGS LLC project. Both Projects are intended to be supported on a PAYGO basis. The economic benefits of the District, as measured by increased employment, business and personal income, and property value, are sufficient to compensate for the cost of the improvements.
2. The benefits of the proposal outweigh the anticipated tax increments to be paid by the owners of property in the overlying taxing jurisdictions. As required by Wis. Stat. § 66.1105(4)(i)4., a calculation of the share of projected tax increments estimated to be paid by the owners of property in the overlying taxing jurisdictions has been prepared and can be found in this Plan. However, because the Projects would not occur without the use of tax incremental financing, these tax increments would not be paid but for creation of the District. Accordingly, the City finds that the benefits expected to be realized as set forth in this Plan outweigh the value of the tax increments to be invested in the Projects.
3. Not less than 50% by area of the real property within the District is a blighted area as defined by Wis. Stat. § 66.1105(2)(ae)1.
4. Based on the foregoing finding, the District is designated as a blighted area district.
5. The Project Costs relate directly to the elimination of blight in the District, consistent with the purpose for which the District is created.
6. Improvements to be made in the District are likely to significantly enhance the value of substantially all of the other real property in the District.

7. The equalized value of taxable property in the District, plus the incremental value of all existing tax incremental districts within the City does not exceed 12% of the total equalized value of taxable property within the City.
8. The City estimates that 7% of the territory within the District will be devoted to retail business at the end of the District's maximum expenditure period, pursuant to Wis. Stat. § 66.1105(5)(b).
9. That there are no parcels to be included within the District that were annexed by the City within the preceding three-year period.
10. The Plan for the District is feasible and is in conformity with the Master Plan of the City.

DRAFT


SECTION 2: Preliminary Map of Proposed District Boundary

Map Found on Following Page.

DRAFT





TID 31



This is a compilation of records and data located in various City of Green Bay offices and is to be used for reference purposes only. The City of Green Bay is not responsible for any inaccuracies or unauthorized use of the information contained within. No warranties are implied. Map prepared by City of Green Bay Department of Community and Economic Development. E.R. 21 May 2025 X:\Planning\Work Order Requests\2025\25.03 TID\TID 31\TID31 - Boundary.mxd


0 40 80 160 Feet N

 TID Boundary

 TID Parcel


Parcel Layout as of January 1, 2025







TID 31

This is a compilation of records and data located in various City of Green Bay offices and is to be used for reference purposes only. The City of Green Bay is not responsible for any inaccuracies or unauthorized use of the information contained within. No warranties are implied. Map prepared by City of Green Bay Department of Community and Economic Development. E.R. 12 May 2025 X:\Planning\Work Order Requests\2025\25.03 TID\TID 31\TID31 - Boundary.mxd



0 40 80 160 Feet N

 TID Boundary

 TID Parcel

Parcel Layout as of January 1, 2026





TID 31

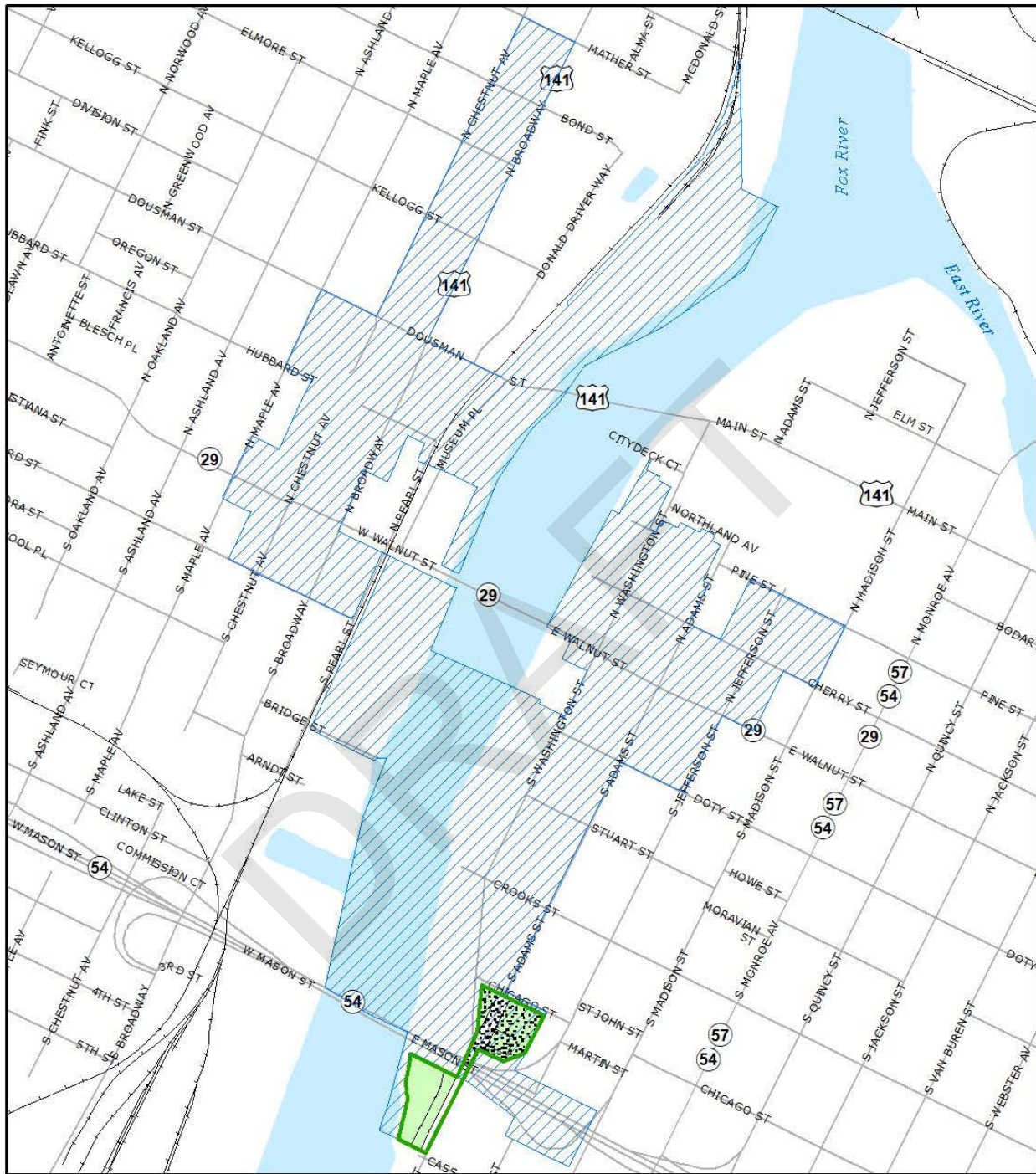
This is a compilation of records and data located in various City of Green Bay offices and is to be used for reference purposes only. The City of Green Bay is not responsible for any inaccuracies or unauthorized use of the information contained within. No warranties are implied. Map prepared by City of Green Bay Department of Community and Economic Development. E.R. 21 May 2025 X:\Planning\Work Order Requests\2025.25.03 TID\TID 31\TID31 - Boundary.mxd




 TID Boundary

 TID Parcel

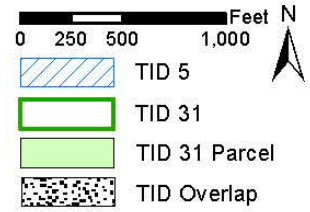
*The identified parcel represents the combination of parcels 15-168-A and 15-168-2 by Certified Survey Map. The new parcel number is not yet assigned.



TID 31

This is a compilation of records and data located in various City of Green Bay offices and is to be used for reference purposes only. The City of Green Bay is not responsible for any inaccuracies or unauthorized use of the information contained within. No warranties are implied. Map prepared by City of Green Bay Department of Community and Economic Development. E.R. 13 May 2025 X:\Planning\Work Order Requests\2025\25.03 TID\TID 31\TID31 - Overlap.mxd

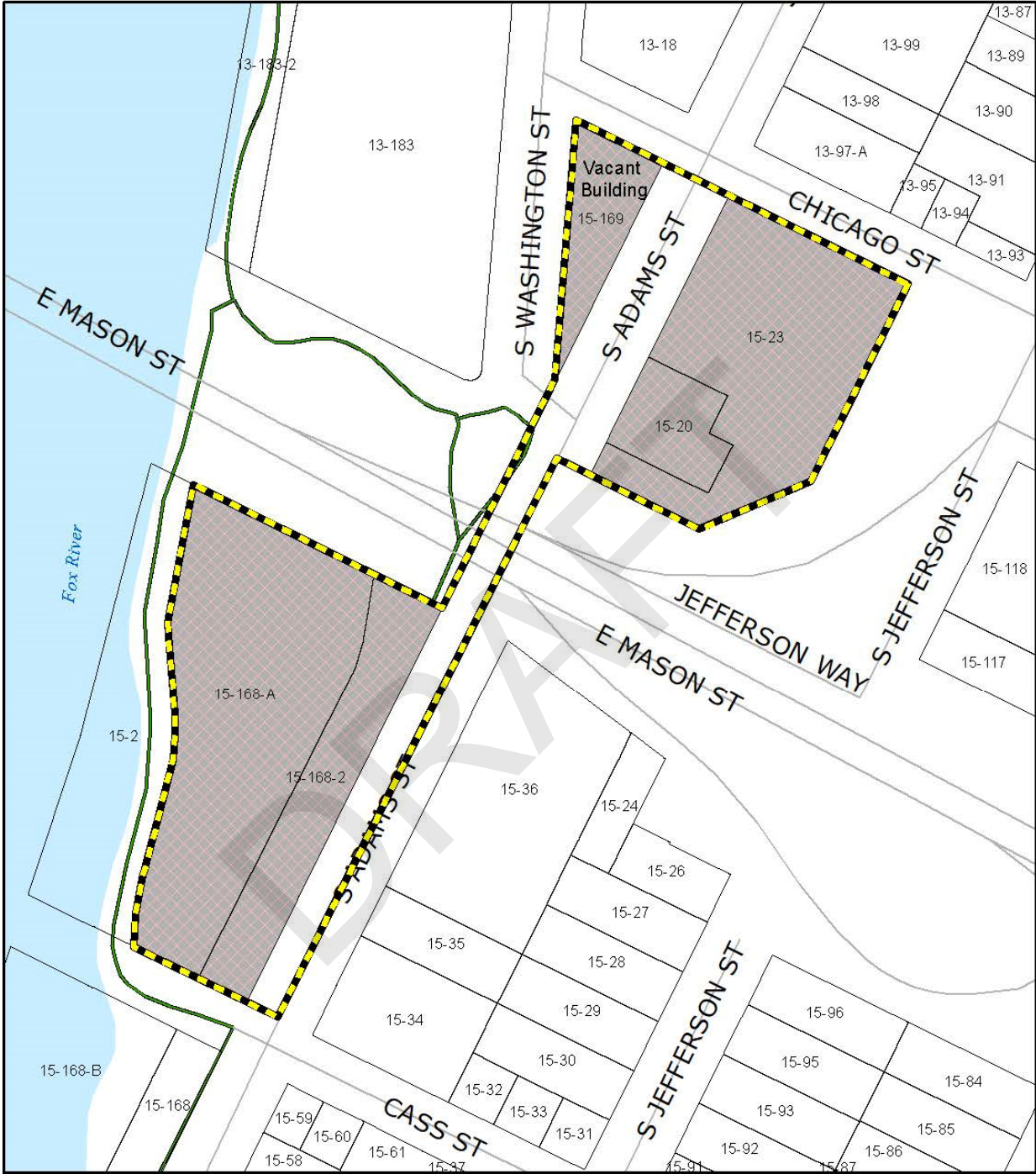
- TID 31 Parcels in TID 5:
- 15-169
 - 15-23
 - 15-20



SECTION 3: Map Showing Existing Uses and Conditions

Map Found on Following Page.

DRAFT





TID 31

This is a compilation of records and data located in various City of Green Bay offices and is to be used for reference purposes only. The City of Green Bay is not responsible for any inaccuracies or unauthorized use of the information contained within. No warranties are implied. Map prepared by City of Green Bay Department of Community and Economic Development. E.R. 12 May 2025 X:\Planning\Work Order Requests\2025\25.03 TID\TID 31\TID31 - LandUse.mxd




	Blighted Parcel
	TID Boundary
	Vacant or Undeveloped Land

SECTION 4: Preliminary Parcel List and Analysis

The District will consist of the parcels identified in the below tables:

Parcel Data

Parcel Number	Address	Owner	Acres	Designated Acres	Blighted Condition
				Blighted	
ROW Areas			1.25		
15-168-A	100 E. Mason St.	Miller Land Investments LLC	1.74	1.74	Condition 2
15-168-2	0 S. Adams St.	Miller Land Investments LLC	0.66	0.66	Condition 2
15-169	501 S. Washington St.	City of Green Bay	0.33	0.33	Condition 1
15-20	521 S. Adams St.	Cosmo LLC	0.27	0.27	Condition 2
15-23	501 S. Adams St.	Cosmo LLC	1.33	1.33	Condition 2
TOTALS			5.57	4.32	

Percentage of TID Area Designated as Blighted (at least 50%)

78%

Percentage of TID Area Not Designated as Blighted

22%

Condition 1: The identified parcel includes structures which by reason of dilapidation, deterioration, age or obsolescence, are conducive to ill health, juvenile delinquency, or crime, and which in its current state is detrimental to the public health, safety, morals or welfare. Costs associated with the remediation of existing structures have resulted in the property not developing under normal market conditions, substantially impairing and arresting the sound growth of the community, therefore rendering the parcel blighted.

Condition 2: The identified parcels are areas which are predominantly open, and which consist primarily of land upon which buildings or structures have been demolished. The extraordinary costs associated with the redevelopment of the properties due to the deterioration of improvements, has resulted in the properties not developing under normal market conditions, substantially impairing and arresting the sound growth of the community, therefore rendering the parcels blighted.

Calculation of Estimated Base Value¹

Parcel	Assessed Value			Equalized Value ²			Overlapping TID
	Land	Improvement	Total	Land	Improvement	Total	
15-168-A	1,099,500	0	1,099,500	1,377,000	0	1,377,000	TID 5 ³
15-168-2	99,000	0	99,000	124,000	0	124,000	
15-169	0	0	0	0	0	0	TID 5
15-20	29,700	0	29,700	37,200	0	37,200	TID 5
15-23	117,900	0	117,900	147,700	0	147,700	TID 5
TOTALS	1,346,100	0	1,346,100	1,685,900	0	1,685,900	

1) Estimated based on values as of January 1, 2024. Actual base value will be as of January 1, 2025.

2) Calculation based on aggregate assessment ratio of 79.85%.

3) The parcel is currently being removed from TID 5, pending DOR approval.

DRAFT

SECTION 5: Equalized Value Test

The following calculations demonstrate that the City expects to be in compliance with Wis. Stat. § 66.1105(4)(gm)4.c., which requires that the equalized value of the taxable property in the proposed District, plus the value increment of all existing tax incremental districts, does not exceed 12% of the total equalized value of taxable property within the City. The value of those parcels currently located within Tax Incremental District No. 5 that will be overlapped are not included in the base value of the District as that value is reflected within the total of existing incremental value.

Calculation of City Equalized Value Limit

City TID IN Equalized Value (Jan. 1, 2024)	\$ 10,834,009,900
TID Valuation Limit @ 12% of Above Value	\$ 1,300,081,188

Calculation of Value Subject to Limit

Estimated Base Value of Territory to be Included in District	\$ 1,685,900
Incremental Value of Existing Districts (Jan. 1, 2024)	\$ 771,458,500
Less: Value of Underlying TID Parcels	<u>\$ (1,561,900)</u>
Total Value Subject to 12% Valuation Limit	\$ 771,582,500
Total Percentage of TID IN Equalized Value	7.12%
Residual Value Capacity of TID IN Equalized Value	\$ 528,498,688

The equalized value of the increment of existing tax incremental districts within the City, plus the base value of the proposed District, totals \$771,582,500. This value is less than the maximum of \$1,300,081,188 in equalized value that is permitted for the City.

SECTION 6: Statement Listing the Kind, Number and Location of All Proposed Public Works or Improvements Within the District

Project Costs are any expenditure made, estimated to be made, or monetary obligations incurred or estimated to be incurred as outlined in this Plan. Project Costs will be diminished by any income, special assessments or other revenues, including user fees or charges, other than tax increments, received or reasonably expected to be received in connection with the implementation of the Plan. If Project Costs incurred benefit territory outside the District, a proportionate share of the cost is not a Project Cost. Costs identified in this Plan are preliminary estimates made prior to design considerations and are subject to change after planning, design and construction is completed.

With all Project Costs, the costs of engineering, design, survey, inspection, materials, construction, restoring property to its original condition, apparatus necessary for public works, legal and other consultant fees, testing, environmental studies, permits, updating City ordinances and plans, judgments or claims for damages and other expenses are included as Project Costs.

The following is a list of public works and other tax incremental financing eligible Project Costs that the City expects to make, or may need to make, in conjunction with the implementation of the District's Plan. The map found in Section 7 of this Plan along with the Detailed List of Project Costs found in Section 8 provide additional information as to the kind, number and location of potential Project Costs.

Property, Right-of-Way and Easement Acquisition

Property Acquisition for Development

To promote and facilitate development the City may acquire property within the District. The cost of property acquired, and any costs associated with the transaction, are eligible Project Costs. Following acquisition, other Project Costs within the categories detailed in this Section may be incurred to make the property suitable for development. Any revenue received by the City from the sale of property acquired pursuant to the execution of this Plan will be used to reduce the total project costs of the District. If total Project Costs incurred by the City to acquire property and make it suitable for development exceed the revenues or other consideration received from the sale or lease of that property, the net amount shall be considered "real property assembly costs" as

defined in Wis. Stat. § 66.1105(2)(f)1.c., and subject to recovery as an eligible Project Cost.

Property Acquisition for Conservancy

To promote the objectives of this Plan, the City may acquire property within the District that it will designate for conservancy. These conservancy objectives include: preserving historic resources or sensitive natural features; protection of scenic and historic views; maintaining habitat for wildlife; maintaining adequate open space; reduction of erosion and sedimentation by preserving existing vegetation; and providing adequate areas for management of stormwater. The cost of property acquired for conservancy, and any costs associated with the transaction, are eligible Project Costs.

Acquisition of Rights-of-Way

The City may need to acquire property to allow for installation of streets, driveways, sidewalks, utilities, stormwater management practices and other public infrastructure. Costs incurred by the City to identify, negotiate and acquire rights-of-way are eligible Project Costs.

Acquisition of Easements

The City may need to acquire temporary or permanent easements to allow for installation and maintenance of streets, driveways, sidewalks, utilities, stormwater management practices and other public infrastructure. Costs incurred by the City to identify, negotiate and acquire easement rights are eligible Project Costs.

Relocation Costs

If relocation expenses are incurred in conjunction with the acquisition of property, those expenses are eligible Project Costs. These costs may include, but are not limited to: preparation of a relocation plan; allocations of staff time; legal fees; publication of notices; obtaining appraisals; and payment of relocation benefits as required by Wis. Stat. Chapter 32 and Wis. Admin. Code ADM 92.

Site Preparation Activities

Environmental Audits and Remediation

If it becomes necessary to evaluate any land or improvement within the District, any cost incurred by the City related to environmental audits, testing, and remediation are eligible Project Costs.

Demolition

To make sites suitable for development, the City may incur costs related to demolition and removal of structures or other land improvements, to include abandonment of wells or other existing utility services.

Site Grading

Land within the District may require grading to make it suitable for development, to provide access, and to control stormwater runoff. The City may need to remove and dispose of excess material, or bring in fill material to provide for proper site elevations. Expenses incurred by the City for site grading are eligible Project Costs.

Utilities

Sanitary Sewer System Improvements

To allow development to occur, the City may need to construct, alter, rebuild or expand sanitary sewer infrastructure within the District. Eligible Project Costs include, but are not limited to, construction, alteration, rebuilding or expansion of: collection mains; manholes and cleanouts; service laterals; force mains; interceptor sewers; pumping stations; lift stations; wastewater treatment facilities; and all related appurtenances. To the extent sanitary sewer projects undertaken within the District provide direct benefit to land outside of the District, the City will make an allocation of costs based on such benefit. Those costs corresponding to the benefit allocated to land within the District, and necessitated by the implementation of the Project Plan, are eligible Project Costs. Implementation of the Project Plan may also require that the City construct, alter, rebuild or expand sanitary sewer infrastructure located outside of the District. That portion of the costs of sanitary sewer system projects undertaken outside the District which are necessitated by the implementation of the Project Plan are eligible Project Costs.

Water System Improvements

To allow development to occur, the City may need to construct, alter, rebuild or expand water system infrastructure within the District. Eligible Project Costs include, but are not limited to, construction, alteration, rebuilding or expansion

of: distribution mains; manholes and valves; hydrants; service laterals; pumping stations; wells; water treatment facilities; storage tanks and reservoirs; and all related appurtenances. To the extent water system projects undertaken within the District provide direct benefit to land outside of the District, the City will make an allocation of costs based on such benefit. Those costs corresponding to the benefit allocated to land within the District, and necessitated by the implementation of the Project Plan, are eligible Project Costs. Implementation of the Project Plan may also require that the City construct, alter, rebuild or expand water system infrastructure located outside of the District. That portion of the costs of water system projects undertaken outside the District which are necessitated by the implementation of the Project Plan are eligible Project Costs.

Stormwater Management System Improvements

Development within the District will cause stormwater runoff. To manage this stormwater runoff, the City may need to construct, alter, rebuild or expand stormwater management infrastructure within the District. Eligible Project Costs include, but are not limited to, construction, alteration, rebuilding or expansion of: stormwater collection mains; inlets, manholes and valves; service laterals; ditches; culvert pipes; box culverts; bridges; stabilization of stream and river banks; and infiltration, filtration and detention Best Management Practices (BMP's). To the extent stormwater management system projects undertaken within the District provide direct benefit to land outside of the District, the City will make an allocation of costs based on such benefit. Those costs corresponding to the benefit allocated to land within the District, and necessitated by the implementation of the Project Plan, are eligible Project Costs. Implementation of the Project Plan may also require that the City construct, alter, rebuild or expand stormwater management infrastructure located outside of the District. That portion of the costs of stormwater management system projects undertaken outside the District which are necessitated by the implementation of the Project Plan are eligible Project Costs.

Electric Service

To create sites suitable for development, the City may incur costs to provide, relocate or upgrade electric services. Relocation may require abandonment and removal of existing poles or towers, installation of new poles or towers, or burying of overhead electric lines. Costs incurred by the City to undertake this work are eligible Project Costs.

Gas Service

To create sites suitable for development, the City may incur costs to provide, relocate or upgrade gas mains and services. Costs incurred by the City to undertake this work are eligible Project Costs.

Communications Infrastructure

To create sites suitable for development, the City may incur costs to provide, relocate or upgrade infrastructure required for voice and data communications, including, but not limited to: telephone lines, cable lines and fiber optic cable. Costs incurred by the City to undertake this work are eligible Project Costs.

Streets and Streetscape

Street Improvements

To allow development to occur, the City may need to construct or reconstruct streets, highways, alleys, access drives and parking areas. Eligible Project Costs include, but are not limited to: excavation; removal or placement of fill; construction of road base; asphalt or concrete paving or repaving; installation of curb and gutter; installation of sidewalks and bicycle lanes; installation of culverts, box culverts and bridges; rail crossings and signals; utility relocation, to include burying overhead utility lines; street lighting; installation of traffic control signage and traffic signals; pavement marking; right-of-way restoration; installation of retaining walls; and installation of fences, berms, and landscaping.

Streetscaping and Landscaping

To attract development consistent with the objectives of this Plan, the City may install amenities to enhance development sites, rights-of-way and other public spaces. These amenities include, but are not limited to: landscaping; lighting of streets, sidewalks, parking areas and public areas; installation of planters, benches, clocks, tree rings, trash receptacles and similar items; and installation of brick or other decorative walks, terraces and street crossings. These and any other similar amenities installed by the City are eligible Project Costs.

Community Development

Cash Grants (Development Incentives)

The City may enter into agreements with property owners, lessees, or developers of land located within the District for sharing costs to encourage the desired kind of improvements and assure tax base is generated sufficient to recover Project Costs. No cash grants will be provided until the City executes a developer agreement with the recipient of the cash grant. Any payments of cash grants made by the City are eligible Project Costs.

Contribution to Redevelopment Authority (RDA)

As provided for in Wis. Stat. § 66.1105(2)(f)1.h and Wis. Stat. § 66.1333(13), the City may provide funds to its RDA to be used for administration, planning operations, and capital costs, including but not limited to real property acquisition, related to the purposes for which it was established in furtherance of any redevelopment or urban renewal project. Funds provided to the RDA for this purpose are eligible Project Costs.

Revolving Loan/Grant Program (Development Incentives)

To encourage private development consistent with the objectives of this Plan, the City, through its RDA, may provide loans or grants to eligible property owners in the District. Eligible improvements will be those that are likely to improve the value of the property, enhance the visual appearance of the property and surrounding area, correct safety deficiencies, or as otherwise specified by the RDA in the program manual. Any funds returned to the RDA from the repayment of loans made are not considered revenues to the District, and will not be used to offset District Project Costs. Instead, these funds may be placed into a revolving fund and will continue to be used for the program purposes stated above. Any funds provided to the RDA for purposes of implementing this program are considered eligible Project Costs.

Miscellaneous

Professional Service and Organizational Costs

The costs of professional services rendered, and other costs incurred, in relation to the creation, administration and termination of the District, and the undertaking of the projects contained within this Plan, are eligible Project Costs. Professional services include but are not limited to: architectural; environmental; planning; engineering; legal; audit; financial; and the costs of informing the public with respect to the creation of the District and the implementation of the Plan.

Administrative Costs

The City may charge to the District as eligible Project Costs reasonable allocations of administrative costs, including, but not limited to, employee salaries. Costs allocated will bear a direct connection to the time spent by City employees relating to the implementation of the Plan.

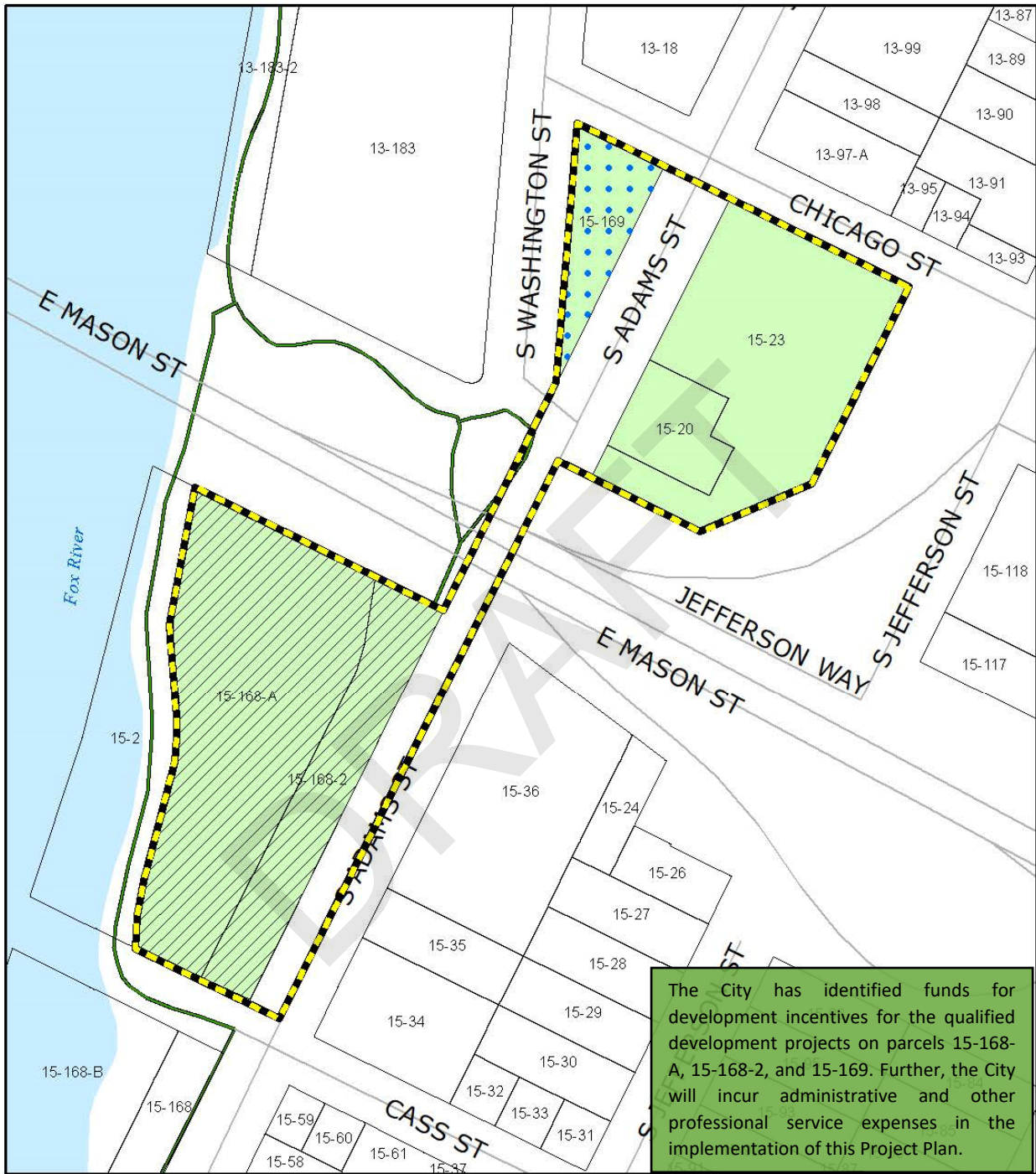
Financing Costs

Interest expense, debt issuance expenses, redemption premiums, and any other fees and costs incurred in conjunction with obtaining financing for projects undertaken under this Plan are eligible Project Costs.

SECTION 7: Map Showing Proposed Improvements and Uses

Map Found on Following Page.

DRAFT



The City has identified funds for development incentives for the qualified development projects on parcels 15-168-A, 15-168-2, and 15-169. Further, the City will incur administrative and other professional service expenses in the implementation of this Project Plan.



TID 31

This is a compilation of records and data located in various City of Green Bay offices and is to be used for reference purposes only. The City of Green Bay is not responsible for any inaccuracies or unauthorized use of the information contained within. No warranties are implied. Map prepared by City of Green Bay Department of Community and Economic Development. E.R. 12 May 2025 X:\Planning\Work Order Requests\2025.25.03 TID\TID 31\TID31 - Proposed.mxd




-  TID Boundary
-  Proposed Multi-family Development
-  Proposed Mixed-Use Retail & Office
-  TID 31 Parcel

SECTION 8: Detailed List of Estimated Project Costs

The following list identifies the Project Costs that the City currently expects to incur in implementing the District’s Plan. All projects identified and related costs reflect the best estimates available as of the date of preparation of this Plan. All costs are preliminary estimates and may increase or decrease. Certain Project Costs listed may become unnecessary, and other Project Costs not currently identified may need to be made. (Section 6 details the general categories of eligible Project Costs). Changes in Project Cost totals or the types of Project Costs to be incurred will not require that this Plan be amended. This Plan is not meant to be a budget nor an appropriation of funds for specific Project Costs, but a framework within which to manage Project Costs.

Project	Project Name/Type	Est. Cost		Totals	Est. Timing
		Phase I	Ongoing		
1	Pay As You Go ("PAYGO") Development Incentives				
1a.	One Astor Holdings, LLC ¹	4,500,000		4,500,000	2025-2045
1b.	MOWGS LLC ²	722,715		722,715	2025-2047
2	Ongoing Planning & Administrative Costs		464,309	464,309	2025-2053
Total Projects		5,222,715	464,309	5,687,024	

Notes:

- 1) Represents the Tax Incentive Cap per Section III.C.2 of Development Agreement 2025-03.
- 2) Estimated total assuming the project receives a 20-year PAYGO incentive at 80% of the annual tax increment generated by the project.

SECTION 9: Economic Feasibility Study, Description of the Methods of Financing Estimated Project Costs and the Time When Related Costs or Monetary Obligations are to be Incurred

This Section includes a forecast of the valuation increases expected within the District, the associated tax increment collections, a summary of how Project Costs would be financed, and a projected cash flow demonstrating that the District is economically feasible.

Key Assumptions

The Project Costs the City plans to make are expected to create \$20.41 million in incremental value by January 1, 2028. Estimated valuations and timing for construction of the Projects are included in **Table 1**. Assuming the City's current equalized TID Interim tax rate of \$17.32 per thousand of equalized value decreases 0.50% annually and values increase 1.00% annually from economic appreciation, the Projects would generate \$9.34 million in incremental tax revenue over the 27-year term of the District as shown in **Table 2**.

Table 1 - Development Assumptions

Construction Year		One Astor Holdings, LLC ¹	Fire Station 1 Redevelopment (MOWGS LLC) ²		Annual Total	Construction Year	
		Total Value	Sq. Ft.	Total Value			
Estimated Value per				\$250			
1	2025				0	2025	1
2	2026		10,000	2,500,000	2,500,000	2026	2
3	2027	17,911,400			17,911,400	2027	3
4	2028				0	2028	4
5	2029				0	2029	5
6	2030				0	2030	6
7	2031				0	2031	7
8	2032				0	2032	8
9	2033				0	2033	9
10	2034				0	2034	10
11	2035				0	2035	11
12	2036				0	2036	12
13	2037				0	2037	13
14	2038				0	2038	14
15	2039				0	2039	15
16	2040				0	2040	16
17	2041				0	2041	17
18	2042				0	2042	18
19	2043				0	2043	19
20	2044				0	2044	20
21	2045				0	2045	21
22	2046				0	2046	22
23	2047				0	2047	23
24	2048				0	2048	24
25	2049				0	2049	25
26	2050				0	2050	26
27	2051				0	2051	27
Totals		17,911,400	10,000	2,500,000	20,411,400		

Notes:
 1) Development Agreement 2025-03 estimated the assessed value of the property to be \$15,500,000 after completion. Represents the equalized value increase using the 2024 aggregate ratio of 79.85% and deducting the estimated base value of \$1,501,000.
 2) Timing and values are estimates based on currently available information.

Table 2 – Tax Increment Projection Worksheet

Type of District	Blighted Area		Base Value	1,685,900
District Creation Date	June 24, 2025		Economic Change Factor	1.00%
Valuation Date	Jan 1,	2025	Apply to Base Value	
Max Life (Years)	27		Base Tax Rate	\$17.41
End of Expenditure Period	22	6/24/2047	Rate Adjustment Factor	-0.50%
Revenue Periods/Final Year	27	2053		
Extension Eligibility/Years	Yes	3		
Eligible Recipient District	Yes			

	Construction Year	Value Added	Valuation Year	Economic Change	Total Increment	Revenue Year	Tax Rate ¹	Tax Increment
1	2025	0	2026	0	0	2027	\$17.32	0
2	2026	2,500,000	2027	0	2,500,000	2028	\$17.23	43,082
3	2027	17,911,400	2028	25,000	20,436,400	2029	\$17.15	350,418
4	2028	0	2029	204,364	20,640,764	2030	\$17.06	352,152
5	2029	0	2030	206,408	20,847,172	2031	\$16.98	353,895
6	2030	0	2031	208,472	21,055,643	2032	\$16.89	355,647
7	2031	0	2032	210,556	21,266,200	2033	\$16.81	357,408
8	2032	0	2033	212,662	21,478,862	2034	\$16.72	359,177
9	2033	0	2034	214,789	21,693,650	2035	\$16.64	360,955
10	2034	0	2035	216,937	21,910,587	2036	\$16.56	362,741
11	2035	0	2036	219,106	22,129,693	2037	\$16.47	364,537
12	2036	0	2037	221,297	22,350,990	2038	\$16.39	366,341
13	2037	0	2038	223,510	22,574,500	2039	\$16.31	368,155
14	2038	0	2039	225,745	22,800,245	2040	\$16.23	369,977
15	2039	0	2040	228,002	23,028,247	2041	\$16.15	371,809
16	2040	0	2041	230,282	23,258,530	2042	\$16.07	373,649
17	2041	0	2042	232,585	23,491,115	2043	\$15.98	375,499
18	2042	0	2043	234,911	23,726,026	2044	\$15.90	377,357
19	2043	0	2044	237,260	23,963,286	2045	\$15.83	379,225
20	2044	0	2045	239,633	24,202,919	2046	\$15.75	381,102
21	2045	0	2046	242,029	24,444,948	2047	\$15.67	382,989
22	2046	0	2047	244,449	24,689,398	2048	\$15.59	384,885
23	2047	0	2048	246,894	24,936,292	2049	\$15.51	386,790
24	2048	0	2049	249,363	25,185,655	2050	\$15.43	388,704
25	2049	0	2050	251,857	25,437,511	2051	\$15.36	390,629
26	2050	0	2051	254,375	25,691,886	2052	\$15.28	392,562
27	2051	0	2052	256,919	25,948,805	2053	\$15.20	394,505
Totals		20,411,400		5,537,405		Future Value of Increment		9,344,191

Notes:
 1) Tax rate shown is actual 2024/2025 rate per DOR Form PC-202 (Tax Increment Collection Worksheet).

Financing and Implementation

The District's primary expenditures will be development incentives. Incentives will be provided on a PAYGO basis from the tax increment generated by the Projects and such incentives may be structured in one or more phases. PAYGO payments will be made from and strictly limited to the tax increments generated by the District. The PAYGO incentives are not considered City debt nor will the City appropriate funds to make PAYGO incentive payments from any other sources aside from the tax increment generated by the District.

The City will also incur certain costs to create and administer the District. Costs incurred by the City prior to availability of tax increments will be paid from other funds of the City to be reimbursed. Once tax increments are collected, these costs will be paid from annual District revenue.

Based on the Project Cost expenditures as included within the cash flow exhibit (**Table 3**), the District is projected to accumulate sufficient funds by the year 2044 to pay off all Project cost liabilities and obligations. The projected closure is based on the various assumptions noted in this Plan and will vary dependent on actual Project Costs incurred and the actual amount of tax increments collected.

Table 3 - Cash Flow

Year	Projected Revenues		Projected Expenditures				Balances			Year
	Tax Increments	Total Revenues	MRO #1 2025	MRO #2 2025	Ongoing Planning & Administration	Total Expenditures	Annual	Cumulative	Liabilities	
			One Astor Holdings, LLC ¹ \$4,500,000	MOWGS LLC ² \$722,715					Outstanding	
2025		0			35,000	35,000	(35,000)	(35,000)	5,222,715	2025
2026		0			10,000	10,000	(10,000)	(45,000)	5,222,715	2026
2027	0	0	0	0	10,300	10,300	(10,300)	(55,300)	5,222,715	2027
2028	43,082	43,082	0	34,466	10,609	45,075	(1,993)	(57,293)	5,188,249	2028
2029	350,418	350,418	261,054	34,636	10,927	306,617	43,800	(13,492)	4,892,559	2029
2030	352,152	352,152	262,346	34,808	11,255	308,409	43,743	30,251	4,595,405	2030
2031	353,895	353,895	263,645	34,980	11,593	310,218	43,678	73,929	4,296,780	2031
2032	355,647	355,647	264,950	35,153	11,941	312,044	43,604	117,532	3,996,677	2032
2033	357,408	357,408	266,261	35,327	12,299	313,887	43,520	161,053	3,695,088	2033
2034	359,177	359,177	267,579	35,502	12,668	315,749	43,428	204,480	3,392,007	2034
2035	360,955	360,955	268,904	35,678	13,048	317,629	43,325	247,806	3,087,425	2035
2036	362,741	362,741	270,235	35,855	13,439	319,528	43,213	291,019	2,781,336	2036
2037	364,537	364,537	271,572	36,032	13,842	321,447	43,090	334,109	2,473,732	2037
2038	366,341	366,341	272,917	36,210	14,258	323,385	42,957	377,066	2,164,605	2038
2039	368,155	368,155	274,268	36,390	14,685	325,343	42,812	419,878	1,853,947	2039
2040	369,977	369,977	275,625	36,570	15,126	327,321	42,656	462,534	1,541,752	2040
2041	371,809	371,809	276,990	36,751	15,580	329,320	42,489	505,023	1,228,012	2041
2042	373,649	373,649	278,361	36,933	16,047	331,340	42,309	547,331	912,719	2042
2043	375,499	375,499	279,739	37,115	16,528	333,383	42,116	589,447	595,864	2043
2044	377,357	377,357	281,123	37,299	17,024	335,447	41,910	631,358	277,442	2044
2045	379,225	379,225	164,433	37,484	17,535	219,452	159,774	791,131	75,525	2045
2046	381,102	381,102	0	37,669	18,061	55,731	325,372	1,116,503	37,856	2046
2047	382,989	382,989		37,856	18,603	56,459	326,530	1,443,033	0	2047
2048	384,885	384,885		0	19,161	19,161	365,724	1,808,757		2048
2049	386,790	386,790			19,736	19,736	367,054	2,175,811		2049
2050	388,704	388,704			20,328	20,328	368,377	2,544,187		2050
2051	390,629	390,629			20,938	20,938	369,691	2,913,878		2051
2052	392,562	392,562			21,566	21,566	370,996	3,284,874		2052
2053	394,505	394,505			22,213	22,213	372,292	3,657,167		2053
Totals	9,344,191	9,344,191	4,500,000	722,715	464,309	5,687,024				Totals

Notes:

1) The Developer will receive 80% of the annual tax increment generated by the project up to a total incentive of \$4,500,000 per Development Agreement 2025-03. The maximum payment term is 23-years and will terminate in 2048.

2) Assumes the project receives a 20-year PAYGO incentive at 80% of the annual tax increment generated by the project.

PROJECTED CLOSURE YEAR

LEGEND:
 CALLABLE MATURITIES
 END OF EXP. PERIOD

SECTION 10: Annexed Property

A tax incremental district cannot include annexed territory unless at least three years have elapsed since the annexation, or certain other requirements are met. None of the property within the proposed District boundary was annexed during the past three years.

SECTION 11: Estimate of Property to Be Devoted to Retail Business

Pursuant to Wis. Stat. § 66.1105(5)(b), the City estimates that 7% of the territory within the District will be devoted to retail business at the end of the District's maximum expenditure period.

SECTION 12: Proposed Changes of Zoning Ordinances, Master Plan, Map, Building Codes and City Ordinances

Zoning Ordinances

The proposed Plan is in general conformance with the City's current zoning ordinances. Individual properties may require rezoning at the time of development.

Master (Comprehensive) Plan and Map

The proposed Plan is in general conformance with the City's Comprehensive Plan identifying the area as appropriate for Downtown land use which allows for and promotes high-intensity office, retail, housing, entertainment, convention and public land uses, preferably in mixed-use buildings with strong pedestrian orientations.

Building Codes and Ordinances

Development within the District will be required to conform to State Building Codes and will be subject to the City's permitting and inspection procedures. The proposed Plan conforms to all relevant State and local ordinances, plans, and codes. No changes to the existing regulations are proposed or needed.

SECTION 13: Statement of the Proposed Method for the Relocation of any Persons to be Displaced

Should implementation of this Plan require relocation of individuals or business operations, relocations will be handled in compliance with Wis. Stat. Chapter 32 and Wis. Admin. Code ADM 92.

SECTION 14: How Creation of the Tax Incremental District Promotes the Orderly Development of the City

Creation of the District and the implementation of the projects in its Plan will promote the orderly development of the City by eliminating blighted areas through the provision of appropriate financial incentives for private development projects. Through use of tax increment financing, the City can attract new investment that results in increased tax base. Development will occur in an orderly fashion in accordance with approved plans so that the Projects will be compatible with adjacent land uses. Development of new uses in the District will add to the tax base and will generate positive secondary impacts in the community such as construction-related job creation, additional employment opportunities for commercial jobs post-construction, increased property values, increased income and sales tax collection, increased retail and commercial activity, and other economic benefits from the purchase of goods and services related to the construction and operation of the Projects.

SECTION 15:

List of Estimated Non-Project Costs

Non-project costs are public works projects which only partly benefit the District. Costs incurred that do not benefit the District may not be paid with tax increments. Examples of non-project costs are:

- A public improvement made within the District that also benefits property outside the District. That portion of the total Project Costs allocable to properties outside of the District would be a non-project cost.
- A public improvement made outside the District that only partially benefits property within the District. That portion of the total Project Costs allocable to properties outside of the District would be a non-project cost.
- Projects undertaken within the District as part of the implementation of this Project Plan, the costs of which are paid fully or in part by impact fees, grants, special assessments, or revenues other than tax increments.

No improvements to be made within the District will benefit property outside the District. Furthermore, there will be no improvements made outside the District that will only partially benefit the District.

**SECTION 16:
Legal Opinion Advising Whether the Plan is Complete
and Complies with Wis. Stat. § 66.1105(4)(f)**

Legal Opinion Found on Following Page.

DRAFT

**NEED WET SIGNATURE & DATED LEGAL OPINION ON ATTORNEY
LETTERHEAD**

SAMPLE

Mayor
City of Green Bay
100 N Jefferson St
Green Bay, Wisconsin 54301

RE: Project Plan for Tax Incremental District No. 31

Dear Mayor:

Wisconsin Statute 66.1105(4)(f) requires that a project plan for a tax incremental financing district include an opinion provided by the City Attorney advising as to whether the plan is complete and complies with Wisconsin Statute 66.1105.

As City Attorney for the City of Green Bay, I have been asked to review the above-referenced project plan for compliance with the applicable statutory requirements. Based upon my review, in my opinion, the Project Plan for the City of Green Bay Tax Incremental District No. 31 is complete and complies with the provisions of Wisconsin Statute 66.1105.

Sincerely,

City Attorney

SECTION 17:
Calculation of the Share of Projected Tax Increments
Estimated to be Paid by the Owners of Property in the
Overlying Taxing Jurisdictions

The following projection is provided to meet the requirements of Wis. Stat. § 66.1105(4)(i)4. Allocation of future tax increments is based on the projections included in this Plan and assumes the same proportions as the actual breakdown of tax collections for the 2024/2025 levy year.

Revenue Year	Northeast				Total	Revenue Year
	Brown County	City of Green Bay	Green Bay Area School District	Wisconsin Tech. College		
2027	0	0	0	0	0	2027
2028	6,707	16,053	18,928	1,394	43,082	2028
2029	54,556	130,569	153,957	11,336	350,418	2029
2030	54,826	131,215	154,719	11,392	352,152	2030
2031	55,097	131,865	155,485	11,448	353,895	2031
2032	55,370	132,517	156,255	11,505	355,647	2032
2033	55,644	133,173	157,028	11,562	357,408	2033
2034	55,920	133,833	157,805	11,619	359,177	2034
2035	56,196	134,495	158,587	11,677	360,955	2035
2036	56,474	135,161	159,372	11,735	362,741	2036
2037	56,754	135,830	160,160	11,793	364,537	2037
2038	57,035	136,502	160,953	11,851	366,341	2038
2039	57,317	137,178	161,750	11,910	368,155	2039
2040	57,601	137,857	162,551	11,969	369,977	2040
2041	57,886	138,539	163,355	12,028	371,809	2041
2042	58,173	139,225	164,164	12,087	373,649	2042
2043	58,461	139,914	164,977	12,147	375,499	2043
2044	58,750	140,607	165,793	12,207	377,357	2044
2045	59,041	141,303	166,614	12,268	379,225	2045
2046	59,333	142,002	167,439	12,328	381,102	2046
2047	59,627	142,705	168,267	12,389	382,989	2047
2048	59,922	143,412	169,100	12,451	384,885	2048
2049	60,219	144,121	169,937	12,512	386,790	2049
2050	60,517	144,835	170,779	12,574	388,704	2050
2051	60,816	145,552	171,624	12,637	390,629	2051
2052	61,117	146,272	172,473	12,699	392,562	2052
2053	61,420	146,996	173,327	12,762	394,505	2053
Totals	1,454,778	3,481,732	4,105,400	302,280	9,344,191	



Report to the
Redevelopment Authority
of the City of Green Bay

MEETING DATE

June 10, 2025

PREPARED BY

Ronda Bitney

AGENDA ITEM # F.3

Consideration with possible action to approve a 60-day planning option extension to Deals, Development & Partnership Capital for the construction of six townhomes on the sites located at 1118 N. Van Buren Street, 1124 N. Van Buren Street, and 910 Reber Street.

BACKGROUND

The sites located at 1118 N. Van Buren Street (Parcel 20-19), 1124 N. Van Buren Street (Parcel 20-18), and 910 Reber Street are zoned R-3, Varied Density Residential, and located just west of Webster Avenue.

Since January 2025, the RDA has granted a three-month planning option with a two-month extension to Deals, Development & Partnership Capital to develop a detailed plan and assess the feasibility of constructing six townhomes. Each unit will be owner-occupied, market-rate, two-bedroom and two-bathroom, with 1.5-car garages. The developer is offering \$35,000 for the sites as part of his proposal.

The developer has completed their preliminary design and site plan but would like a 60-day extension, allowing him to firm up his financing and architectural plans.

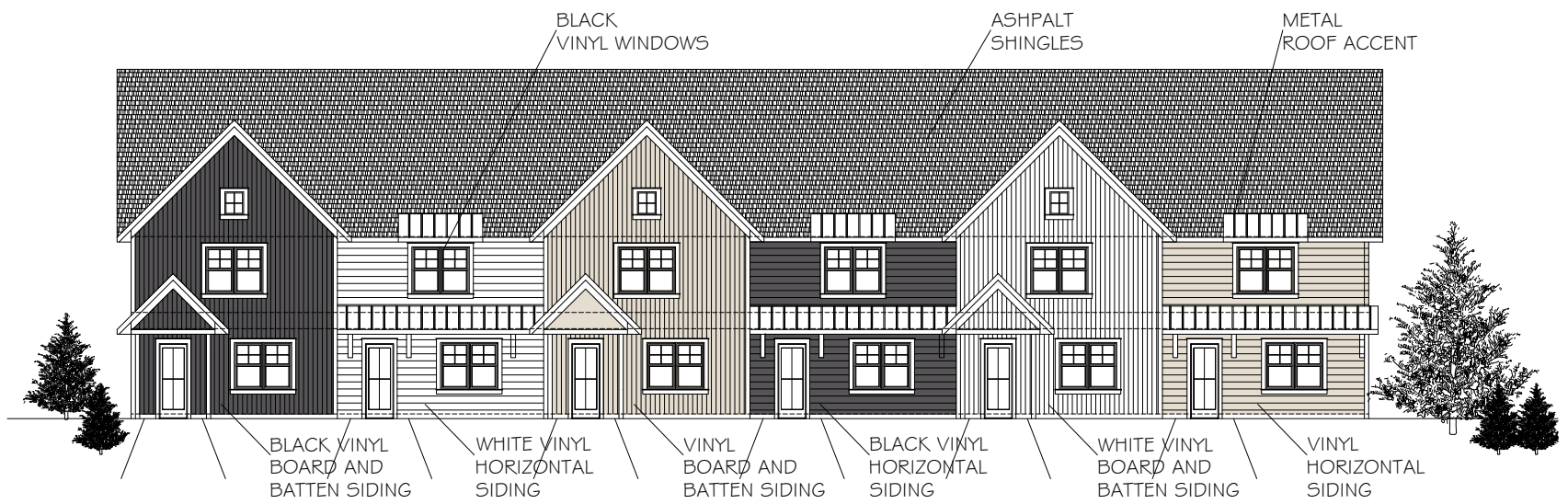
RECOMMENDATION

To approve a 60-day extension to the current planning option with Deals, Development & Partnership Capital to finalize the development plans for six units of townhomes.

FISCAL IMPACT

ATTACHMENTS

1. Van Buren Row - Elevation w-Color and Details
2. Van_Buren_Row_60_Day_Extension_Request2
3. X-2167
4. GIS



2 STREET ELEVATION
SCALE: 1/4" = 1'-0"

Hi Ronda,

I hope this message finds you well.

I'm writing to formally request a 60-day extension on the planning period for the Van Buren Row development proposal, which includes parcels at 1124 N Van Buren St, 1118 N Van Buren St, and 910 Reber St.

Since receiving updated feedback from the City and revised concept plans from our engineer, we have expanded the project scope to propose six 2-bedroom, 2-bathroom townhomes (approximately 1,760 sq. ft. each, two stories, with attached 1-car garages).

The additional time is needed to refine construction budgets, secure updated commitments from our investors, and finalize architectural plans that align with the revised unit count and site configuration. This will also ensure that the proposal we submit is fully backed, financially sound, and ready to proceed.

We're committed to making this a high-quality infill project that fits the neighborhood and delivers long-term value to the community. If a shorter extension is required by the RDA, we're prepared to work within that window to the best of our ability.

Thank you for your time and consideration. Please let me know if any additional information is needed to process this request.

Best regards,

Ken Wilson

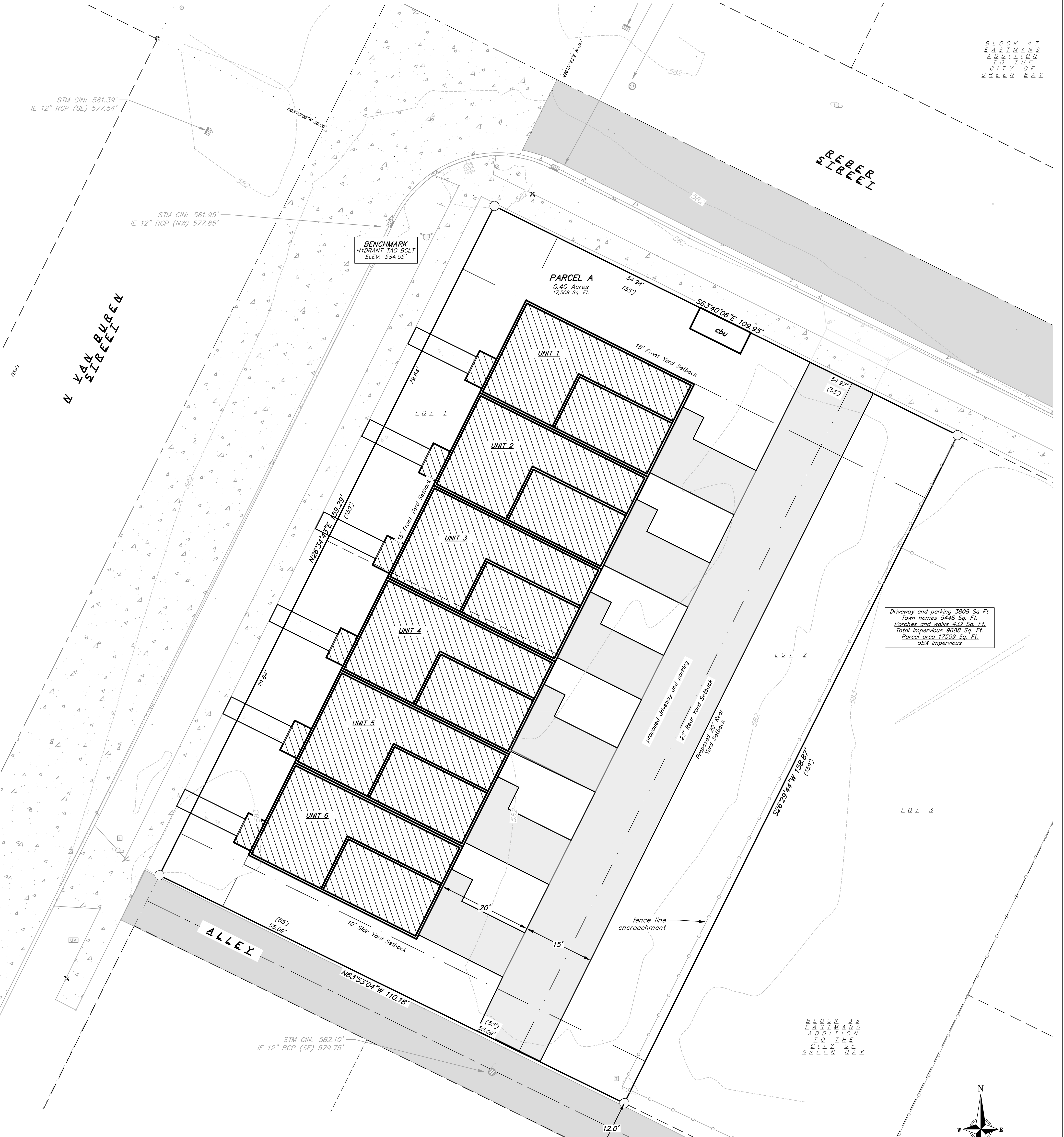
Deals, Development, and Partnership Capital

920.784.7796

kwilson@ddpcap.com

Site Plan

ALL OF LOTS 1 AND 2, BLOCK 38, RECORDED PLAT OF "EASTMANS ADDITION TO THE CITY OF GREEN BAY", (VOLUME 8, PLATS, PAGE 9, DOCUMENT NO. 8P9, BROWN COUNTY RECORDS), BEING LOCATED IN PART OF PRIVATE CLAIM 1 EAST SIDE OF THE FOX RIVER, CITY OF GREEN BAY, BROWN COUNTY, WISCONSIN.
 - 1118 AND 1124 N VAN BUREN STREET & 910 REBER STREET -



BLOCK 47
 EASTMANS
 ADDITION
 TO THE
 CITY OF
 GREEN BAY

Driveway and parking 3808 Sq. Ft.
 Town homes 5448 Sq. Ft.
 Porches and walks 432 Sq. Ft.
 Total Impervious 9688 Sq. Ft.
 Parcel area 17509 Sq. Ft.
 55% Impervious

BLOCK 38
 EASTMANS
 ADDITION
 TO THE
 CITY OF
 GREEN BAY

TOPOGRAPHIC SYMBOL LEGEND

- EXISTING SIGN
- EXISTING CURB INLET
- EXISTING STORM MANHOLE
- EXISTING SANITARY MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER MAIN VALVE
- EXISTING CURB STOP
- EXISTING UTILITY POLE
- EXISTING DOWN GUY
- EXISTING TELEPHONE PEDESTAL
- EXISTING UNIDENTIFIED UTILITY VAULT
- EXISTING DECIDUOUS TREE (SIZE NOTED)
- EXISTING ADA DETECTABLE WARNING FIELD

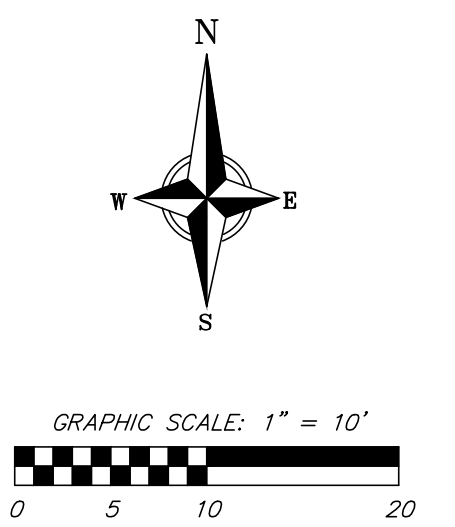
TOPOGRAPHIC LINEWORK LEGEND

- EXISTING CHAIN LINK FENCE
- EXISTING OVERHEAD ELECTRIC LINE
- EXISTING MINOR CONTOURS
- EXISTING MAJOR CONTOURS
- EXISTING CURB AND GUTTER

- EXISTING ASPHALT SURFACE
- EXISTING CONCRETE SURFACE
- PROPOSED CONCRETE
- PROPOSED LIGHT-DUTY ASPHALT
- PROPOSED BUILDING

SURVEY LEGEND

- FOUND 1" Ø IRON PIPE
- FOUND 1.5" Ø IRON PIPE
- FOUND 1 1/4" Ø IRON ROD
- SET 1.32" (O.D.) X 18" IRON PIPE WITH CAP WEIGHING 1.68 LBS/LIN FT
- () INDICATES RECORDED AS



Brown County Tax Parcel numbers, 20-18, 20-19, & 20-20

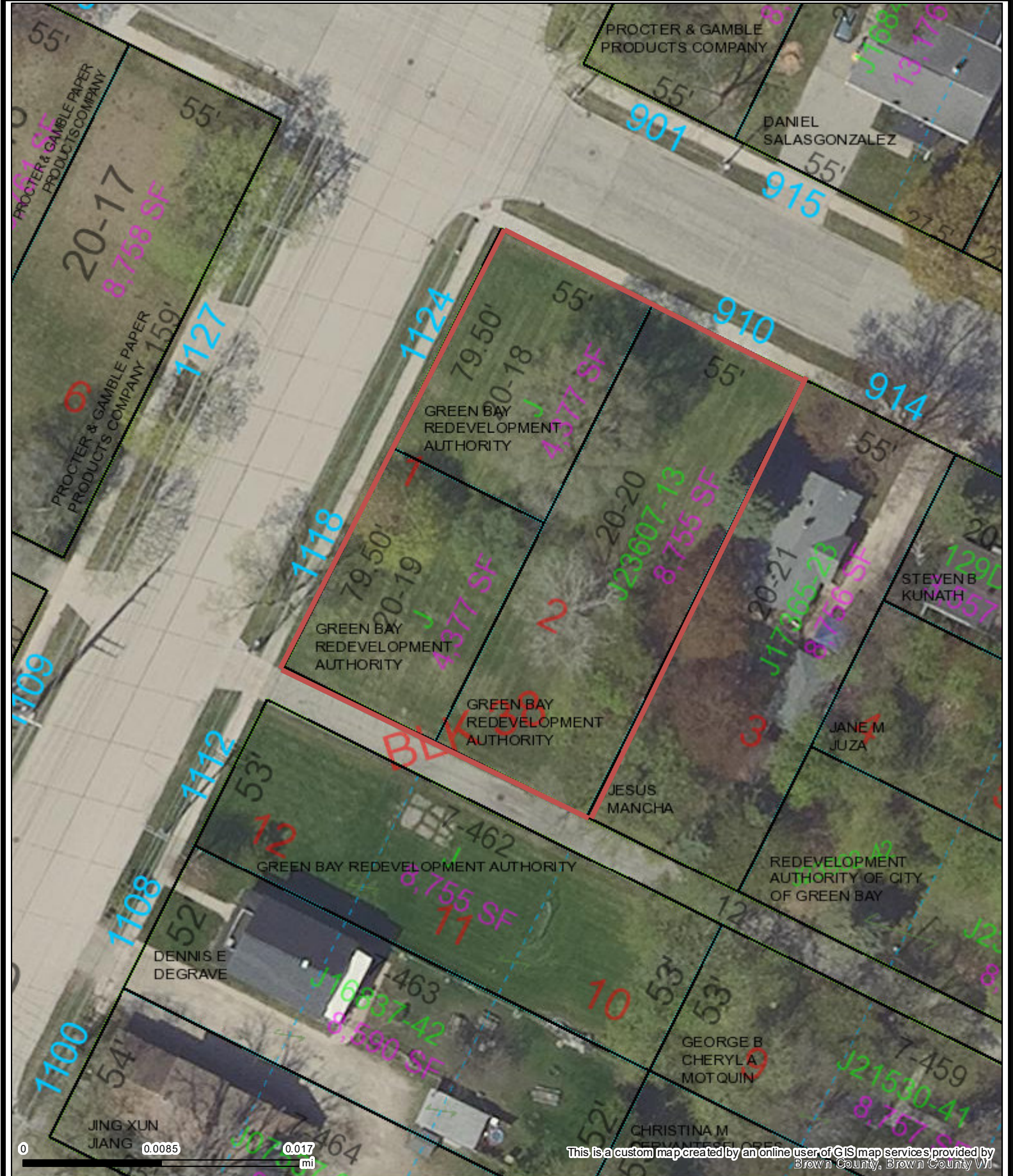
Deals and Development

Green Bay, WI
 6/2/2025, Proj. #250289, DWG #X-2167

SURVEYED BY:
 Vierbicher Associates, Inc.
 400 Security Blvd, Ste 1
 Green Bay, WI 54313
 (920) 434-9670

vierbicher
 planners | engineers | advisors





This is a custom map created by an online user of GIS map services provided by Brown County, Brown County WI

Part of Brown County WI

Map printed on 1/3/2025

1:480
1 inch = 40 feet*
1 inch = 0.00758 miles*
**original page size: 8.5"x11"*
Appropriate format depends on zoom level



Parcel ownership key

- Parcel Boundary
- Condominium
- Gap or Overlap
- "hooks" indicate parcel ownership crosses a line

- Parcel line
- Right of Way line
- Meander line
- Lines between deeds or lots
- Historic Parcel Line
- Vacated Right of Way

A complete key (legend) is available at:
tinyurl.com/BrownDogLegend



(920) 448-6480
www.browncountywi.gov



Report to the
Redevelopment Authority
of the City of Green Bay

MEETING DATE

June 10, 2025

PREPARED BY

Ronda Bitney

AGENDA ITEM # F.4

Consideration with possible action to approve a one-year development agreement with Greater Green Bay Habitat for Humanity to develop a 1.5-story, single-family home on the site located at 1305 S. Chestnut Avenue along with a HOME funding request of \$9,970.00.

BACKGROUND

In May 2025, staff awarded a 30-day planning option to Greater Green Bay Habitat for Humanity (Habitat) for the development of a single-family, owner-occupied home for the site located at 1305 S. Chestnut Avenue. This site is zoned S-LRI-Special Purpose Residential Light Industrial and was purchased using Neighborhood Enhancement Funds.

Habitat has offered to purchase 1305 S. Chestnut Avenue for \$15,300.00. This home will feature 2 bedrooms, 1 full bath, and a 1.5-stall detached garage.

Staff have worked cooperatively with Habitat on a design that matches the needs of the families as well as the neighborhood, along with additional zoning requirements. Habitat is aware that they will be required to obtain approval for a CUP (conditional use permit) in order to build a single-family home on this site.

Habitat has also submitted a HOME funding request in the amount of \$9,970.00 to assist in funding the gap in order to make the project affordable. Staff has reviewed the request and recommends approval.

RECOMMENDATION

To approve a one-year development agreement for the construction of a 1.5-story, single-family home on the site located 1305 S. Chestnut Avenue and the HOME funding request of \$9,970.00.

FISCAL IMPACT

ATTACHMENTS

1. GIS
2. 1305 S. Broadway 2.4 bedroom home design



This is a custom map created by an online user of GIS map services provided by Brown County Municipalities, Brown County, Brown County WI

Part of Brown County WI

Map printed on 6/3/2025

1:720
1 inch = 60 feet*
1 inch = 0.0114 miles*
**original page size: 8.5"x11"*
Appropriate format depends on zoom level



Parcel ownership key

	Parcel Boundary		"hooks" indicate parcel ownership crosses a line
	Condominium		Gap or Overlap

- Parcel line
- Right of Way line
- Meander line
- Lines between deeds or lots
- Historic Parcel Line
- Vacated Right of Way

A complete key (legend) is available at:
tinyurl.com/BrownDogLegend

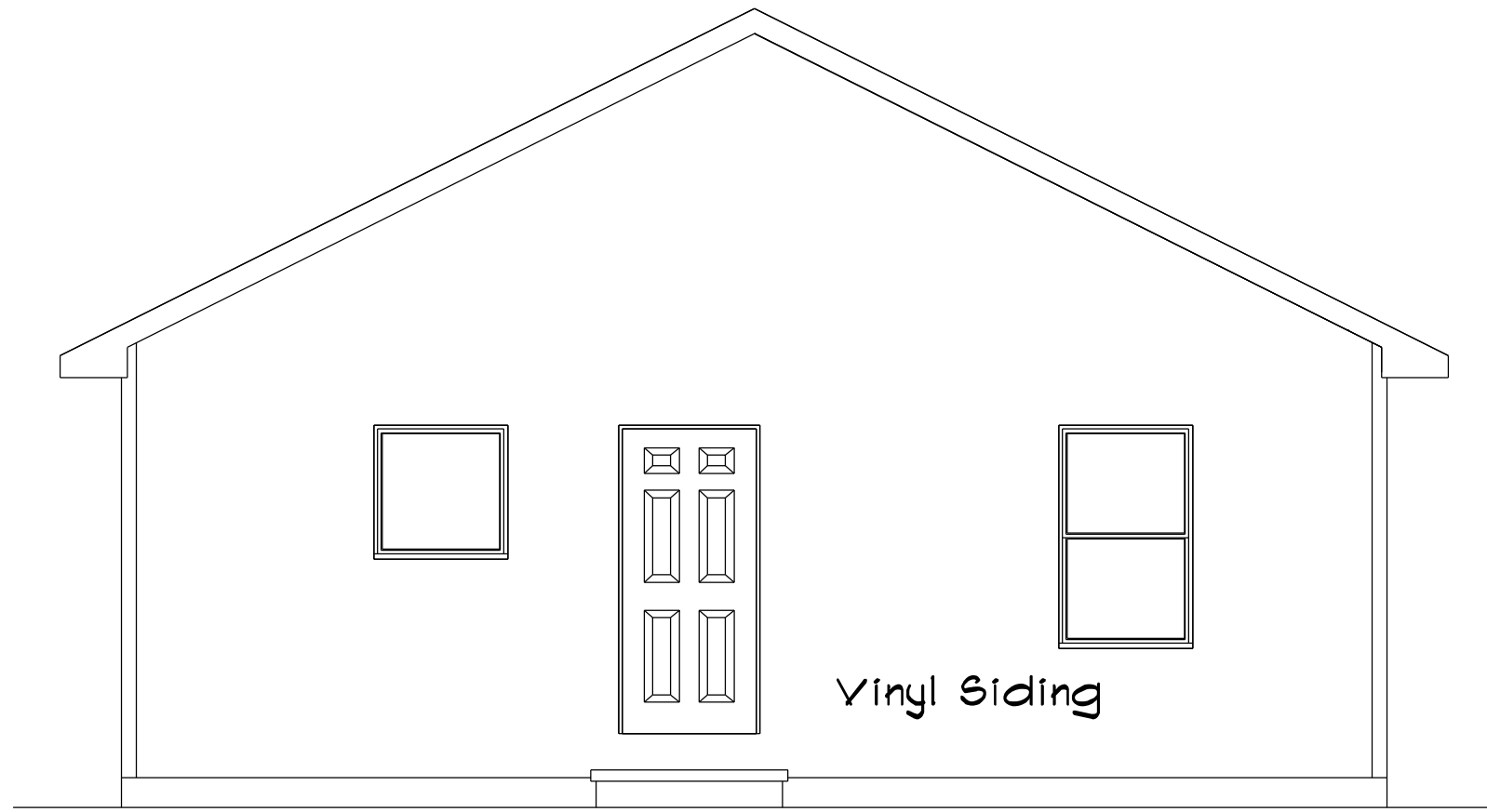
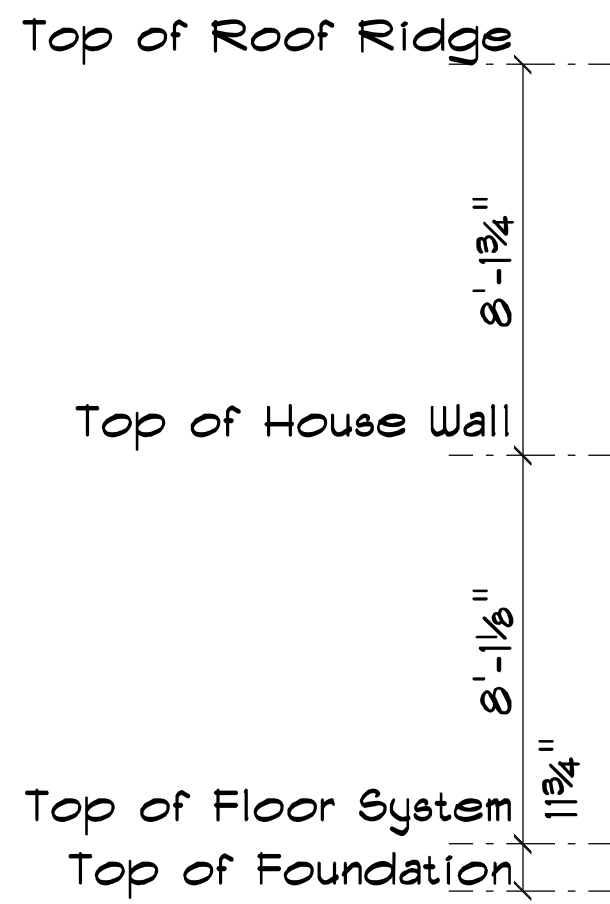


(920) 448-6480
www.browncountywi.gov



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

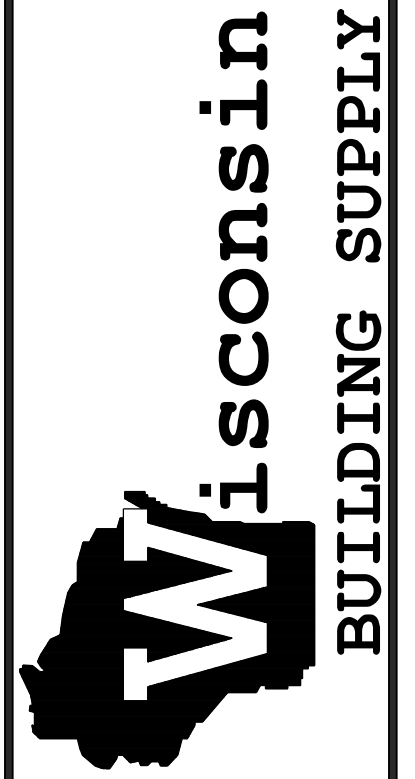


REAR ELEVATION

SCALE: 1/4" = 1'-0"

OFFICE:
 PHONE (920) 496-5080
 FAX (920) 494-9510
 1890 LARSEN ROAD
 P.O. BOX 10001
 GREEN BAY, WI 54301

COMPONENTS:
 PHONE (920) 496-5084
 FAX (920) 498-1218
 1145 MORaine TERRACE
 GREEN BAY, WI 54303

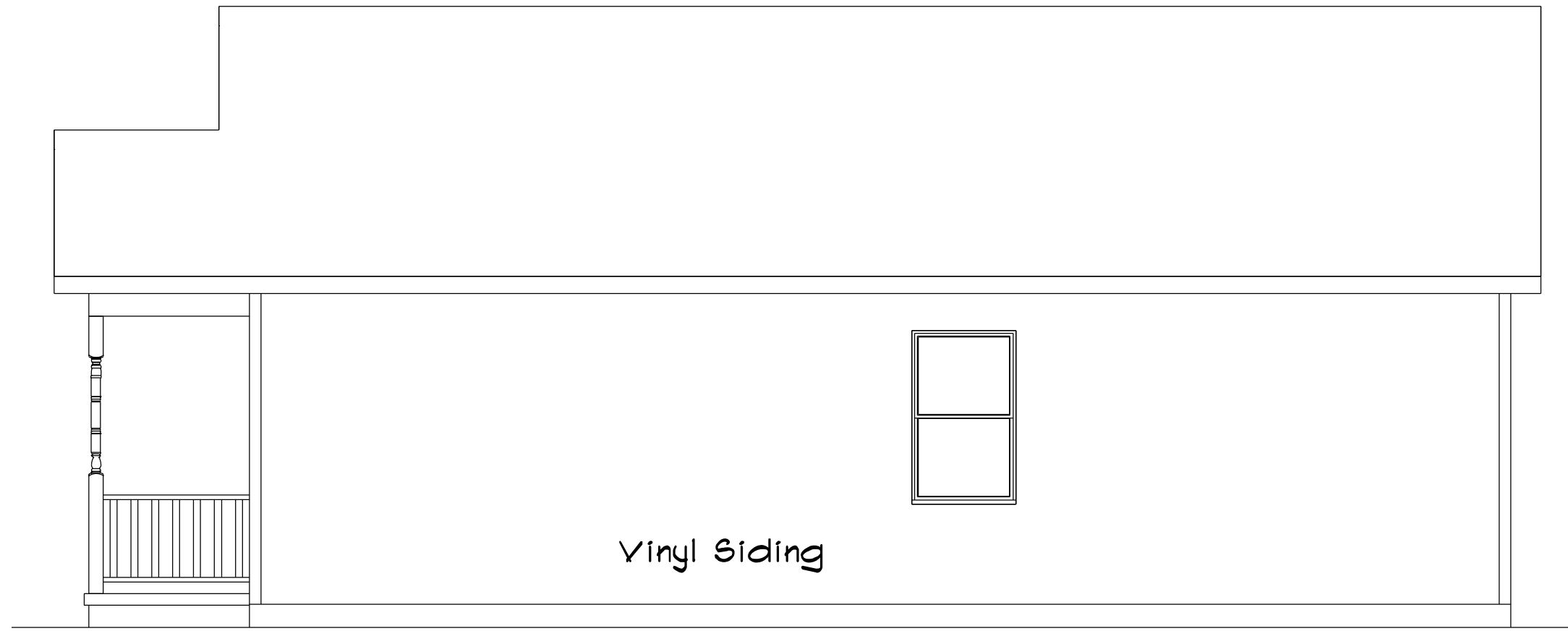


CUSTOM DESIGNED FOR:
**GREATER GREEN BAY
 HABITAT FOR HUMANITY**
 JOB NAME: 1151 Reber Street

DRAWN BY: Michael Herald	sq. FT.: See Plan
DATE: October 26, 2011	SCALE: As Indicated
REVISIONS: (Based Off Plan #19-068-R)	PLAN NO.: 24-063-R
2/13/19 AVS	12/14/20 AVS
3/26/19 AVS	03/05/24 DVG

IMPORTANT NOTE:

- IT IS AGREED THAT ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING AND CHECKING THESE PLANS FOR ACCURACY, THE GENERAL CONTRACTOR/OWNER MUST REVIEW ALL DIMENSIONS, DETAILS AND NOTES BEFORE BEGINNING ANY CONSTRUCTION AND IS HEREBY HELD RESPONSIBLE FOR ANY DISCOVERED DISCREPANCIES.
- IT IS UNDERSTOOD THAT THE WISCONSIN UNIFORM DWELLING CODE AND LAYOUT DRAWINGS FOR FLOOR AND ROOF TRUSSES SHALL TAKE FINAL PRECEDENCE OVER THESE ARCHITECTURAL PLANS.



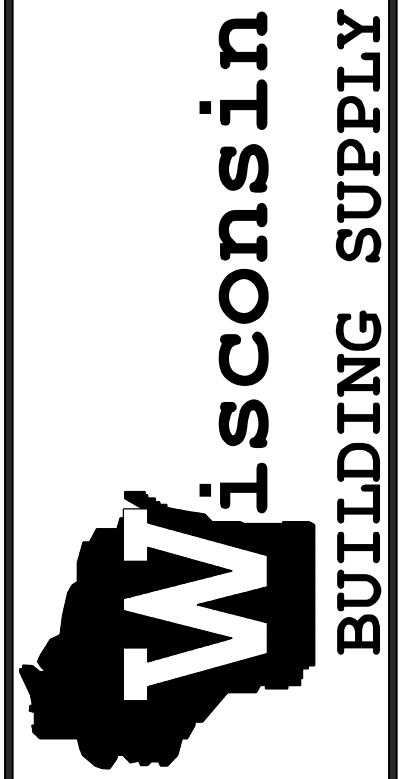
RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



LEFT ELEVATION
SCALE: 1/4" = 1'-0"

OFFICE:
PHONE (920) 496-5080
FAX (920) 494-9510
1890 LARSEN ROAD
P.O. BOX 10001
GREEN BAY, WI 54301

COMPONENTS:
PHONE (920) 496-5084
FAX (920) 498-1218
1145 MORaine TERRACE
GREEN BAY, WI 54303

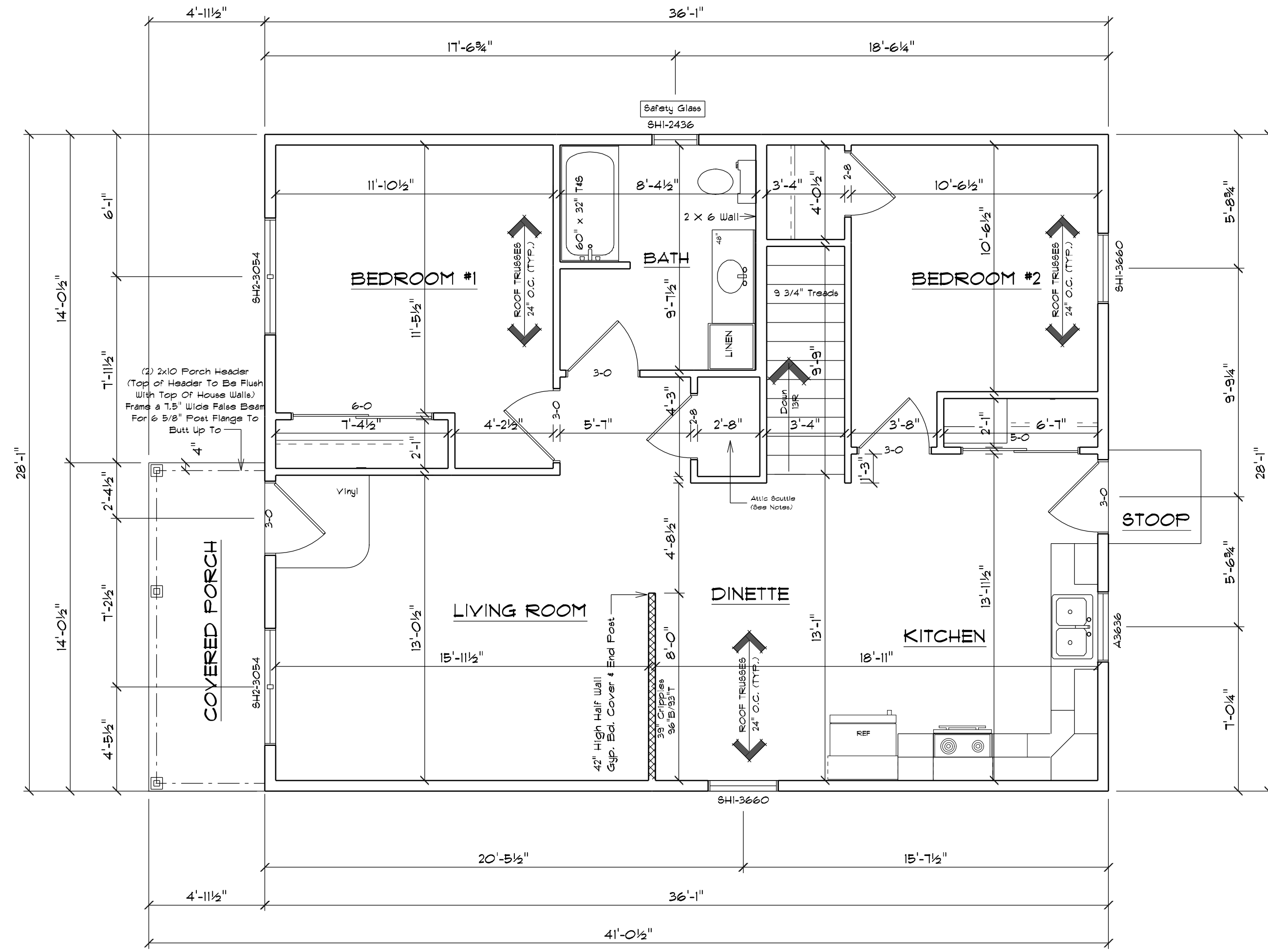


CUSTOM DESIGNED FOR: **GREATER GREEN BAY HABITAT FOR HUMANITY**

JOB NAME: 1151 Reber Street		sq. FT.:	See Plan
DRAWN BY: Michael Herald		SCALE:	As Indicated
DATE: October 26, 2011		PLAN NO.: 24-063-R	
REVISIONS: (Based Off Plan #19-068-R)	2/13/19 AVS	12/14/20 AVS	
	3/26/19 AVS	03/05/24 DVG	

IMPORTANT NOTE:

- IT IS AGREED THAT ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING AND CHECKING THESE PLANS FOR ACCURACY, THE GENERAL CONTRACTOR/OWNER MUST REVIEW ALL DIMENSIONS, DETAILS AND NOTES BEFORE BEGINNING ANY CONSTRUCTION AND IS HEREBY HELD RESPONSIBLE FOR ANY DISCOVERED DISCREPANCIES.
- IT IS UNDERSTOOD THAT THE WISCONSIN UNIFORM DWELLING CODE AND LAYOUT DRAWINGS FOR FLOOR AND ROOF TRUSSES SHALL TAKE FINAL PRECEDENCE OVER THESE ARCHITECTURAL PLANS.



FLOOR PLAN

8'-1 1/8" CLG. HGT.
1014 SQ. FT.
TO SQ. FT. (COVERED PORCH)

NOTE:
EXTERIOR DIMENSIONS ARE SHOWN TO REFLECT HOUSE FRAMING WALLS HELD OUT 1/2" FOR EXTERIOR WALL SHEATHING TO FLUSH OUT WITH 1" FOUNDATION FOAM. IF FOUNDATION FOAM IS TO BE OTHER THAN 1", FRAMING DIMENSIONS ARE TO BE FIELD ADJUSTED AND MAINTAIN ALL CODE COMPLIANCE ACCORDINGLY.

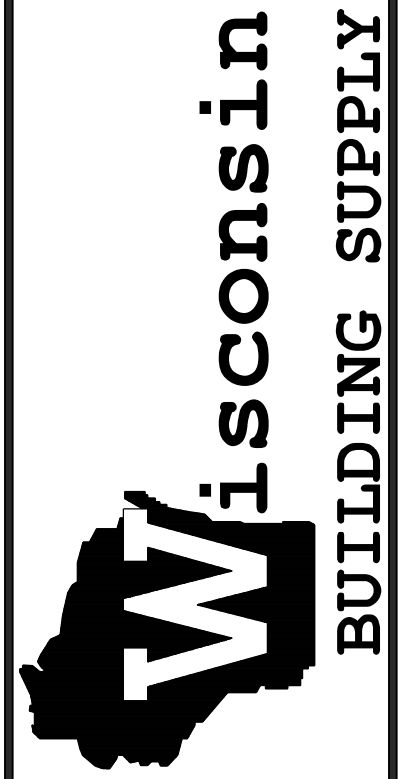
NOTE:
BUILDER RESPONSIBLE TO TRANSFER POINT LOADS FROM ABOVE THROUGH THE FLOOR SYSTEM, AND OTHER WALLS WITH SOLID BLOCKING DOWN TO FOUNDATION WALLS BELOW

NOTE:
BUILDER TO CONSULT TRUSS LAYOUT PLANS TO VERIFY EXACT LOCATIONS OF GIRDER TRUSSES, AND ANY ADDITIONAL BEARING REQUIREMENTS OTHER THAN THOSE NOTED ON FLOOR PLANS

- NOTES:**
- FLOOR SYSTEM: 1ST FLR: 3 1/2" I-JOISTS @ 19.2" O.C.
LOADING: TOTAL LOAD = 50*
LL = 40*
DL = 10*
(ADDITIONAL 10* DL @ TILE AREAS)
(ADDITIONAL 25* DL @ GRANITE AREAS)
FLOOR DEFLECTION: LL = L/480
DL = L/240
 - ROOF SYSTEM: WOOD TRUSSES @ 24" O.C.
LOADING: TOTAL LOAD = 50*
TCLL = 30*
TCDL = 10*
BCDL = 10*
ROOF DEFLECTION: LL = L/240
TL = L/180
 - STD. HEADERS: (2) 2 x 10 SELECT STRUCTURAL HEM-FIR
 - EXT. WALL STUDS: 1ST FLR: 2x6 @ 32-5/8" @ 16" o.c. (8'-1 1/8" HT.)
 - INT. WALL STUDS: 1ST FLR: 2x4 @ 32-5/8" @ 16" o.c. (8'-1 1/8" HT.)
 - WINDOW SIZES SHOWN ARE FOR SILVERLINE WINDOWS SEE CATALOG FOR DETAILS
 - ALL DIMENSIONS SHOWN ARE TO FACE OF STUD,
 - STAIRS: B9MT. TO 1ST FLR: 15 RISERS @ 1 13/16" TREADS @ 9 3/4"
 - PROVIDE ATTIC ACCESS PANEL W/ 2 - 2" FOAM ON BACK OF 5/8" GYPSUM BOARD. SET ON FOAM WEATHERSTRIP ROUGH OPENING TO BE 16 1/2" x 21". PROVIDE 1/2" OSB INSULATION Baffles 16" TO TOP MEASURED FROM BOTTOM OF TRUSSES.
MIN. CODE CLEAR FINISH OPEN OF ACCESS IS 14"x24"
 - AT BEDROOM 2, BASEMENT BEDROOMS, AND HALL CLOSETS INSTALL MINIMUM OF 3-2X6 BACKING FOR CLOSET POLE BRACKET CENTERED IN CLOSET AT 10" TO TOP.
 - FOR STAIR RAILING INSTALL MINIMUM OF 2-2X6 BLOCKING AT TOP AND BOTTOM OF STAIRS AND 3 AT MIDDLE SPACED 3'-3" APART AT 36" TO TOP OF BLOCKING FOR A TOTAL OF FIVE BRACKETS SPACED
 - THE ABOVE CONDITIONS LISTED ARE STANDARD FOR THIS PLAN (EXCEPTIONS ARE NOTED ON THE PLAN)

OFFICE:
PHONE (920) 496-5080
FAX (920) 494-9510
1980 LARSEN ROAD
P.O. BOX 10001
GREEN BAY, WI 54301

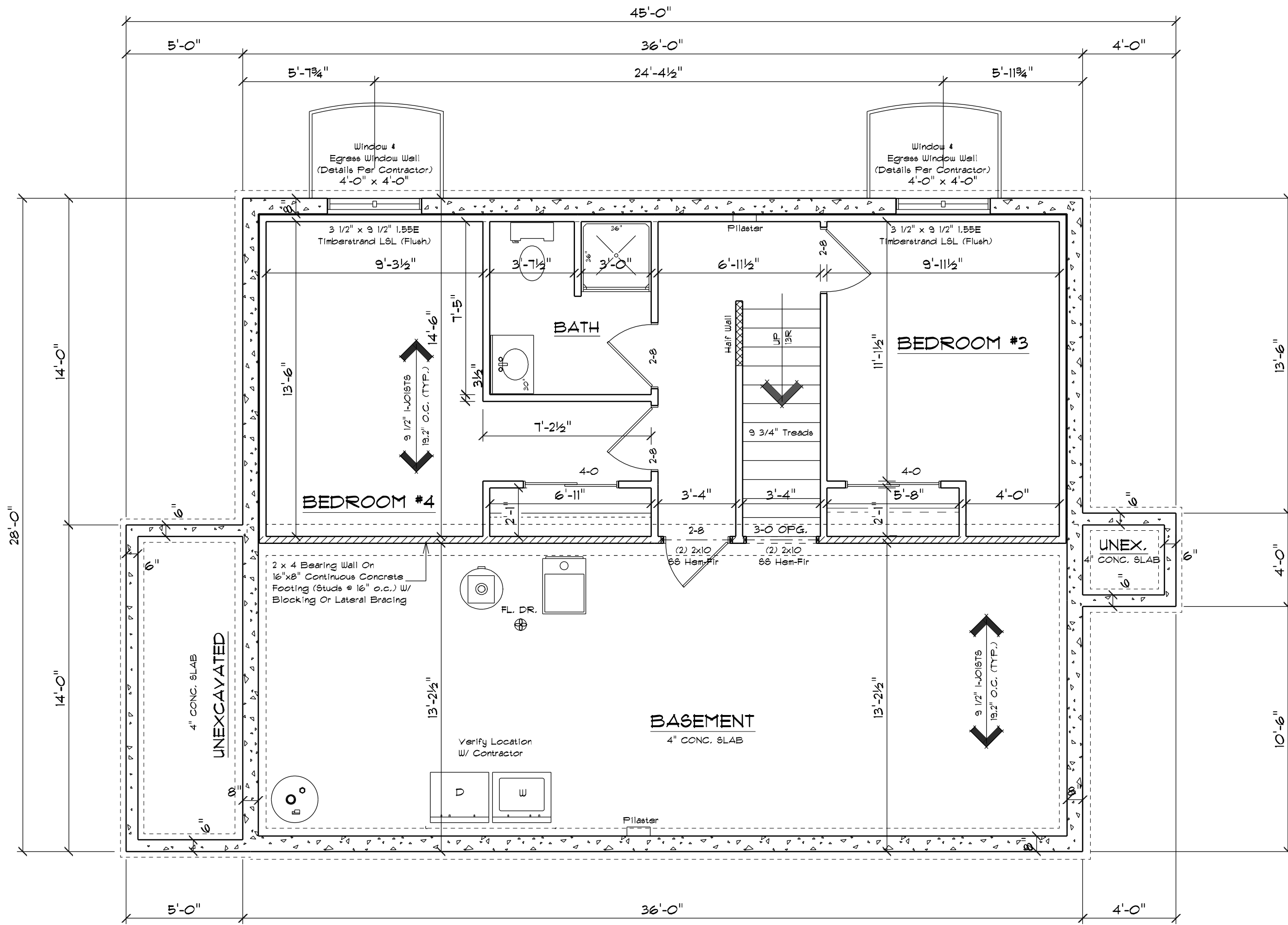
COMPONENTS:
PHONE (920) 496-5084
FAX (920) 498-1215
1145 MORAIN TERRACE
GREEN BAY, WI 54303



CUSTOM DESIGNED FOR: **GREATER GREEN BAY HABITAT FOR HUMANITY**
DRAUN BY: Michael Herald

DATE:	October 26, 2017	SQ. FT.:	1014 Sq. Ft.
REVISIONS:	2/13/19 AVS 12/14/20 AVS	SCALE:	1/4" = 1'-0"
(Based Off Plan #19-066-R)	3/26/19 AVS 03/05/24 DVG	PLAN NO.:	24-063-R

IMPORTANT NOTE:
IT IS AGREED THAT ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING AND CHECKING THESE PLANS FOR ACCURACY, THE GENERAL CONTRACTOR/OWNER MUST REVIEW ALL DIMENSIONS, DETAILS AND NOTES BEFORE BEGINNING ANY CONSTRUCTION AND IS HEREBY HELD RESPONSIBLE FOR ANY DISCOVERED DISCREPANCIES.
IT IS UNDERSTOOD THAT THE WISCONSIN UNIFORM DWELLING CODE AND LAYOUT DRAWINGS FOR FLOOR AND ROOF TRUSSES SHALL TAKE FINAL PRECEDENCE OVER THESE ARCHITECTURAL PLANS.



FOUNDATION PLAN

8'-0" FOUNDATION WALL HGT.
444 SQ. FT.

NOTE:

EXTERIOR DIMENSIONS ARE SHOWN TO REFLECT HOUSE FRAMING WALLS HELD OUT 1/2" FOR EXTERIOR WALL SHEATHING TO FLUSH OUT WITH 1" FOUNDATION FOAM. IF FOUNDATION FOAM IS TO BE OTHER THAN 1", FRAMING DIMENSIONS ARE TO BE FIELD ADJUSTED AND MAINTAIN ALL CODE COMPLIANCE ACCORDINGLY.

NOTE:

BUILDER RESPONSIBLE TO TRANSFER POINT LOADS FROM ABOVE THROUGH THE FLOOR SYSTEM, AND OTHER WALLS WITH SOLID BLOCKING DOWN TO FOUNDATION WALLS BELOW

NOTES:

- 1) FOUNDATION WALLS:
HOUSE: 8" FOURED CONCRETE WALLS 8'-0" HIGH
GARAGE / PORCH: 6" FOURED CONCRETE WALLS 4'-0" HIGH
- 2) THE FOLLOWING ITEMS ARE TO BE LOCATED IN THE FOUNDATION BY THE CONTRACTOR:
ELECTRIC WINDOWS FLOOR DRAINS
ELECTRIC SERVICES WATER HEATER
SUMP PIT & PUMP FURNACE
- 3) BUILDER TO PROVIDE HEADERS AT BASEMENT WINDOWS IF NOT NOTED ON THE FOUNDATION PLAN
- 4) FOURED CONCRETE FOOTINGS TO BEAR ON UNDISTURBED SOIL BELOW THE FROST LINE
- 5) STEEL COLUMNS TO SUPPORT 12,000 LBS. UNLESS OTHERWISE NOTED
- 6) ASSUMED SOIL BEARING CAPACITY IS 3,000 PSF. FOOTING SIZES MUST BE ADJUSTED FOR VARYING SOIL CONDITIONS
- 7) FOUNDATION WALLS ARE ASSUMED TO BE UNREINFORCED 3,000 PSI CONCRETE. WALLS ARE DESIGNED PER UDC TABLE 2118.3 BASED ON THE HEIGHT OF UNBALANCED FILL. PROPER REINFORCEMENT (DESIGNED BY OTHERS) MAY ALLOW FOR WALLS THAT ARE LESS THICK, BUT ANY DEVIATION FROM THE THICKNESSES SHOWN ON THE PLAN ARE THE RESPONSIBILITY OF THE FOUNDATION AND/OR GENERAL CONTRACTOR.
- 8) ALL LUMBER IN PERMANENT CONTACT WITH CONCRETE MUST BE PRESSURE-TREATED LUMBER AS PER UDC 2110.

IMPORTANT NOTE:

- IT IS AGREED THAT ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING AND CHECKING THESE PLANS FOR ACCURACY, THE GENERAL CONTRACTOR/OWNER MUST REVIEW ALL DIMENSIONS, DETAILS AND NOTES BEFORE BEGINNING ANY CONSTRUCTION AND IS HEREBY HELD RESPONSIBLE FOR ANY DISCOVERED DISCREPANCIES.
- IT IS UNDERSTOOD THAT THE WISCONSIN UNIFORM DWELLING CODE AND LAYOUT DRAWINGS FOR FLOOR AND ROOF TRUSSES SHALL TAKE FINAL PRECEDENCE OVER THESE ARCHITECTURAL PLANS.

CUSTOM DESIGNED FOR: **GREATER GREEN BAY**
HABITAT FOR HUMANITY

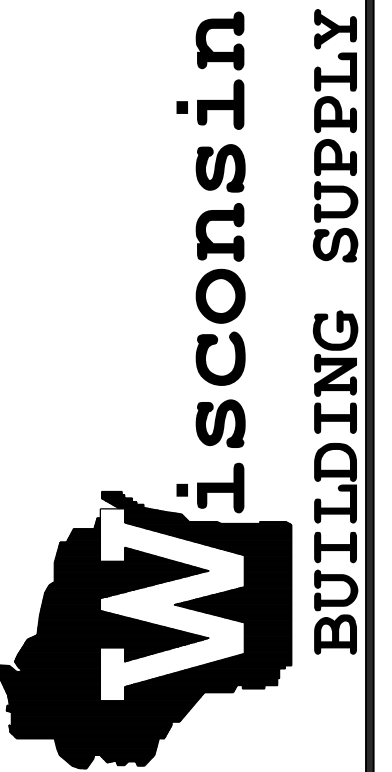
JOB NAME: 1151 Reber Street
DRAWN BY: Michael Herald

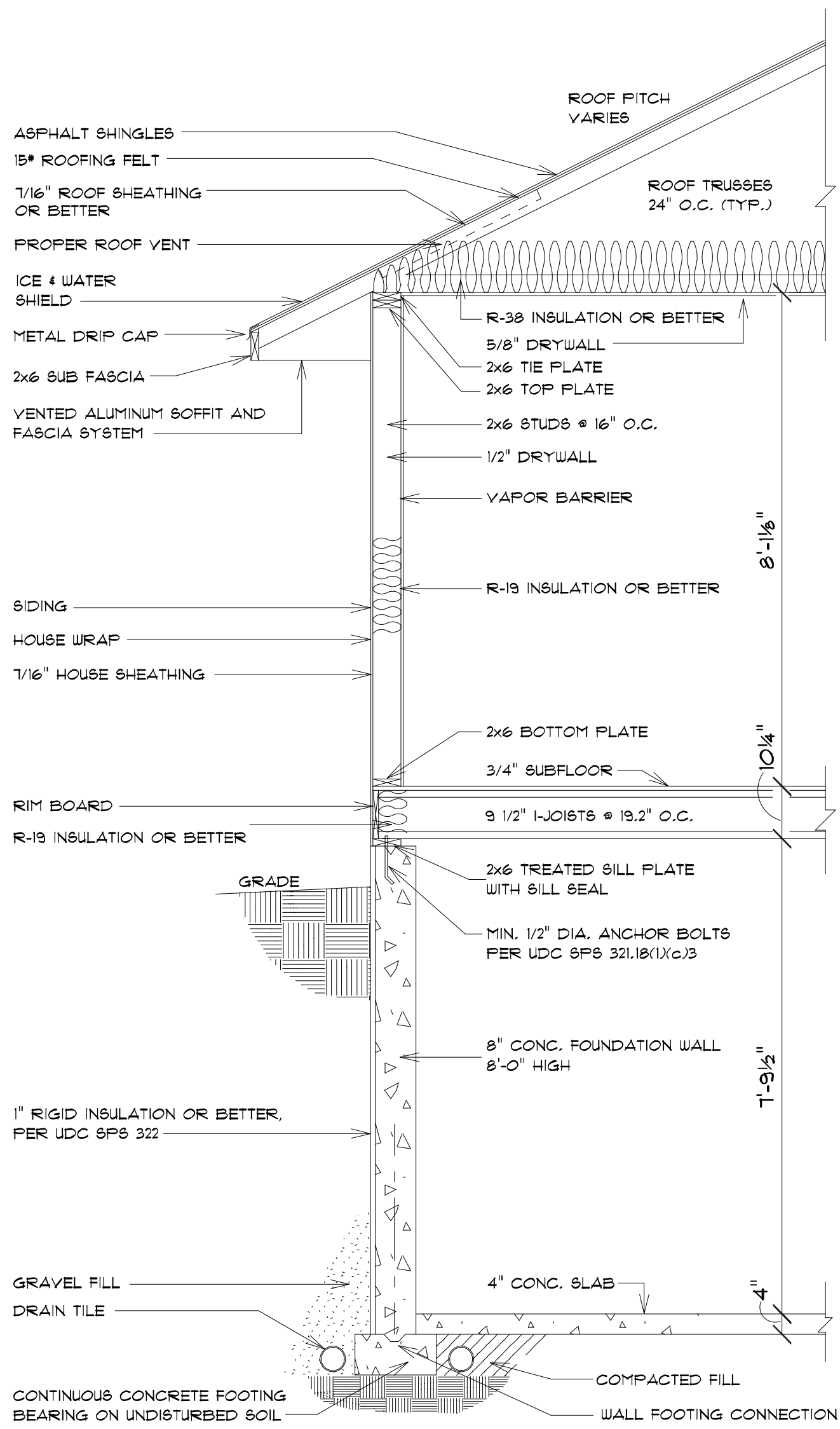
DATE: October 26, 2017
REVISIONS: 2/13/19 AV5 12/14/20 AV6
(Based Off Plan #19-066-R) 3/26/19 AV6 03/05/24 DVG

EQ. FT.: 444 Sq. Ft.
SCALE: 1/4" = 1'-0"
PLAN NO.: 24-063-R

OFFICE:
PHONE (920) 496-5080
FAX (920) 494-9510
1980 LARSEN ROAD
P.O. BOX 10001
GREEN BAY, WI 54301

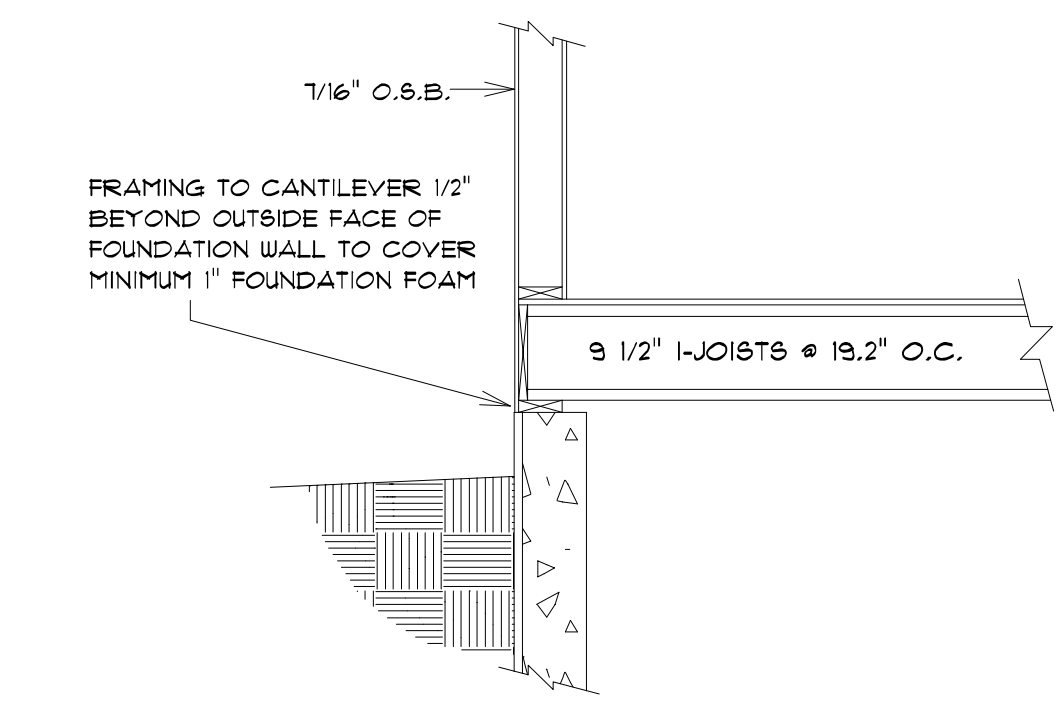
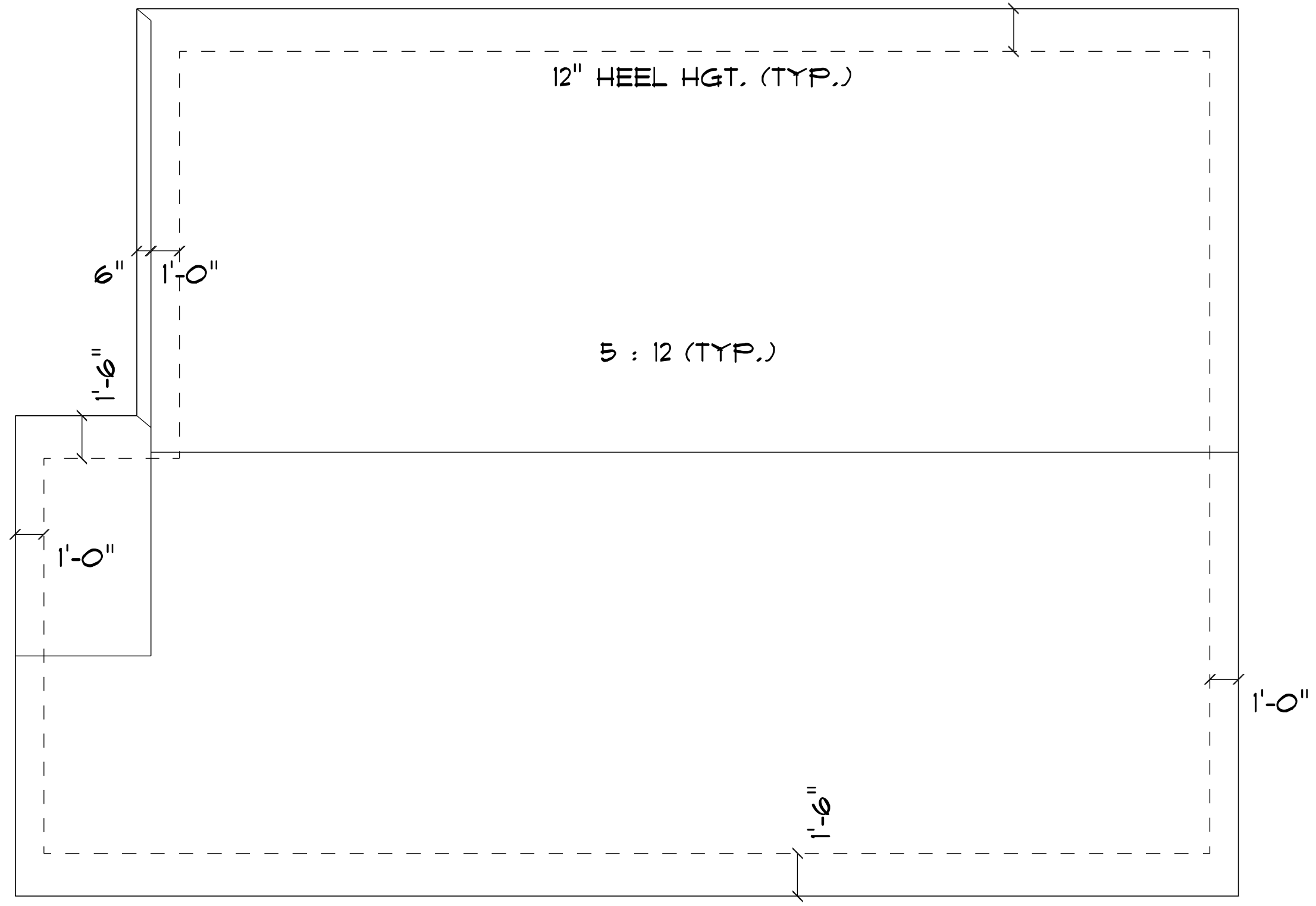
COMPONENTS:
PHONE (920) 496-5084
FAX (920) 498-1218
1145 MORaine TERRACE
GREEN BAY, WI 54303





TYPICAL RANCH SECTION
SCALE: 1/2" = 1'-0"

ALL ITEMS TO BE VERIFIED BY CONTRACTOR



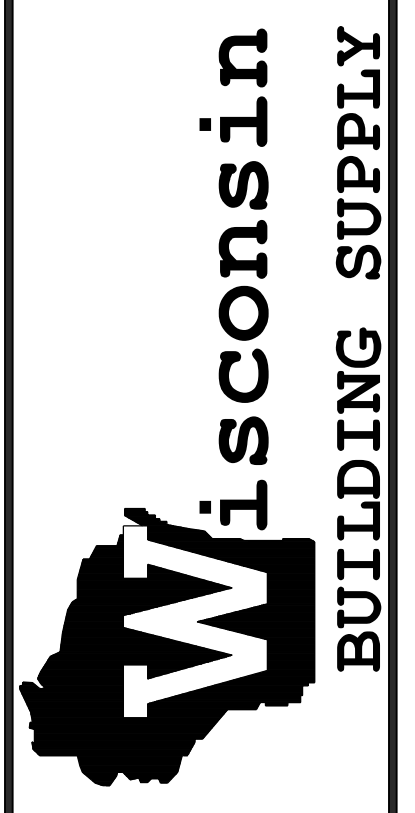
BOX SILL DETAIL
SCALE: 1/2" = 1'-0"

IMPORTANT NOTE:
 • IT IS AGREED THAT ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING AND CHECKING THESE PLANS FOR ACCURACY, THE GENERAL CONTRACTOR/OWNER MUST REVIEW ALL DIMENSIONS, DETAILS AND NOTES BEFORE BEGINNING ANY CONSTRUCTION AND IS HEREBY HELD RESPONSIBLE FOR ANY DISCOVERED DISCREPANCIES.
 • IT IS UNDERSTOOD THAT THE WISCONSIN UNIFORM DWELLING CODE AND LAYOUT DRAWINGS FOR FLOOR AND ROOF TRUSSES SHALL TAKE FINAL PRECEDENCE OVER THESE ARCHITECTURAL PLANS.

CUSTOM DESIGNED FOR: GREATER GREEN BAY HABITAT FOR HUMANITY	
JOB NAME: 1151 Reber Street	EQ. FT.: See Plan
DRAWN BY: Michael Herald	SCALE: As Indicated
DATE: October 26, 2011	PLAN NO.: 24-063-R
REVISIONS: 2/13/19 AVS 12/14/20 AVS	
(Based Off Plan #19-068-R)	03/05/24 DVG

OFFICE: PHONE (920) 496-5080
 FAX (920) 494-9510
 1890 LARSEN ROAD
 P.O. BOX 10001
 GREEN BAY, WI 54301

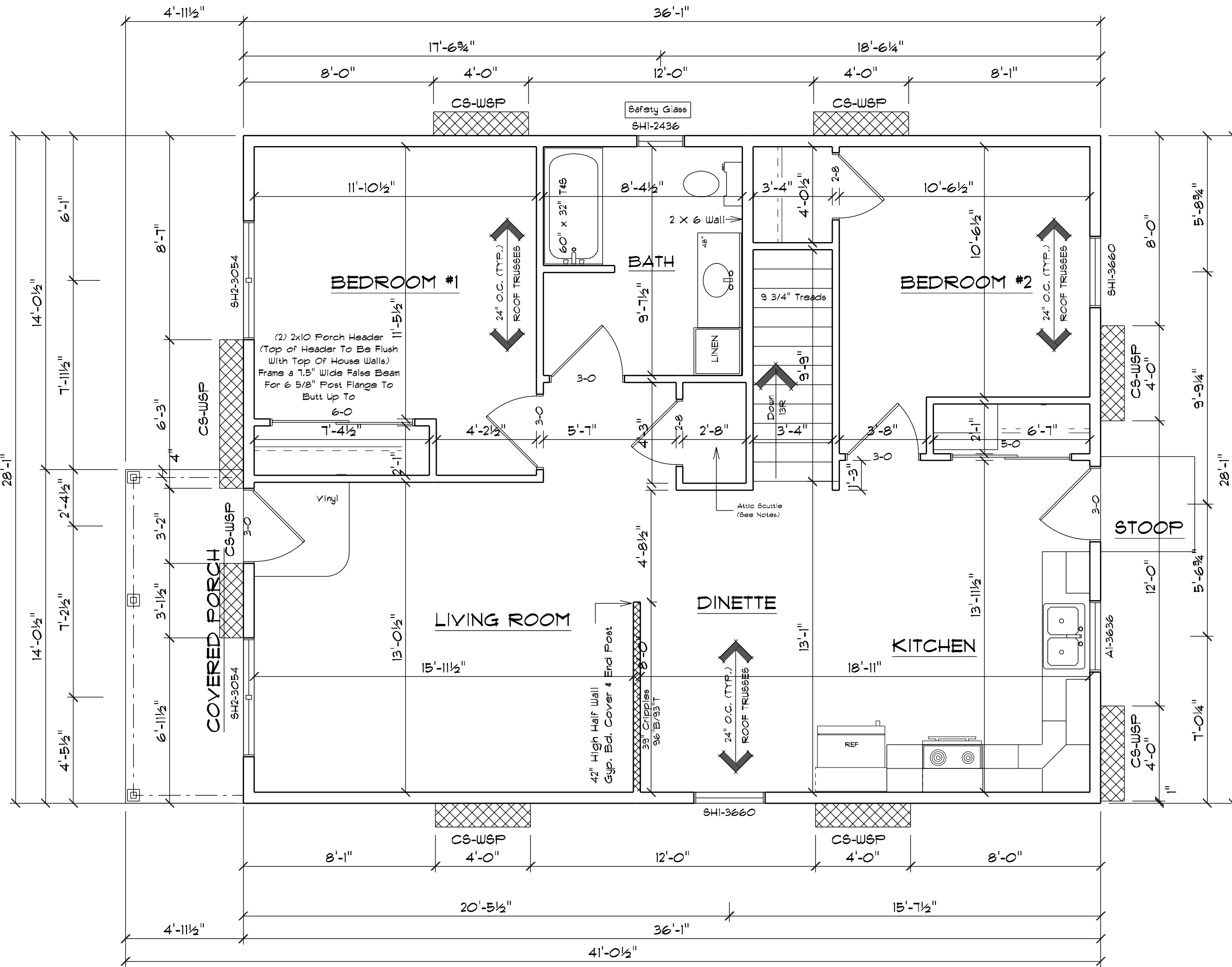
COMPONENTS: PHONE (920) 496-5084
 FAX (920) 498-1218
 1145 MORRINE TERRACE
 GREEN BAY, WI 54303



6.0 X 1.3 (CAT C) X 0.95 (WALL HGT.) = 1'-4 15/16"
 TOTAL ADJACENT SIDE LENGTH: 36'-1"
 BRACING METHOD: CONTINUOUSLY SHEATHED
 EXPOSURE CATEGORY: C
 TOTAL PANEL LENGTH REQUIRED: 1'-4 15/16"
 TOTAL PANEL LENGTH PROVIDED: 8'-0"

TOTAL ADJACENT SIDE LENGTH: 28'-1"
 BRACING METHOD: CONTINUOUSLY SHEATHED
 EXPOSURE CATEGORY: C
 TOTAL PANEL LENGTH REQUIRED: 6'-2 1/8"
 TOTAL PANEL LENGTH PROVIDED: 8'-0"
 5.0 X 1.3 (CAT C) X 0.95 (WALL HGT.) = 6'-2 1/8"

TOTAL ADJACENT SIDE LENGTH: 28'-1"
 BRACING METHOD: CONTINUOUSLY SHEATHED
 EXPOSURE CATEGORY: C
 TOTAL PANEL LENGTH REQUIRED: 6'-2 1/8"
 TOTAL PANEL LENGTH PROVIDED: 8'-0"
 5.0 X 1.3 (CAT C) X 0.95 (WALL HGT.) = 6'-2 1/8"



WALL BRACING LAYOUT PLAN

Scale: 1/4" = 1'-0"
 House Wall Ht.: 8'-1 1/8"
 Garage Wall Ht.: 9'-0 7/8"
 Top-Of-Wall-To-Ridge Ht.: 8'-1 3/4"
 Exterior Stud Spacing: 16" O.C.
 Seismic Design: B

GENERAL NOTES:

- WALL BRACING, SPS 321.25 (8)
- CIRCUMSCRIBED RECTANGLES: EACH FLOOR PLAN LEVEL SHALL BE CIRCUMSCRIBED WITH ONE OR MORE RECTANGLES AROUND THE ENTIRE FLOOR PLAN AT THE FLOOR LEVEL, UNDER CONSIDERATION. WHEN MULTIPLE RECTANGLES ARE USED, EACH SIDE SHALL BE BRACED AS THOUGH IT WERE A SEPARATE BUILDING AND THE BRACING AMOUNT ADDED TOGETHER ALONG THE COMMON WALL, WHERE ADJACENT RECTANGLES OVERLAP OR ABUT.
- BRACED WALL PANEL (BWP) LOCATIONS: WITHIN 12'-6" FROM EACH SIDE AND 21'-0" PANEL EDGE TO PANEL EDGE (SEE FIGURE 321.25-C).
- ALL EDGES OF PANEL TYPE BRACING EXCEPT HORIZONTAL JOINTS IN GB BRACING, SHALL BE ATTACHED TO FRAMING OR BLOCKING.
- THE INTERIOR SIDE OF ALL EXTERIOR WALLS SHALL BE SHEATHED WITH MINIMUM 1/2" GYPSUM WALLBOARD UNLESS OTHERWISE PERMITTED TO BE EXCLUDED BY THIS SUBSECTION. (THIS REQUIREMENT IS EXCLUDED IN PORTAL FRAME METHOD).
- BRACING WITH CS-WSP SHALL HAVE SHEATHING INSTALLED ON ALL SHEATHABLE SURFACES ABOVE, BELOW, AND BETWEEN WALL OPENINGS.
- EACH BRACED WALL PANEL MAY CONTAIN NO MORE THAN ONE HOLE, HAVING A MAXIMUM DIMENSION OF NO MORE THAN TEN PERCENT OF THE LEAST DIMENSION OF THE PANEL, AND CONFINED TO THE MIDDLE THREE-FIFTHS OF THE PANEL.
- BLOCKING AND BRIDGING: 2x18 BRIDGING USED AT PARALLEL BOX SILL AND FLOOR JOIST BRIDGING @ 32" O.C. IS THE SAME DEPTH AS THE JOIST.
- WHERE JOISTS ARE PERPENDICULAR TO BWP'S ABOVE OR BELOW, BLOCKING SHALL BE PROVIDED BETWEEN THE JOISTS AT BWP LOCATIONS TO PERMIT FASTENING OF WALL PLATES WITH 16d NAILS @ 16" O.C.
- WHERE JOISTS ARE PARALLEL TO BWP'S ABOVE OR BELOW, A RIM JOIST OR OTHER PARALLEL FRAMING MEMBER SHALL BE PROVIDED AT THE BWP TO PERMIT FASTENING OF WALL PLATES WITH 16d NAILS @ 16" O.C.

WALL BRACING MATERIAL LEGEND

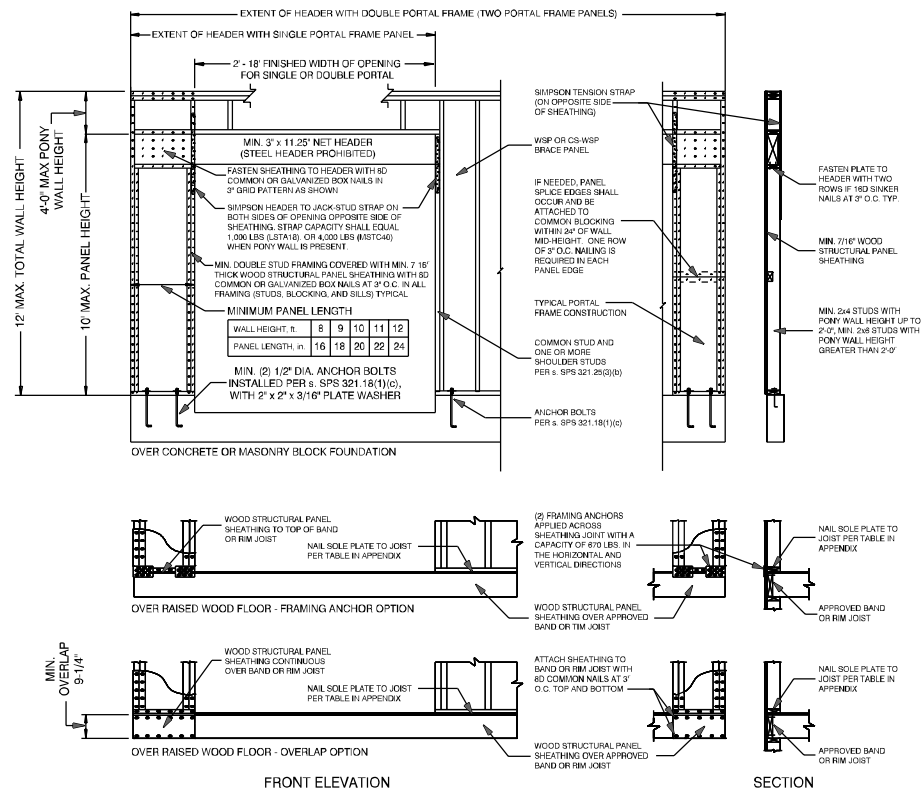
- (CONTINUOUSLY SHEATHED WOOD STRUCTURAL PANEL)
- 3/8" THICK SHEATHING FOR MAX. 16" O.C. STUD SPACING
- 1/2" THICK SHEATHING FOR MAX. 24" O.C. STUD SPACING
- FASTEN WITH 6d COMMON NAIL OR 8d BOX NAIL (2 3/8" LONG X 0.13" DIA.) OR 1 1/2" O.C. OR UNL. GAGE STAPLES, 1 1/4" LONG
- MAXIMUM FASTENER SPACING: 4" EDGES, 2" FIELD (NAILS) / 3" EDGES, 6" FIELD (STAPLES)

TABLE 321.25-4 a,b
 MINIMUM WIDTHS OF CS-WSP BRACED WALL PANELS

MAXIMUM OPENING HEIGHT ADJACENT TO BRACED WALL PANEL	MINIMUM LENGTH OF FULL-HEIGHT BRACED WALL PANEL (INCHES)			
	8' TALL WALL	9' TALL WALL	10' TALL WALL	12' TALL WALL
5' - 4"	24	27	30	36
6' - 8"	32	30	30	36
8' - 0"	48	41	38	36
9' - 0"	-	54	46	41
10' - 0"	-	-	60	48
12' - 0"	-	-	-	72

4. SHEATHING SHALL EXTEND FROM TOP OF THE TOP PLATE TO THE BOTTOM PLATE AND MAY BE MULTIPLE SHEETS. ALL JOINTS SHALL BE BLOCKED.
 5. INTERPOLATION IS PERMITTED.

FIGURE 321.25-A
 PF / CS-PF - PORTAL FRAME BRACE CONSTRUCTION



IMPORTANT NOTE:

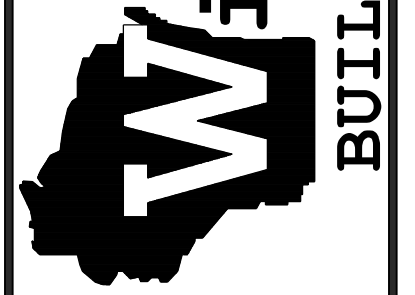
- IT IS AGREED THAT ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING AND CHECKING THESE PLANS FOR ACCURACY, THE GENERAL CONTRACTOR/OWNER MUST REVIEW ALL DIMENSIONS, DETAILS AND NOTES BEFORE BEGINNING ANY CONSTRUCTION AND IS HEREBY HELD RESPONSIBLE FOR ANY DISCOVERED DISCREPANCIES.
- IT IS UNDERSTOOD THAT THE WISCONSIN UNIFORM DWELLING CODE AND LAYOUT DRAWINGS FOR FLOOR AND ROOF TRUSSES SHALL TAKE FINAL PRECEDENCE OVER THESE ARCHITECTURAL PLANS.

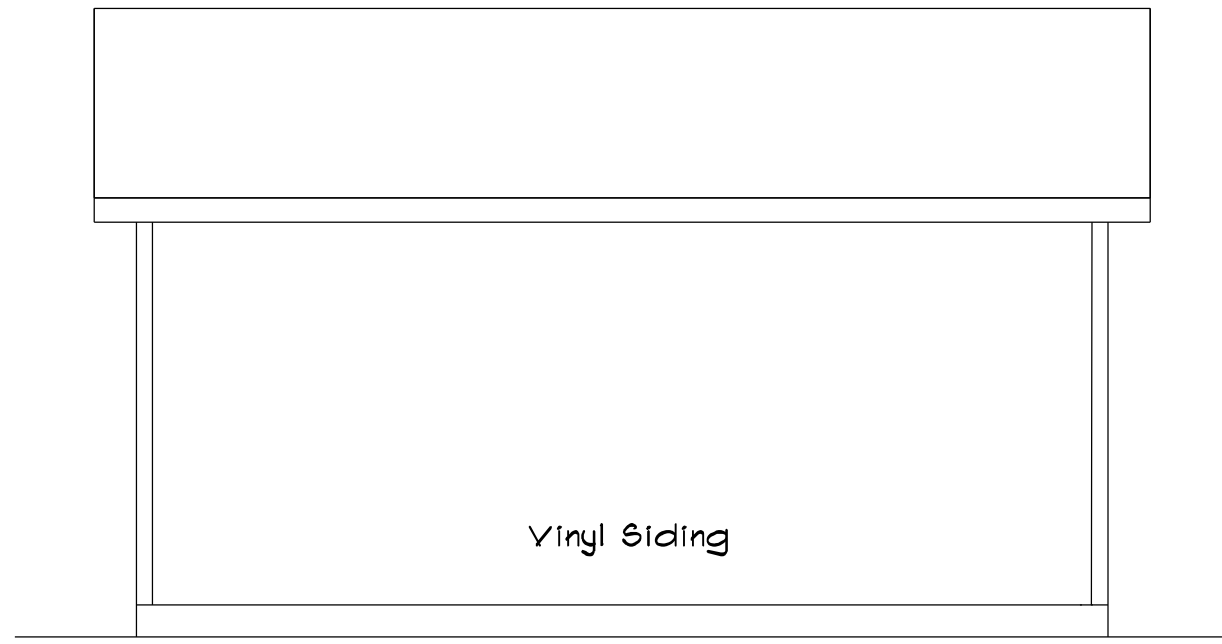
CUSTOM DESIGNED FOR: **GREATER GREEN BAY HABITAT FOR HUMANITY**

JOB NAME:	1151 Reber Street
DRAWN BY:	Michael Herald
DATE:	October 26, 2017
REVISIONS:	2/13/19 AVS 3/26/19 AVS
SCALE:	As Indicated
EQ. FT.:	See Plan
PLAN NO.:	24-063-R

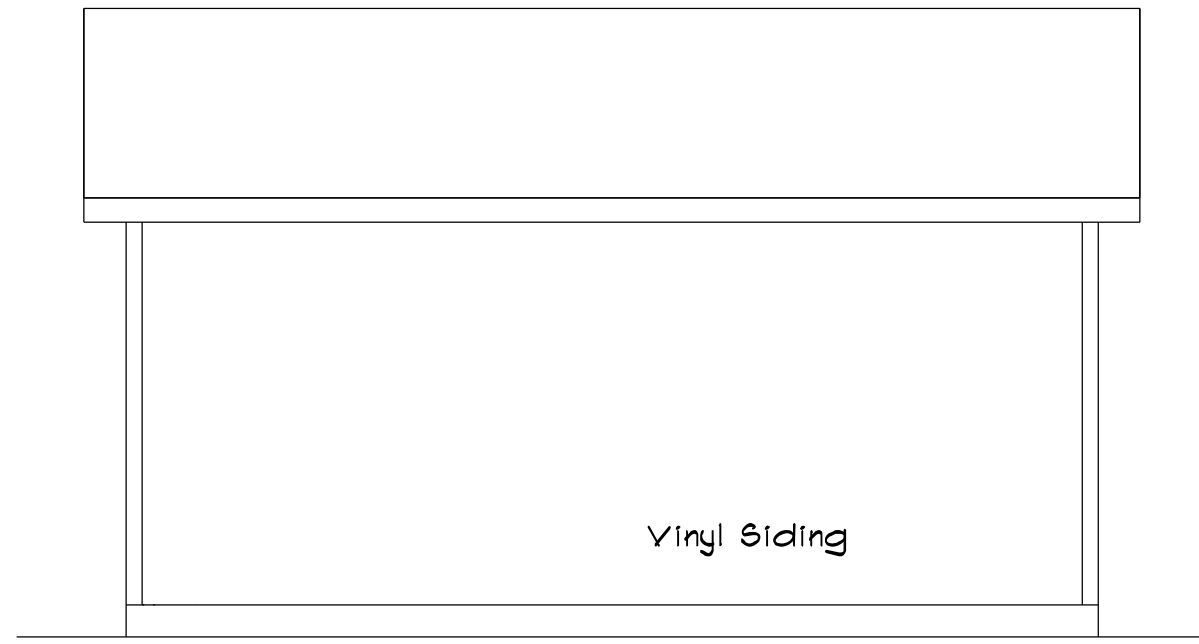
OFFICE: (920) 496-5080
 PHONE (920) 494-9510
 FAX (920) 496-5084
 1890 LARSEN ROAD
 P.O. BOX 10001
 GREEN BAY, WI 54301

COMPONENTS:
 PHONE (920) 496-5084
 FAX (920) 498-1218
 1145 MORRINE TERRACE
 GREEN BAY, WI 54303

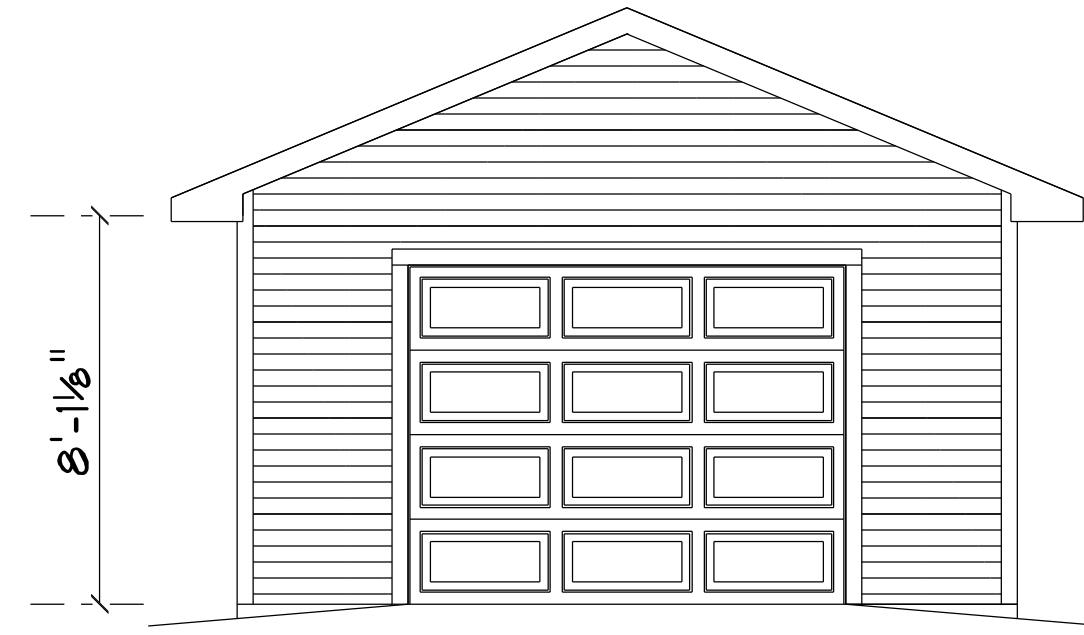




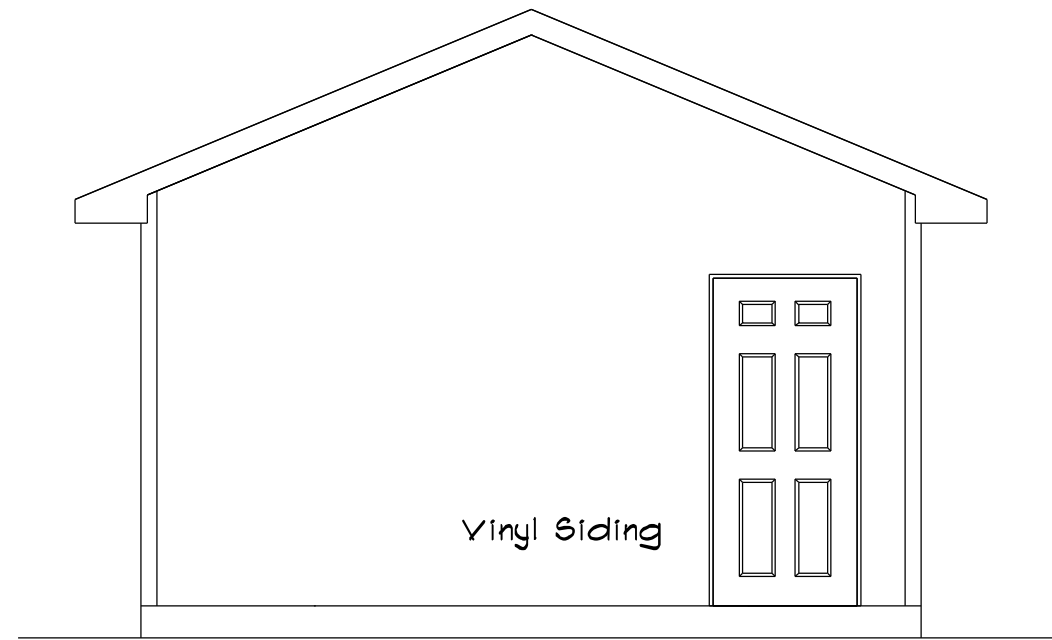
LEFT ELEVATION
SCALE: 1/4" = 1'-0"



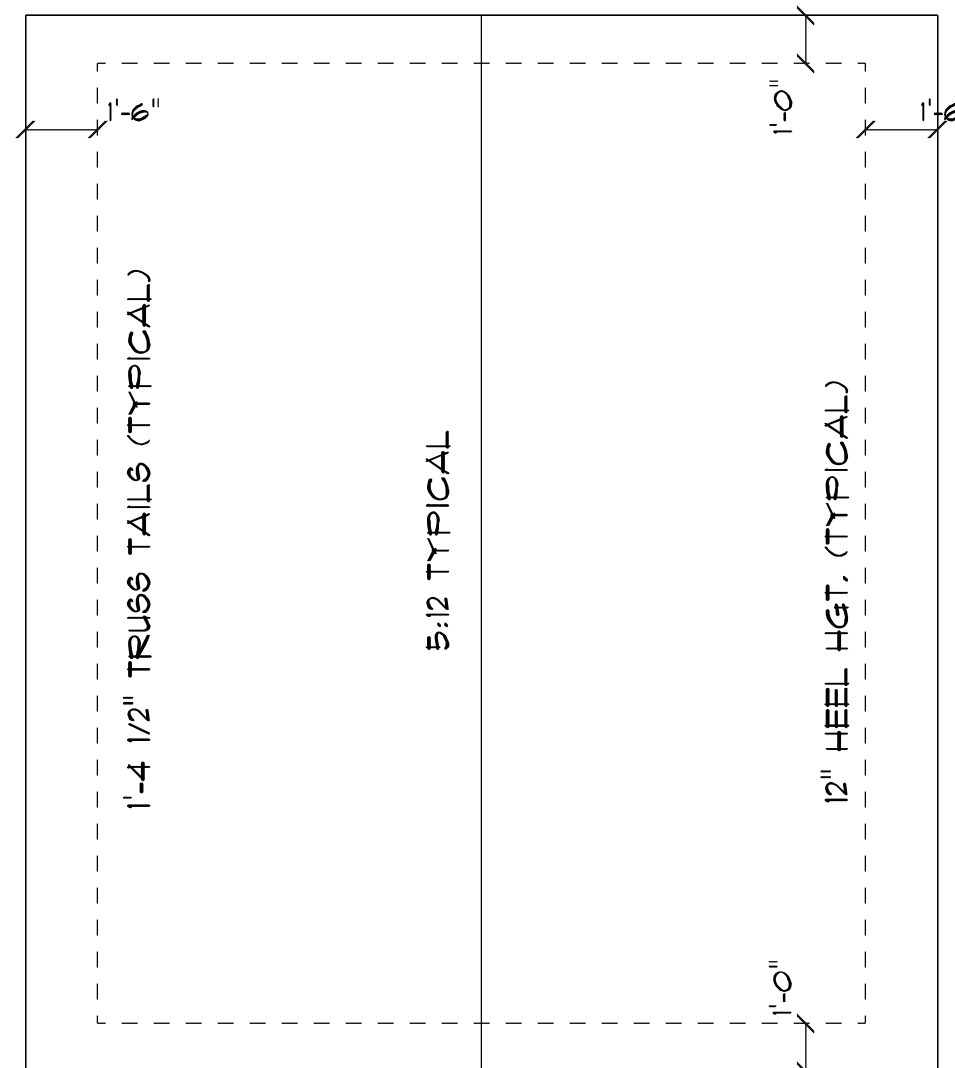
RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



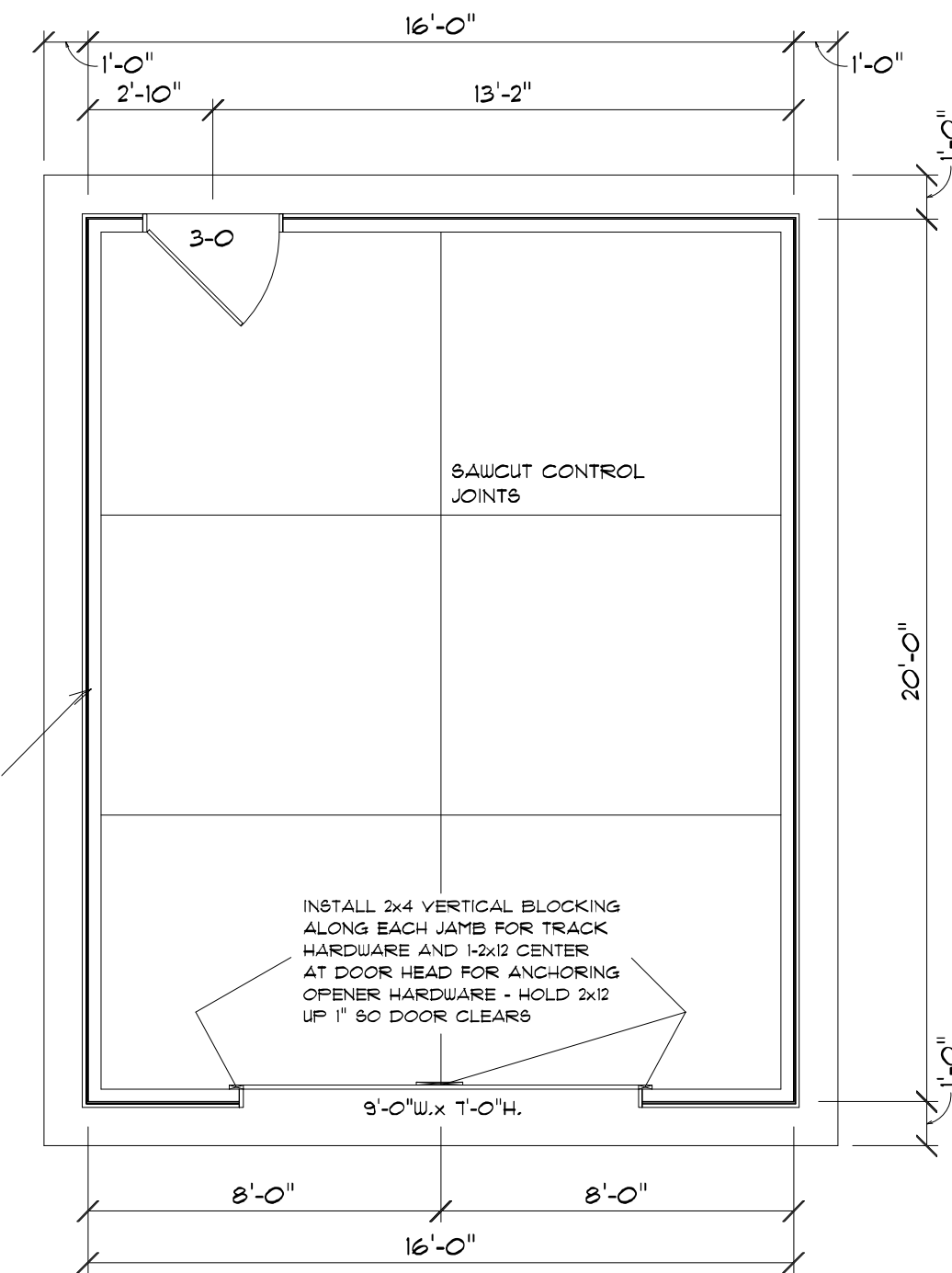
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"



ROOF PLAN
SCALE: 1/4" = 1'-0"



FLOOR PLAN
SCALE: 1/4" = 1'-0"

NOTE:

THIS CONSTRUCTION PLAN CURRENTLY DOESN'T NOTATE PROPER WALL BRACING REQUIREMENTS. PLEASE CONTACT WISCONSIN BUILDING SUPPLY PRIOR TO APPLYING FOR PERMITS TO INITIATE THE START OF THE WALL BRACING PLAN/CALCULATIONS

VINYL SIDING OVER HOUSE WRAP OVER 15/32" SHEATHING OVER 2 x 4'S @ 16" O.C.

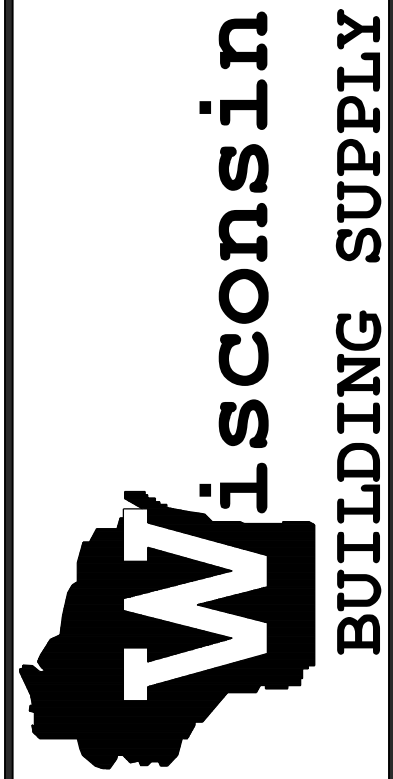
INSTALL 2x4 VERTICAL BLOCKING ALONG EACH JAMB FOR TRACK HARDWARE AND 1-2x12 CENTER AT DOOR HEAD FOR ANCHORING OPENER HARDWARE - HOLD 2x12 UP 1" SO DOOR CLEARS

IMPORTANT NOTE:
 • IT IS AGREED THAT ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING AND CHECKING THESE PLANS FOR ACCURACY, THE GENERAL CONTRACTOR/OWNER MUST REVIEW ALL DIMENSIONS, DETAILS AND NOTES BEFORE BEGINNING ANY CONSTRUCTION AND IS HEREBY HELD RESPONSIBLE FOR ANY DISCOVERED DISCREPANCIES.
 • IT IS UNDERSTOOD THAT THE WISCONSIN UNIFORM DWELLING CODE AND LAYOUT DRAWINGS FOR FLOOR AND ROOF TRUSSES SHALL TAKE FINAL PRECEDENCE OVER THESE ARCHITECTURAL PLANS.

CUSTOM DESIGNED FOR: **GREATER GREEN BAY HABITAT FOR HUMANITY**

JOB NAME: 1151 Reber Street	SQ. FT.: 320 Sq. Ft.
DRAWN BY: Michael Herald	SCALE: As Indicated
DATE: March 9, 2011	PLAN NO.: 24-063-R
REVISIONS: 3/10/11	
(Based Off Plan #19-068-R)	

OFFICE: PHONE (920) 496-5080
 FAX (920) 494-9510
 1980 LARSEN ROAD
 P.O. BOX 10001
 GREEN BAY, WI 54301
 COMPONENTS: PHONE (920) 496-5084
 FAX (920) 498-1218
 1145 MORaine TERRACE
 GREEN BAY, WI 54303





Report to the
Redevelopment Authority
of the City of Green Bay

MEETING DATE

June 10, 2025

PREPARED BY

Will Peters

AGENDA ITEM # F.5

Consideration with possible action on HOME funding request from Greater Green Bay Habitat for Humanity to build a home at 1216 S. Broadway.

BACKGROUND

Greater Green Bay Habitat for Humanity (Habitat) proposes to build a two-story home with a single-stall detached garage at 1216 S. Broadway, Green Bay, WI 54303. Due to the increasing costs of building materials and labor, Habitat has submitted a HOME funding application requesting gap funding in the amount of \$8,370.00 to construct a six-bedroom, two and a half-bathroom, affordable, single-family home at 1216 S. Broadway.

Staff has reviewed the application and recommends the award of \$8,370.00 in gap funding to support this build and make the home affordable.

RECOMMENDATION

Approve HOME funding request from Greater Green Bay Habitat for Humanity to build a home at 1216 S. Broadway.

FISCAL IMPACT

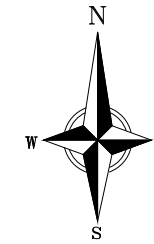
ATTACHMENTS

1. 2 Story 1216 S. Broadway Site Plan
2. 2 story design for Broadway

SITE PLAN

Lot 6, Block 27 of the recorded C.L.A. Tank's 4th Addition, located in Private Claims 7 & 8, West Side of Fox River, City of Green Bay, Brown County, Wisconsin.
~ 1216 S. Broadway ~



SHEET
1 OF 1

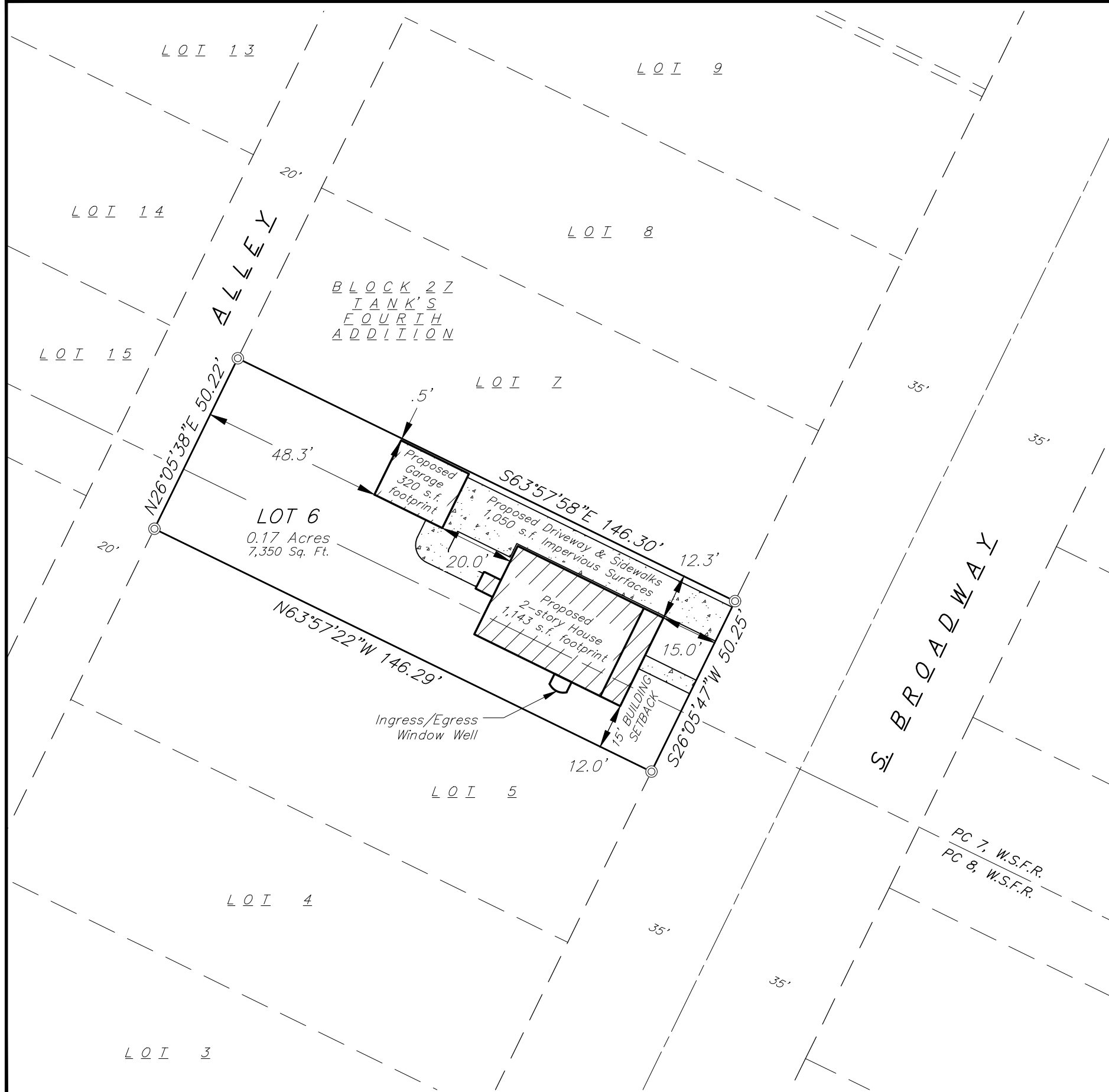


GRAPHIC SCALE: 1" = 30'



LEGEND

- ⊙ POINT OF RECORD
-  PROPOSED BUILDING
-  PROPOSED CONCRETE



SURVEYED BY:
Vierbicher Associates, Inc.
400 Security Blvd, Ste 1
Green Bay, WI 54313
(920) 434-9670

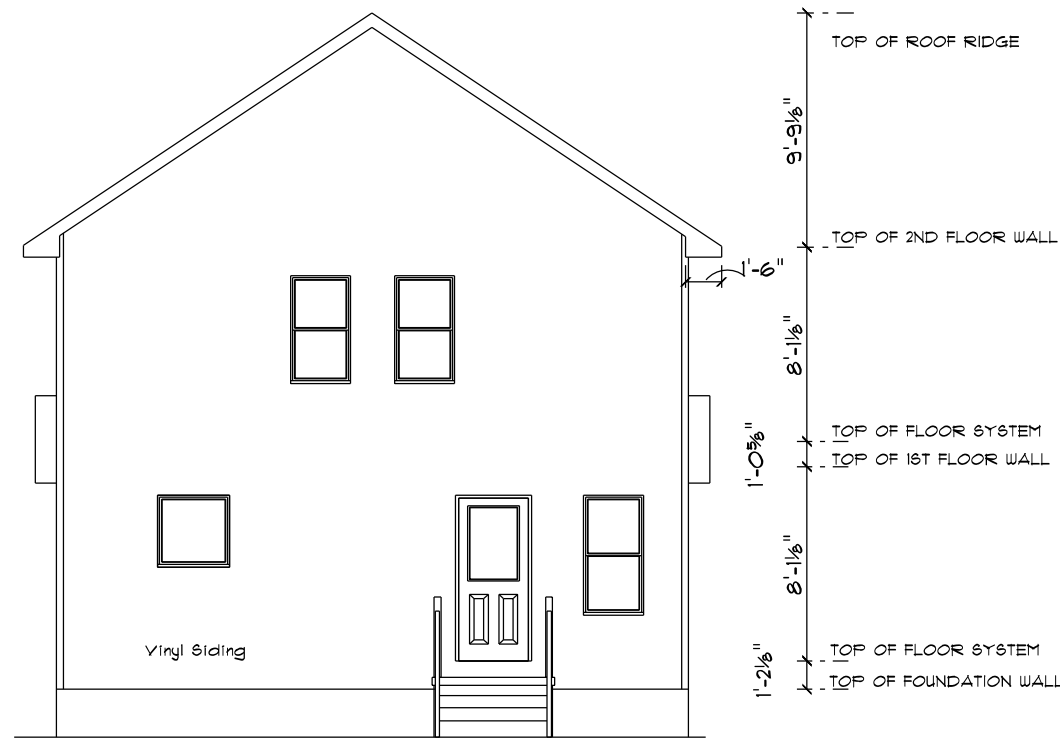
SURVEYED FOR:
Habitat for Humanity
1967 Alouez Ave.
Green Bay, WI 54311
Drawing NO.: X-2022

Job #: 250161
Date: 01/28/2025
Rev: 03/12/2025
Drafted By: CMUE
Checked By:



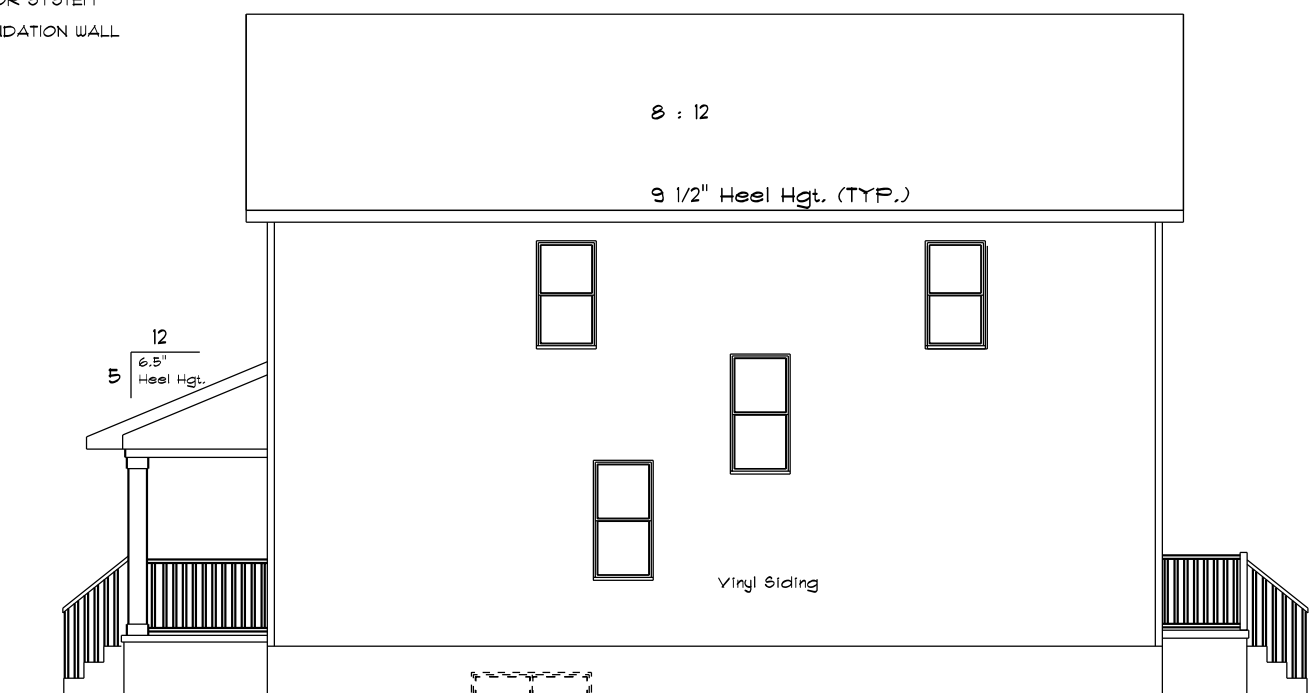
vierbicher
planners | engineers | advisors

SQUARE FOOTAGE:	
FIRST FLOOR:	967
SECOND FLOOR:	967
FINISHED BASEMENT:	525
COVERED PORCH:	156



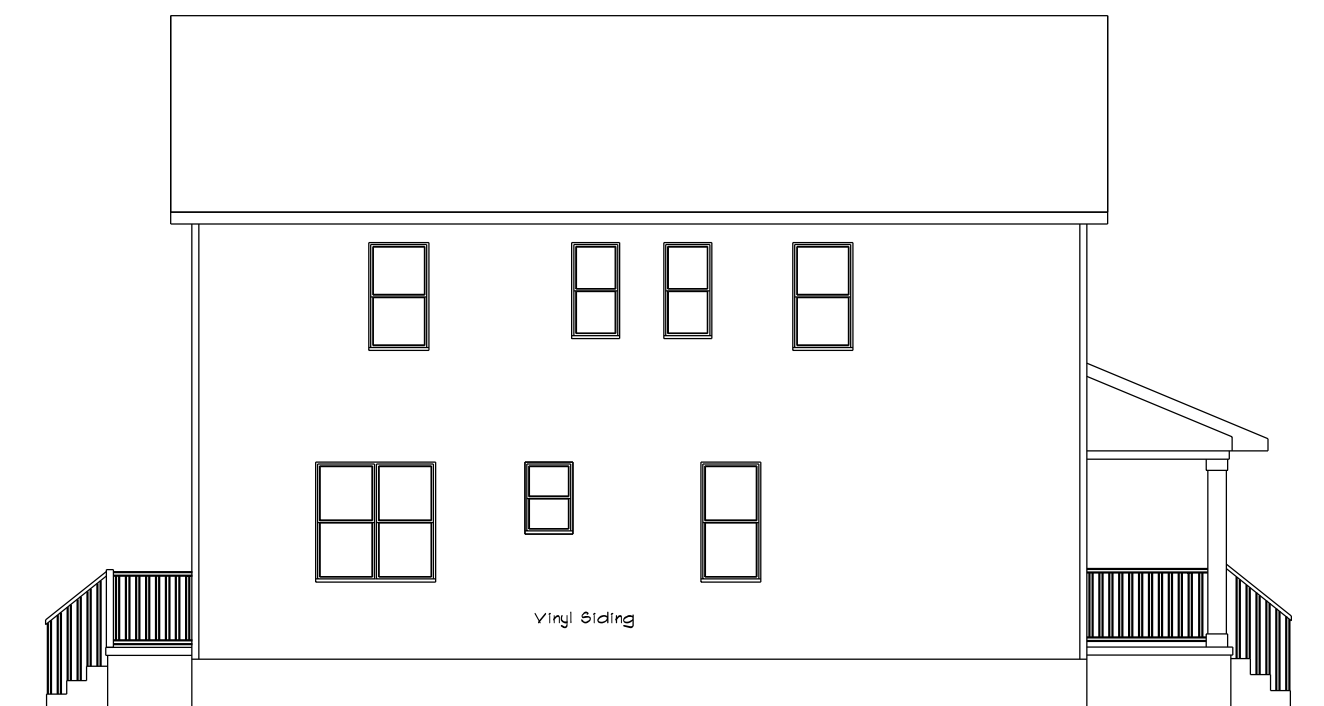
REAR ELEVATION

SCALE: 1/8" = 1'-0"



RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



LEFT ELEVATION

SCALE: 1/8" = 1'-0"



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

NOTE:

THIS CONSTRUCTION PLAN CURRENTLY DOESN'T NOTATE PROPER WALL BRACING REQUIREMENTS. PLEASE CONTACT WISCONSIN BUILDING SUPPLY PRIOR TO APPLYING FOR PERMITS TO INITIATE THE START OF THE WALL BRACING PLAN/CALCULATIONS

CUSTOM DESIGNED FOR: **Greater Green Bay - Habitat For Humanity**

JOB NAME: 1209 Chicago Street

DATE: April 9, 2019

DRAWN BY: Andy Stanku

PLAN #: 19-148-T
(BASED OFF OF PLAN 16-0917)

REVISIONS:

6/7/19 AVS

IMPORTANT NOTE:

IT IS AGREED THAT ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING AND CHECKING THESE PLANS FOR ACCURACY, THE GENERAL CONTRACTOR/OWNER MUST REVIEW ALL DIMENSIONS, DETAILS AND NOTES BEFORE BEGINNING ANY CONSTRUCTION AND IS HEREBY HELD RESPONSIBLE FOR ANY DISCOVERED DISCREPANCIES. IT IS UNDERSTOOD THAT THE WISCONSIN SAFETY AND PROFESSIONAL SERVICES CODE AND LAYOUT DRAWINGS FOR FLOOR AND ROOF TRUSSES SHALL TAKE FINAL PRECEDENCE OVER THESE ARCHITECTURAL PLANS.

OFFICE:
11930 LARSEN ROAD
GREEN BAY, WI 54303
PHONE (920)496-5080
FAX (920)494-9570

COMPONENTS:
1156 MOZINE TERRACE
GREEN BAY, WI 54303
PHONE (920)496-5094
FAX (920)498-1215

MAILING ADDRESS:
P.O. BOX 10001
GREEN BAY, WI 54301-0001



SQUARE FOOTAGE:

FIRST FLOOR:	967
SECOND FLOOR:	967
FINISHED BASEMENT:	525
COVERED PORCH:	156

PLAN SPECIFICATIONS:

• THE CONDITIONS LISTED BELOW ARE STANDARD FOR THIS PLAN ONLY - EXCEPTIONS ARE NOTED ON THE PLAN ITSELF

WALL INFORMATION:
 HOUSE FOUNDATION:
 8" X 8'-0" FOUNDED CONCRETE
 PORCH/PATIO FOUNDATION:
 8" FOUNDED CONCRETE, MIN. 4'-0" TALL
 HOUSE EXTERIOR:
 FIRST FLOOR: 2 X 6 X 8'-1 1/8", STUDS @ 16" O.C.
 SECOND FLOOR: 2 X 6 X 8'-1 1/8", STUDS @ 16" O.C.
 HOUSE INTERIOR:
 FIRST FLOOR: 2 X 4 X 8'-1 1/8", STUDS @ 16" O.C.
 SECOND FLOOR: 2 X 4 X 8'-1 1/8", STUDS @ 16" O.C.
 - TALL WALLS ARE EXTERIOR WALLS WITH STUDS TALLER THAN 10'-0" AND NEED TO BE DESIGNED BY ENGINEERED WOOD PRODUCTS SUPPLIER
 - TAPERED WALLS ARE TO BE FRAMED TO UNDERSIDE OF SCISSORS ROOF TRUSSES

STAIR INFORMATION:
 BASEMENT TO FIRST FLOOR:
 14 RISERS @ 7 3/16" - 13 TREADS @ 9"
 FIRST FLOOR TO SECOND FLOOR:
 14 RISERS @ 7 13/16" - 13 TREADS @ 9"

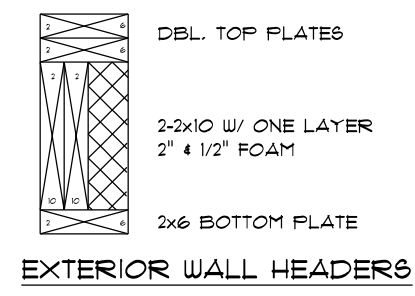
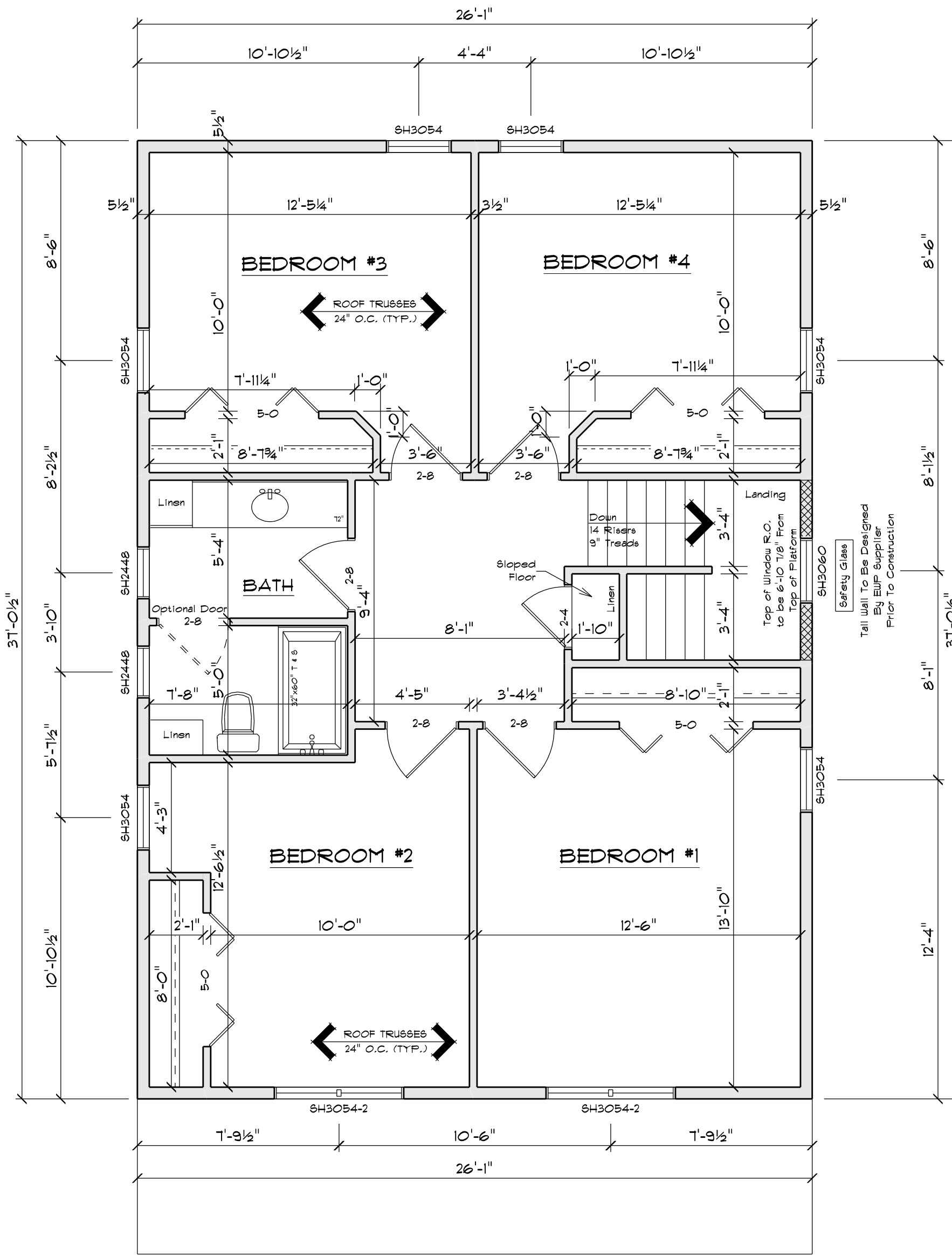
FLOOR SYSTEM(S):
 BASEMENT:
 4" REINFORCED CONCRETE SLAB
 FIRST FLOOR:
 11 1/8" JOISTS @ 16" O.C.
 SECOND FLOOR:
 11 1/8" JOISTS @ 16" O.C.
 STD. LOADING (PER SQ. FT.):
 40* LL, 10* DL
 ADDITIONAL LOADING (PER SQ. FT.):
 10* TCDL FOR TILE FLOOR
 8* TCDL FOR GRANITE
 DEFLECTION: LL4/L240 DL4/L240
 DURATION OF LOAD: 1.00%
 - FRAMER TO REFERENCE JOIST/TRUSS LAYOUT PLANS TO VERIFY EXACT SIZE AND LOCATION OF ALL FLUSH HEADERS AND BEAMS IN FLOOR SYSTEM

ROOF SYSTEM:
 ENGINEERED WOOD TRUSSES @ 24" O.C.
 DESIGNED FOR BROUIN COUNTY - ZONE #2
 STD. LOADING (PER SQ. FT.):
 30* TCDL, 10* BCDL
 DEFLECTION: LL4/L240 DL4/L180
 DURATION OF LOAD: 1.5%
 - FRAMER TO REFERENCE TRUSS LAYOUT PLANS TO VERIFY EXACT LOCATIONS OF GIRDER TRUSSES AND THEIR RESPECTIVE BEARING REQUIREMENTS & UPLIFT ANCHORING REQUIREMENTS

HEADERS:
 - STD. HEADERS: (2) 2X10 HEM-FIR SELECT STRUCTURAL WITH 2X LAYFLAT (SEE DETAIL)
 - TOP OF WINDOW R.O.S.
 FIRST FLOOR @ 6'-11 3/8" ABOVE SUBFLOOR
 SECOND FLOOR @ 6'-11 3/8" ABOVE SUBFLOOR
 - MINIMUM OF (2) TRIM STUDS AT EACH END FOR ALL OPENINGS 6'-0" AND LARGER

WINDOWS:
 - ALLIANCE VINYL WINDOWS
 - MANUFACTURER TO PROVIDE SUPPLIER WITH EXACT R.O. SIZES AND DETAILS. SUPPLIER TO VERIFY THAT ALL CODE REQUIREMENTS ARE MET.

GENERAL INFORMATION:
 - THE FOLLOWING ITEMS ARE TO BE LOCATED IN THE FOUNDATION BY THE GENERAL CONTRACTOR:
 BASEMENT WINDOWS FLOOR DRAINS
 ELECTRIC SERVICES WATER HEATER
 SUMP PIT & PUMP FURNACE
 - BUILDER TO PROVIDE HEADERS AT CONCRETE OPENINGS IF NOT NOTED ON THE FOUNDATION PLAN
 - POURED CONCRETE FOOTINGS TO BEAR ON UNDISTURBED SOIL BELOW THE FROST LINE
 - STEEL COLUMNS TO SUPPORT 12,000#
 - INTERIOR BEARING WALLS TO SIT ON CONTINUOUS CONCRETE FOOTINGS, STUDS @ 16" O.C. WITH BLOCKING OR LATERAL BRACING
 - CONCRETE CONTRACTOR AND BUILDER ARE RESPONSIBLE TO DETERMINE SITE SOIL CONDITIONS AND FOLLOW STANDARDS PER SPS 330.24. THE MOST RESTRICTIVE STANDARDS OF SPS 312.15 - SPS 321.18, ACI 318-14, AND ACI 332-14 FOR ALL FOOTING & WALL REINFORCEMENT, IF NEEDED, MUST BE FOLLOWED
 - ASSUMED SOIL CAPACITY IS 3,000 PSF, FTG SIZES MUST BE ADJUSTED FOR VARYING SITE DETERMINED SOIL BEARING CONDITIONS
 - ALL LUMBER IN PERMANENT CONTACT W/ CONCRETE MUST BE PRESSURE TREATED LUMBER AS PER WI SPS 321.10
 - DUE TO UNKNOWN GRADE CONDITIONS, ACTUAL STEPS IN FOUNDATION WALLS AND LOCATION OF WINDOW WELLS TO BE DETERMINED ON SITE BY GENERAL CONTRACTOR
 - FRAMER IS RESPONSIBLE FOR TRANSFERRING POINT LOADS FROM ABOVE, THROUGH THE FLOOR SYSTEM(S) AND WALLS, W/ SOLID BLOCKING DOWN TO CONCRETE FOUNDATION WALLS BELOW
 - PLAN IS DRAIN ACCORDINGLY FOR 3 1/4" CASING
 - ALL DIMENSIONS SHOWN ARE FROM STUD TO STUD
 - BUILDER TO PROVIDE ATTIC SCUTTLE AND LOCATION
 - FIRE SEPARATION MUST BE PROVIDED BETWEEN HOUSE AND GARAGE (SEE CODE FOR DETAILS)
 - ALL CABINET LAYOUTS ARE CONCEPTUAL. CONSULT CABINET DESIGNER/ PROVIDER FOR EXACT SIZES AND LOCATIONS OF CABINETS, APPLIANCES, AND WINDOWS



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"
 8'-1 1/8" CLG. HGT.

NOTE:
 EXTERIOR DIMENSIONS ARE SHOWN TO REFLECT HOUSE FRAMING WALLS HELD OUT 1/2" FOR EXTERIOR WALL SHEATHING TO FLUSH OUT WITH 1" FOUNDATION FOAM.

Greater Green Bay - Habitat For Humanity

CUSTOM DESIGNED FOR: Greater Green Bay - Habitat For Humanity
 JOB NAME: 1209 Chicago Street
 DATE: April 9, 2019
 DRAWN BY: Andy Stank
 REVISIONS: 6/7/19 AVS

PLAN #: 19-148-T
 (BASED OFF OF PLAN #6-0917)

IMPORTANT NOTE:
 • IT IS AGREED THAT ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING AND CHECKING THESE PLANS FOR ACCURACY, THE GENERAL CONTRACTOR/OWNER MUST REVIEW ALL DIMENSIONS, DETAILS AND NOTES BEFORE BEGINNING ANY CONSTRUCTION AND IS HEREBY HELD RESPONSIBLE FOR ANY DISCOVERED DISCREPANCIES.
 • IT IS UNDERSTOOD THAT THE WISCONSIN SAFETY AND PROFESSIONAL SERVICES CODE AND LAYOUT DRAWINGS FOR FLOOR AND ROOF TRUSSES SHALL TAKE FINAL PRECEDENCE OVER THESE ARCHITECTURAL PLANS.

OFFICE: 11990 LARSEN ROAD
 GREEN BAY, WI 54303
 PHONE (920)486-5080
 FAX (920)484-9510

COMPONENTS:
 IVE MORANE TERRACE
 GREEN BAY, WI 54303
 PHONE (920)486-5094
 FAX (920)488-1215

Wisconsin
BUILDING SUPPLY

MAILING ADDRESS:
 P.O. BOX 10001
 GREEN BAY, WI 54307-0001

SQUARE FOOTAGE:

FIRST FLOOR:	967
SECOND FLOOR:	967
FINISHED BASEMENT:	525
COVERED PORCH:	156

PLAN SPECIFICATIONS:

- THE CONDITIONS LISTED BELOW ARE STANDARD FOR THIS PLAN ONLY - EXCEPTIONS ARE NOTED ON THE PLAN ITSELF

WALL INFORMATION:
HOUSE FOUNDATION: 8" x 8"-0" FOURED CONCRETE
PORCH/PATIO FOUNDATION: 8" POURED CONCRETE, MIN. 4'-0" TALL
HOUSE EXTERIOR: FIRST FLOOR: 2 x 6 x 8'-1 1/8" STUDS @ 16" O.C. SECOND FLOOR: 2 x 6 x 8'-1 1/8" STUDS @ 16" O.C.
HOUSE INTERIOR: FIRST FLOOR: 2 x 4 x 8'-1 1/8" STUDS @ 16" O.C. SECOND FLOOR: 2 x 4 x 8'-1 1/8" STUDS @ 16" O.C.
- TALL WALLS ARE EXTERIOR WALLS WITH STUDS TALLER THAN 10'-0" AND NEED TO BE DESIGNED BY ENGINEERED WOOD PRODUCTS SUPPLIER
- TAPERED WALLS ARE TO BE FRAMED TO UNDERSIDE OF SCISSORS ROOF TRUSSES

STAIR INFORMATION:
BASEMENT TO FIRST FLOOR: 14 RISERS @ 7 3/16" - 13 TREADS @ 9"
FIRST FLOOR TO SECOND FLOOR: 14 RISERS @ 7 3/16" - 13 TREADS @ 9"

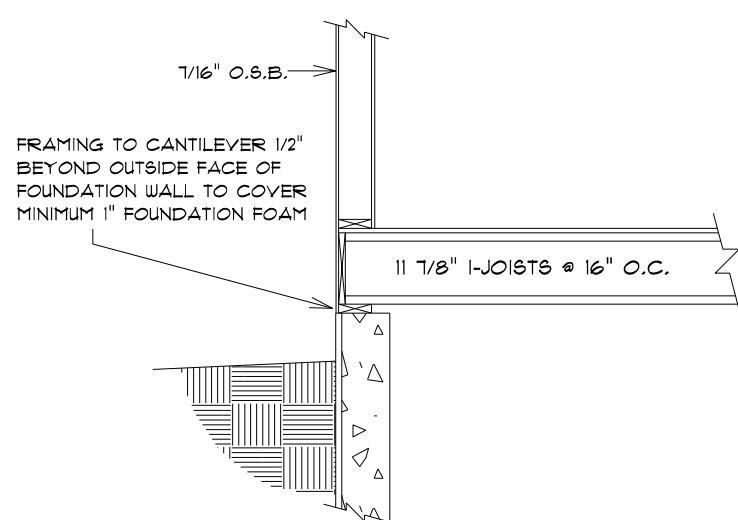
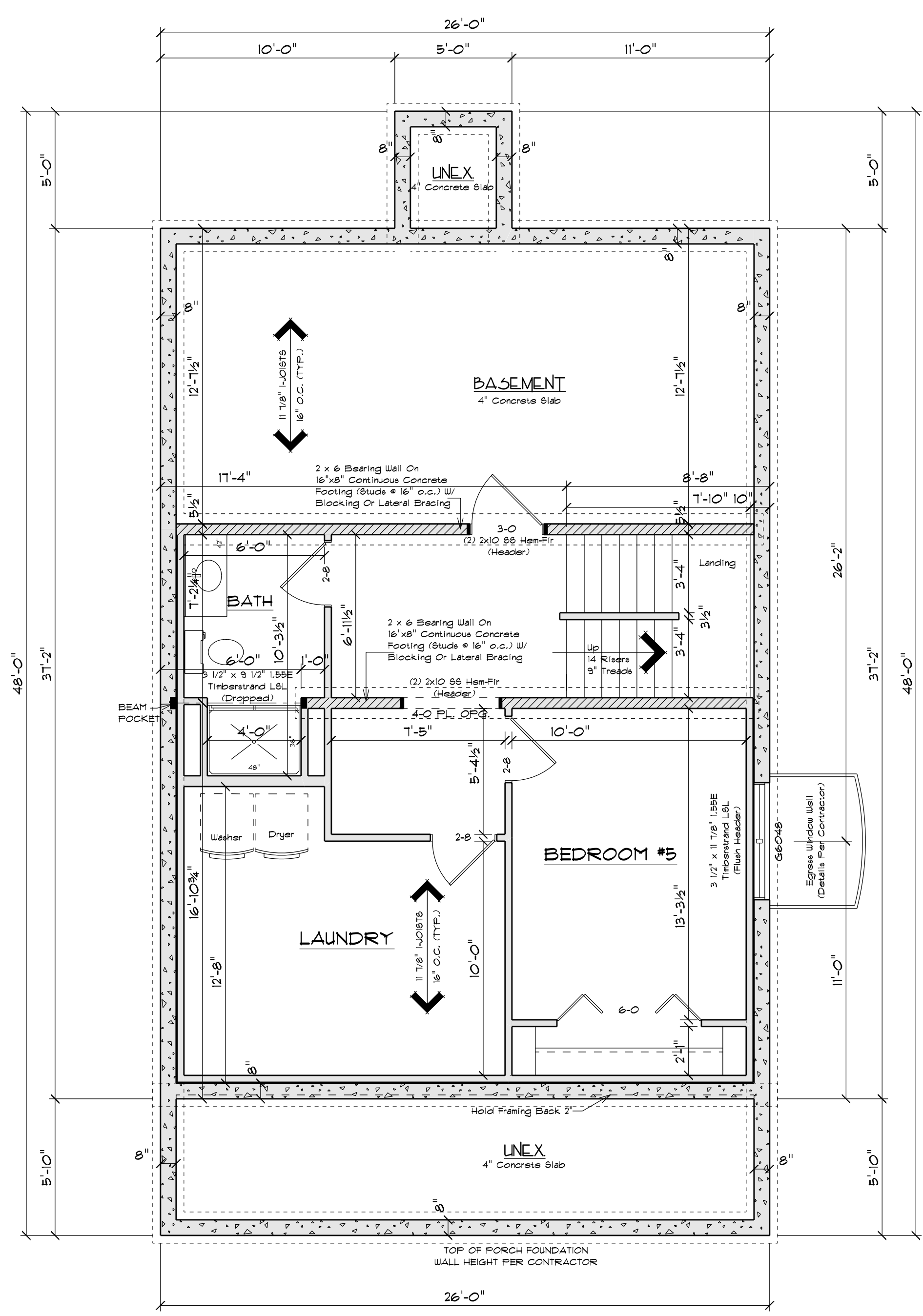
FLOOR SYSTEM(S):
BASEMENT: 4" REINFORCED CONCRETE SLAB
FIRST FLOOR: 11 1/8" I-JOISTS @ 16" O.C.
SECOND FLOOR: 11 1/8" I-JOISTS @ 16" O.C.
STD. LOADING (PER SQ. FT.): 40' LL, 10' DL
ADDITIONAL LOADING (PER SQ. FT.): 10' TCDL FOR TILE FLOOR
18' TCDL FOR GRANITE
DEFLECTION: LLL/240 D/L/1240
DURATION OF LOAD: 1.00S
- FRAMER TO REFERENCE JOIST/TRUSS LAYOUT PLANS TO VERIFY EXACT SIZE AND LOCATION OF ALL FLUSH HEADERS AND BEAMS IN FLOOR SYSTEM

ROOF SYSTEM:
ENGINEERED WOOD TRUSSES @ 34" O.C.
DESIGNED FOR BROUQU COUNTY - ZONE #2
STD. LOADING (PER SQ. FT.): 30' TOLL, 10' TCDL, 10' BCCL
DEFLECTION: LLL/240 D/L/180
DURATION OF LOAD: 1.15S
- FRAMER TO REFERENCE TRUSS LAYOUT PLANS TO VERIFY EXACT LOCATIONS OF GIRDER TRUSSES AND THEIR RESPECTIVE BEARING REQUIREMENTS & UPLIFT ANCHORING REQUIREMENTS

HEADERS:
- STD. HEADERS: (2) 2X10 HEM-FIR SELECT STRUCTURAL WITH 2X LAYFLAT (SEE DETAIL)
- TOP OF WINDOW R.O.S:
FIRST FLOOR @ 6'-11 3/8" ABOVE SUBFLOOR
SECOND FLOOR @ 6'-11 3/8" ABOVE SUBFLOOR
- MINIMUM OF (2) TRIM STUDS AT EACH END FOR ALL OPENINGS 6'-0" AND LARGER

WINDOWS:
- ALLIANCE VINYL WINDOWS
- MANUFACTURER TO PROVIDE SUPPLIER WITH EXACT R.O.S, SIZES AND DETAILS. SUPPLIER TO VERIFY THAT ALL CODE REQUIREMENTS ARE MET.

GENERAL INFORMATION:
- THE FOLLOWING ITEMS ARE TO BE LOCATED IN THE FOUNDATION BY THE GENERAL CONTRACTOR:
BASEMENT WINDOWS FLOOR DRAINS
ELECTRIC SERVICES WATER HEATER
SUMP PIT & PUMP FURNACE
- BUILDER TO PROVIDE HEADERS AT CONCRETE OPENINGS IF NOT NOTED ON THE FOUNDATION PLAN
- POURED CONCRETE FOOTINGS TO BEAR ON UNDISTURBED SOIL BELOW THE FROST LINE
- STEEL COLUMNS TO SUPPORT 12,000#
- INTERIOR BEARING WALLS TO SIT ON CONTINUOUS CONCRETE FOOTINGS, STUDS @ 16" O.C. WITH BLOCKING OR LATERAL BRACING
- CONCRETE CONTRACTOR AND BUILDER ARE RESPONSIBLE TO DETERMINE SITE SOIL CONDITIONS AND FOLLOW STANDARDS PER 89S 32.24. THE MOST RESTRICTIVE STANDARDS OF 89S 32.15 - 89S 32.18, ACI 318-14, AND ACI 332-14 FOR ALL FOOTING & WALL REINFORCEMENT, IF NEEDED, MUST BE FOLLOWED
- ASSUMED SOIL CAPACITY IS 3,000 PSF, FTG SIZES MUST BE ADJUSTED FOR VARYING SITE DETERMINED SOIL BEARING CONDITIONS
- ALL LUMBER IN PERMANENT CONTACT W/ CONCRETE MUST BE PRESSURE TREATED LUMBER AS PER W/ 89S 32.10
- DUE TO UNKNOWN GRADE CONDITIONS, ACTUAL STEPS IN FOUNDATION WALLS AND LOCATION OF WINDOW WELLS TO BE DETERMINED ON SITE BY GENERAL CONTRACTOR
- FRAMER IS RESPONSIBLE FOR TRANSFERRING POINT LOADS FROM ABOVE, THROUGH THE FLOOR SYSTEM(S) AND WALLS, W/ SOLID BLOCKING DOWN TO CONCRETE FOUNDATION WALLS BELOW
- PLAN IS DRAIN ACCORDINGLY FOR 3/4" CASING
- ALL DIMENSIONS SHOWN ARE FROM STUD TO STUD
- BUILDER TO PROVIDE ATTIC SCUTTLE AND LOCATION
- FIRE SEPARATION MUST BE PROVIDED BETWEEN HOUSE AND GARAGE (SEE CODE FOR DETAILS)
- ALL CABINET LAYOUTS ARE CONCEPTUAL. CONSULT CABINET DESIGNER/ PROVIDER FOR EXACT SIZES AND LOCATIONS OF CABINETS, APPLIANCES, AND WINDOWS



NOTE:
EXTERIOR DIMENSIONS ARE TO FACE OF FOUNDATION WALLS. EXTERIOR FRAMED HOUSE WALLS ARE TO BE HELD OUT 1/2" TO FLUSH WALL SHEATHING OUT WITH 1" FOUNDATION FOAM

FOUNDATION PLAN
SCALE: 1/4" = 1'-0"
8'-0" FOUNDATION WALL HGT.

NOTE:
SUPPLIER OF WINDOW WELL & WINDOW IS RESPONSIBLE FOR MEETING ALL LIGHT & EGRESS REQUIREMENTS PER THE UDC

Greater Green Bay - Habitat For Humanity

CUSTOM DESIGNED FOR: Greater Green Bay - Habitat For Humanity
JOB NAME: 1203 Chicago Street
DATE: April 9, 2019
DRAWN BY: Andy Stank
REVISIONS: 6/7/19 AVS

19-148-T

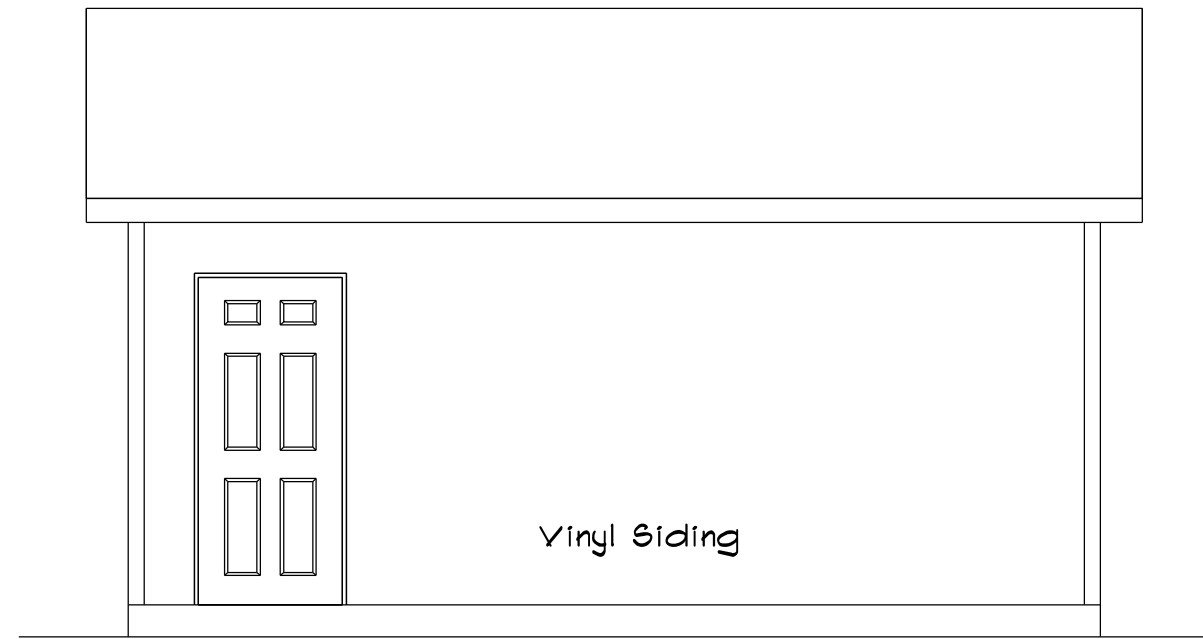
IMPORTANT NOTE:
- IT IS AGREED THAT ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING AND CHECKING THESE PLANS FOR ACCURACY, THE GENERAL CONTRACTOR/OWNER MUST REVIEW ALL DIMENSIONS, DETAILS AND NOTES BEFORE BEGINNING ANY CONSTRUCTION AND IS HEREBY HELD RESPONSIBLE FOR ANY DISCOVERED DISCREPANCIES.
- IT IS UNDERSTOOD THAT THE WISCONSIN SAFETY AND PROFESSIONAL SERVICES CODE AND LAYOUT DRAWINGS FOR FLOOR AND ROOF TRUSSES SHALL TAKE FINAL PRECEDENCE OVER THESE ARCHITECTURAL PLANS.

OFFICE: 11930 LARSEN ROAD GREEN BAY, WI 54303 PHONE (920)456-5080 FAX (920)454-9570
COMPONENTS: ITVS MOBAINE TERRACE GREEN BAY, WI 54303 PHONE (920)456-5094 FAX (920)458-1215

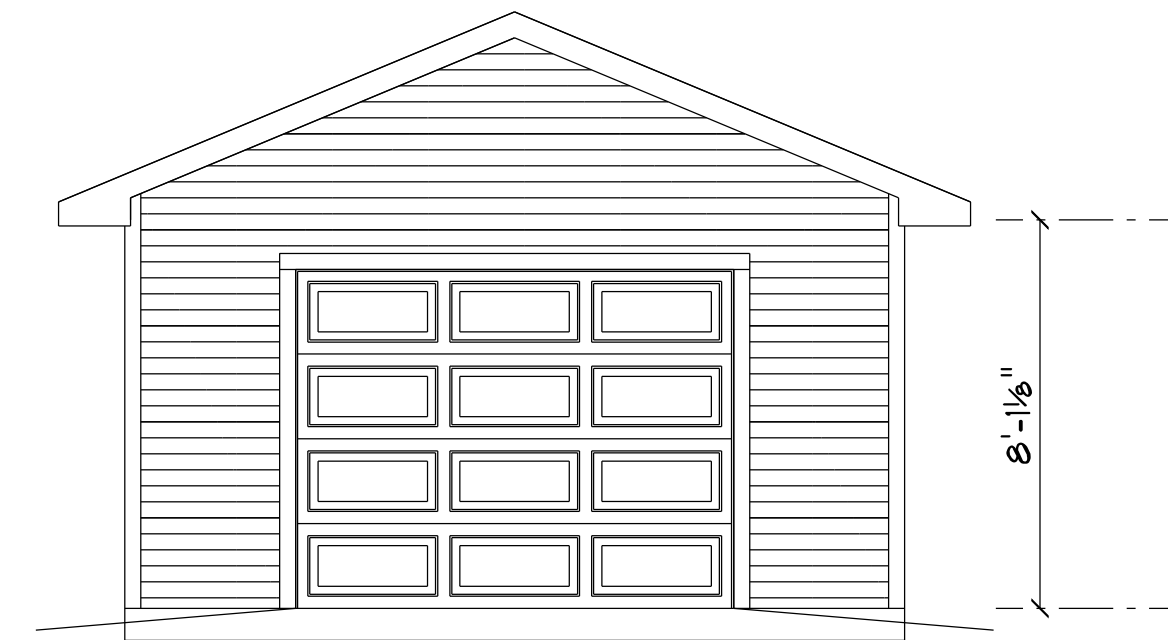
Wisconsin BUILDING SUPPLY



LEFT PLAN
SCALE: 1/4"=1'-0"

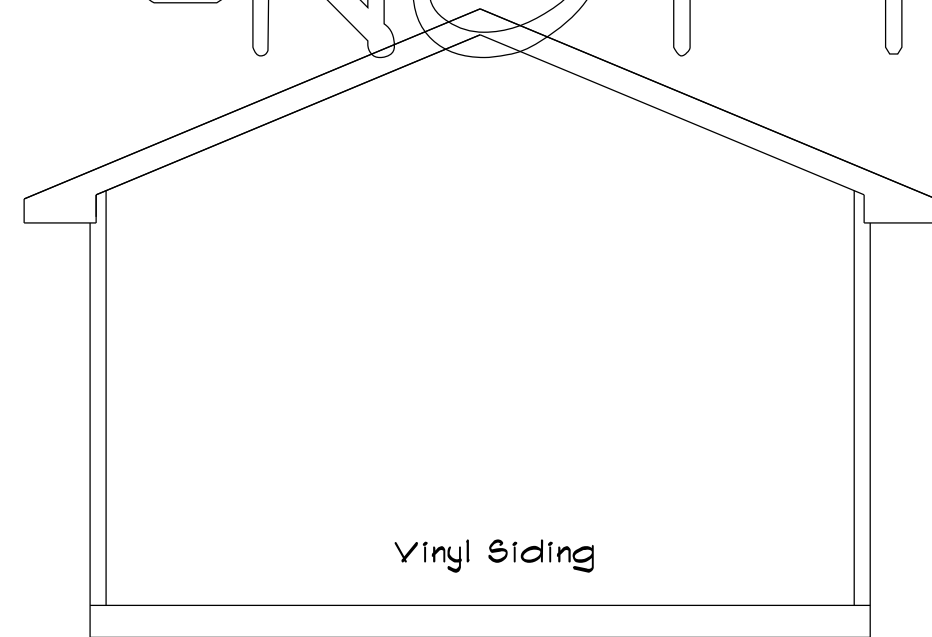


RIGHT PLAN
SCALE: 1/4"=1'-0"

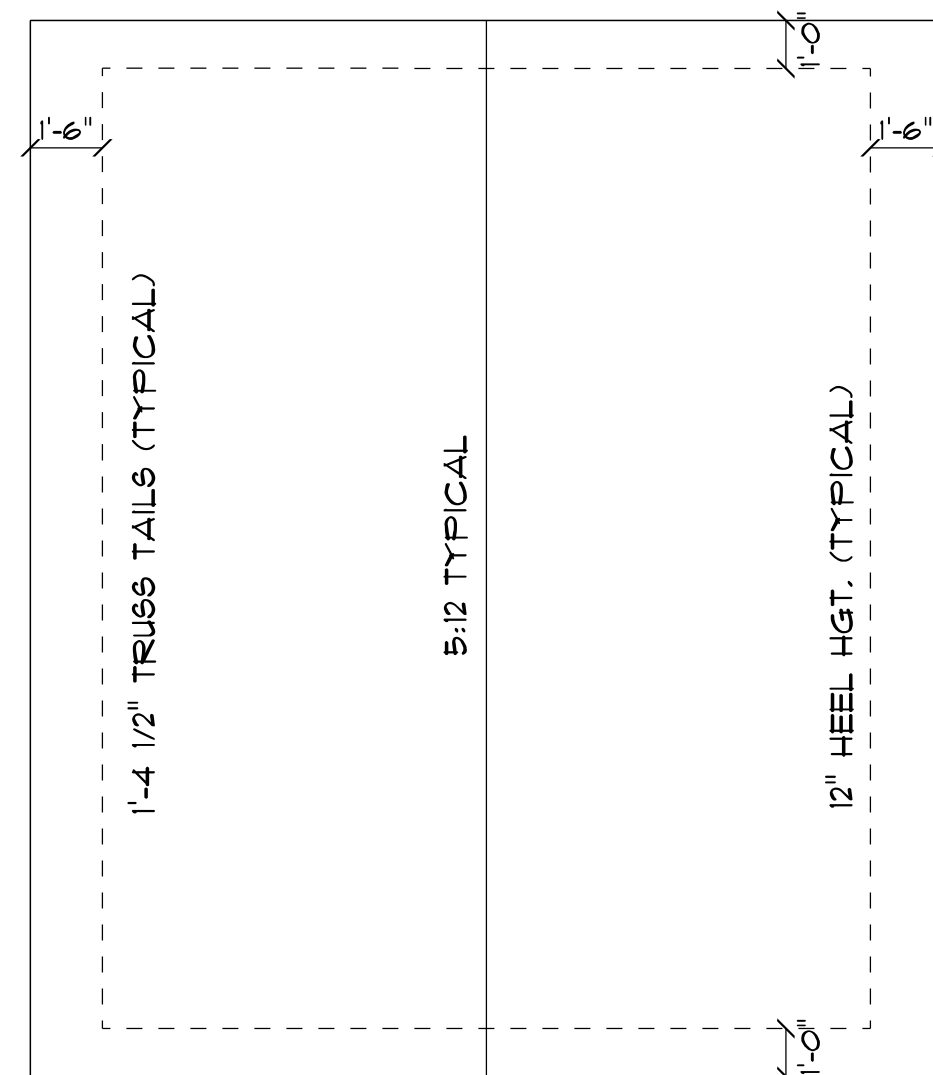


FRONT PLAN
SCALE: 1/4"=1'-0"

-NOT FOR CONSTRUCTION-

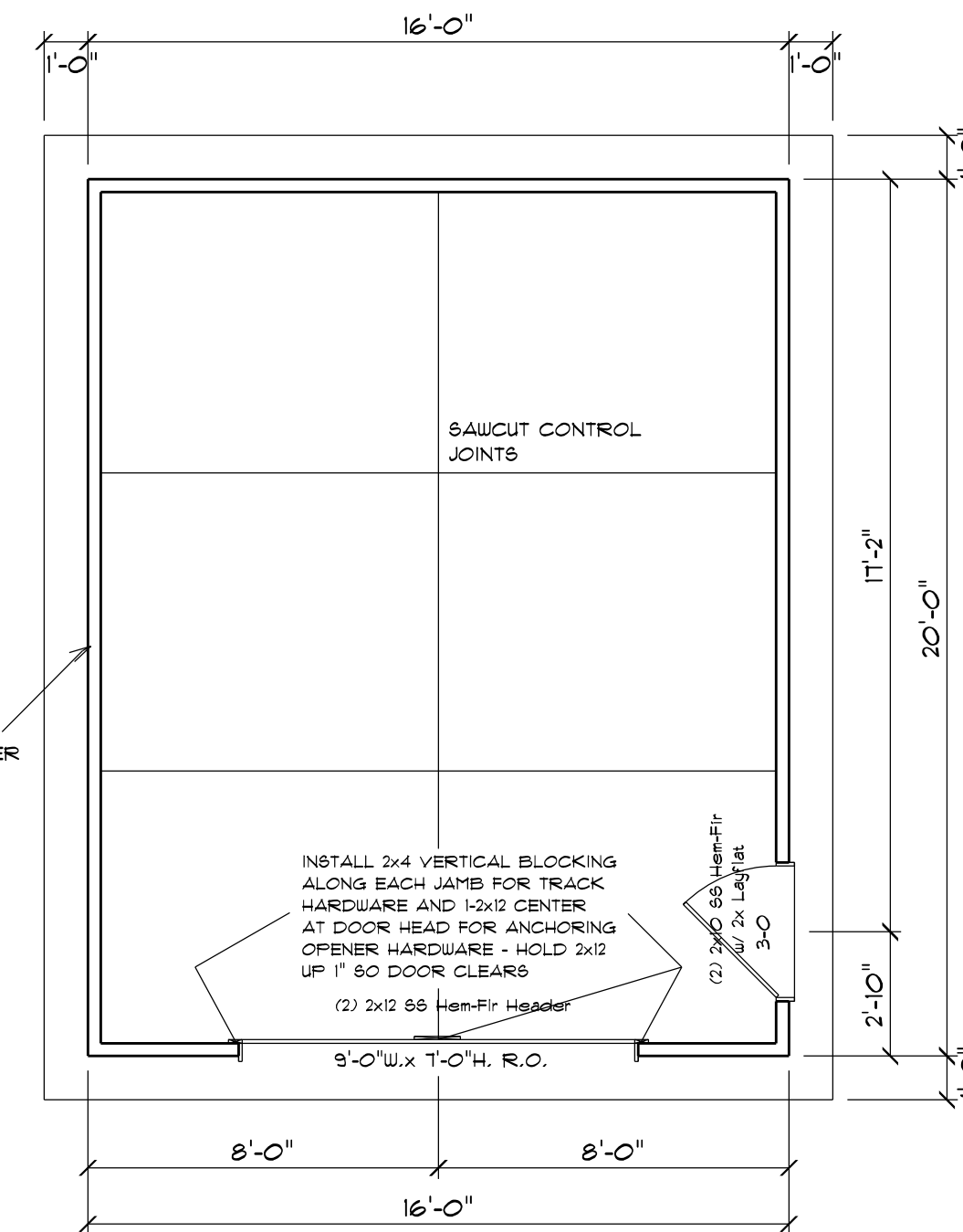


REAR PLAN
SCALE: 1/4"=1'-0"



ROOF PLAN
SCALE: 1/4"=1'-0"

VINYL SIDING OVER
HOUSE WRAP OVER
5/8 3/2" SHEATHING OVER
2 x 4'S @ 16" O.C.



FLOOR PLAN
SCALE: 1/4"=1'-0"

NOTE:
THIS CONSTRUCTION PLAN CURRENTLY DOESN'T NOTATE PROPER WALL BRACING REQUIREMENTS. PLEASE CONTACT LOCAL BUILDING OFFICIAL TO VERIFY IF BRACING IS REQUIRED FOR GARAGE PLAN PRIOR TO APPLYING FOR PERMITS TO INITIATE THE START OF THE WALL BRACING PLAN/CALCULATIONS

CUSTOM DESIGNED FOR:		Greater Green Bay - Habitat For Humanity	
JOB NAME:		1209 Chicago Street	
DATE:		April 9, 2019	
DRAWN BY:		Andy Stalke	
REVISIONS:		6/7/19 AYS	
PLAN #:		19-148-T	
(BASED OFF OF PLAN #6-0817)			

IMPORTANT NOTE:

- IT IS AGREED THAT ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING AND CHECKING THESE PLANS FOR ACCURACY, THE GENERAL CONTRACTOR/OWNER MUST REVIEW ALL DIMENSIONS, DETAILS AND NOTES BEFORE BEGINNING ANY CONSTRUCTION AND IS HEREBY HELD RESPONSIBLE FOR ANY DISCOVERED DISCREPANCIES.
- IT IS UNDERSTOOD THAT THE WISCONSIN SAFETY AND PROFESSIONAL SERVICES CODE AND LAYOUT DRAWINGS FOR FLOOR AND ROOF TRUSSES SHALL TAKE FINAL PRECEDENCE OVER THESE ARCHITECTURAL PLANS.

OFFICE:
11930 LARSEN ROAD
GREEN BAY, WI 54303
PHONE (920)496-5080
FAX (920)494-9510

COMPONENTS:
TIVE MOORINE TERRACE
GREEN BAY, WI 54303
PHONE (920)496-5094
FAX (920)498-1215

MAILING ADDRESS:
P.O. BOX 10001
GREEN BAY, WI 54301-0001

Wisconsin
BUILDING SUPPLY



Report to the
Redevelopment Authority
of the City of Green Bay

MEETING DATE

June 10, 2025

PREPARED BY

Will Peters

AGENDA ITEM # F.6

Consideration with possible action on HOME funding request from Greater Green Bay Habitat for Humanity to build a home at 1319 S. Broadway.

BACKGROUND

Greater Green Bay Habitat for Humanity (Habitat) proposes to build a two-story home with a single-stall detached garage at 1319 S. Broadway, Green Bay, WI 54303. Due to the increasing costs of building materials and labor, Habitat has submitted a HOME funding application requesting gap funding in the amount of \$6,470.00 to construct a six-bedroom, two-and-a-half-bathroom, affordable, single-family home at 1319 S. Broadway.

Staff reviewed the application and recommends the award of \$6,470.00 in gap funding to support this build and make the home affordable.

RECOMMENDATION

Approve HOME funding request from Greater Green Bay Habitat for Humanity to build a home at 1319 S. Broadway.

FISCAL IMPACT

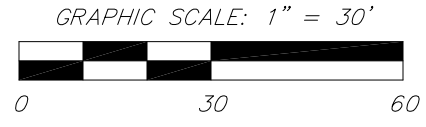
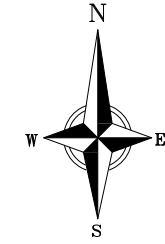
ATTACHMENTS

1. 1319 S. Broadway Site Plan
2. 2 story design for Broadway

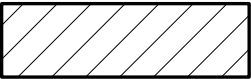
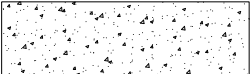
SITE PLAN

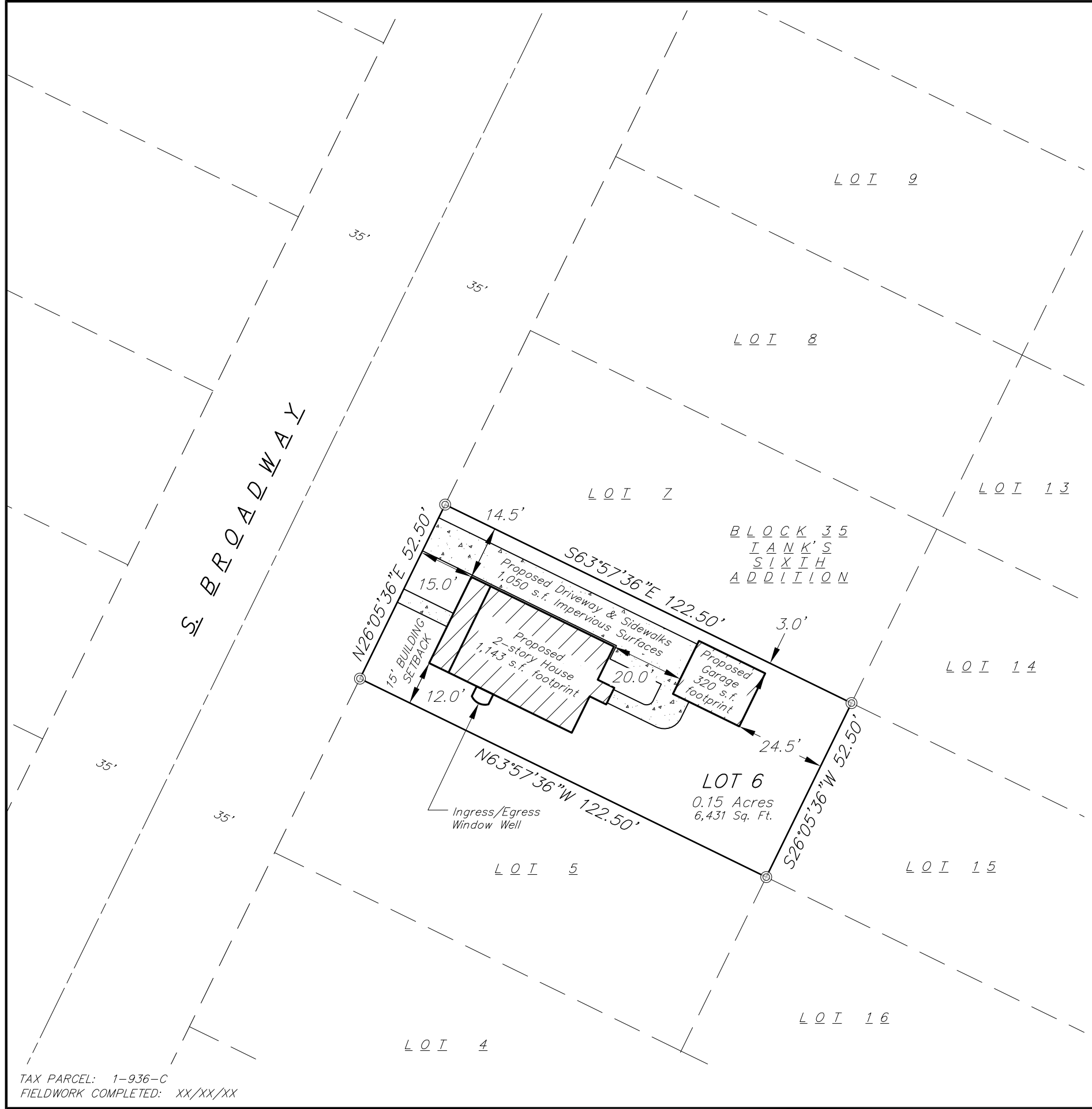
Lot 6, Block 35 of the recorded C.L.A. Tank's 6th Addition, located in Private Claim 9, West Side of Fox River, City of Green Bay, Brown County, Wisconsin.
~ 1319 S. Broadway ~

SHEET
1 OF 1



LEGEND

- ⊙ POINT OF RECORD
-  PROPOSED BUILDING
-  PROPOSED CONCRETE



TAX PARCEL: 1-936-C
FIELDWORK COMPLETED: XX/XX/XX

SURVEYED BY:
Vierbicher Associates, Inc.
400 Security Blvd, Ste 1
Green Bay, WI 54313
(920) 434-9670

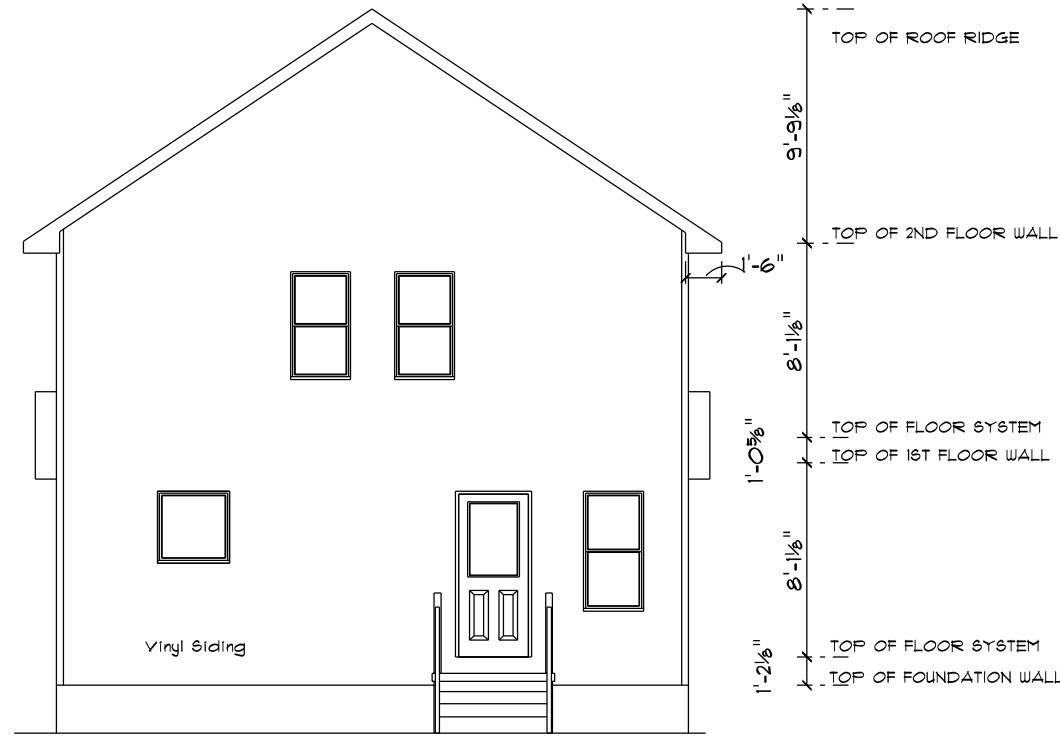
SURVEYED FOR:
Habitat for Humanity
1967 Allouez Ave.
Green Bay, WI 54311
Drawing No.: X-2023

Job #: 250161
Date: 01/28/2025
Rev:
Drafted By: CMUE
Checked By:

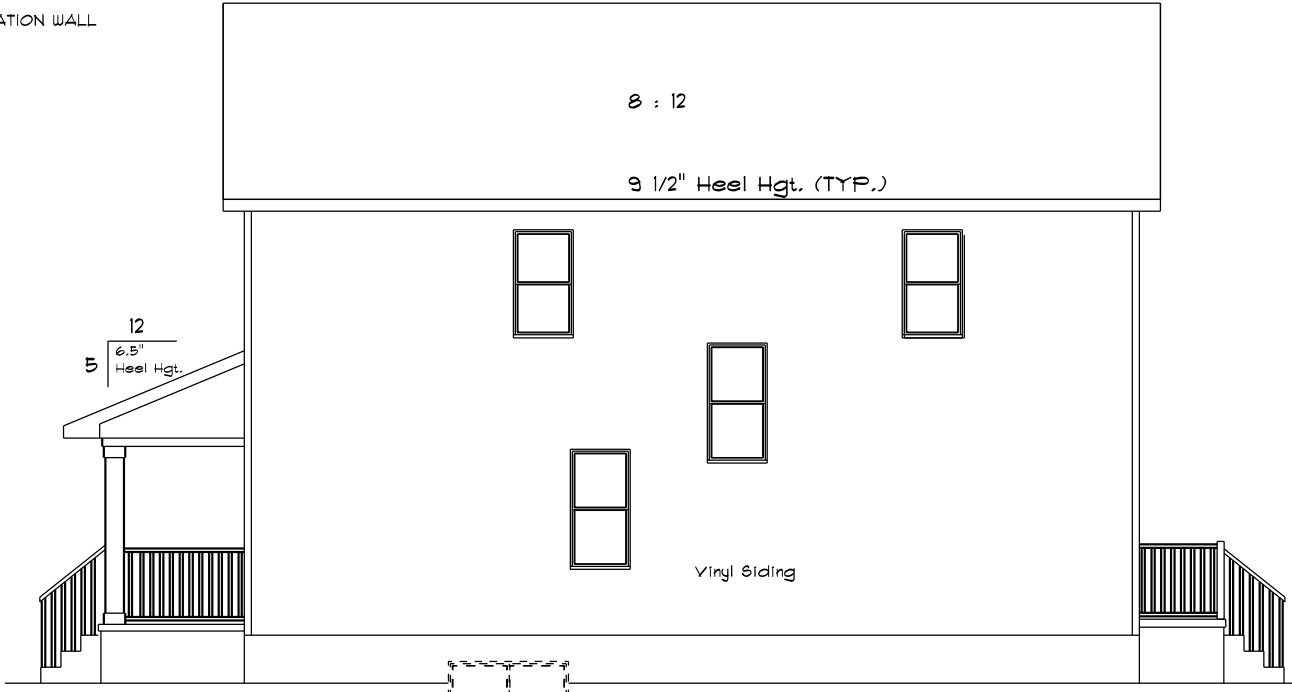


vierbicher
planners | engineers | advisors

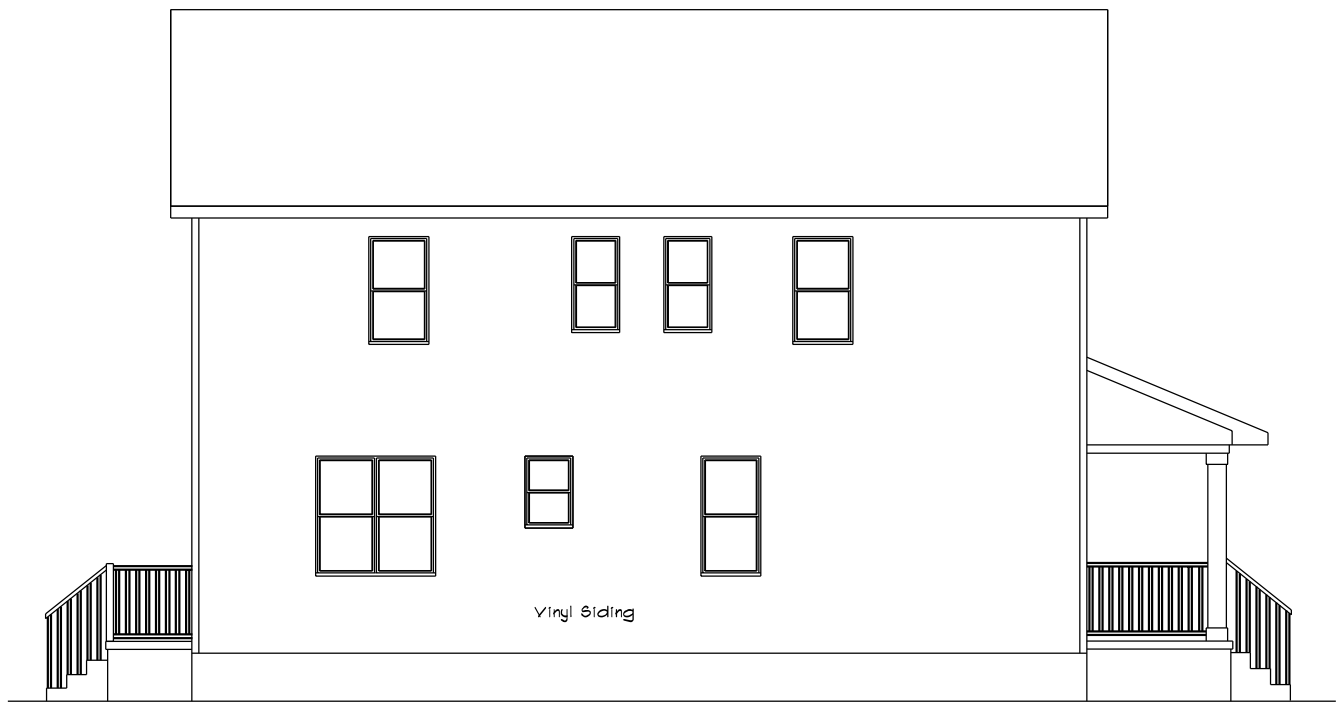
SQUARE FOOTAGE:	
FIRST FLOOR:	967
SECOND FLOOR:	967
FINISHED BASEMENT:	525
COVERED PORCH:	156



REAR ELEVATION
SCALE: 1/8" = 1'-0"



RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



LEFT ELEVATION
SCALE: 1/8" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

NOTE:
THIS CONSTRUCTION PLAN CURRENTLY DOESN'T NOTATE PROPER WALL BRACING REQUIREMENTS. PLEASE CONTACT WISCONSIN BUILDING SUPPLY PRIOR TO APPLYING FOR PERMITS TO INITIATE THE START OF THE WALL BRACING PLAN/CALCULATIONS

CUSTOM DESIGNED FOR:		Greater Green Bay - Habitat For Humanity	
JOB NAME:		1209 Chicago Street	
DATE:		April 9, 2019	
DRAWN BY:		Andy Stanku	
REVISIONS:		6/7/19 AVS	
PLAN #:		19-148-T	
BASED OFF OF PLAN #:		19-148-T	

IMPORTANT NOTE:

- IT IS AGREED THAT ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING AND CHECKING THESE PLANS FOR ACCURACY, THE GENERAL CONTRACTOR/OWNER MUST REVIEW ALL DIMENSIONS, DETAILS AND NOTES BEFORE BEGINNING ANY CONSTRUCTION AND IS HEREBY HELD RESPONSIBLE FOR ANY DISCOVERED DISCREPANCIES.
- IT IS UNDERSTOOD THAT THE WISCONSIN SAFETY AND PROFESSIONAL SERVICES CODE AND LAYOUT DRAWINGS FOR FLOOR AND ROOF TRUSSES SHALL TAKE FINAL PRECEDENCE OVER THESE ARCHITECTURAL PLANS.

OFFICE:
11930 LARSEN ROAD
GREEN BAY, WI 54303
PHONE (920)496-5080
FAX (920)494-9570

COMPONENTS:
1156 MOZINE TERRACE
GREEN BAY, WI 54303
PHONE (920)496-5094
FAX (920)498-1215

MAILING ADDRESS:
P.O. BOX 10001
GREEN BAY, WI 54307-0001

Wisconsin
BUILDING SUPPLY

SQUARE FOOTAGE:

FIRST FLOOR:	967
SECOND FLOOR:	967
FINISHED BASEMENT:	525
COVERED PORCH:	156

PLAN SPECIFICATIONS:

• THE CONDITIONS LISTED BELOW ARE STANDARD FOR THIS PLAN ONLY - EXCEPTIONS ARE NOTED ON THE PLAN ITSELF

WALL INFORMATION:
 HOUSE FOUNDATION:
 8" x 8'-0" FOUNDED CONCRETE
 PORCH/PATIO FOUNDATION:
 8" FOUNDED CONCRETE, MIN. 4'-0" TALL
 HOUSE EXTERIOR:
 FIRST FLOOR: 2 x 6 x 8'-1 1/8", STUDS @ 16" O.C.
 SECOND FLOOR: 2 x 6 x 8'-1 1/8", STUDS @ 16" O.C.
 HOUSE INTERIOR:
 FIRST FLOOR: 2 x 4 x 8'-1 1/8", STUDS @ 16" O.C.
 SECOND FLOOR: 2 x 4 x 8'-1 1/8", STUDS @ 16" O.C.
 - TALL WALLS ARE EXTERIOR WALLS WITH STUDS TALLER THAN 10'-0" AND NEED TO BE DESIGNED BY ENGINEERED WOOD PRODUCTS SUPPLIER
 - TAPERED WALLS ARE TO BE FRAMED TO UNDERSIDE OF SCISSORS ROOF TRUSSES

STAIR INFORMATION:
 BASEMENT TO FIRST FLOOR:
 14 RISERS @ 7 3/16" - 13 TREADS @ 9"
 FIRST FLOOR TO SECOND FLOOR:
 14 RISERS @ 7 13/16" - 13 TREADS @ 9"

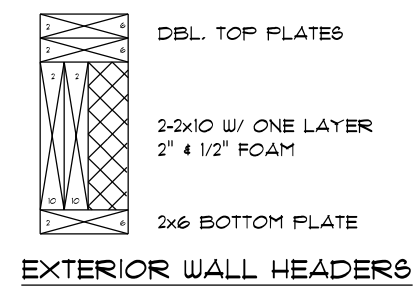
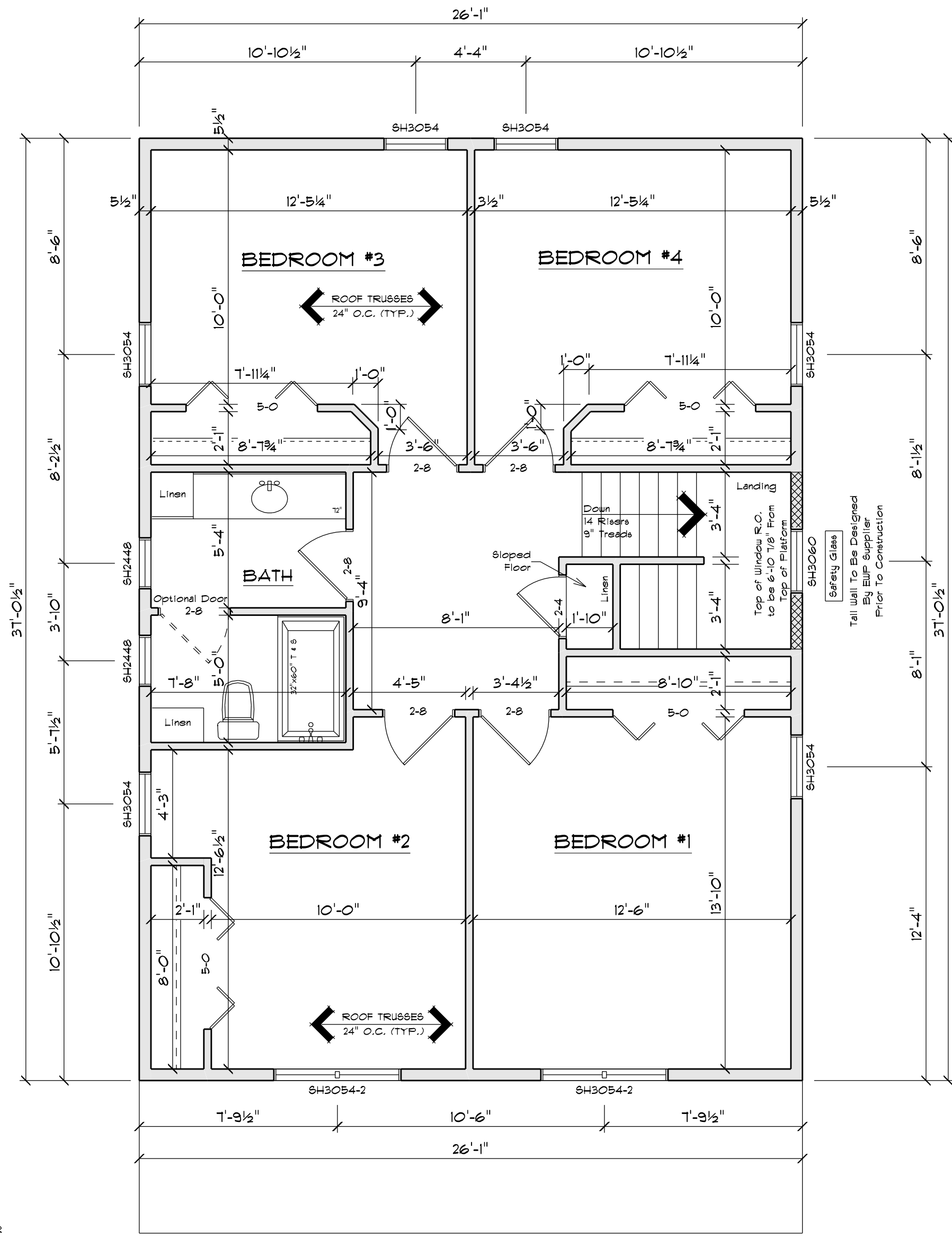
FLOOR SYSTEM(S):
 BASEMENT:
 4" REINFORCED CONCRETE SLAB
 FIRST FLOOR:
 11 1/8" JOISTS @ 16" O.C.
 SECOND FLOOR:
 11 1/8" JOISTS @ 16" O.C.
 STD. LOADING (PER SQ. FT.):
 40* LL, 10* DL
 ADDITIONAL LOADING (PER SQ. FT.):
 10* TCDL FOR TILE FLOOR
 8* TCDL FOR GRANITE
 DEFLECTION: LL4/L240 DL4/L240
 DURATION OF LOAD: 1.00%
 - FRAMER TO REFERENCE JOIST/TRUSS LAYOUT PLANS TO VERIFY EXACT SIZE AND LOCATION OF ALL FLUSH HEADERS AND BEAMS IN FLOOR SYSTEM

ROOF SYSTEM:
 ENGINEERED WOOD TRUSSES @ 24" O.C.
 DESIGNED FOR BROUIN COUNTY - ZONE #2
 STD. LOADING (PER SQ. FT.):
 30* TCDL, 10* BCDL
 DEFLECTION: LL4/L240 DL4/L180
 DURATION OF LOAD: 1.5%
 - FRAMER TO REFERENCE TRUSS LAYOUT PLANS TO VERIFY EXACT LOCATIONS OF GIRDER TRUSSES AND THEIR RESPECTIVE BEARING REQUIREMENTS & UPLIFT ANCHORING REQUIREMENTS

HEADERS:
 - STD. HEADERS: (2) 2X10 HEM-FIR SELECT STRUCTURAL WITH 2X LAYFLAT (SEE DETAIL)
 - TOP OF WINDOW R.O.S.
 FIRST FLOOR @ 6'-11 3/8" ABOVE SUBFLOOR
 SECOND FLOOR @ 6'-11 3/8" ABOVE SUBFLOOR
 - MINIMUM OF (2) TRIM STUDS AT EACH END FOR ALL OPENINGS 6'-0" AND LARGER

WINDOWS:
 - ALLIANCE VINYL WINDOWS
 - MANUFACTURER TO PROVIDE SUPPLIER WITH EXACT R.O. SIZES AND DETAILS. SUPPLIER TO VERIFY THAT ALL CODE REQUIREMENTS ARE MET.

GENERAL INFORMATION:
 - THE FOLLOWING ITEMS ARE TO BE LOCATED IN THE FOUNDATION BY THE GENERAL CONTRACTOR:
 BASEMENT WINDOWS FLOOR DRAINS
 ELECTRIC SERVICES WATER HEATER
 SUMP PIT & PUMP FURNACE
 - BUILDER TO PROVIDE HEADERS AT CONCRETE OPENINGS IF NOT NOTED ON THE FOUNDATION PLAN
 - POURED CONCRETE FOOTINGS TO BEAR ON UNDISTURBED SOIL BELOW THE FROST LINE
 - STEEL COLUMNS TO SUPPORT 12,000#
 - INTERIOR BEARING WALLS TO SIT ON CONTINUOUS CONCRETE FOOTINGS, STUDS @ 16" O.C. WITH BLOCKING OR LATERAL BRACING
 - CONCRETE CONTRACTOR AND BUILDER ARE RESPONSIBLE TO DETERMINE SITE SOIL CONDITIONS AND FOLLOW STANDARDS PER SPS 330.24. THE MOST RESTRICTIVE STANDARDS OF SPS 312.15 - SPS 321.18, ACI 318-14, AND ACI 332-14 FOR ALL FOOTING & WALL REINFORCEMENT, IF NEEDED, MUST BE FOLLOWED
 - ASSUMED SOIL CAPACITY IS 3,000 PSF, FTG SIZES MUST BE ADJUSTED FOR VARYING SITE DETERMINED SOIL BEARING CONDITIONS
 - ALL LUMBER IN PERMANENT CONTACT W/ CONCRETE MUST BE PRESSURE TREATED LUMBER AS PER WI SPS 321.10
 - DUE TO UNKNOWN GRADE CONDITIONS, ACTUAL STEPS IN FOUNDATION WALLS AND LOCATION OF WINDOW WELLS TO BE DETERMINED ON SITE BY GENERAL CONTRACTOR
 - FRAMER IS RESPONSIBLE FOR TRANSFERRING POINT LOADS FROM ABOVE, THROUGH THE FLOOR SYSTEM(S) AND WALLS, W/ SOLID BLOCKING DOWN TO CONCRETE FOUNDATION WALLS BELOW
 - PLAN IS DRAIN ACCORDINGLY FOR 3 1/4" CASING
 - ALL DIMENSIONS SHOWN ARE FROM STUD TO STUD
 - BUILDER TO PROVIDE ATTIC SCUTTLE AND LOCATION
 - FIRE SEPARATION MUST BE PROVIDED BETWEEN HOUSE AND GARAGE (SEE CODE FOR DETAILS)
 - ALL CABINET LAYOUTS ARE CONCEPTUAL. CONSULT CABINET DESIGNER/ PROVIDER FOR EXACT SIZES AND LOCATIONS OF CABINETS, APPLIANCES, AND WINDOWS



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"
 8'-1 1/8" CLG. HGT.

NOTE:
 EXTERIOR DIMENSIONS ARE SHOWN TO REFLECT HOUSE FRAMING WALLS HELD OUT 1/2" FOR EXTERIOR WALL SHEATHING TO FLUSH OUT WITH 1" FOUNDATION FOAM.

CUSTOM DESIGNED FOR: **Greater Green Bay - Habitat For Humanity**

JOB NAME: 1209 Chicago Street

DATE: April 9, 2019

DRAWN BY: Andy Stank

REVISIONS: 6/7/19 AVS

PLAN #: 19-148-T
 (BASED OFF OF PLAN #6-0917)

IMPORTANT NOTE:

• IT IS AGREED THAT ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING AND CHECKING THESE PLANS FOR ACCURACY, THE GENERAL CONTRACTOR/OWNER MUST REVIEW ALL DIMENSIONS, DETAILS AND NOTES BEFORE BEGINNING ANY CONSTRUCTION AND IS HEREBY HELD RESPONSIBLE FOR ANY DISCOVERED DISCREPANCIES.

• IT IS UNDERSTOOD THAT THE WISCONSIN SAFETY AND PROFESSIONAL SERVICES CODE AND LATEST DRAWINGS FOR FLOOR AND ROOF TRUSSES SHALL TAKE FINAL PRECEDENCE OVER THESE ARCHITECTURAL PLANS.

OFFICE:
 11990 LARSEN ROAD
 GREEN BAY, WI 54303
 PHONE (920)496-5080
 FAX (920)494-9510

COMPONENTS:
 ITVS MORAZINE TERRACE
 GREEN BAY, WI 54303
 PHONE (920)496-5094
 FAX (920)498-1215

MAILING ADDRESS:
 P.O. BOX 10001
 GREEN BAY, WI 54307-0001

Wisconsin
 BUILDING SUPPLY

SQUARE FOOTAGE:

FIRST FLOOR:	967
SECOND FLOOR:	967
FINISHED BASEMENT:	525
COVERED PORCH:	156

PLAN SPECIFICATIONS:

- THE CONDITIONS LISTED BELOW ARE STANDARD FOR THIS PLAN ONLY - EXCEPTIONS ARE NOTED ON THE PLAN ITSELF

WALL INFORMATION:

HOUSE FOUNDATION:
8' x 8'-0" FOURED CONCRETE

PORCH/PATIO FOUNDATION:
8" FOURED CONCRETE, MIN. 4'-0" TALL

HOUSE EXTERIOR:
FIRST FLOOR: 2 x 6 x 8'-1 1/8" STUDS @ 16" O.C.
SECOND FLOOR: 2 x 6 x 8'-1 1/8" STUDS @ 16" O.C.

HOUSE INTERIOR:
FIRST FLOOR: 2 x 4 x 8'-1 1/8" STUDS @ 16" O.C.
SECOND FLOOR: 2 x 4 x 8'-1 1/8" STUDS @ 16" O.C.

- TALL WALLS ARE EXTERIOR WALLS WITH STUDS TALLER THAN 10'-0" AND NEED TO BE DESIGNED BY ENGINEERED WOOD PRODUCTS SUPPLIER
- TAPERED WALLS ARE TO BE FRAMED TO UNDERSIDE OF SCISSORS ROOF TRUSSES

STAIR INFORMATION:

BASEMENT TO FIRST FLOOR:
14 RISERS @ 7 3/16" - 13 TREADS @ 9"

FIRST FLOOR TO SECOND FLOOR:
14 RISERS @ 7 3/16" - 13 TREADS @ 9"

FLOOR SYSTEM(S):

BASEMENT:
4" REINFORCED CONCRETE SLAB

FIRST FLOOR:
11 1/8" I-JOISTS @ 16" O.C.

SECOND FLOOR:
11 1/8" I-JOISTS @ 16" O.C.
STD. LOADING (PER SQ. FT.)
40' LL, 10' DL
ADDITIONAL LOADING (PER SQ. FT.)
10' TCDL FOR TILE FLOOR
25' TCDL FOR GRANITE
DEFLECTION: LLL/240 D/L/1240
DURATION OF LOAD: 1.00%

- FRAMER TO REFERENCE JOIST/TRUSS LAYOUT PLANS TO VERIFY EXACT SIZE AND LOCATION OF ALL FLUSH HEADERS AND BEAMS IN FLOOR SYSTEM

ROOF SYSTEM:

ENGINEERED WOOD TRUSSES @ 24" O.C.
DESIGNED FOR BROUQU COUNTY - ZONE #2
STD. LOADING (PER SQ. FT.)
30' TCDL, 10' TCDL, 10' BC/DL
DEFLECTION: LLL/240 D/L/180
DURATION OF LOAD: 1.15%

- FRAMER TO REFERENCE TRUSS LAYOUT PLANS TO VERIFY EXACT LOCATIONS OF GIRDER TRUSSES AND THEIR RESPECTIVE BEARING REQUIREMENTS & UPLIFT ANCHORING REQUIREMENTS

HEADERS:

- STD. HEADERS: (2) 2X10 HEM-FIR SELECT STRUCTURAL WITH 2X LAYFLAT (SEE DETAIL)

TOP OF WINDOW R.O.S:

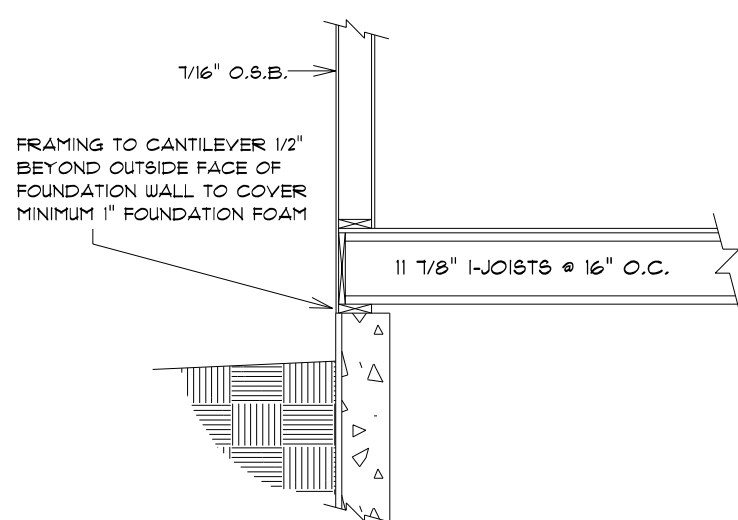
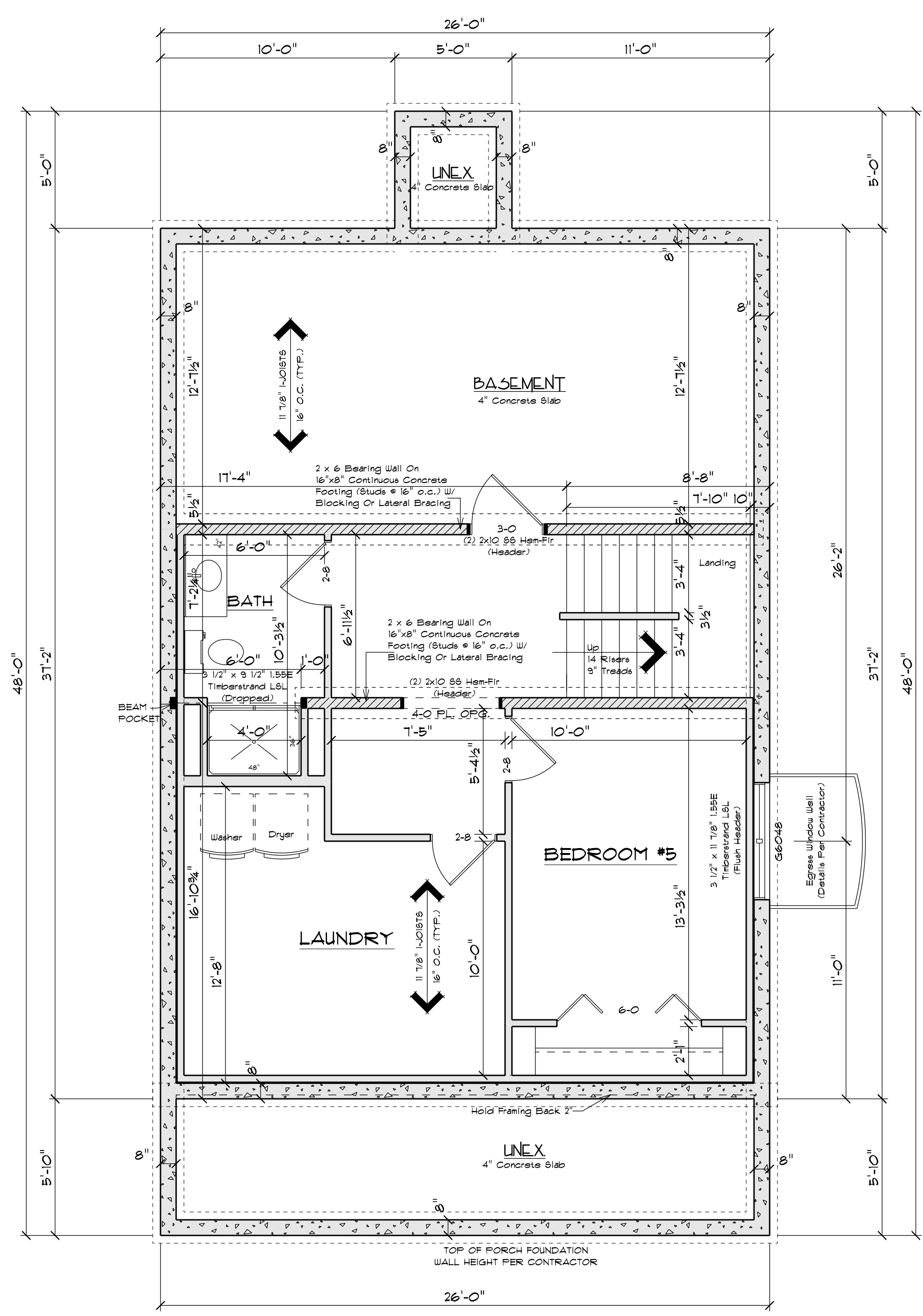
- FIRST FLOOR @ 6'-11 3/8" ABOVE SUBFLOOR
- SECOND FLOOR @ 6'-11 3/8" ABOVE SUBFLOOR
- MINIMUM OF (2) TRIM STUDS AT EACH END FOR ALL OPENINGS 6'-0" AND LARGER

WINDOWS:

- ALLIANCE VINYL WINDOWS
- MANUFACTURER TO PROVIDE SUPPLIER WITH EXACT R.O.S, SIZES AND DETAILS. SUPPLIER TO VERIFY THAT ALL CODE REQUIREMENTS ARE MET.

GENERAL INFORMATION:

- THE FOLLOWING ITEMS ARE TO BE LOCATED IN THE FOUNDATION BY THE GENERAL CONTRACTOR:
BASEMENT WINDOWS FLOOR DRAINS
ELECTRIC SERVICES WATER HEATER
SUMP PIT & PUMP FURNACE
- BUILDER TO PROVIDE HEADERS AT CONCRETE OPENINGS IF NOT NOTED ON THE FOUNDATION PLAN
- FOURED CONCRETE FOOTINGS TO BEAR ON UNDISTURBED SOIL BELOW THE FROST LINE
- STEEL COLUMNS TO SUPPORT 12,000#
- INTERIOR BEARING WALLS TO SIT ON CONTINUOUS CONCRETE FOOTINGS, STUDS @ 16" O.C. WITH BLOCKING OR LATERAL BRACING
- CONCRETE CONTRACTOR AND BUILDER ARE RESPONSIBLE TO DETERMINE SITE SOIL CONDITIONS AND FOLLOW STANDARDS PER 898 321.24. THE MOST RESTRICTIVE STANDARDS OF 898 321.15 - 898 321.18, ACI 318-14, AND ACI 332-14 FOR ALL FOOTING & WALL REINFORCEMENT, IF NEEDED, MUST BE FOLLOWED
- ASSUMED SOIL CAPACITY IS 3,000 PSF, FTG SIZES MUST BE ADJUSTED FOR VARYING SITE DETERMINED SOIL BEARING CONDITIONS
- ALL LUMBER IN PERMANENT CONTACT W/ CONCRETE MUST BE PRESSURE TREATED LUMBER AS PER W/ 898 321.10
- DUE TO UNKNOWN GRADE CONDITIONS, ACTUAL STEPS IN FOUNDATION WALLS AND LOCATION OF WINDOW WELLS TO BE DETERMINED ON SITE BY GENERAL CONTRACTOR
- FRAMER IS RESPONSIBLE FOR TRANSFERRING POINT LOADS FROM ABOVE, THROUGH THE FLOOR SYSTEM(S) AND WALLS, W/ SOLID BLOCKING DOWN TO CONCRETE FOUNDATION WALLS BELOW
- PLAN IS DRAIN ACCORDINGLY FOR 3/4" CASING
- ALL DIMENSIONS SHOWN ARE FROM STUD TO STUD
- BUILDER TO PROVIDE ATTIC SCUTTLE AND LOCATION
- FIRE SEPARATION MUST BE PROVIDED BETWEEN HOUSE AND GARAGE (SEE CODE FOR DETAILS)
- ALL CABINET LAYOUTS ARE CONCEPTUAL. CONSULT CABINET DESIGNER/ PROVIDER FOR EXACT SIZES AND LOCATIONS OF CABINETS, APPLIANCES, AND WINDOWS



NOTE:
EXTERIOR DIMENSIONS ARE TO FACE OF FOUNDATION WALLS. EXTERIOR FRAMED HOUSE WALLS ARE TO BE HELD OUT 1/2" TO FLUSH WALL SHEATHING OUT WITH 1" FOUNDATION FOAM

FOUNDATION PLAN
SCALE: 1/4" = 1'-0"
8'-0" FOUNDATION WALL HGT.

NOTE:
SUPPLIER OF WINDOW WELL & WINDOW IS RESPONSIBLE FOR MEETING ALL LIGHT & EGRESS REQUIREMENTS PER THE UDC

Greater Green Bay - Habitat For Humanity

CUSTOM DESIGNED FOR: Greater Green Bay - Habitat For Humanity
JOB NAME: 1203 Chicago Street
DATE: April 9, 2019
DRAWN BY: Andy Stank
REVISIONS: 6/7/19 AVS

19-148-T
PLAN #:
(BASED OFF OF PLAN #16-0817)

IMPORTANT NOTE:

- IT IS AGREED THAT ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING AND CHECKING THESE PLANS FOR ACCURACY, THE GENERAL CONTRACTOR/OWNER MUST REVIEW ALL DIMENSIONS, DETAILS AND NOTES BEFORE BEGINNING ANY CONSTRUCTION AND IS HEREBY HELD RESPONSIBLE FOR ANY DISCOVERED DISCREPANCIES.
- IT IS UNDERSTOOD THAT THE WISCONSIN SAFETY AND PROFESSIONAL SERVICES CODE AND LAYOUT DRAWINGS FOR FLOOR AND ROOF TRUSSES SHALL TAKE FINAL PRECEDENCE OVER THESE ARCHITECTURAL PLANS.

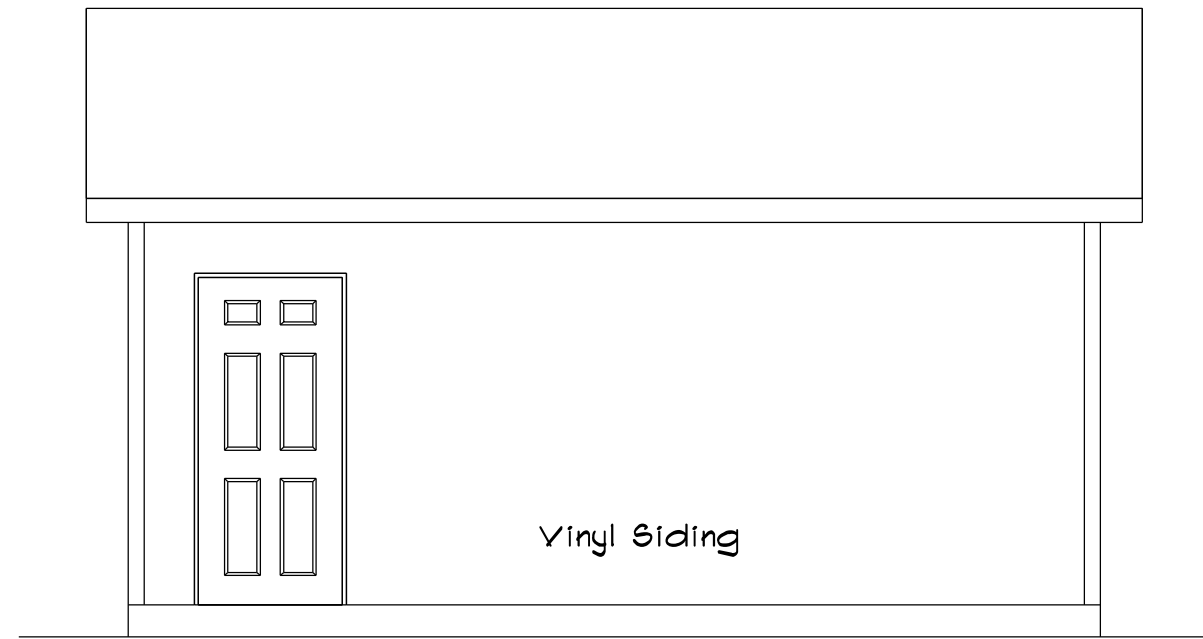
OFFICE: 11930 LARSEN ROAD
GREEN BAY, WI 54303
PHONE (920)456-5080
FAX (920)454-9510

COMPONENTS:
ITV MOZAIN TERRACE
GREEN BAY, WI 54303
PHONE (920)456-5094
FAX (920)458-1215

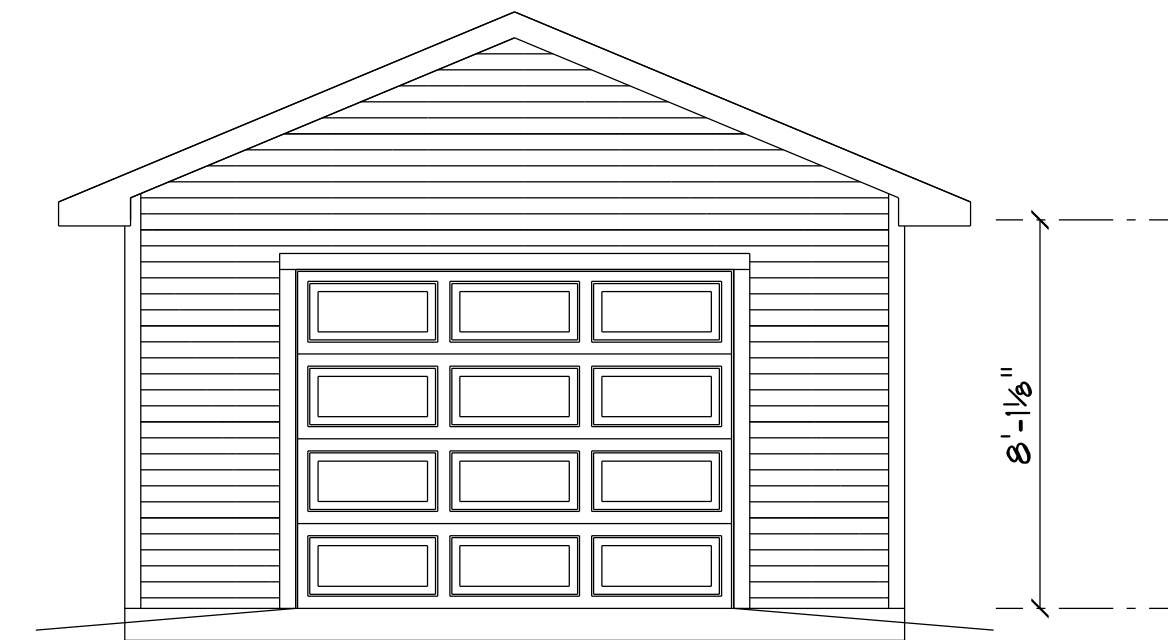
Wisconsin
BUILDING SUPPLY



LEFT PLAN
SCALE: 1/4"=1'-0"

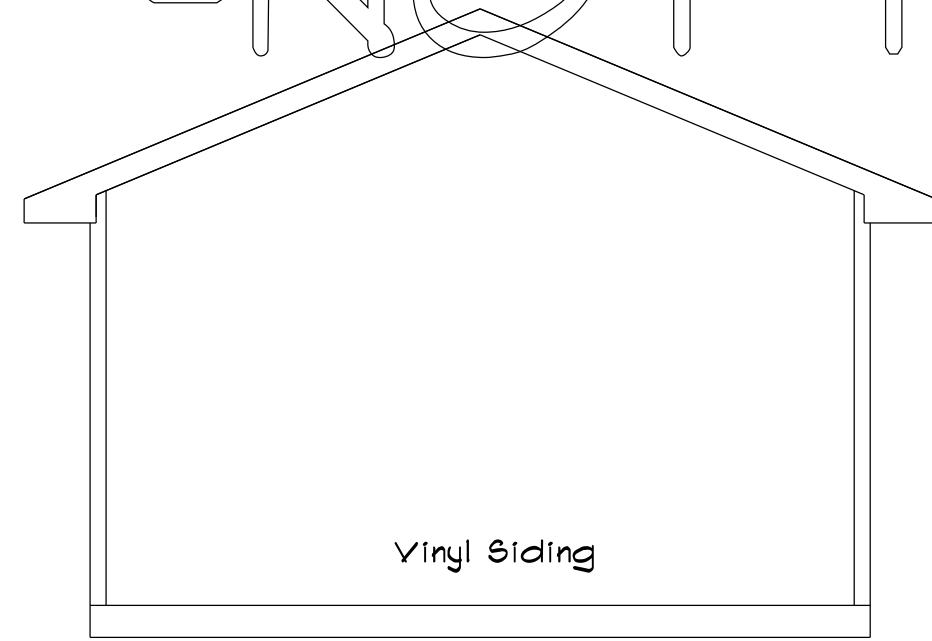


RIGHT PLAN
SCALE: 1/4"=1'-0"

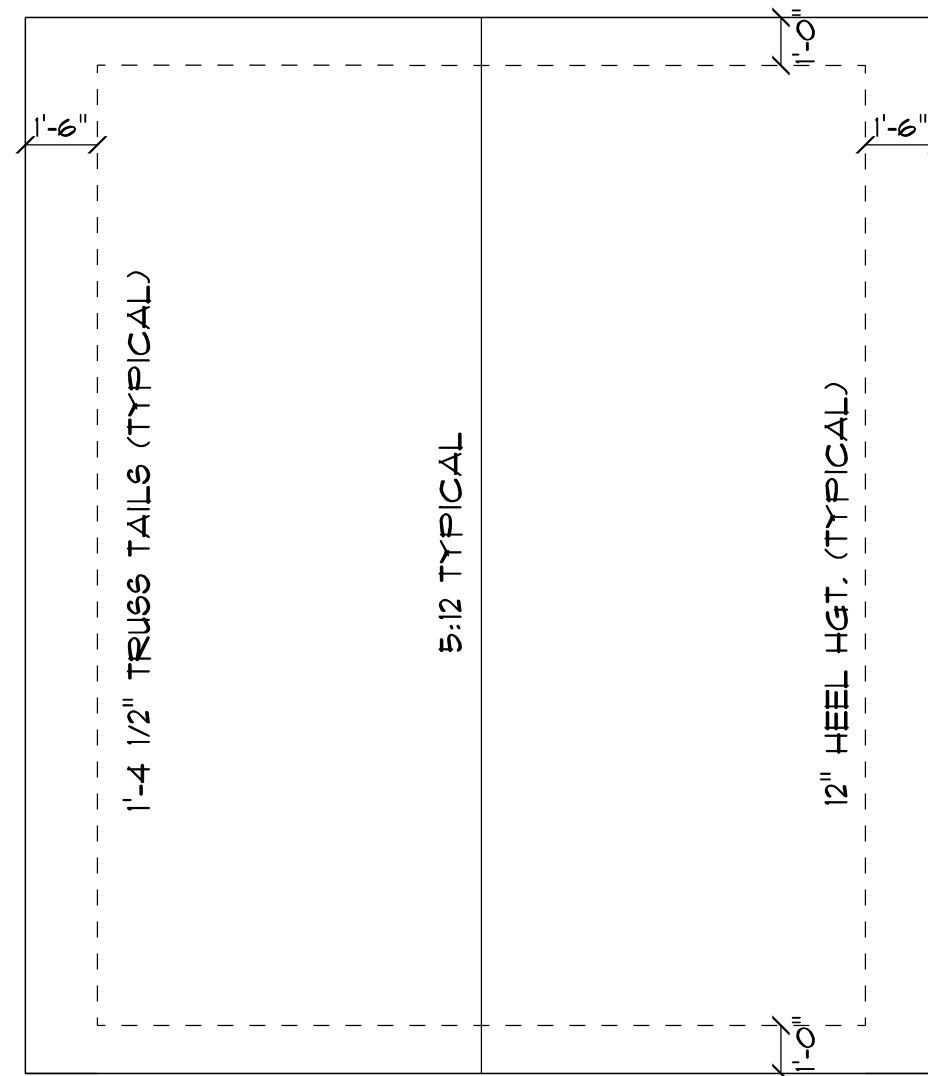


FRONT PLAN
SCALE: 1/4"=1'-0"

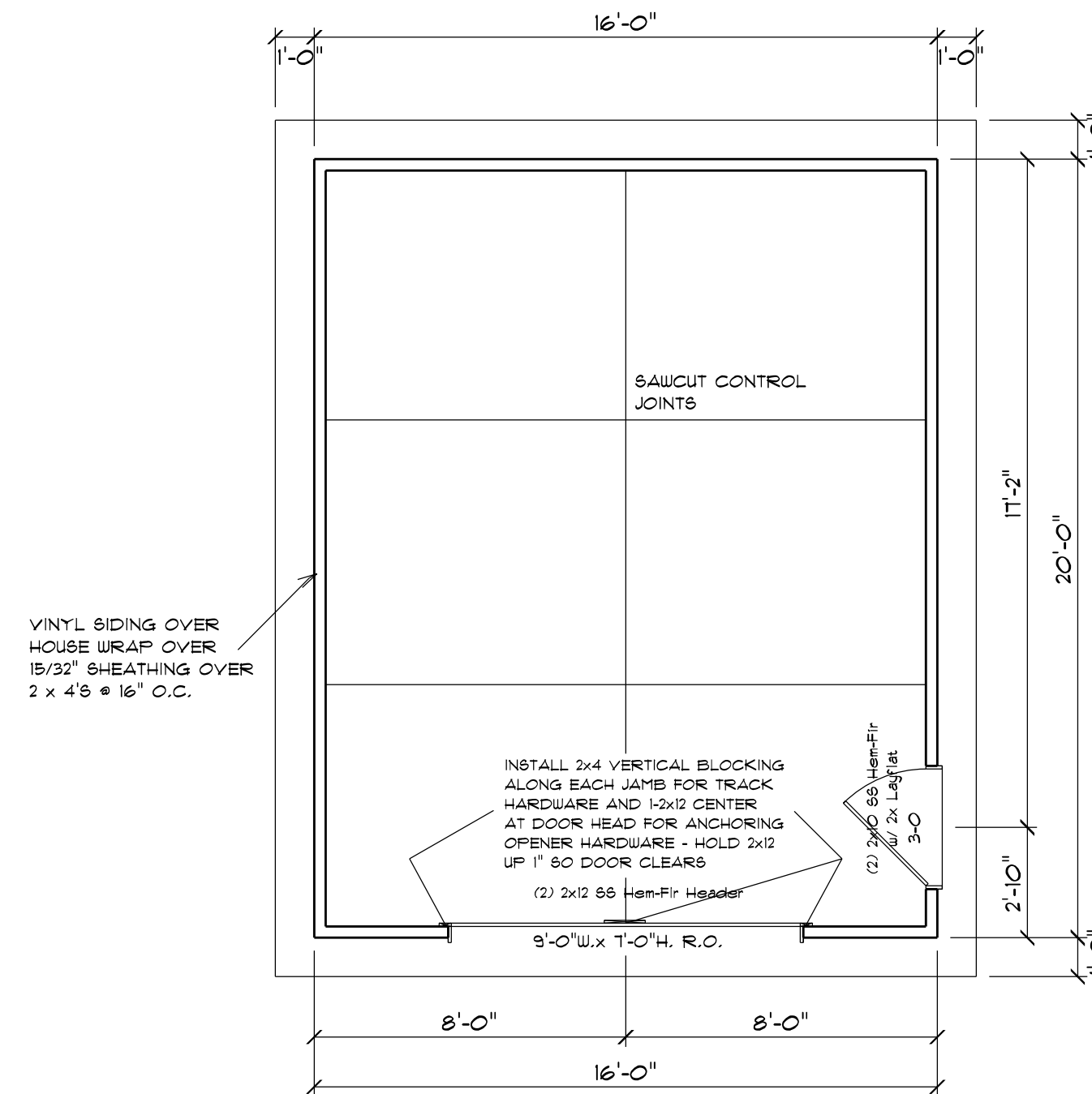
-NOT FOR CONSTRUCTION-



REAR PLAN
SCALE: 1/4"=1'-0"



ROOF PLAN
SCALE: 1/4"=1'-0"



FLOOR PLAN
SCALE: 1/4"=1'-0"

NOTE:

THIS CONSTRUCTION PLAN CURRENTLY DOESN'T NOTATE PROPER WALL BRACING REQUIREMENTS. PLEASE CONTACT LOCAL BUILDING OFFICIAL TO VERIFY IF BRACING IS REQUIRED FOR GARAGE PLAN PRIOR TO APPLYING FOR PERMITS TO INITIATE THE START OF THE WALL BRACING PLAN/CALCULATIONS

CUSTOM DESIGNED FOR:
Greater Green Bay - Habitat For Humanity

JOB NAME: 1209 Chicago Street

DATE: April 9, 2019

DRAWN BY: Andy Stalke

REVISIONS: 6/7/19 AYS

PLAN #: 19-148-T
(BASED OFF OF PLAN #6-0817)

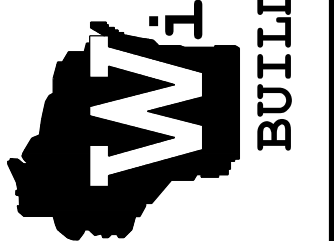
IMPORTANT NOTE:

- IT IS AGREED THAT ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING AND CHECKING THESE PLANS FOR ACCURACY, THE GENERAL CONTRACTOR/OWNER MUST REVIEW ALL DIMENSIONS, DETAILS AND NOTES BEFORE BEGINNING ANY CONSTRUCTION AND IS HEREBY HELD RESPONSIBLE FOR ANY DISCOVERED DISCREPANCIES.
- IT IS UNDERSTOOD THAT THE WISCONSIN SAFETY AND PROFESSIONAL SERVICES CODE AND LAYOUT DRAWINGS FOR FLOOR AND ROOF TRUSSES SHALL TAKE FINAL PRECEDENCE OVER THESE ARCHITECTURAL PLANS.

OFFICE:
11930 LARSEN ROAD
GREEN BAY, WI 54303
PHONE (920)496-5080
FAX (920)494-9510

COMPONENTS:
TIVE MOORINE TERRACE
GREEN BAY, WI 54303
PHONE (920)496-5094
FAX (920)498-1215

MAILING ADDRESS:
P.O. BOX 10001
GREEN BAY, WI 54301-0001





Report to the
Redevelopment Authority
of the City of Green Bay

MEETING DATE

June 10, 2025

PREPARED BY

Will Peters

AGENDA ITEM # F.7

Consideration with possible action on HOME funding request from Greater Green Bay Habitat for Humanity to build a home at 1321 S. Broadway.

BACKGROUND

Greater Green Bay Habitat for Humanity (Habitat) proposes to build a single-story home with a single-stall detached garage at 1321 S. Broadway, Green Bay, WI 54303. Due to the increasing costs of building materials and labor, Habitat has submitted a HOME funding application requesting gap funding in the amount of \$30,470.00 to construct a two-bedroom, one-bathroom, affordable, single-family home at 1321 S. Broadway.

Staff reviewed the application and recommends the award of \$30,470.00 in gap funding to support this build and make the home affordable.

RECOMMENDATION

Approve HOME funding request from Greater Green Bay Habitat for Humianity to build a home at 1321 S Broadway.

FISCAL IMPACT

ATTACHMENTS

1. 1321 S. Broadway Site Plan
2. 2.4 bedroom home design

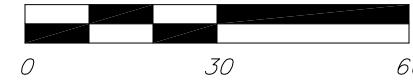
SITE PLAN

Lot 5, Block 35 of the recorded C.L.A. Tank's 6th Addition, located in Private Claim 9, West Side of Fox River, City of Green Bay, Brown County, Wisconsin.
~ 1321 S. Broadway ~

SHEET
1 OF 1

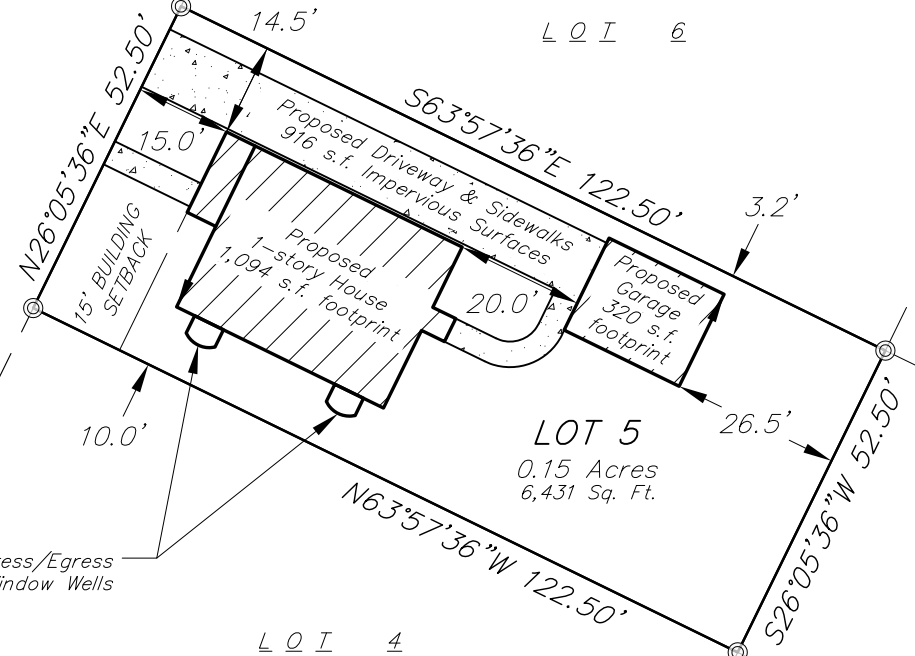


GRAPHIC SCALE: 1" = 30'





BLOCK 35
TANK'S
SIXTH
ADDITION

S BROADWAY



LEGEND

- ⊙ POINT OF RECORD
-  PROPOSED BUILDING
-  PROPOSED CONCRETE

TAX PARCEL: 1-936-B
FIELDWORK COMPLETED: XX/XX/XX

SURVEYED BY:
Vierbicher Associates, Inc.
400 Security Blvd, Ste 1
Green Bay, WI 54313
(920) 434-9670

SURVEYED FOR:
Habitat for Humanity
1967 Allouez Ave.
Green Bay, WI 54311
Drawing NO.: X-2024

Job #: 250161
Date: 01/28/2025
Rev:
Drafted By: CMUE
Checked By:

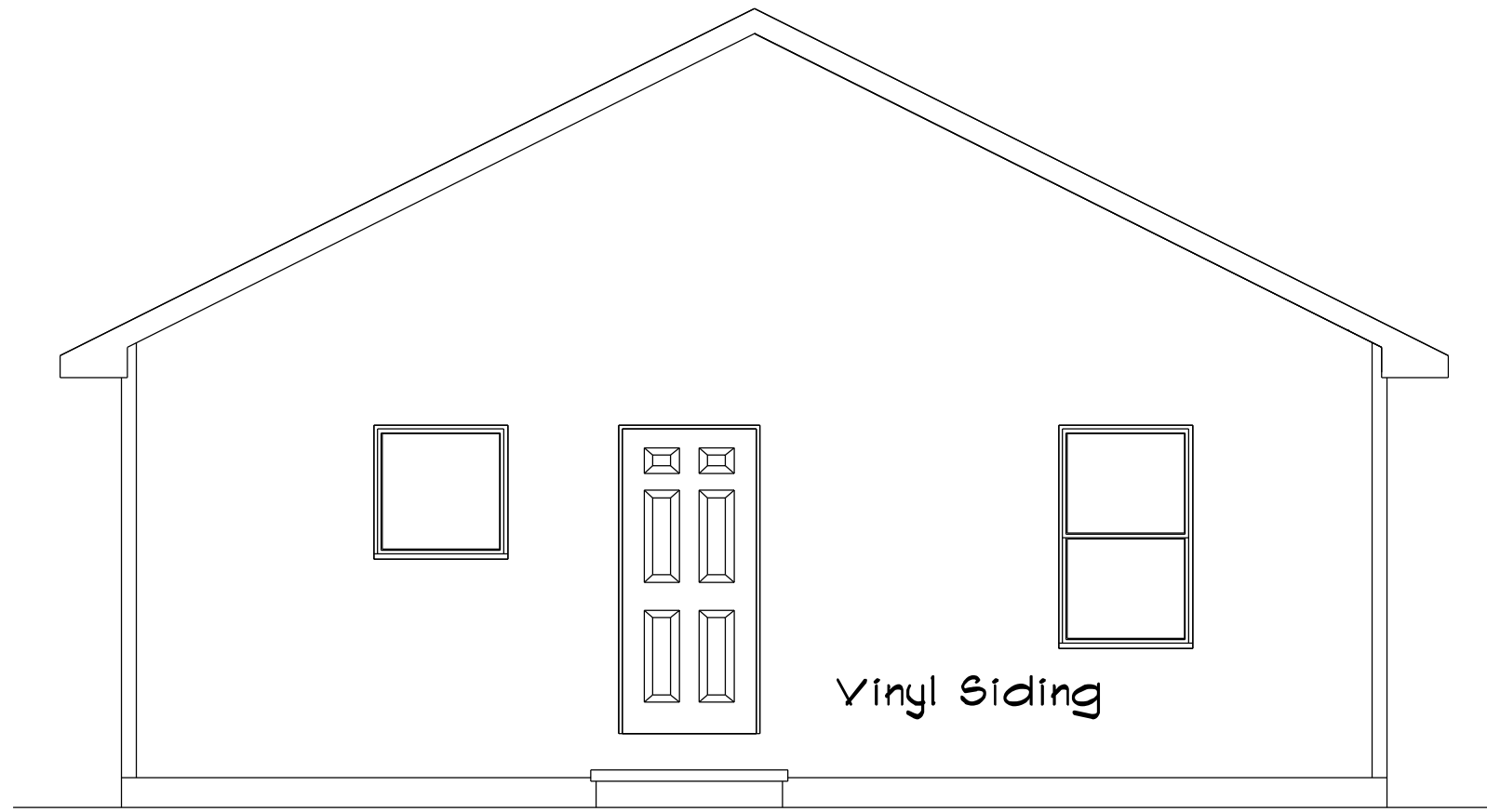
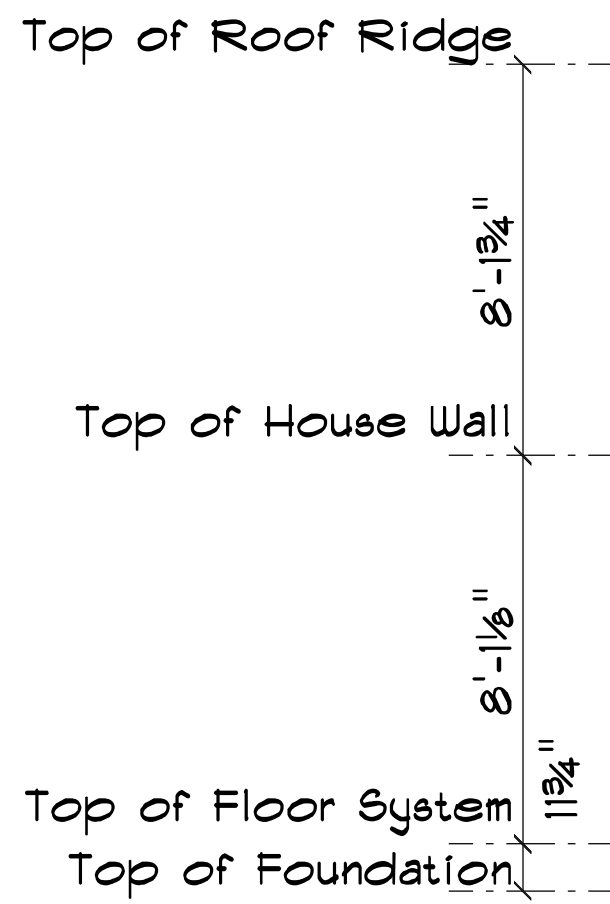


vierbicher
planners | engineers | advisors



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

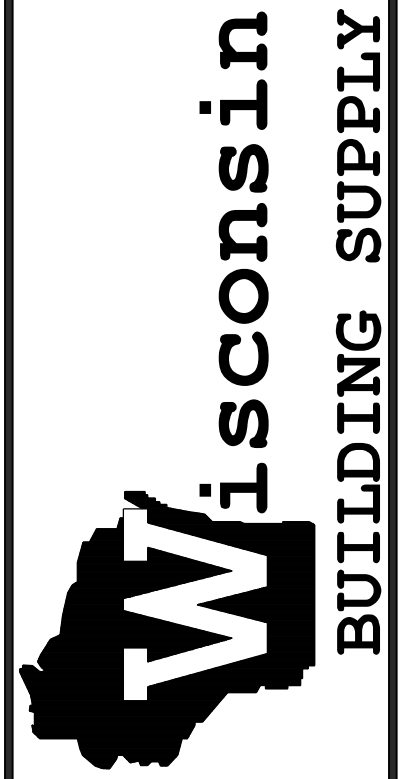


REAR ELEVATION

SCALE: 1/4" = 1'-0"

OFFICE:
 PHONE (920) 496-5080
 FAX (920) 494-9510
 1890 LARSEN ROAD
 P.O. BOX 10001
 GREEN BAY, WI 54301

COMPONENTS:
 PHONE (920) 496-5084
 FAX (920) 498-1218
 1145 MORaine TERRACE
 GREEN BAY, WI 54303

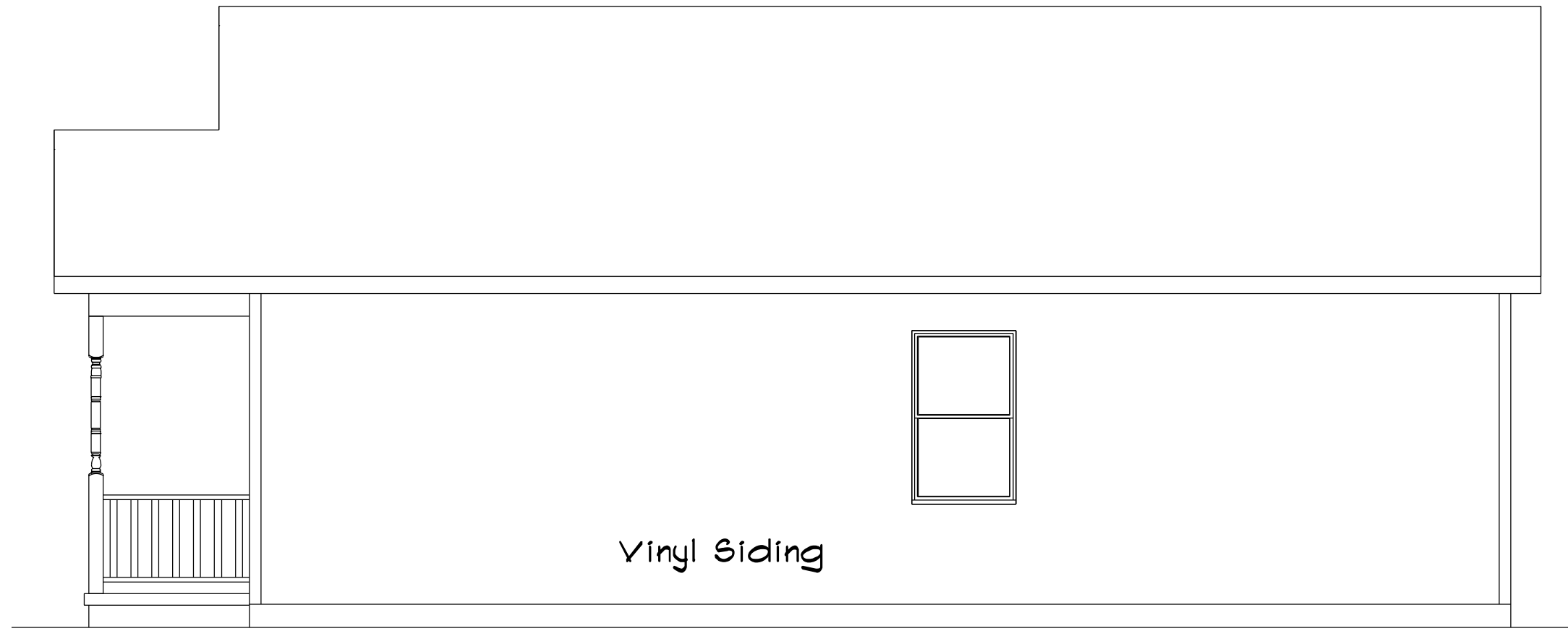


CUSTOM DESIGNED FOR:
**GREATER GREEN BAY
 HABITAT FOR HUMANITY**
 JOB NAME: 1151 Reber Street

DRAWN BY: Michael Herald	sq. FT.: See Plan
DATE: October 26, 2011	SCALE: As Indicated
REVISIONS: (Based Off Plan #19-068-R)	PLAN NO.: 24-063-R
2/13/19 AVS	12/14/20 AVS
3/26/19 AVS	03/05/24 DVG

IMPORTANT NOTE:

- IT IS AGREED THAT ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING AND CHECKING THESE PLANS FOR ACCURACY, THE GENERAL CONTRACTOR/OWNER MUST REVIEW ALL DIMENSIONS, DETAILS AND NOTES BEFORE BEGINNING ANY CONSTRUCTION AND IS HEREBY HELD RESPONSIBLE FOR ANY DISCOVERED DISCREPANCIES.
- IT IS UNDERSTOOD THAT THE WISCONSIN UNIFORM DWELLING CODE AND LAYOUT DRAWINGS FOR FLOOR AND ROOF TRUSSES SHALL TAKE FINAL PRECEDENCE OVER THESE ARCHITECTURAL PLANS.



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

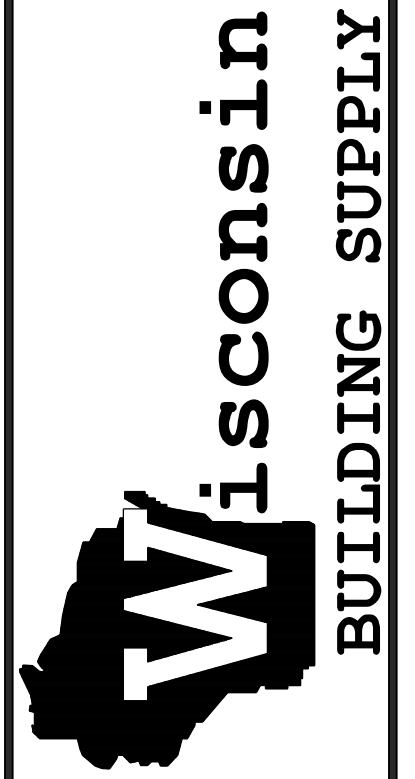


LEFT ELEVATION

SCALE: 1/4" = 1'-0"

OFFICE:
 PHONE (920) 496-5080
 FAX (920) 494-9510
 1890 LARSEN ROAD
 P.O. BOX 10001
 GREEN BAY, WI 54301

COMPONENTS:
 PHONE (920) 496-5084
 FAX (920) 498-1218
 1145 MORaine TERRACE
 GREEN BAY, WI 54303

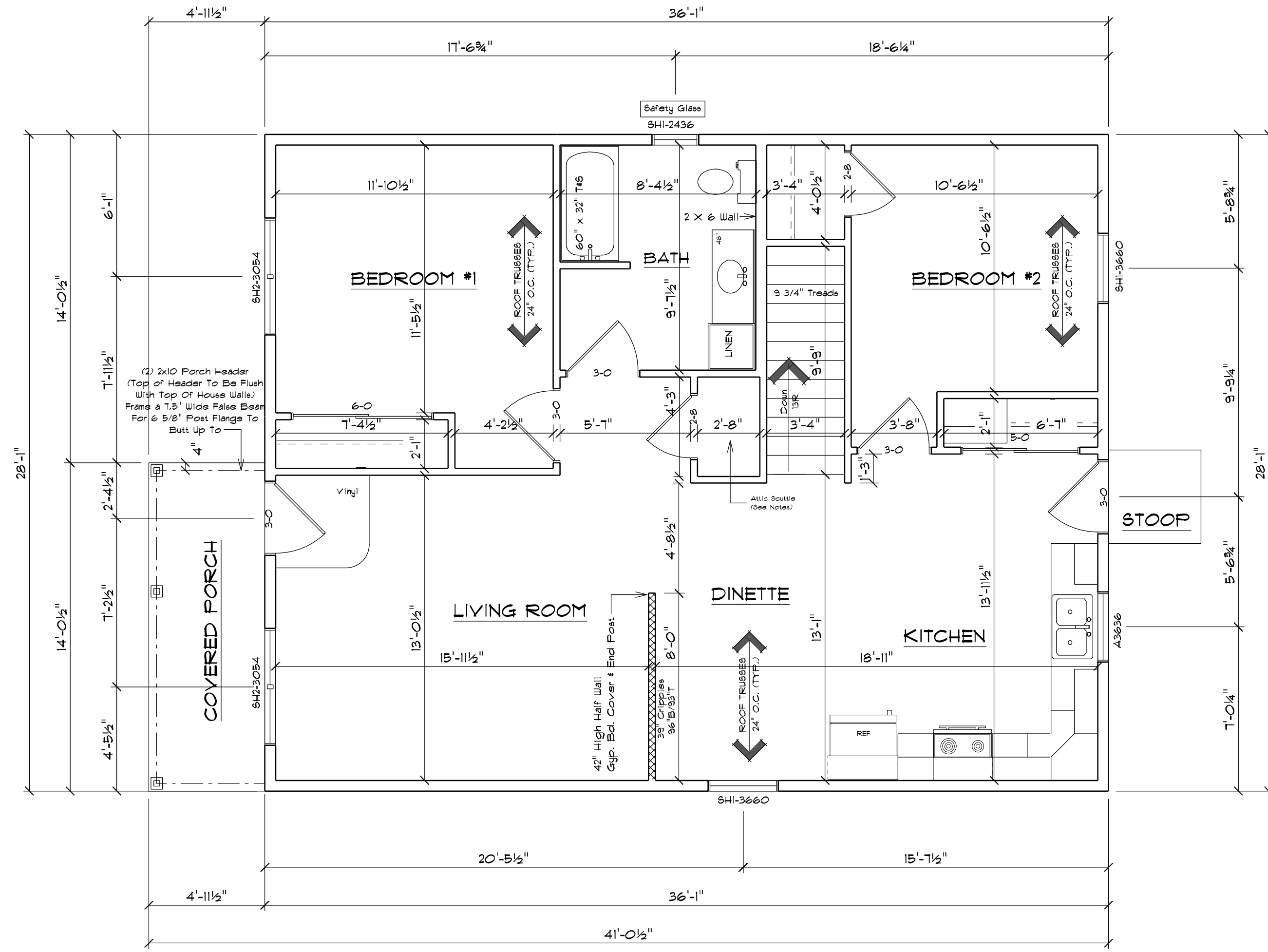


CUSTOM DESIGNED FOR: **GREATER GREEN BAY HABITAT FOR HUMANITY**

JOB NAME: 1151 Reber Street		sq. FT.:	See Plan
DRAWN BY: Michael Herald		SCALE:	As Indicated
DATE: October 26, 2011		PLAN NO.: 24-063-R	
REVISIONS: (Based Off Plan #19-068-R)	2/13/19 AVS	12/14/20 AVS	
	3/26/19 AVS	03/05/24 DVG	

IMPORTANT NOTE:

- IT IS AGREED THAT ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING AND CHECKING THESE PLANS FOR ACCURACY, THE GENERAL CONTRACTOR/OWNER MUST REVIEW ALL DIMENSIONS, DETAILS AND NOTES BEFORE BEGINNING ANY CONSTRUCTION AND IS HEREBY HELD RESPONSIBLE FOR ANY DISCOVERED DISCREPANCIES.
- IT IS UNDERSTOOD THAT THE WISCONSIN UNIFORM DWELLING CODE AND LAYOUT DRAWINGS FOR FLOOR AND ROOF TRUSSES SHALL TAKE FINAL PRECEDENCE OVER THESE ARCHITECTURAL PLANS.



FLOOR PLAN

8'-1 1/8" CLG. HGT.
1014 SQ. FT.
TO SQ. FT. (COVERED PORCH)

NOTE:
EXTERIOR DIMENSIONS ARE SHOWN TO REFLECT HOUSE FRAMING WALLS HELD OUT 1/2" FOR EXTERIOR WALL SHEATHING TO FLUSH OUT WITH 1" FOUNDATION FOAM. IF FOUNDATION FOAM IS TO BE OTHER THAN 1", FRAMING DIMENSIONS ARE TO BE FIELD ADJUSTED AND MAINTAIN ALL CODE COMPLIANCE ACCORDINGLY.

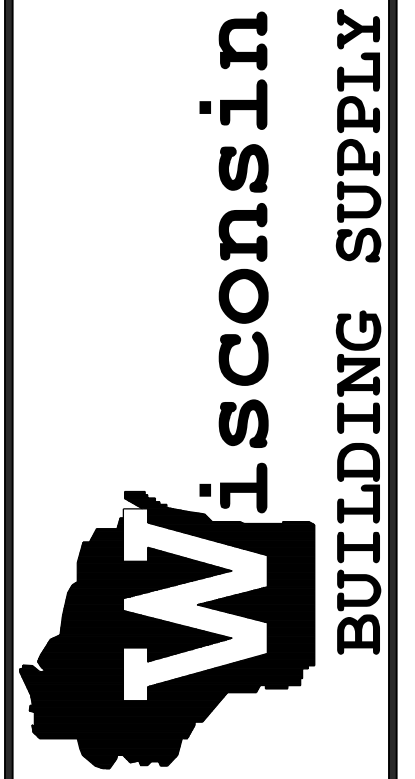
NOTE:
BUILDER RESPONSIBLE TO TRANSFER POINT LOADS FROM ABOVE THROUGH THE FLOOR SYSTEM, AND OTHER WALLS WITH SOLID BLOCKING DOWN TO FOUNDATION WALLS BELOW

NOTE:
BUILDER TO CONSULT TRUSS LAYOUT PLANS TO VERIFY EXACT LOCATIONS OF GIRDER TRUSSES, AND ANY ADDITIONAL BEARING REQUIREMENTS OTHER THAN THOSE NOTED ON FLOOR PLANS

- NOTES:**
- FLOOR SYSTEM: 1ST FLR: 3 1/2" I-JOISTS @ 19.2" O.C.
LOADING: TOTAL LOAD = 50*
LL = 40*
DL = 10*
(ADDITIONAL 10" DL @ TILE AREAS)
(ADDITIONAL 25" DL @ GRANITE AREAS)
FLOOR DEFLECTION: LL = L/480
DL = L/240
 - ROOF SYSTEM: WOOD TRUSSES @ 24" O.C.
LOADING: TOTAL LOAD = 50*
TCLL = 30*
TCDL = 10*
BCDL = 10*
ROOF DEFLECTION: LL = L/240
TL = L/180
 - STD. HEADERS: (2) 2 x 10 SELECT STRUCTURAL HEM-FIR
 - EXT. WALL STUDS: 1ST FLR: 2x6 @ 32-5/8" @ 16" o.c. (8'-1 1/8" HT.)
 - INT. WALL STUDS: 1ST FLR: 2x4 @ 32-5/8" @ 16" o.c. (8'-1 1/8" HT.)
 - WINDOW SIZES SHOWN ARE FOR SILVERLINE WINDOWS SEE CATALOG FOR DETAILS
 - ALL DIMENSIONS SHOWN ARE TO FACE OF STUD,
 - STAIRS: B9MT. TO 1ST FLR: 15 RISERS @ 7 13/16"
12 TREADS @ 9 3/4"
 - PROVIDE ATTIC ACCESS PANEL W/ 2 - 2" FOAM ON BACK OF 5/8" GYPSUM BOARD. SET ON FOAM WEATHERSTRIP ROUGH OPENING TO BE 16 1/2" x 21". PROVIDE 1/2" OSB INSULATION Baffles 16" TO TOP MEASURED FROM BOTTOM OF TRUSSES.
MIN. CODE CLEAR FINISH OPEN OF ACCESS IS 14"x24"
 - AT BEDROOM 2, BASEMENT BEDROOMS, AND HALL CLOSETS INSTALL MINIMUM OF 3-2X6 BACKING FOR CLOSET POLE BRACKET CENTERED IN CLOSET AT 10" TO TOP.
 - FOR STAIR RAILING INSTALL MINIMUM OF 2-2X6 BLOCKING AT TOP AND BOTTOM OF STAIRS AND 3 AT MIDDLE SPACED 3'-3" APART AT 36" TO TOP OF BLOCKING FOR A TOTAL OF FIVE BRACKETS SPACED
 - THE ABOVE CONDITIONS LISTED ARE STANDARD FOR THIS PLAN (EXCEPTIONS ARE NOTED ON THE PLAN)

OFFICE:
PHONE (920) 496-5080
FAX (920) 494-9510
1980 LARSEN ROAD
P.O. BOX 10001
GREEN BAY, WI 54301

COMPONENTS:
PHONE (920) 496-5084
FAX (920) 498-1215
1145 MORaine TERRACE
GREEN BAY, WI 54303

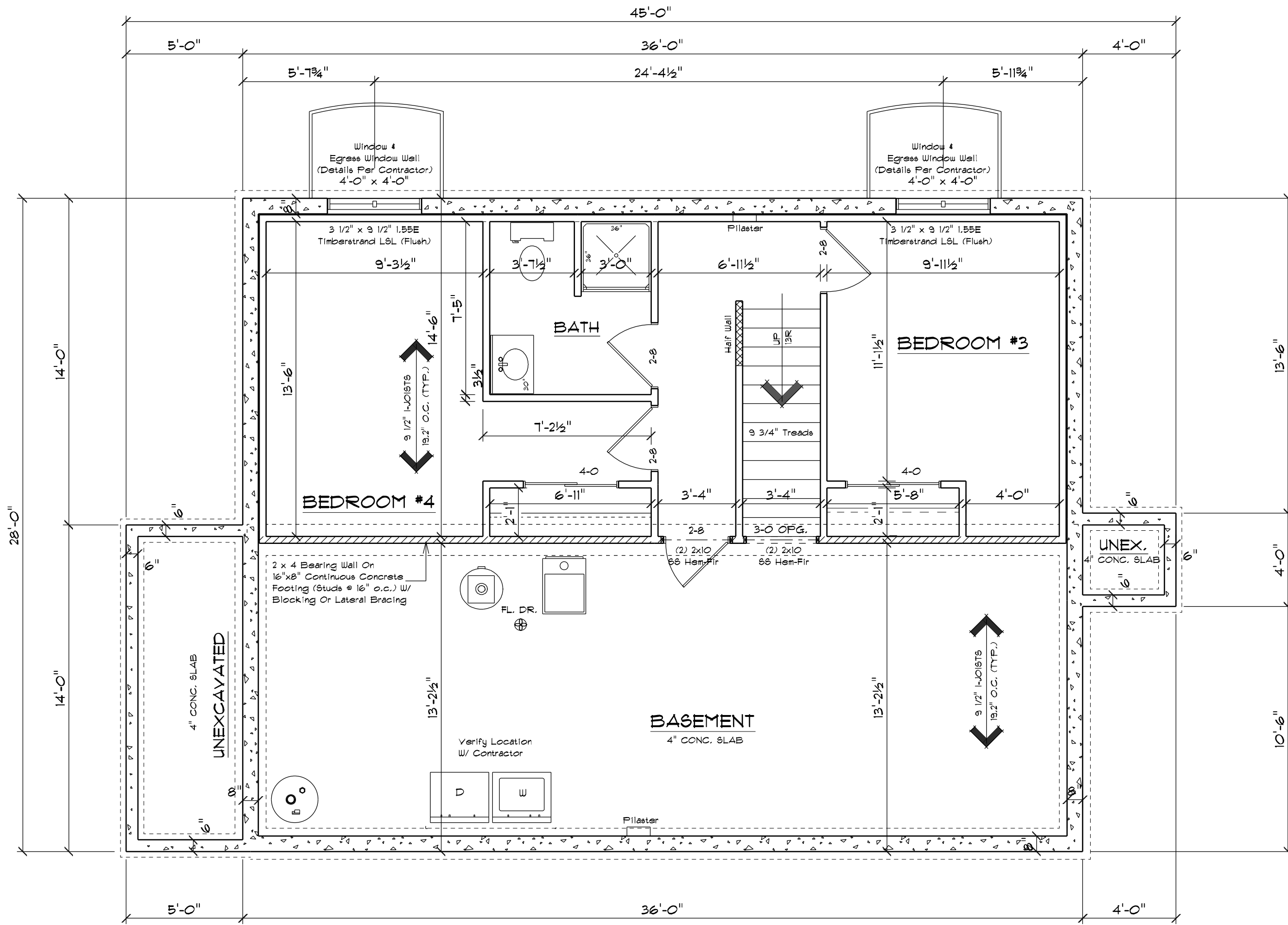


CUSTOM DESIGNED FOR: **GREATER GREEN BAY HABITAT FOR HUMANITY**
DRAUN BY: Michael Herald

DATE:	October 26, 2017	SQ. FT.:	1014 Sq. Ft.
REVISIONS:	2/13/19 AVS 12/14/20 AVS	SCALE:	1/4" = 1'-0"
(Based Off Plan #19-066-R)	3/26/19 AVS 03/05/24 DVG	PLAN NO.:	24-063-R

IMPORTANT NOTE:

IT IS AGREED THAT ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING AND CHECKING THESE PLANS FOR ACCURACY, THE GENERAL CONTRACTOR/OWNER MUST REVIEW ALL DIMENSIONS, DETAILS AND NOTES BEFORE BEGINNING ANY CONSTRUCTION AND IS HEREBY HELD RESPONSIBLE FOR ANY DISCOVERED DISCREPANCIES.
IT IS UNDERSTOOD THAT THE WISCONSIN UNIFORM DWELLING CODE AND LAYOUT DRAWINGS FOR FLOOR AND ROOF TRUSSES SHALL TAKE FINAL PRECEDENCE OVER THESE ARCHITECTURAL PLANS.



FOUNDATION PLAN

8'-0" FOUNDATION WALL HGT.
444 SQ. FT.

NOTE:

EXTERIOR DIMENSIONS ARE SHOWN TO REFLECT HOUSE FRAMING WALLS HELD OUT 1/2" FOR EXTERIOR WALL SHEATHING TO FLUSH OUT WITH 1" FOUNDATION FOAM. IF FOUNDATION FOAM IS TO BE OTHER THAN 1", FRAMING DIMENSIONS ARE TO BE FIELD ADJUSTED AND MAINTAIN ALL CODE COMPLIANCE ACCORDINGLY.

NOTE:

BUILDER RESPONSIBLE TO TRANSFER POINT LOADS FROM ABOVE THROUGH THE FLOOR SYSTEM, AND OTHER WALLS WITH SOLID BLOCKING DOWN TO FOUNDATION WALLS BELOW

NOTES:

- 1) FOUNDATION WALLS:
HOUSE: 8" FOURED CONCRETE WALLS 8'-0" HIGH
GARAGE / PORCH: 6" FOURED CONCRETE WALLS 4'-0" HIGH
- 2) THE FOLLOWING ITEMS ARE TO BE LOCATED IN THE FOUNDATION BY THE CONTRACTOR:
ELECTRIC WINDOWS FLOOR DRAINS
ELECTRIC SERVICES WATER HEATER
SUMP PIT & PUMP FURNACE
- 3) BUILDER TO PROVIDE HEADERS AT BASEMENT WINDOWS IF NOT NOTED ON THE FOUNDATION PLAN
- 4) FOURED CONCRETE FOOTINGS TO BEAR ON UNDISTURBED SOIL BELOW THE FROST LINE
- 5) STEEL COLUMNS TO SUPPORT 12,000 LBS. UNLESS OTHERWISE NOTED
- 6) ASSUMED SOIL BEARING CAPACITY IS 3,000 PSF. FOOTING SIZES MUST BE ADJUSTED FOR VARYING SOIL CONDITIONS
- 7) FOUNDATION WALLS ARE ASSUMED TO BE UNREINFORCED 3,000 PSI CONCRETE. WALLS ARE DESIGNED PER UDC TABLE 2118.3 BASED ON THE HEIGHT OF UNBALANCED FILL. PROPER REINFORCEMENT (DESIGNED BY OTHERS) MAY ALLOW FOR WALLS THAT ARE LESS THICK, BUT ANY DEVIATION FROM THE THICKNESSES SHOWN ON THE PLAN ARE THE RESPONSIBILITY OF THE FOUNDATION AND/OR GENERAL CONTRACTOR.
- 8) ALL LUMBER IN PERMANENT CONTACT WITH CONCRETE MUST BE PRESSURE-TREATED LUMBER AS PER UDC 2110.

IMPORTANT NOTE:

- IT IS AGREED THAT ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING AND CHECKING THESE PLANS FOR ACCURACY, THE GENERAL CONTRACTOR/OWNER MUST REVIEW ALL DIMENSIONS, DETAILS AND NOTES BEFORE BEGINNING ANY CONSTRUCTION AND IS HEREBY HELD RESPONSIBLE FOR ANY DISCOVERED DISCREPANCIES.
- IT IS UNDERSTOOD THAT THE WISCONSIN UNIFORM DWELLING CODE AND LAYOUT DRAWINGS FOR FLOOR AND ROOF TRUSSES SHALL TAKE FINAL PRECEDENCE OVER THESE ARCHITECTURAL PLANS.

CUSTOM DESIGNED FOR: **GREATER GREEN BAY**
HABITAT FOR HUMANITY

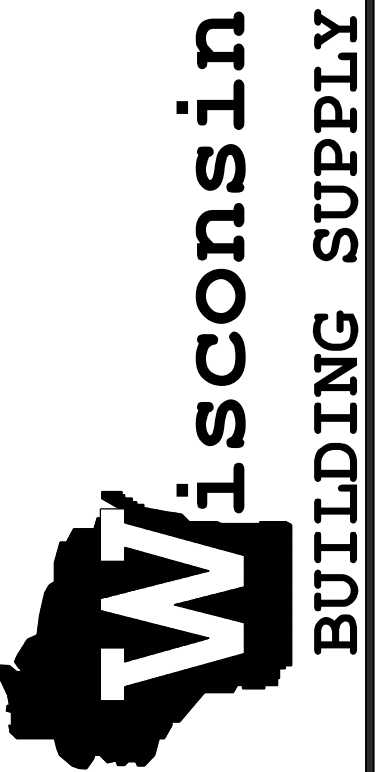
JOB NAME: 1151 Reber Street
DRAWN BY: Michael Herald

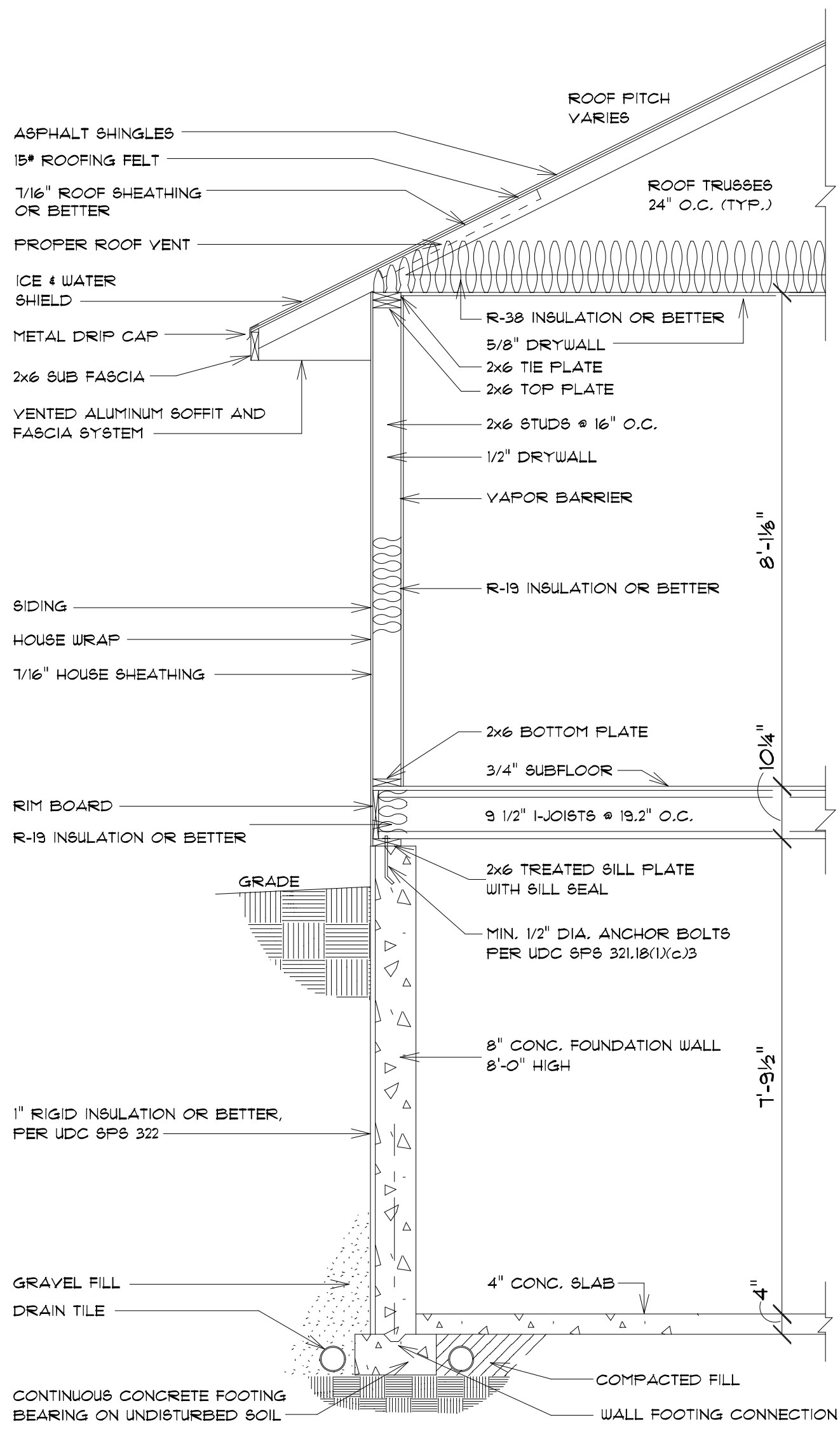
DATE: October 26, 2017
REVISIONS: 2/13/19 AV5 12/14/20 AV6
(Based Off Plan #19-066-R) 3/26/19 AV6 03/05/24 DYG

EQ. FT.: 444 Sq. Ft.
SCALE: 1/4" = 1'-0"
PLAN NO.: 24-063-R

OFFICE:
PHONE (920) 496-5080
FAX (920) 494-9510
1980 LARSEN ROAD
P.O. BOX 10001
GREEN BAY, WI 54301

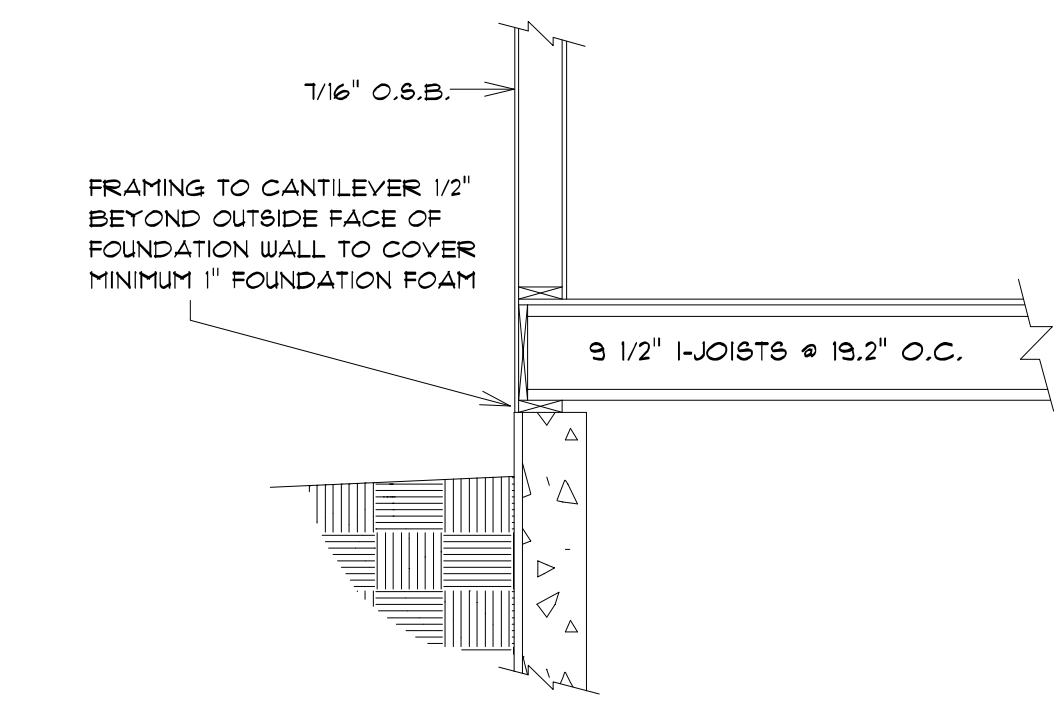
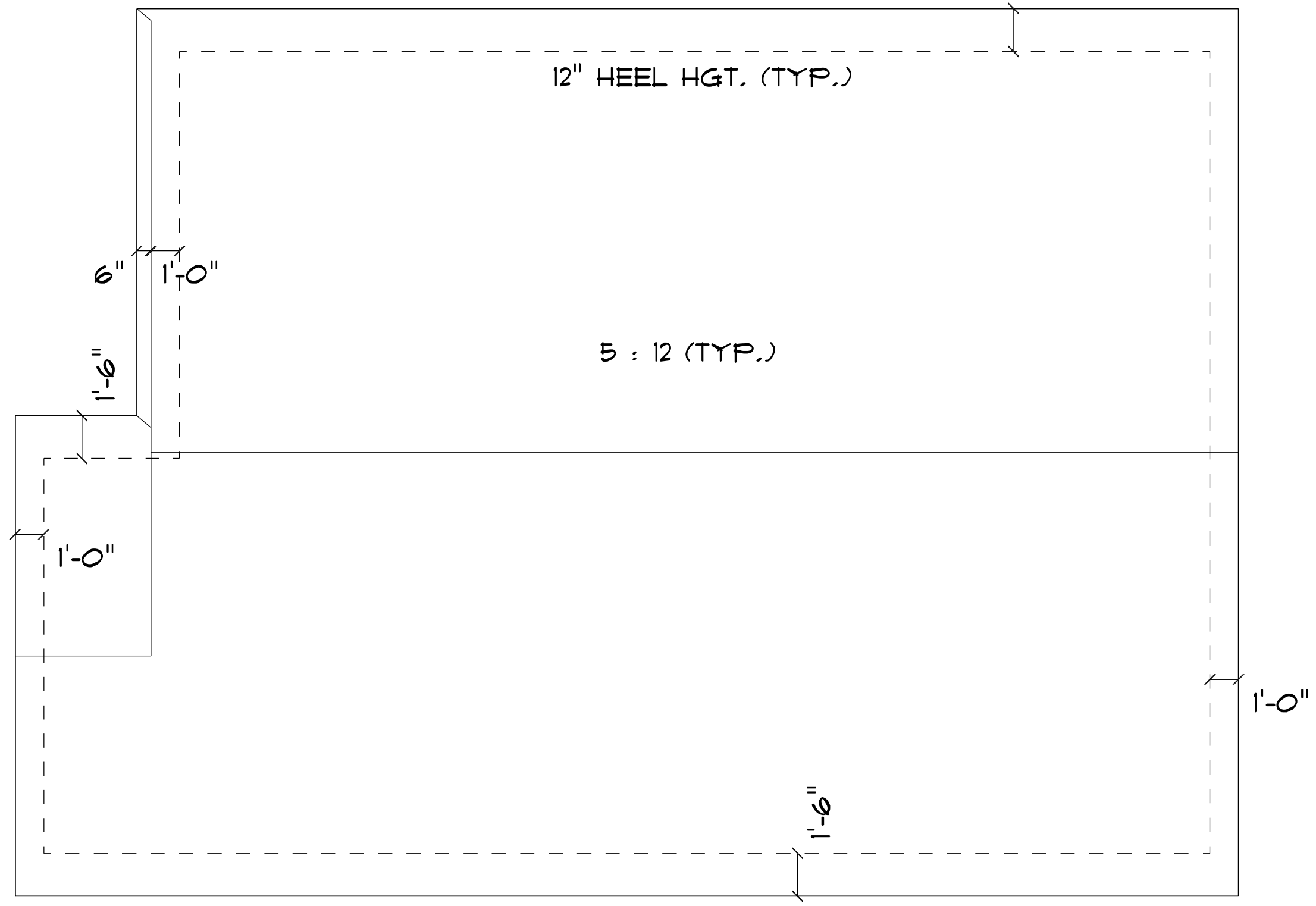
COMPONENTS:
PHONE (920) 496-5084
FAX (920) 498-1218
1145 MORaine TERRACE
GREEN BAY, WI 54303





TYPICAL RANCH SECTION
SCALE: 1/2" = 1'-0"

ALL ITEMS TO BE VERIFIED BY CONTRACTOR



BOX SILL DETAIL
SCALE: 1/2" = 1'-0"

IMPORTANT NOTE:
 • IT IS AGREED THAT ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING AND CHECKING THESE PLANS FOR ACCURACY, THE GENERAL CONTRACTOR/OWNER MUST REVIEW ALL DIMENSIONS, DETAILS AND NOTES BEFORE BEGINNING ANY CONSTRUCTION AND IS HEREBY HELD RESPONSIBLE FOR ANY DISCOVERED DISCREPANCIES.
 • IT IS UNDERSTOOD THAT THE WISCONSIN UNIFORM DWELLING CODE AND LAYOUT DRAWINGS FOR FLOOR AND ROOF TRUSSES SHALL TAKE FINAL PRECEDENCE OVER THESE ARCHITECTURAL PLANS.

CUSTOM DESIGNED FOR: GREATER GREEN BAY HABITAT FOR HUMANITY	
JOB NAME: 1151 Reber Street	EQ. FT.: See Plan
DRAWN BY: Michael Herald	SCALE: As Indicated
DATE: October 26, 2011	PLAN NO.: 24-063-R
REVISIONS: 2/13/19 AVS 12/14/20 AVS	
(Based Off Plan #19-068-R)	03/05/24 DVG

OFFICE:
 PHONE (920) 496-5080
 FAX (920) 494-9510
 1990 LARSEN ROAD
 P.O. BOX 10001
 GREEN BAY, WI 54301

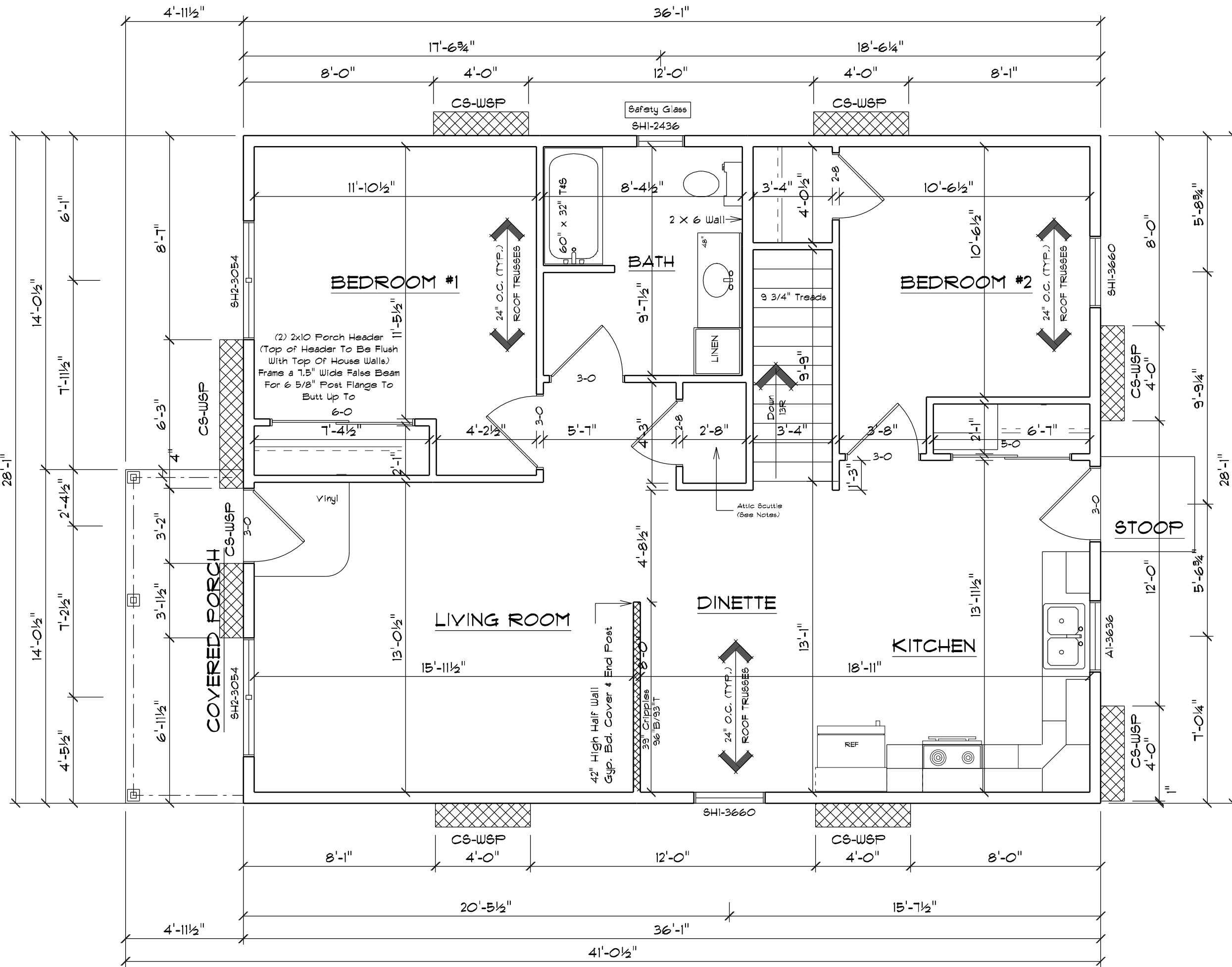
COMPONENTS:
 PHONE (920) 496-5084
 FAX (920) 498-1218
 1145 MORaine TERRACE
 GREEN BAY, WI 54303

Wisconsin
BUILDING SUPPLY

6.0 X 1.3 (CAT C) X 0.95 (WALL HGT.) = 1'-4 15/16"
 TOTAL ADJACENT SIDE LENGTH: 36'-1"
 BRACING METHOD: CONTINUOUSLY SHEATHED
 EXPOSURE CATEGORY: C
 TOTAL PANEL LENGTH REQUIRED: 1'-4 15/16"
 TOTAL PANEL LENGTH PROVIDED: 8'-0"

TOTAL ADJACENT SIDE LENGTH: 28'-1"
 BRACING METHOD: CONTINUOUSLY SHEATHED
 EXPOSURE CATEGORY: C
 TOTAL PANEL LENGTH REQUIRED: 6'-2 1/8"
 TOTAL PANEL LENGTH PROVIDED: 8'-0"
 5.0 X 1.3 (CAT C) X 0.95 (WALL HGT.) = 6'-2 1/8"

TOTAL ADJACENT SIDE LENGTH: 28'-1"
 BRACING METHOD: CONTINUOUSLY SHEATHED
 EXPOSURE CATEGORY: C
 TOTAL PANEL LENGTH REQUIRED: 6'-2 1/8"
 TOTAL PANEL LENGTH PROVIDED: 8'-0"
 5.0 X 1.3 (CAT C) X 0.95 (WALL HGT.) = 6'-2 1/8"



WALL BRACING LAYOUT PLAN

Scale: 1/4" = 1'-0"
 House Wall Ht.: 8'-1 1/8"
 Garage Wall Ht.: 9'-0 7/8"
 Top-Of-Wall-To-Ridge Ht.: 8'-1 3/4"
 Exterior Stud Spacing: 16" O.C.
 Seismic Design: B

GENERAL NOTES:

- WALL BRACING, SPS 321.25 (8)
- CIRCUMSCRIBED RECTANGLES: EACH FLOOR PLAN LEVEL SHALL BE CIRCUMSCRIBED WITH ONE OR MORE RECTANGLES AROUND THE ENTIRE FLOOR PLAN AT THE FLOOR LEVEL, UNDER CONSIDERATION. WHEN MULTIPLE RECTANGLES ARE USED, EACH SIDE SHALL BE BRACED AS THOUGH IT WERE A SEPARATE BUILDING AND THE BRACING AMOUNT ADDED TOGETHER ALONG THE COMMON WALL, WHERE ADJACENT RECTANGLES OVERLAP OR ABUT.
 - EACH RECTANGLE SHALL HAVE A MAXIMUM RECTANGLE LENGTH-TO-WIDTH RATIO OF 3:1.
 - BRACED WALL PANEL (BWP) LOCATIONS: WITHIN 12'-6" FROM EACH SIDE AND 21'-0" PANEL EDGE TO PANEL EDGE (SEE FIGURE 321.25-C).
 - ALL EDGES OF PANEL TYPE BRACING EXCEPT HORIZONTAL JOINTS IN GB BRACING, SHALL BE ATTACHED TO FRAMING OR BLOCKING.
 - THE INTERIOR SIDE OF ALL EXTERIOR WALLS SHALL BE SHEATHED WITH MINIMUM 1/2" GYPSUM WALLBOARD UNLESS OTHERWISE PERMITTED TO BE EXCLUDED BY THIS SUBSECTION. (THIS REQUIREMENT IS EXCLUDED IN PORTAL FRAME METHOD).
 - BRACING WITH CS-WSP SHALL HAVE SHEATHING INSTALLED ON ALL SHEATHABLE SURFACES ABOVE, BELOW, AND BETWEEN WALL OPENINGS.
 - EACH BRACED WALL PANEL MAY CONTAIN NO MORE THAN ONE HOLE, HAVING A MAXIMUM DIMENSION OF NO MORE THAN TEN PERCENT OF THE LEAST DIMENSION OF THE PANEL, AND CONFINED TO THE MIDDLE THREE-FIFTHS OF THE PANEL.
 - BLOCKING AND BRIDGING: 2x18 BRIDGING USED AT PARALLEL BOX SILL AND FLOOR JOIST BRIDGING @ 32" O.C. IS THE SAME DEPTH AS THE JOIST.
 - WHERE JOISTS ARE PERPENDICULAR TO BWP'S ABOVE OR BELOW, BLOCKING SHALL BE PROVIDED BETWEEN THE JOISTS AT BWP LOCATIONS TO PERMIT FASTENING OF WALL PLATES WITH 16d NAILS @ 16" O.C.
 - WHERE JOISTS ARE PARALLEL TO BWP'S ABOVE OR BELOW, A RIM JOIST OR OTHER PARALLEL FRAMING MEMBER SHALL BE PROVIDED AT THE BWP TO PERMIT FASTENING OF WALL PLATES WITH 16d NAILS @ 16" O.C.

WALL BRACING MATERIAL LEGEND

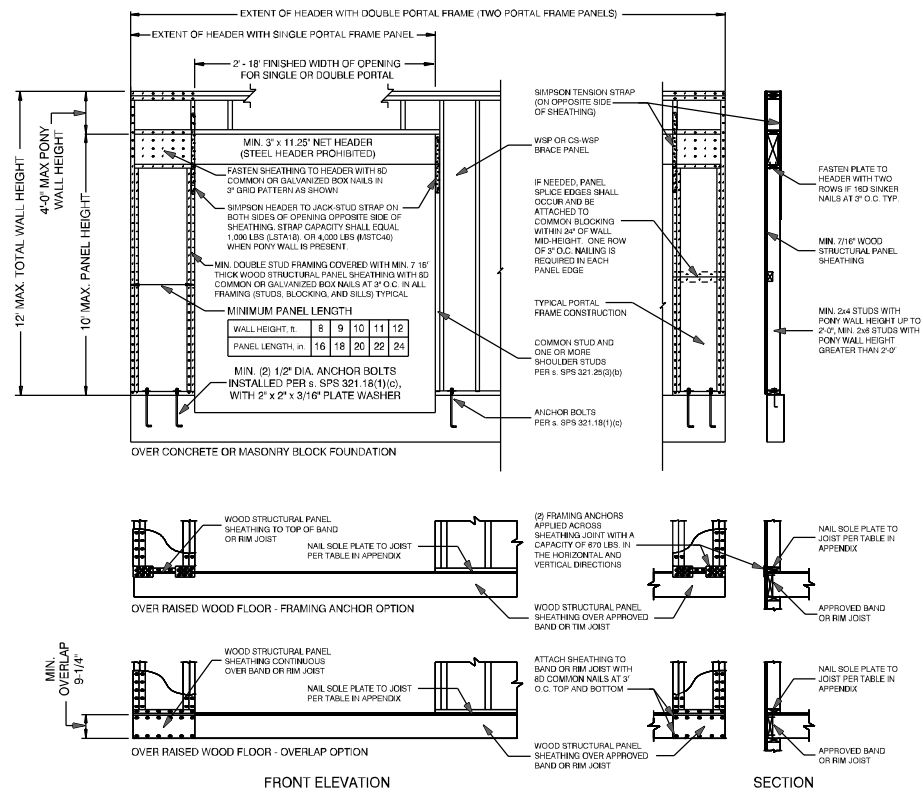
- (CONTINUOUSLY SHEATHED WOOD STRUCTURAL PANEL)
- 3/8" THICK SHEATHING FOR MAX. 16" O.C. STUD SPACING
- 1/2" THICK SHEATHING FOR MAX. 24" O.C. STUD SPACING
- FASTEN WITH 60 COMMON NAIL OR 80d BOX NAIL (2 3/8" LONG X 0.13" DIA.) OR 1 1/2" O.C. OR UNL. GAGE STAPLES 1 1/4" LONG
- MAXIMUM FASTENER SPACING: 4" EDGES, 2" FIELD (NAILS) / 3" EDGES, 6" FIELD (STAPLES)

TABLE 321.25-4 a,b
 MINIMUM WIDTHS OF CS-WSP BRACED WALL PANELS

MAXIMUM OPENING HEIGHT ADJACENT TO BRACED WALL PANEL	MINIMUM LENGTH OF FULL-HEIGHT BRACED WALL PANEL (INCHES)			
	8' TALL WALL	9' TALL WALL	10' TALL WALL	12' TALL WALL
5' - 4"	24	27	30	36
6' - 8"	32	30	30	36
8' - 0"	48	41	38	36
9' - 0"	-	54	46	41
10' - 0"	-	-	60	48
12' - 0"	-	-	-	72

4. SHEATHING SHALL EXTEND FROM TOP OF THE TOP PLATE TO THE BOTTOM PLATE AND MAY BE MULTIPLE SHEETS. ALL JOINTS SHALL BE BLOCKED.
 5. INTERPOLATION IS PERMITTED.

FIGURE 321.25-A
 PF / CS-PF - PORTAL FRAME BRACE CONSTRUCTION



NOTE: STEEL HEADERS ARE PERMITTED IF DESIGNED BY STRUCTURAL ANALYSIS.
 NOTE: AS SHOWN IN THE ADJUT CROSS SECTION, 1/2" GYPSUM WALL BOARD IS NOT REQUIRED ON THE INTERIOR SIDE OF THE WALL.

IMPORTANT NOTE:

- IT IS AGREED THAT ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING AND CHECKING THESE PLANS FOR ACCURACY, THE GENERAL CONTRACTOR/OWNER MUST REVIEW ALL DIMENSIONS, DETAILS AND NOTES BEFORE BEGINNING ANY CONSTRUCTION AND IS HEREBY HELD RESPONSIBLE FOR ANY DISCOVERED DISCREPANCIES.
- IT IS UNDERSTOOD THAT THE WISCONSIN UNIFORM DWELLING CODE AND LAYOUT DRAWINGS FOR FLOOR AND ROOF TRUSSES SHALL TAKE FINAL PRECEDENCE OVER THESE ARCHITECTURAL PLANS.

CUSTOM DESIGNED FOR: **GREATER GREEN BAY HABITAT FOR HUMANITY**

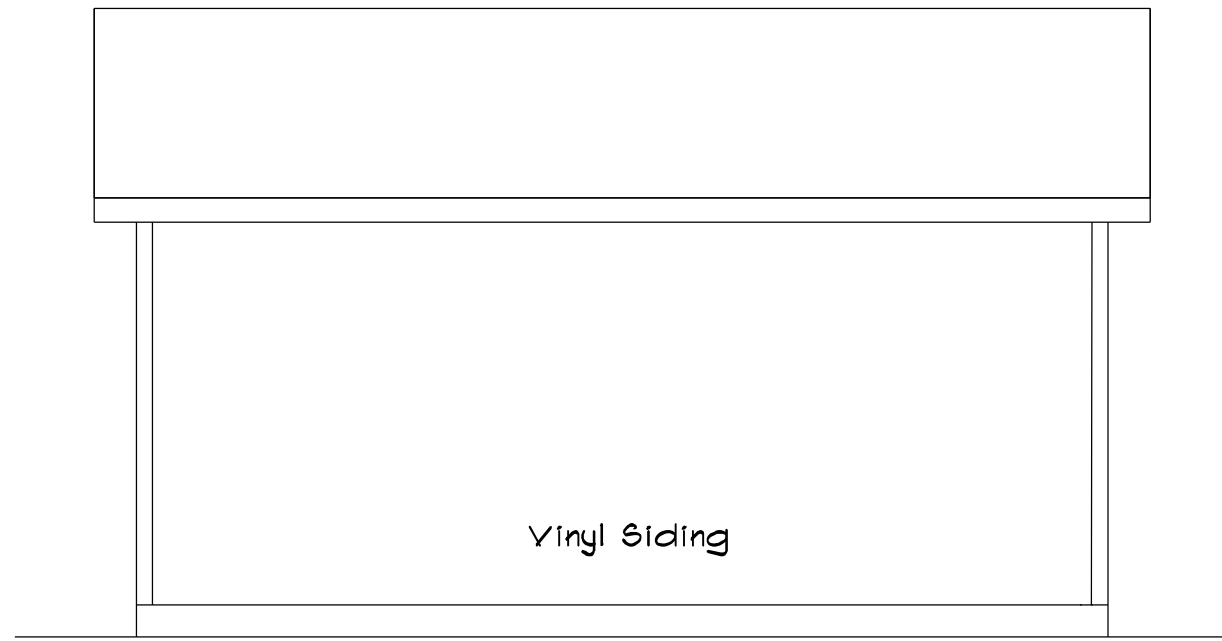
JOB NAME: 1151 Reber Street
 DRAWN BY: Michael Herald
 DATE: October 26, 2017
 REVISIONS: 2/13/19 AVS, 12/14/20 AVS, 03/05/24 DVG
 SCALE: As Indicated
 PLAN NO.: 24-063-R

OFFICE: (920) 496-5080
 PHONE (920) 494-9510
 FAX (920) 496-5084
 1890 LARSEN ROAD
 P.O. BOX 10001
 GREEN BAY, WI 54301

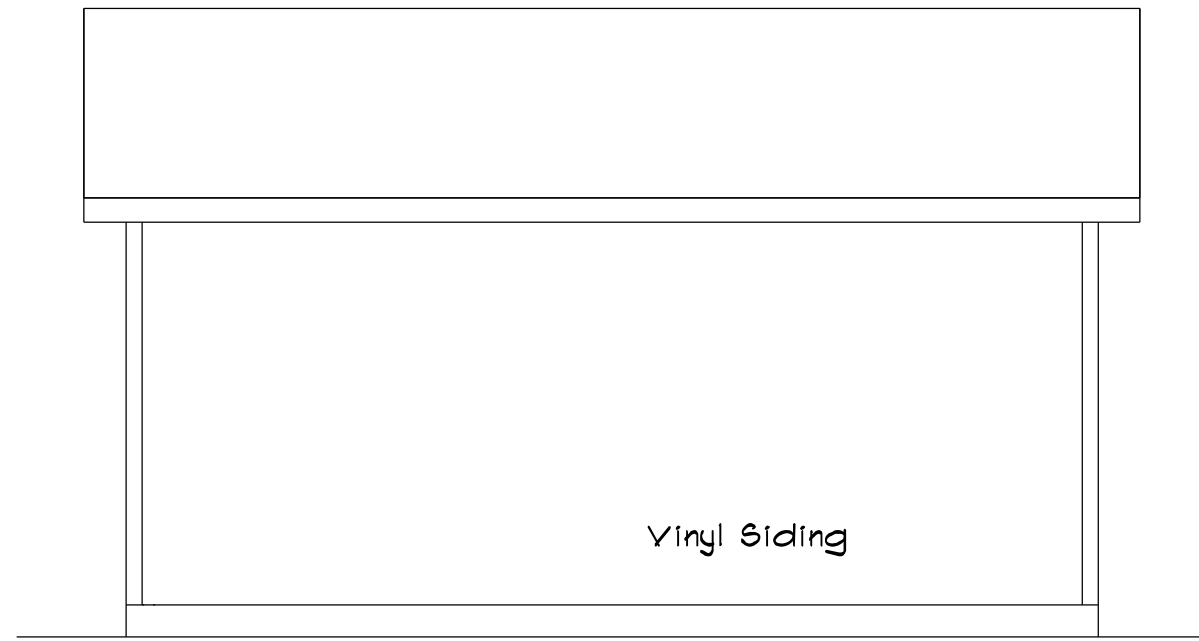
COMPONENTS: (920) 496-5084
 PHONE (920) 498-1215
 FAX (920) 498-1215
 1145 MORRINE TERRACE
 GREEN BAY, WI 54303



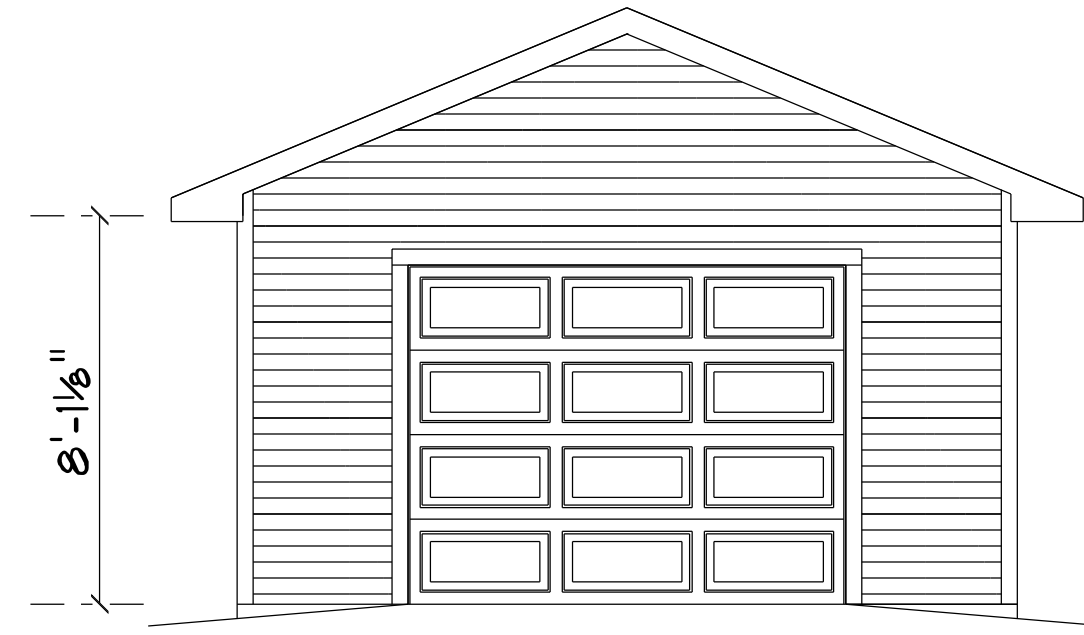
Wisconsin BUILDING SUPPLY



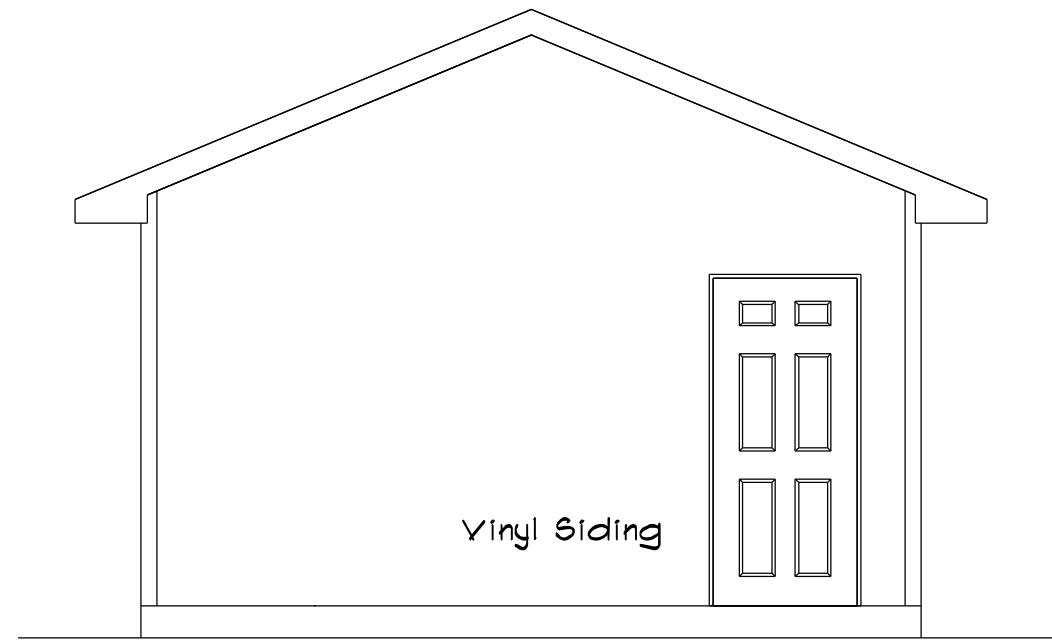
LEFT ELEVATION
SCALE: 1/4" = 1'-0"



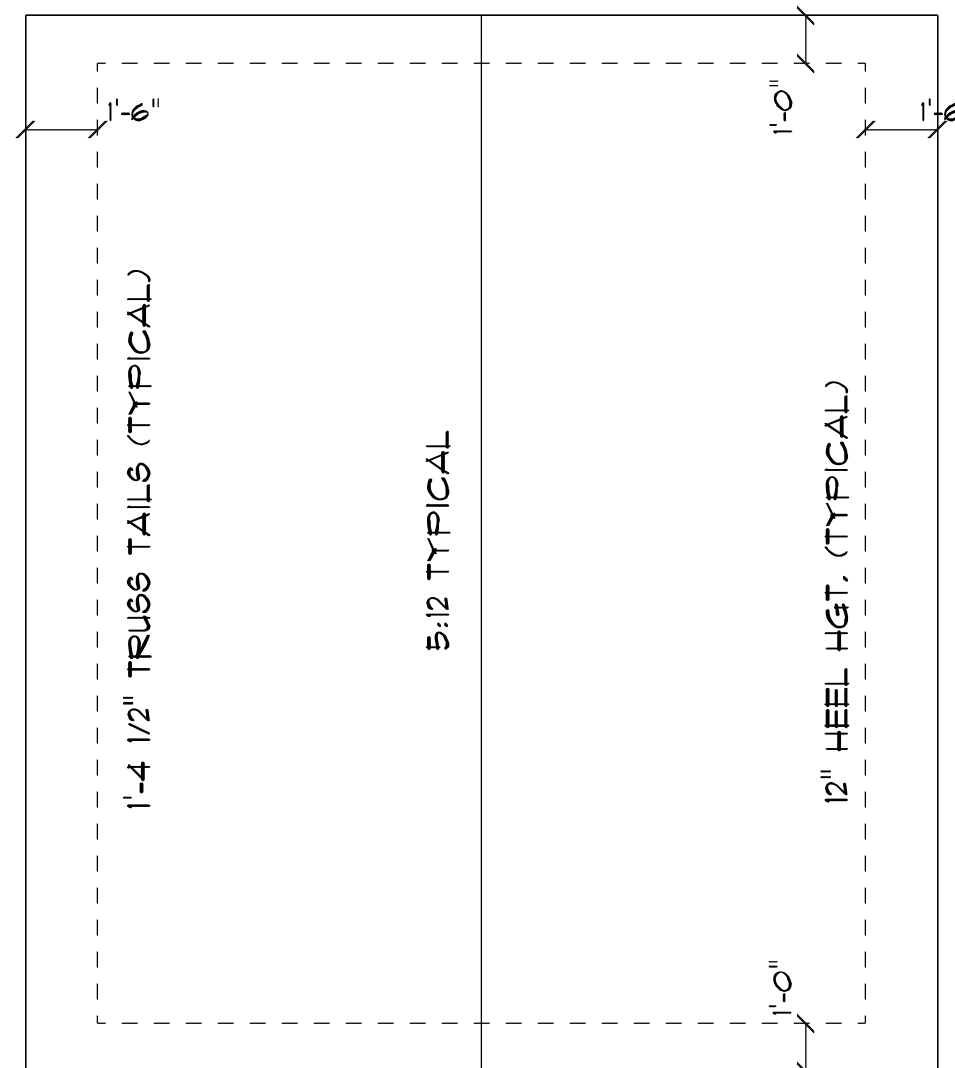
RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



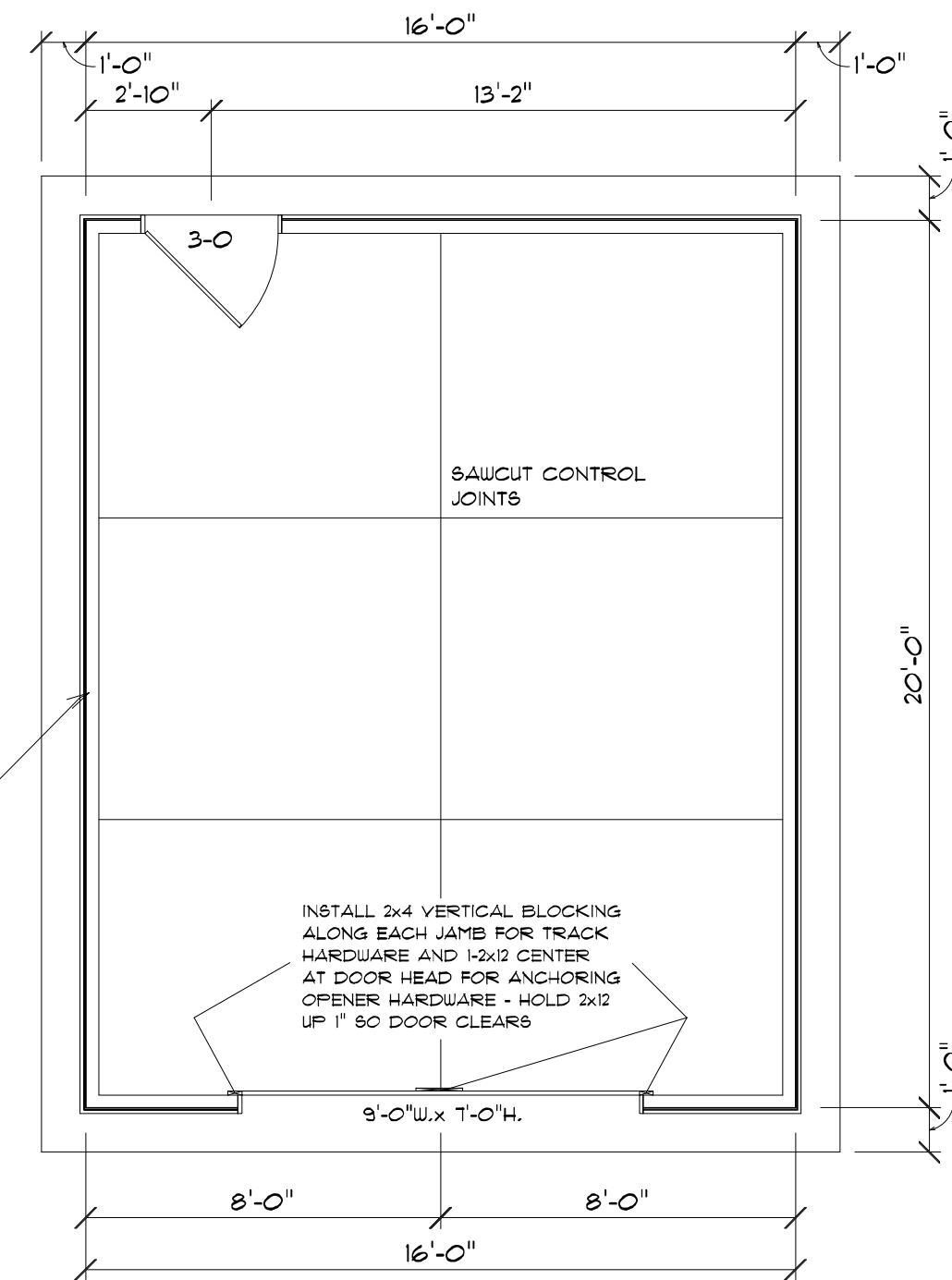
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"



ROOF PLAN
SCALE: 1/4" = 1'-0"



FLOOR PLAN
SCALE: 1/4" = 1'-0"

NOTE:

THIS CONSTRUCTION PLAN CURRENTLY DOESN'T NOTATE PROPER WALL BRACING REQUIREMENTS. PLEASE CONTACT WISCONSIN BUILDING SUPPLY PRIOR TO APPLYING FOR PERMITS TO INITIATE THE START OF THE WALL BRACING PLAN/CALCULATIONS

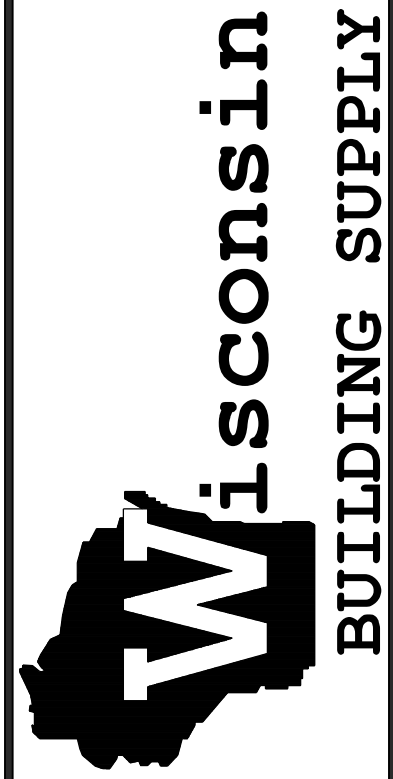
IMPORTANT NOTE:

IT IS AGREED THAT ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING AND CHECKING THESE PLANS FOR ACCURACY, THE GENERAL CONTRACTOR/OWNER MUST REVIEW ALL DIMENSIONS, DETAILS AND NOTES BEFORE BEGINNING ANY CONSTRUCTION AND IS HEREBY HELD RESPONSIBLE FOR ANY DISCOVERED DISCREPANCIES.
IT IS UNDERSTOOD THAT THE WISCONSIN UNIFORM DWELLING CODE AND LAYOUT DRAWINGS FOR FLOOR AND ROOF TRUSSES SHALL TAKE FINAL PRECEDENCE OVER THESE ARCHITECTURAL PLANS.

CUSTOM DESIGNED FOR: **GREATER GREEN BAY HABITAT FOR HUMANITY**

JOB NAME: 1151 Reber Street	SQ. FT.: 320 Sq. Ft.
DRAWN BY: Michael Herald	SCALE: As Indicated
DATE: March 9, 2011	PLAN NO.: 24-063-R
REVISIONS: 3/10/11	
(Based Off Plan #19-068-R)	

OFFICE: PHONE (920) 496-5080
FAX (920) 494-9510
1980 LARSEN ROAD
P.O. BOX 10001
GREEN BAY, WI 54301
COMPONENTS: PHONE (920) 496-5084
FAX (920) 498-1218
1145 MORaine TERRACE
GREEN BAY, WI 54303





Report to the
Redevelopment Authority
of the City of Green Bay

MEETING DATE

June 10, 2025

PREPARED BY

Will Peters

AGENDA ITEM # F.8

Consideration with possible action on a substantial amendment to the 2022, 2023, and 2024 Annual Action Plans to reallocate \$87,559.87 of Beautification/Art Funding to the Home Improvement Loan Program.

BACKGROUND

As part of the City of Green Bay's 2022, 2023, and 2024 Annual Action Plans under the Community Development Block Grant (CDBG), the City allocated funding to Beautification/Art Projects in CDBG-eligible areas. Due to this funding program not being fully utilized, staff is recommending a substantial amendment to the above-mentioned plans to transfer a total of \$87,559.87 to the Home Improvement Loan Program.

NeighborWorks Green Bay is currently administering the Home Improvement Loan Program for the City of Green Bay and is drawing down the last of the funds budgeted for this year. With a growing wait list and high need, staff recommends transferring additional funds to support the program.

RECOMMENDATION

To approve a substantial amendment to the 2022, 2023, and 2024 Annual Action Plan to reallocate \$87,559.87 of Beautification/Art Funding to the Home Improvement Loan Program.

FISCAL IMPACT

Remaining Beautification Funds By Program Year

2022: \$12,559.87

2023: \$25,000.00

2024: \$50,000.00

ATTACHMENTS

None



Report to the
Redevelopment Authority
of the City of Green Bay

MEETING DATE

June 10, 2025

PREPARED BY

AGENDA ITEM # G.I

Communication dated 5/6/2025 from Ald. Brian Johnson "for consideration and possible action to update the housing study completed in 2020 to capture current housing demand, document other development tools and resources to help close gaps in capital stacks, and recommend policy modifications to accelerate housing projects that align with existing demands and needs."

BACKGROUND

RECOMMENDATION

FISCAL IMPACT

ATTACHMENTS

- I. 2025-05-07 Dist 9 to RDA

Online Form Submittal: Alders' Petitions and Communications

From noreply@civicplus.com <noreply@civicplus.com>

Date Tue 5/6/2025 7:28 PM

To Celestine Jeffreys <Celestine.Jeffreys@greenbaywi.gov>; Eric Genrich <Eric.Genrich@greenbaywi.gov>; Joseph Faulds <Joseph.Faulds@greenbaywi.gov>; Lindsey Belongea <Lindsey.Belongea@greenbaywi.gov>

Alders' Petitions and Communications

Name	Brian Johnson
Committee Name	Redevelopment Authority
Text of Communication	For consideration and possible action to update the housing study completed in 2020 to capture current housing demand, document other development tools and resources to help to help close gaps in capital stacks, and recommend policy modifications to accelerate housing projects that align with existing demands and needs.

Email not displaying correctly? [View it in your browser.](#)



Report to the
Redevelopment Authority
of the City of Green Bay

MEETING DATE

June 10, 2025

PREPARED BY

AGENDA ITEM # G.2

Financial report and check register.

BACKGROUND

RECOMMENDATION

FISCAL IMPACT

ATTACHMENTS

1. RDA Financial Report 2025
2. Check Report

Redevelopment Authority
 Financial Report
 CDBG
 5/30/2025

CDBG Entitlement Funds	2025 Budget	2024 Carry Over	Program Income	Expenses	Obligated	Remaining Balance
Fair Housing	-	30,335.00	-	6,662.00	-	23,673.00
Public Services	-	347,590.16	-	105,640.34	241,949.82	-
CDBG Eligible Areas HILP Program	-	141,246.14	11,652.80	23,797.50	117,448.64	11,652.80
CDBG Eligible Areas Public Facilities and Infrastructure	-	252,383.35	-	40,820.00	19,366.16	192,197.19
CDBG Eligible Areas-Beautificatio/Art	-	87,559.87	-	-	-	87,559.87
Economic Development Façade	-	90,000.00	-	-	-	90,000.00
Economic Development - RLF	-	40,607.57	244,022.93	-	35,000.00	249,630.50
Administration	-	174,851.18	2,913.20	54,869.58	-	122,894.80
	\$ -	\$ 1,164,573.27	\$ 258,588.93	\$ 231,789.42	\$ 413,764.62	\$ 777,608.16

CARES CDBG-CV Funds	2025 Budget	2024 Carry Over	Program Income	Expenses	Obligated	Remaining Balance
Rental/Mortgage Assistance Program LMI	-	36,414.78	-	16,504.99	19,909.79	-
	\$ -	\$ 36,414.78	\$ -	\$ 16,504.99	\$ 19,909.79	\$ -

Redevelopment Authority
 Financial Report
 HOME
 5/30/2025

	2025 Budget	2024 Carry Over	Program Income	Expenses	Obligated	Remaining Balance
Single Family Rehab Loan Program	-	272,016.68	-	85,831.00	183,576.00	2,609.68
Downpayment Closing Cost Assistance	-	50,000.00	-	9,500.00	-	40,500.00
CHDO Projects	-	434,784.00	-	-	434,784.00	-
Housing Development Projects	-	1,518,941.30	82,376.00	-	494,418.00	1,106,899.30
Administration	-	165,660.33	20,594.00	31,989.31	-	154,265.02
HOME-ARP Admin	-	1,881,229.91	-	55,836.62	825,393.29	1,000,000.00
	\$ -	\$ 4,322,632.22	\$ 102,970.00	\$ 183,156.93	\$ 1,938,171.29	\$ 2,304,274.00

City of Green Bay RDA

Check Register

31-May

CHECK #	CHECK DATE	VENDOR NAME	AMOUNT
21869	05/07/2025	NEIGHBORWORKS GREEN BAY	5,877.50
21870	05/14/2025	BOYS & GIRLS CLUB OF GREEN BAY, INC.	713.93
21871	05/14/2025	CITY OF GREEN BAY	23,393.08
21872	05/14/2025	MANDOLIN FOUNDATION LIMITED	1,402.50
21873	05/14/2025	NEIGHBORWORKS GREEN BAY	16,365.00
21874	05/28/2025	BIG BROTHERS BIG SISTERS OF NE WISCONSIN	944.23
21875	05/28/2025	CITY OF GREEN BAY	597.61
21876	05/28/2025	ENCOMPASS EARLY EDUCATION & CARE INC	8,959.57
21877	05/28/2025	NEIGHBORWORKS GREEN BAY	18,227.50
21878	05/28/2025	N.E.W. COMMUNITY CLINIC, LTD	15,663.69
			<hr/>
			\$ 92,144.61



Report to the
Redevelopment Authority
of the City of Green Bay

MEETING DATE

June 10, 2025

PREPARED BY

AGENDA ITEM # G.3

Director's report and project updates.

BACKGROUND

RECOMMENDATION

FISCAL IMPACT

ATTACHMENTS

None



Report to the
Redevelopment Authority
of the City of Green Bay

MEETING DATE

June 10, 2025

PREPARED BY

Will Peters

AGENDA ITEM # G.5

Progress update on the Community Land Trust.

BACKGROUND

Community Land Trust Consultant Jeff Washburn to present to RDA at the June 10, 2025, RDA meeting.

RECOMMENDATION

FISCAL IMPACT

ATTACHMENTS

None