



AGENDA OF THE GREEN BAY PLAN COMMISSION

MONDAY, APRIL 27, 2026, 6:00 PM
City Hall, Room 604 - The Harry Maier Room.
Virtual attendance is also available via Zoom.

A. Zoom Meeting Information.

I. Join Zoom Meeting Online:

<https://us02web.zoom.us/j/89807832363?pwd=hbXVacI8EmXu3rNzVafMVwXDhFg693.I>

Or call in by phone: +1 312 626 6799

Meeting ID: 898 0783 2363

Passcode: 421007

If you wish to leave a comment for this public meeting, please fill out the online [Comment Form](#) prior to the meeting. More detailed [Zoom Instructions](#) can be found online.

B. Roll Call.

- I. Members: Chair Lisa Hanson, Vice-Chair Jacob Miller, Ald. Jim Hutchison, Derius Daniels, Ken Rovinski, Emma Fulwilder and Kelsey Lutzow.

C. Approval of the Agenda.

- I. Approval of the agenda for the Monday, April 27, 2026, meeting of the Green Bay Plan Commission.

D. Approval of Minutes.

- I. Approval of the minutes from the April 13, 2026, meeting.

E. Regular Business.

- I. (ZP 26-07) Public Hearing to amend the Grandview Planned Unit Development (PUD), located on parcels #21-16-1-5, #21-10, #21-11, #21-12, #21-13-1, #21-17, #12-11-1, #21-16-1-16, #21-21-A, #21-20, #21-4, submitted by Vierbicher, on behalf of Humboldt Investments LLC, Wood Run LLC, Erie Road Development LLC, Duquaine Development Inc,

and the City of Green Bay, property owners. (Ald. J. Grant, District 1 & Ald. J. Hutchison, District 2)

2. (ZP 26-07) Consideration with possible action to amend the Grandview Planned Unit Development (PUD), located on parcels #21-16-1-5, #21-10, #21-11, #21-12, #21-13-1, #21-17, #12-11-1, #21-16-1-16, #21-21-A, #21-20, #21-4, submitted by Vierbicher, on behalf of Humboldt Investments LLC, Wood Run LLC, Erie Road Development LLC, Duquaine Development Inc, and the City of Green Bay, property owners. (Ald. J. Grant, District 1 & Ald. J. Hutchison, District 2)
3. (ZP 26-08) Public Hearing on a request for a Conditional Use Permit to allow a Rooming House at 828 Cherry Street, submitted by David Nelson on behalf of Casabnor Properties LLC, property owner. (Ald. A. Proffitt, District 7)
4. (ZP 26-08) Consideration with possible action on a Conditional Use Permit to allow a Rooming House at 828 Cherry Street, submitted by David Nelson, on behalf of Casabnor Properties LLC, property owner. (Ald. A. Proffitt, District 7)
5. (ZP 26-18) Public Hearing to amend a Planned Unit Development for the JBS Development Site (Parcels #23-243-1-1, #23-243-1, #23-243-1-2, #23-243-1-3, #B-243-4), submitted by Community and Economic Development Department, on behalf of the Redevelopment Authority of the City of Green Bay and Grand Boulevard Apartments LLC, property owners. (Ald. B. Morgan, District 3)
6. (ZP 26-18) Consideration with possible action to amend a Planned Unit Development for the JBS Development Site (Parcels #23-243-1-1, #23-243-1, #23-243-1-2, #23-243-1-3, #B-243-4), submitted by Community and Economic Development Department, on behalf of the Redevelopment Authority of the City of Green Bay and Grand Boulevard Apartments LLC, property owners. (Ald. B. Morgan, District 3)
7. **(ZP 26-09)** Public Hearing on a conditional use permit request to build a single family home within the S-RLI zoned district at **1108 S Broadway**, submitted by Allison Buckley of Radue Homes, applicant; Redevelopment Authority of the City of Green Bay, property owner. (Ald. DeBaker, District 9)

(ZP 26-10) Public Hearing on a conditional use permit request to build a single family home within the S-RLI zoned district at **1112 S Broadway**, submitted by Allison Buckley of Radue Homes, applicant; Redevelopment Authority of the City of Green Bay, property owner. (Ald. DeBaker, District 9)

(ZP 26-11) Public Hearing on a conditional use permit request to build a single family home within the S-RLI zoned district at **1116 S Broadway**, submitted by Allison Buckley of Radue Homes, applicant; Redevelopment Authority of the City of Green Bay, property owner. (Ald. DeBaker, District 9)
8. **(ZP 26-09)** Consideration with possible action on a Conditional Use Permit request to build a single-family home within the S-RLI zoned district at **1108 S Broadway**, submitted by Allison Buckley of Radue Homes, applicant; Redevelopment Authority of the City of Green

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9. **(ZP 26-12)** Public Hearing on a Conditional Use Permit request to build a single family home within the S-RLI zoned district at **1216 S Broadway**, submitted by Matt Sahs of Green Bay Habitat for Humanity; applicant and property owner. (Ald. DeBaker, District 9)

(ZP 26-13) Public Hearing on a Conditional Use Permit request to build a single family home within the S-RLI zoned district at **1319 S Broadway**, submitted by Matt Sahs of Green Bay Habitat for Humanity; applicant and property owner. (Ald. DeBaker, District 9)

(ZP 26-14) Public Hearing on a Conditional Use Permit request to build a single family home within the S-RLI zoned district at **1321 S Broadway**, submitted by Matt Sahs of Green Bay Habitat for Humanity; applicant and property owner. (Ald. DeBaker, District 9)

(ZP 26-15) Public Hearing on a Conditional Use Permit request to build a single-family home within the S-RLI zoned district at **1305 S Chestnut Ave**, submitted by Matt Sahs of Green Bay Habitat for Humanity; applicant and property owner. (Ald. DeBaker, District 9)

(ZP 26-16) Public Hearing on a Conditional Use Permit request to build a single family home within the S-RLI zoned district at **1223 S Chestnut Ave**, submitted by Matt Sahs of Green Bay Habitat for Humanity; applicant and property owner. (Ald. DeBaker, District 9)

(ZP 26-17) Public Hearing on a Conditional Use Permit request to build a single family home within the S-RLI zoned district at **1322 S Chestnut Ave**, submitted by Matt Sahs of Green Bay Habitat for Humanity; applicant and property owner. (Ald. DeBaker, District 9)

10. **(ZP 26-12)** Consideration with possible action on a Conditional Use Permit request to build a single family home within the S-RLI zoned district at **1216 S Broadway**, submitted by Matt Sahs of Green Bay Habitat for Humanity; applicant and property owner. (Ald. DeBaker, District 9)

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F. Informational.

1. Director's report.
2. Next Meeting: Monday, May 11, 2026

G. Adjournment.

1. Adjournment of the Monday, April 27, 2026, meeting of the Green Bay Plan Commission.

- 1) THIS MEETING IS RECORDED: THE VIDEO OF THIS MEETING AND MINUTES ARE AVAILABLE ONLINE AT www.greenbaywi.gov
- 2) ACCESSIBILITY: Any person wishing to attend who requires special accommodation because of a disability, should contact the City Safety Manager at 920-448-3125 at least 48 hours before the scheduled meeting time so that arrangements can be made.
- 3) QUORUM: Please take notice that a majority or quorum of the Common Council will attend this Plan Commission meeting and will constitute a meeting of the Common Council for purposes of discussion and information gathering relative to this agenda.
- 4) REPRESENTATION: The party requesting the communication, or their representative, should be present at this meeting.



Report to the
Green Bay Plan Commission

MEETING DATE

April 27, 2026

PREPARED BY

AGENDA ITEM # D.I

Approval of the minutes from the April 13, 2026, meeting.

BACKGROUND

RECOMMENDATION

FISCAL IMPACT

ATTACHMENTS

- I. GBPC Minutes 04.13.2026



MINUTES OF THE GREEN BAY PLAN COMMISSION

MONDAY, APRIL 13, 2026, 6:00 PM
City Hall, Room 604 - The Harry Maier Room.
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Or call in by phone: +1 312 626 6799

Meeting ID: 898 0783 2363

Passcode: 421007

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B. ROLL CALL.

- I. Members: Chair Lisa Hanson, Vice-Chair Jacob Miller, Ald. Jim Hutchison, Derius Daniels, Ken Rovinski, Emma Fulwilder and Kelsey Lutzow.

Present: Jacob Miller, Lisa Hanson, Derius Daniels, Ken Rovinski, Jim Hutchison, Emma Fulwilder, Kelsey Lutzow

Excused: None

Absent: None

C. APPROVAL OF THE AGENDA.

- I. Approval of the agenda for the Monday, April 13, 2026, meeting of the Green Bay Plan Commission.

Moved by Ken Rovinski, seconded by Derius Daniels to approve the agenda. Motion Passed. Yes—Jacob Miller, Lisa Hanson, Derius Daniels, Ken Rovinski, Jim Hutchison, Emma Fulwilder, Kelsey Lutzow, No-None, Abstain-None.

D. APPROVAL OF MINUTES.

- I. Approval of the minutes from the March 23, 2026, meeting.

Moved by Ken Rovinski, seconded by Jacob Miller to approve the minutes. Motion Passed. Yes—Jacob Miller, Lisa Hanson, Derius Daniels, Ken Rovinski, Jim Hutchison, Emma Fulwilder, Kelsey Lutzow, No-None, Abstain-None.

E. REGULAR BUSINESS.

- I. (ZP 26-05) Public Hearing on a request for a Conditional Use Permit to allow for a building to exceed maximum height requirements for property located in a Public Institutional (PI) district located at 511 S Oneida Street, submitted by Jacob Thiem of City of Green Bay Public Works Department, property owner (Ald. J. Ridderbush, District 8).

Chair Lisa Hanson read into record the rules and procedures for the public hearing. Chair Lisa Hanson opened the floor for the public hearing.

Speakers:

Dena Mooney—Staff

Chair Lisa Hanson asked staff and the public three (3) times if there was any one else wishing to speak. Hearing/seeing no one else, the public hearing was closed.

2. (ZP 26-05) Consideration with possible action on a request for a Conditional Use Permit to allow for a building to exceed maximum height requirements for property located in a PI Public Institutional zoned district at 511 S Oneida Street; submitted by Jacob Thiem of City of Green Bay Public Works Department-applicant, City of Green Bay-property owner (Ald. J. Ridderbush, District 8).

Moved by Ken Rovinski, seconded by Jacob Miller to approve a Conditional Use Permit to allow for a building to exceed maximum height requirements for property located in a PI Public Institutional zoned district at 511 S Oneida Street. Motion Passed.

Yes—Jacob Miller, Lisa Hanson, Derius Daniels, Ken Rovinski, Jim Hutchison, Emma Fulwilder, Kelsey Lutzow, No-None, Abstain-None.

3. (ZP 26-06) Public Hearing on a request for a Conditional Use Permit to allow for an accessory dwelling unit at an RI Low-Density Residential zoned parcel at 123 Joan Avenue; submitted by Michael Kopke; applicant and property owner. (Ald. C. Stevens, District 5).

Chair Lisa Hanson read into record the rules and procedures for the public hearing. Chair Lisa Hanson opened the floor for the public hearing.

Speakers:

Jon LeRoy—Staff

Chair Lisa Hanson asked staff and the public three (3) times if there was any one else wishing to speak. Hearing/seeing no one else, the public hearing was closed.

4. (ZP 26-06) Consideration with possible action on a request for a Conditional Use Permit to allow for an accessory dwelling unit at an RI Low-Density Residential zoned parcel at 123 Joan Avenue; submitted by Michael Kopke; applicant and property owner. (Ald. C. Stevens, District 5).

Moved by Ken Rovinski, seconded by Ald. Jim Hutchison to approve a Conditional Use Permit to allow for an accessory dwelling unit at an RI Low-Density Residential zoned parcel at 123 Joan Avenue. Motion Passed.

Yes—Jacob Miller, Lisa Hanson, Derius Daniels, Ken Rovinski, Jim Hutchison, Emma Fulwilder, Kelsey Lutzow, No-None, Abstain-None.

F. INFORMATIONAL.

1. Director's report.

—Development Director, Cheryl Renier-Wigg, presented the Director's Report.

2. Next Meeting: Monday, April 27, 2026.

G. ADJOURNMENT.

1. Adjournment of the Monday, April 13, 2026, meeting of the Green Bay Plan Commission.

Moved by Ken Rovinski, seconded by Jacob Miller to adjourn the meeting. Motion Passed.
Yes—Jacob Miller, Lisa Hanson, Derius Daniels, Ken Rovinski, Jim Hutchison, Emma Fulwilder, Kelsey Lutzow, No-None, Abstain-None.



Report to the
Green Bay Plan Commission

MEETING DATE

April 27, 2026

PREPARED BY

AGENDA ITEM # E.1

(ZP 26-07) Public Hearing to amend the Grandview Planned Unit Development (PUD), located on parcels #21-16-1-5, #21-10, #21-11, #21-12, #21-13-1, #21-17, #12-11-1, #21-16-1-16, #21-21-A, #21-20, #21-4, submitted by Vierbicher, on behalf of Humboldt Investments LLC, Wood Run LLC, Erie Road Development LLC, Duquaine Development Inc, and the City of Green Bay, property owners. (Ald. J. Grant, District 1 & Ald. J. Hutchison, District 2)

BACKGROUND

RECOMMENDATION

FISCAL IMPACT

ATTACHMENTS

None



Report to the Green Bay Plan Commission

MEETING DATE

April 27, 2026

PREPARED BY

Stephanie Hummel, Staff

AGENDA ITEM # E.2

(ZP 26-07) Consideration with possible action to amend the Grandview Planned Unit Development (PUD), located on parcels #21-16-1-5, #21-10, #21-11, #21-12, #21-13-1, #21-17, #12-11-1, #21-16-1-16, #21-21-A, #21-20, #21-4, submitted by Vierbicher, on behalf of Humboldt Investments LLC, Wood Run LLC, Erie Road Development LLC, Duquaine Development Inc, and the City of Green Bay, property owners. (Ald. J. Grant, District 1 & Ald. J. Hutchison, District 2)

BACKGROUND

Reason for Request: To amend the existing Planned Unit Development (PUD) to reflect clerical updates, minor adjustments for two development proposals, and staff updates reflecting modern zoning code.

Subject Parcel Zoning and Land Use: Subject land area is zoned Planned Unit Development and is undeveloped and farmed green space.

Surrounding Zoning and Land Uses:

North: Rural Residential (RR) and Conservancy (CON) | Single-family home and undeveloped, farmed land

South: Rural Residential (RR), Low-Density Residential (R1), & General Commercial (C1) | Single- and Two-Family Homes, Religious Institution, & Restaurant

East: Rural Residential (RR) | Single-family homes and green, farmed land

West: Rural Residential (RR), Medium-Density Residential (R2), & General Commercial (C1) | Single-family homes and golf course with restaurant

Comprehensive Plan: The 2050 Go Big Green Bay Comprehensive Plan recommends Mixed Residential uses for this area. The application is consistent with this recommendation.

Report: The Grandview PUD was created in 2014 as a Traditional Neighborhood Development, with focus on a mix of residential uses, building styles, with commercial areas to support these homes. It is intended to be designed at a human scale and connectivity throughout the development area. Total size of the PUD area is 263.36 acres. It was previously amended in 2018 to adjust some design features and to phase the storm water management plan. To date, one development has occurred in this PUD — Oak Park Place, a senior and assisted living facility.

There are two developers with proposals in the Grandview PUD area. Their developments require minor amendments to the PUD. Staff took this opportunity to review the PUD to do some clerical updates (primarily outdated code references), as well as review the content for compliance with current zoning code.

The first development proposed is in the southeast corner of the PUD area. This includes a mix of singles, townhomes, duplexes, and multi-families. While the land uses are not being amended, the site layout is — see attachment showing the comparison. Additionally, access alleys are being shown in the townhome areas to allow for rear-loaded townhomes to be built.

The second development proposed is in the northwest corner of the PUD area. This includes singles and townhomes. There are slight adjustments to the land uses, swapping a small townhome area for singles. “Standard” single-family lots have a private road being added for a single-family condominium development. Lastly, alley access is being shown in the townhome area to allow for rear-loaded homes. The multifamily area just south of this will remain the same.

Alders Grant and Hutchison and neighbors within 200 ft. have been notified of the meeting based on Plan Commission policy. Staff has not received any inquiries about the request as of the drafting of this report.

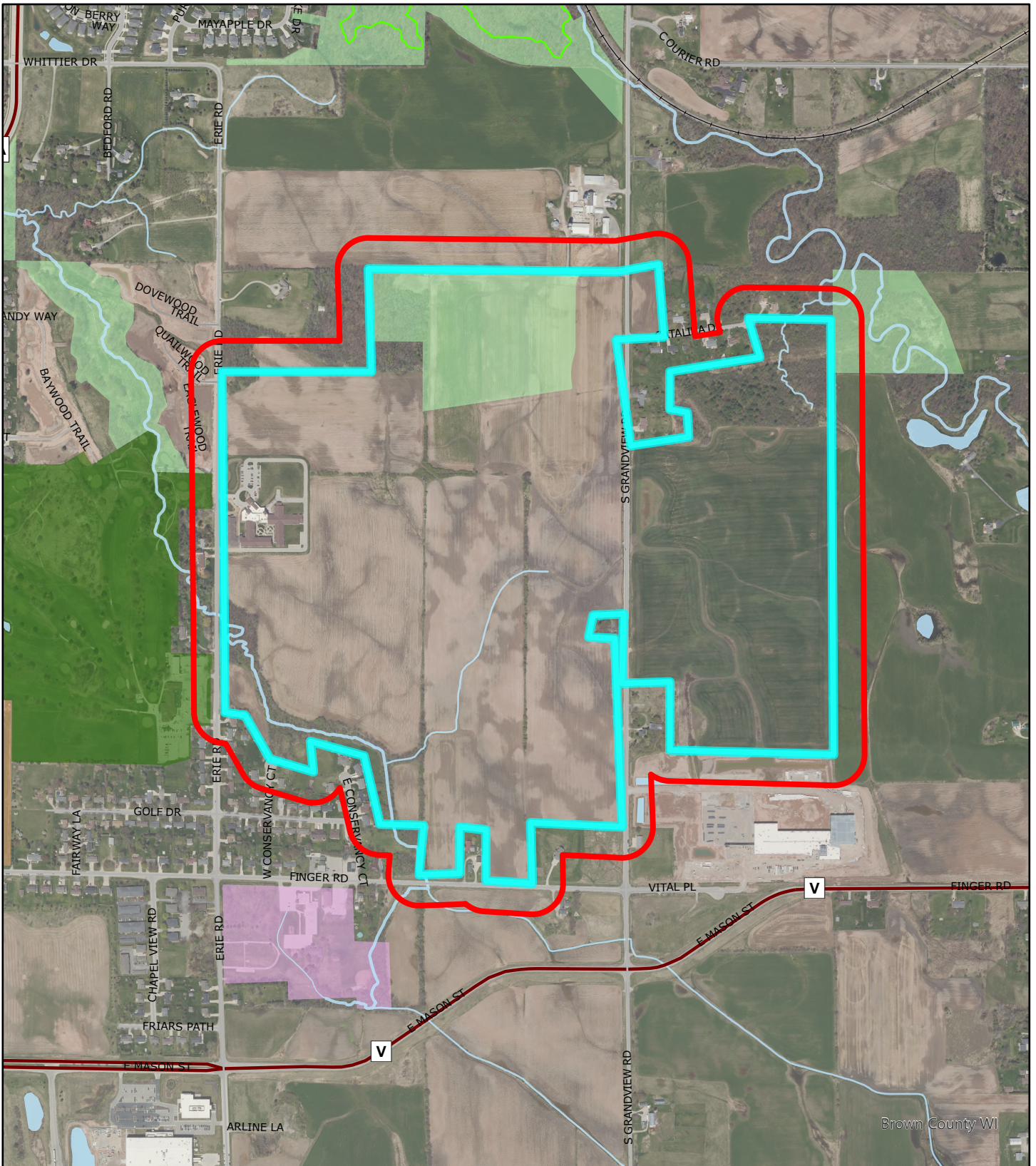
RECOMMENDATION

Approval of the request, subject to the adoption of the draft PUD.

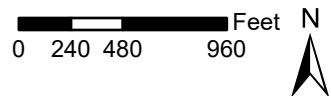
FISCAL IMPACT

ATTACHMENTS



1. ZP 26-07 Map
2. ZP 26-07 Updated Land Use Exhibit
3. ZP 26-08 Northwest Development Comparison
4. ZP 26-07 Rocky Arbor SF Site Plan
5. ZP 26-07 Rocky Arbor Project Narrative
6. ZP 26-08 Southeast Development Comparison
7. ZP 26-07 MF+ Site Plan, SE corner
8. ZP 26-07 Multi-Family plus Singles Project Narrative
9. ZO XX-XX - Grandview PUD Amendment, DRAFT
10. ZO XX-XX, Exhibits B-J - Grandview Place



(ZP 26-07) PUD Amendment for Grandview Development

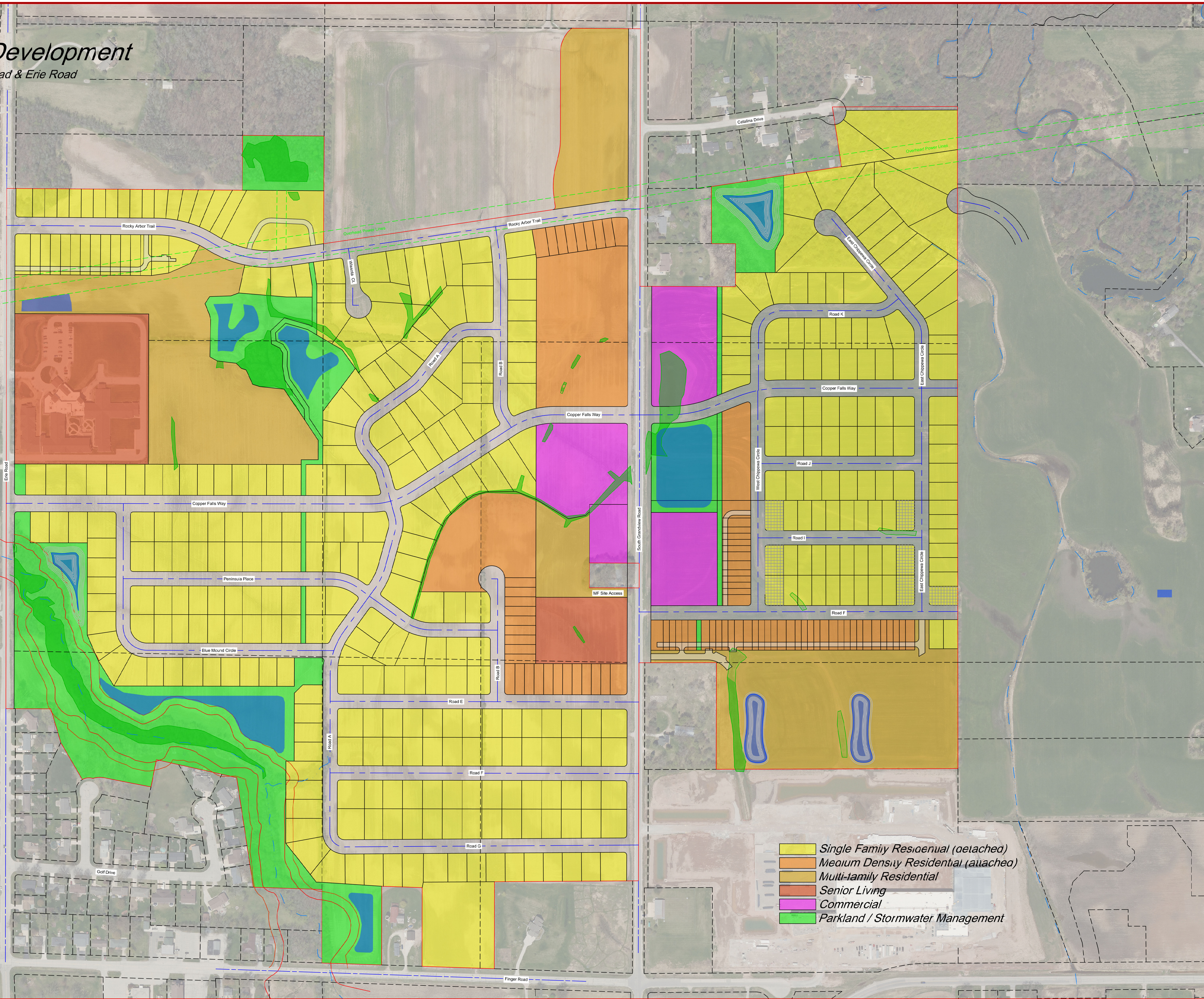


This is a compilation of records and data located in various City of Green Bay offices and is to be used for reference purposes only. The City of Green Bay is not responsible for any inaccuracies or unauthorized use of the information contained within. No warranties are implied. Map prepared by City of Green Bay Department of Community and Economic Development. E.R. 10 Apr 2026 C:\Users\stephaniehu\Documents\ArcGIS\Projects\Base Map\Base Map.aprx

-  JBS Development Site
-  200' Notification Area

Fiannea Unit Development

South Grandview Road & Erie Road



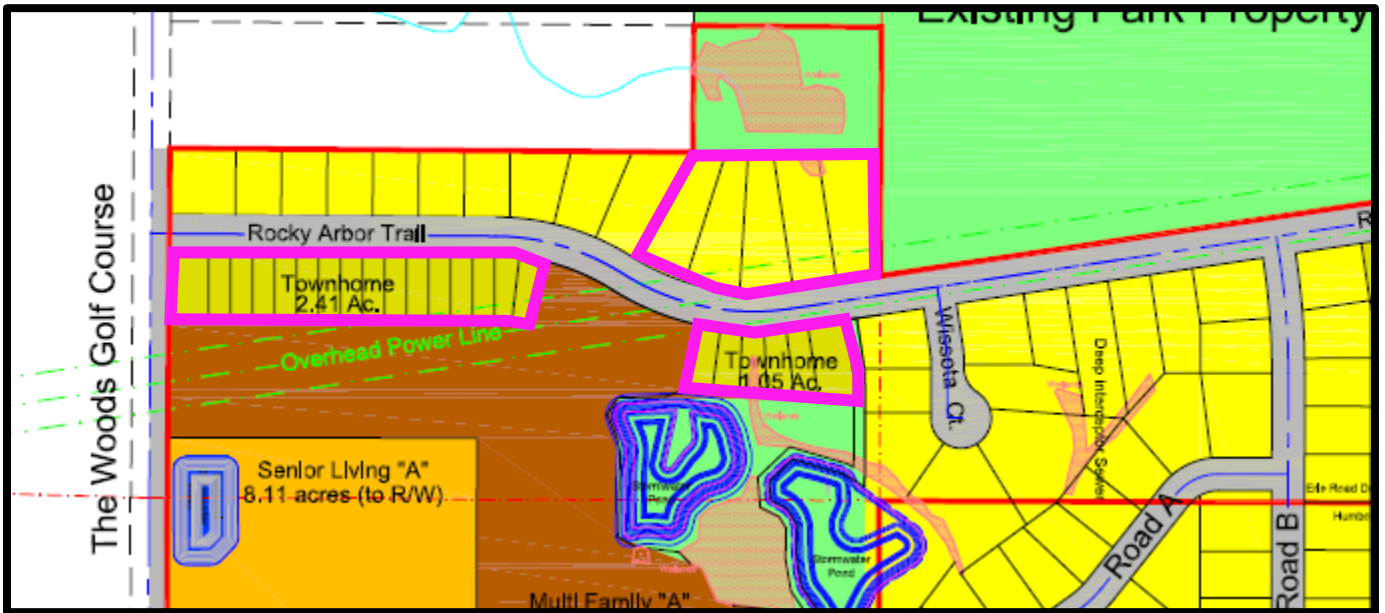
- Single Family Residential (attached)
- Medium Density Residential (attached)
- Multi-family Residential
- Senior Living
- Commercial
- Parkland / Stormwater Management

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

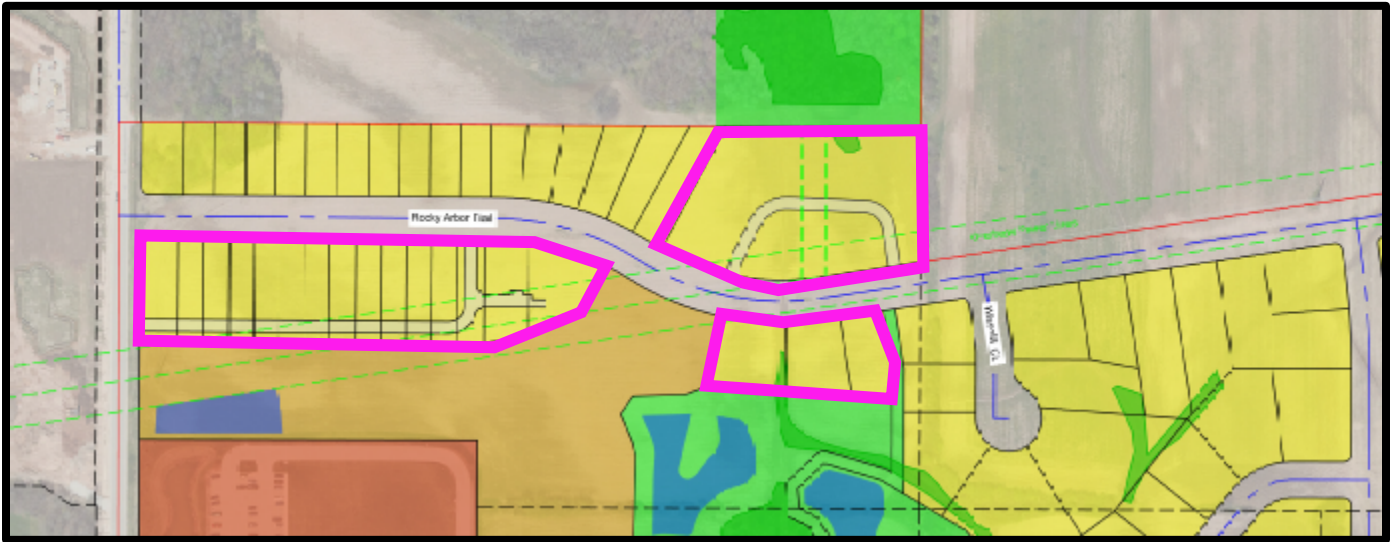
DATE: 02-04-26
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 PROJECT NO: 250743
 SHEET: 1 OF 1

Development #2, Northwest Corner

2018 Land Use and Roads

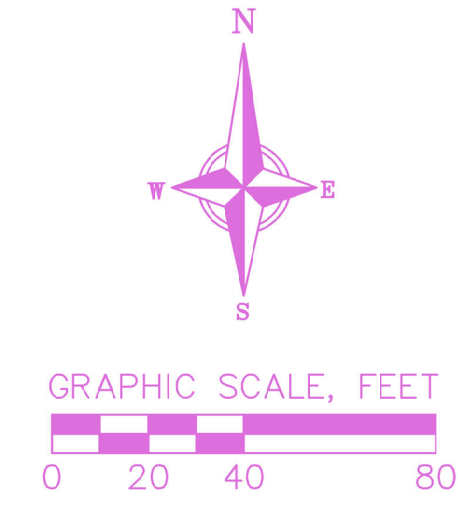


2026 Land Use and Roads

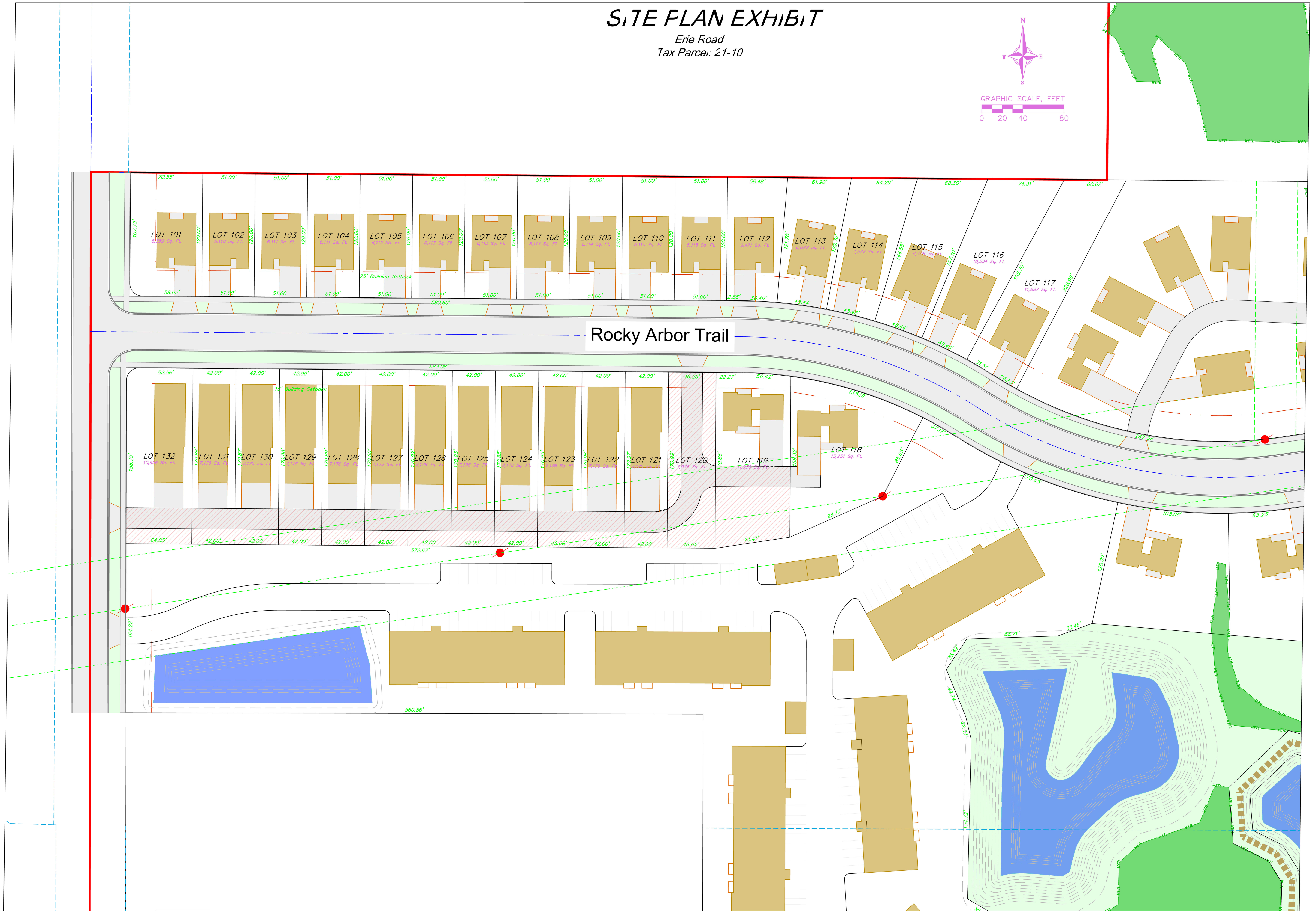


SITE PLAN EXHIBIT

Erie Road
Tax Parcel: 21-10



© Vierbicher Associates, Inc.



06 Mar 2026 - 9:10a G:\Duquaine Development Inc\250743 - Grandview Road East Green Bay, Brown Co\CADD\250743 PID Amend 030326.dwg by: brym

Wood Run LLC
Erie Road
City of Green Bay, WI
Brown County

REVISIONS	NO.	DATE	REMARKS

DATE: 02-04-2026
DRAFTER: BAR
CHECKED: -
PROJECT NO: 250743
SHEET: 1 OF 1

PUD Amendment Narrative: Grandview PUD (ZO 4-18)

Project Location: Tax Parcel 21-10 (Wood Run LLC)

Date: March 2026

I. Introduction

This narrative supports an amendment to the Grandview Planned Unit Development (PUD) established by **Zoning Ordinance No. 4-18**. This amendment presents the final site layout and architectural details for the residential phase east of Erie Road. While staying true to the original PUD's focus on quality design, walkability, and varied housing, these updates refine the lotting and infrastructure to better fit our specific building plans.

II. Infrastructure and Site Connectivity

The proposed layout maintains the integrity of the original master plan while refining access for safety and environmental compliance.

1. **Rocky Arbor Trail:** This internal public street remains consistent in all aspects—including dimensions, alignment, and function—with the original conceptual layout of the PUD.
 - **Internal Private Drives:** A private drive accessing from two points on Rocky Arbor Trail provides dedicated entry and exit to the single-family condominium development on the eastern portion of the site. Orth of Rock Arbor Trail.
 - **Pedestrian Connectivity:** In accordance with Section 3.J.7 of ZO 4-18, concrete sidewalks will be installed on both sides of Rocky Arbor Trail.
2. **Erie Road Access Points:**
 - **Townhome Rear Drive:** A private rear driveway serves Lots 118–132, connecting Rocky Arbor Trail to Erie Road.
 - **Multifamily/Apartment Access:** Separate connected private driveway off of Erie Road and Rocky Arbor Trail serving the multifamily development south of the townhomes. The Erie Road access is ±182' south of the intersection of Rocky Arbor Trail and Erie Road.
 - **Separation and Constraints:** To ensure optimal traffic safety, the access point on Erie Road is placed at the maximum achievable ±115' south from the townhome private drive

III. Residential Development and Architectural Standards

The amendment defines the specific housing types for **Lots 101–132** and the adjacent condo and apartment parcels:

1. Single-Family Detached (Lots 101–117 and 3 South-Side Lots)

- **Scope:** Includes the 17 lots north of Rocky Arbor Trail and the 3 lots located on the south side of Rocky Arbor trail, East of the Multifamily Apartments.
- **Specifications:** 2-bedroom, 2-bathroom units with 2-stall garages.
- **Anti-Monotony Strategy:** The units are comprised of 2 different floor plans to maintain cost consistency. However, to meet PUD architectural standards, **3–4 distinct exterior versions** will be utilized. These versions will vary in roof lines, exterior colors, and materials to ensure no adjoining parcels share the same front façade.

2. Single-Family Condominium Development (East of Lot 117)

- **Scope:** Includes the 8 Units north of Rocky Arbor Trail.
- **Specifications:** 2-bedroom, 2-bathroom units with 2-stall garages.
- **Anti-Monotony Strategy:** The units are comprised of 2 different floor plans to maintain cost consistency. However, to meet PUD architectural standards, **3–4 distinct exterior versions** will be utilized. These versions will vary in roof lines, exterior colors, and materials to ensure no adjoining parcels share the same front façade.

3. Townhomes (Lots 118–132)

- **Scope:** Includes the 14 lots south of Rocky Arbor Trail, and north of the Multifamily Apartments. These will have rear entry garages and 2 access points, one on Erie Road and one on Rocky Arbor Trail.
- **Specifications:** 2-bedroom, 2-bathroom units with 2-stall garages.
- **Anti-Monotony Strategy:** The units are comprised of 3 different floor plans to maintain cost consistency. However, to meet PUD architectural standards, **3–4 distinct exterior versions** will be utilized. These versions will vary in roof lines, exterior colors, and materials to ensure no adjoining parcels share the same front façade.

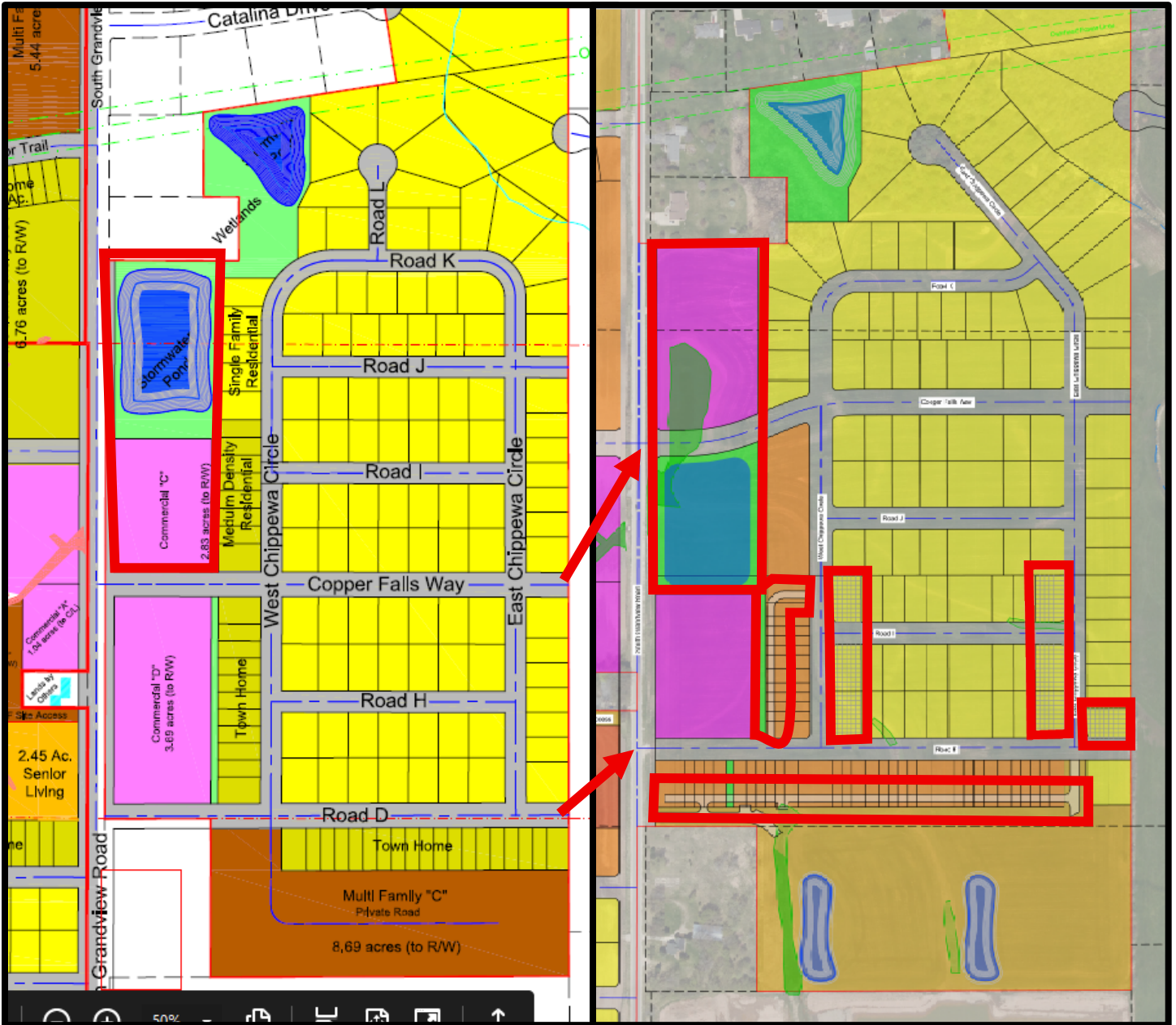
4. Multifamily Apartments (South of Townhomes)

- **Scope:** Multifamily apartment complex.
- **Specifications:** Undetermined
- **Context:** This phase utilizes two dedicated access points, Rocky Arbor Trail and Erie Road. The Erie Road access is positioned to maximize distance from northern traffic points while accommodating the proposed regional storm water management pond.

Development #1, Southeast Corner

2018 Land Use and Roads

2026 Land Use and Roads



PUD Amendment Narrative: Grandview Apartments (ZO 4-18)

Project Location: Tax Parcel #21-21-A

Date: March 2026

I. Introduction

This narrative supports an amendment to the Grandview Planned Unit Development (PUD) established by **Zoning Ordinance No. 4-18**. This amendment presents the final site layout and architectural details for the residential phase located at **South Grandview Road**. While staying true to the original PUD's focus on quality design, walkability, and varied housing, these updates refine the lotting and infrastructure to better fit specific building plans.

II. Infrastructure and Site Connectivity

The proposed layout maintains the integrity of the original master plan while refining access for safety and environmental compliance.

- **Public Road Interface:** The development is primarily accessed via South Grandview Road.
- **Internal Public Streets:** The layout includes **Road I, Road F, and East Chippewa Circle**, which serve as the primary internal corridors.
- **Curbing and Parking:** The design utilizes professional curbing and incorporates **parallel and inset parking** along public street frontages to provide guest parking without obstructing traffic flow.
- **Traffic Calming:** Road geometry, including the intersection of Road I and Road F, is designed to regulate speeds.
- **Pedestrian Connectivity:** In accordance with PUD Section 3.J.7, concrete sidewalks will be installed on both sides of all public streets to ensure safe movement throughout the site.

III. Stormwater Management and Site Amenities

The plan incorporates **three significant stormwater management ponds**.

- **Visual Interest:** The ponds serve as focal points for the southern multifamily complex and the northwest entrance.
- **Open Space Buffering:** These features provide natural separation between higher-density buildings and surrounding residential lots.
- **Compliance:** These basins manage regional runoff and satisfy the 20% open space requirement established in the original ordinance.

IV. Residential Development and Architectural Standards

The amendment defines specific housing types and anti-monotony strategies to ensure a diverse streetscape:

1. Single-Family and Duplex Residential (Lots 15–52)

- **Scope:** Lots organized around Road I and East Chippewa Circle.
- **Duplex Designations:** Lots 15, 24, 25, 34, 35, 44, and 51 are specifically designated as duplex lots.
- **Anti-Monotony:** To exceed the standards of PUD Section 3.C.2.f, 3–4 distinct exterior versions will be utilized, varying in roof lines and materials so that no adjoining parcels share a front façade.

2. Townhome Style Units (Lots 2-13 and 54–89)

- **Scope:** Provides a high-quality transition between low and high density.
- **Building Design:** Buildings 1 through 8 feature a consistent 6-unit townhome design.
- **Visual Variety:** A minimum of 3–4 distinct exterior versions will be rotated across these buildings.

3. Multifamily Apartments (Lot 90)

- **Scope:** Includes **Buildings 9–15** located in the southern portion of the development.
- **Building Specifications:** Comprised of 30-unit and 42-unit buildings, staying within the PUD-mandated density of 10–20 units per acre.
- **Context:** This phase utilizes dedicated **private drives** to maximize distance from northern traffic points while accommodating the regional stormwater ponds.

V. Closing Statement

The proposed amendments to the Grandview Planned Unit Development represent a refined vision for **Tax Parcel #21-21-A**, balance increased residential density with high-standard architectural aesthetics. By integrating deliberate anti-monotony strategies across all residential types, this development ensures a diverse and visually engaging streetscape that honors the quality design goals of **Zoning Ordinance No. 4-18**. Furthermore, the strategic placement of stormwater management ponds and the commitment to comprehensive pedestrian connectivity create a sustainable, walkable environment that serves both as a functional infrastructure solution and a key community amenity. This final site layout preserves the integrity of the original 2018 master plan while providing the necessary technical refinements to deliver a premier residential destination for the South Grandview Road corridor.

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AN ORDINANCE
AMENDING PLANNED UNIT DEVELOPMENT (PUD) **ZO 1-15 & 4-18**
FOR LAND GENERALLY LOCATED
NORTH OF FINGER ROAD, WEST OF NORTHVIEW ROAD,
SOUTH OF CATALINA DRIVE, AND EAST OF ERIE ROAD
(ZP 26-07)

THE COMMON COUNCIL OF THE CITY OF GREEN BAY DOES ORDAIN AS FOLLOWS:

SECTION 1. Section **44-30**, Green Bay Municipal Code, together with the zoning map referred to therein, is hereby amending the Planned Unit Development (PUD) District on the following described property:

BEGINNING AT THE WEST 1/4 CORNER OF SECTION 1, T23N-R21E; THENCE N00°26'02"E, 635.02 FEET ALONG THE WEST LINE OF THE SW1/4-NW1/4 OF SAID SECTION 1, THENCE S89°32'54"E, 983.85 FEET; THENCE N00°26'04"E, 690.00 FEET; THENCE S89°32'54"E, 1,664.20 FEET; THENCE S00°07'58"W, 1,079.77 FEET; THENCE S89°46'12"E, 400.00 FEET; THENCE N00°08'01"E, 180.00 FEET; THENCE N89°46'07"W, 100.00 FEET; THENCE N00°09'51"W, 239.43 FEET; THENCE N81°16'35"E, 552.07 FEET; THENCE N08°43'25"W, 253.00 FEET; THENCE N89°45'35"E, 524.42 FEET; THENCE S00°00'09"W, 994.57 FEET; THENCE S00°04'03"E, 1,770.48 FEET; THENCE S89°55'51"W, 1,004.06 FEET; THENCE N00°07'58"E, 434.18 FEET; THENCE S89°55'51"W, 334.10 FEET; THENCE S00°07'58"W, 916.33 FEET; THENCE N89°32'54"W, 604.18 FEET; THENCE S00°05'12"W, 371.43 FEET; THENCE N87°22'26"W, 303.29 FEET; THENCE N00°07'04"E, 329.98 FEET; THENCE N89°05'24"W, 169.93 FEET; THENCE S00°07'04"W, 329.98 FEET; THENCE N87°23'43"W, 251.57 FEET; THENCE N00°28'38"E, 305.90 FEET; THENCE N88°04'59"W, 287.60 FEET; THENCE N08°57'38"W, 465.99 FEET; THENCE N77°25'18"W, 248.99 FEET; THENCE S29°15'01"E, 163.87 FEET; THENCE 65.32 FEET ALONG THE ARC OF A 55 FOOT RADIUS CURVE TO THE LEFT WHOSE LONG CHORD BEARS S26°43'13"W, 61.53 FEET; THENCE N78°53'21"W, 382.13 FEET; THENCE 129.88 FEET ALONG THE ARC OF A 55 FOOT RADIUS CURVE TO THE LEFT WHOSE LONG CHORD BEARS N52°44'23"W, 101.74 FEET; THENCE N30°23'35"W, 180.30 FEET; THENCE N15°59'51"W, 397.37 FEET; THENCE N88°55'28"W, 119.75 FEET TO THE WEST LINE OF THE NW1/4-SW1/4 OF SECTION 1, T23N-R21E; THENCE N00°06'09"E, 1,304.09 FEET ALONG SAID LINE TO THE POINT OF BEGINNING.

Parcel Numbers: 21-10, 21-11, 21-11-1, 21-12, 21-12-1, 21-13-1, 21-16-1-5, 21-17, 21-20, 21-21-A, 21-4, **21-16-1-16**

Parcels contains 11,471,961.6 square feet / 263.36 acres

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Parcel is subject to easements and restrictions of record

SECTION 2. This ordinance is enacted pursuant to Wis. Statutes Sections 62.23 and 66.1027. Its purpose is to allow the optional development and redevelopment of land in Green Bay consistent with the design principles of traditional neighborhoods.

A. INTENT. The intent of the PUD is to develop the subject area with elements of a traditional neighborhood, these themes include:

1. Is compact and is designed for the human scale.
2. Provides a mix of uses, including residential, commercial, civic, and open space uses in close proximity to one another within the neighborhood.
3. Provides a mix of housing styles, types, and sizes to accommodate the households of all ages, sizes, and incomes.
4. Incorporates a system of relatively narrow, interconnected streets with sidewalks, as well as access to bicycle and transit routes; offering multiple routes for motorists, pedestrians, and bicyclists and provides for the connections of those streets to existing and future developments.
5. Incorporates significant environmental features into the design.
6. Is consistent with the City of Green Bay Comprehensive Plan.

B. APPLICABILITY. This ordinance applies as an alternative set of standards for development or redevelopment on sites of 5 acres or more if it is within the Urban Service or Urban Expansion Districts and is contiguous to existing development and 15 acres or more if it is within the Urban Service or Urban Expansion Districts and is noncontiguous to existing development.

C. INTERPRETATION. Development shall be planned, reviewed, and carried out in conformance with all municipal, state, and other laws and regulations. However, if there is a conflict between the provisions of this subchapter and other provisions of the zoning or subdivision sections of the Green Bay Municipal Code, this subchapter shall take precedence.

SECTION 3. Pursuant to **Chapter 44, Article XX**, Green Bay Municipal Code, as they apply, the following conditions are imposed:

A. PERMITTED, CONDITIONAL, AND ACCESSORY USES. The only uses that may be established and/or maintained on the subject property, in conformance with Exhibit D – Grandview Place Land Use Plan, are as follows:

1. Permitted Uses: In order to achieve the proximity necessary to make neighborhoods walkable, it is important to mix land uses. A traditional neighborhood development shall consist of the following components: a residential area, a mixed-use area, and open space, as specified below.

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- a. Residential areas. The PUD shall include a residential area in which the following uses are permitted:
 - (1) Single-family detached dwellings.
 - (2) **Single-family attached dwellings.**
 - (3) **Two-family dwellings as shown in Exhibit D.**
 - (4) Multi-family dwellings, including senior housing, at a density of at least 10 and no more than 20 units per net acre. ~~Listed in Exhibit A.~~
 - (5) Required mix. A minimum of two housing types from this list must be present in the PUD. Single-family detached dwellings shall constitute a maximum of 70 percent of the dwelling units.
 - (6) Parcel No. 21-12-1 shall maintain the underlying R1 – Low Density Residential zoning.

- b. Mixed-use areas. The PUD shall include a mixed-use area containing commercial, civic, residential, and open space uses as identified below. The total land area devoted to nonresidential development, including ground floor commercial or office uses, civic buildings, and parking areas, shall not exceed 25 percent of the gross acreage of the PUD.
 - (1) Commercial uses:
 - (a) Food services (grocery stores, butcher shops, bakeries, and other specialty food stores, ice cream, candy shops, and restaurants, not including bars, taverns, and similar uses).
 - (b) General retail.
 - (c) Services such as daycare centers, music, dance or exercise studios, offices, including professional and medical offices, barber, hair salon, dry cleaning, repairs of small goods such as shoes, electronics, or similar items.
 - (d) Accommodations, including bed and breakfast establishments, small hotel, or inn.

 - (2) Residential uses, including those listed above, with the exception of single-family detached dwellings and also including the following:
 - (a) Residential units located above or to the rear of commercial uses.
 - (b) Live-work units that combine a residence and work place.

 - (3) Civic or institutional uses, including the following:
 - (a) Municipal offices, fire and police stations, libraries, museums, community meeting facilities, and post offices.
 - (b) Transit shelters.
 - (c) Places of worship.
 - (d) Educational facilities.

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- (4) Open space uses:
 - (a) Central square.
 - (b) Neighborhood park.
 - (c) Playground
 - (d) Natural open space area.
2. Conditional Uses: The following uses may be established with approval of a conditional-use permit:
 - ~~a. Single family attached dwellings.~~
 - b. Community-living arrangements and assisted living facilities. The density and housing type shall be determined based on the findings for the conditional-use permit.
 - c. Commercial uses, identified above, greater than 10,000 square feet.
 - d. Commercial uses with drive-through facilities.
3. Accessory Uses: The only accessory uses that may be established and/or maintained on the subject property, in conformance with permitted uses listed above, are as follows:
 - a. Residential areas: **Chapter 44, Article VI, Division 2**, Green Bay Municipal Code.
 - b. Mixed-use areas: **Chapter 44, Article VII, Division 2**, uses and standards listed under the Neighborhood Commercial (NC) District, Green Bay Municipal Code.
4. Open Space:
 - a. At least 20 percent of the gross acreage of the PUD shall be designated as open space, which may include undevelopable areas, such as steep slopes and wetlands, and stormwater detention and retention basins. Open space areas may include:
 - (1) Environmental corridors, greenways.
 - (2) Protected natural areas.
 - (3) Neighborhood and community parks, squares, plazas, and playing fields.
 - (4) Streams, ponds, and other water bodies.
 - (5) Open spaces do not include required setback areas and rights-of-way but may include (1) – (4) above.
 - b. Common open space. At least 25 percent of the open space area must be common open space available for public use. At least 90 percent of all dwellings shall be located within one-half mile of such common open space.

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c. Conservancy and open space areas shall be dedicated to the City at the time of platting.

B. DIMENSIONAL AND LOT AREA REQUIREMENTS. The following dimensional and area requirements shall apply to all lots within the development based on the land-use plan listed in Exhibit D.

1. Block and lot size diversity. Street layouts should provide for perimeter blocks that are generally in the range of 200 – 400 feet deep by 400 – 800 feet long. A variety of lot sizes should be provided to facilitate housing diversity and choice and meet the projected requirements of people with different housing needs.
2. Lot widths. Lot widths should create a relatively symmetrical street cross-section that reinforces the public space of the street as a simple, unified public space. Similar lot sizes and housing types should generally be located on opposite sides of a street.
3. Dimensional Standards.

	Min. lot size	Min. lot width	Front yard setback	Rear yard setback ^a	Side yard setback ^{b, e, c}	Height ^d	Max Impervious Surface ^g
			Min - Max	Minimum	Minimum	Min - Max	
Single-family detached	5,000 SF	50	10-20 35	25 5	6 (two) or 10 (one ZLL) 5	1 – 2.5 stories / 35'	60%
Two-family/attached residences	2,000 SF/unit	25 per unit	10-20 25	25 5	10 5 (end units)	1 – 2.5 stories / 35'	60%
Multi-family residences ^h	1,500/unit, min 4,000 SF	80 40	5 – 25	15 5	10	2-4 stories / 45'	70%
Nonresidential mixed use	or 5,000	50	0 – 10	n/a	6 ^e	2-4 stories / 45'	80%
Civic (institutional, rec.) buildings	5,000	50	0 – 25	n/a	10	2-4 stories / 45'	80%

Notes:

- a. ~~Where an alley is present, half of the alley's right-of-way width shall be counted toward the rear setback.~~
- b. ~~A minimum side yard setback of 6 feet shall be provided for single-family detached dwellings or a single side yard of 10 feet for semi-detached single-family dwellings. A minimum side yard setback of 10 feet shall be provided~~

~~for end-unit attached dwellings. For semi-detached single-family dwellings, a reciprocal access easement shall be recorded for both lots.~~ All semi-detached single-family dwellings, townhouses, and other attached dwellings shall have pedestrian access to the rear yard through means other than the principal structure.

- c. No side yards are required along interior lot lines, except as otherwise specified in the building code, except that if walls of structures facing such interior lot lines contain windows or other openings, yards of not less than 6 feet shall be provided. Side and rear yards of at least 6 feet shall be required when a nonresidential use adjoins a side yard of a residential property.
 - d. See **Chapter 44-1499(a)**, Green Bay Municipal Code, for exceptions to maximum height.
 - e. Corner properties. The side façade of a corner building adjoining a public street shall maintain the front setback of the adjacent property fronting upon the same public street. If no structure exists on the adjacent property, no less than half of the front setback applies.
 - f. Commercial buildings or a portion of such buildings shall be oriented to the public right-of-way with parking located in the rear or side yard to ensure the uses are integrated into the block structure. The same restrictions shall apply to multi-family buildings or a portion of such buildings that front onto Erie Road or Grandview Road.
 - g. Single-family detached lots greater than 7,500 square feet shall have a maximum impervious surface coverage of 50 percent.
 - h. All units in multi-family development shall have an attached garage and may have additional detached garages as necessary.
4. Standards for garages and other access structures. Garages may be placed on a single-family detached residential lot either within the principal building or an accessory building, meeting the following requirements:
- a. Attached accessory structures shall be considered attached and integral part of the principal structure when it is connected by an enclosed passageway. Such structures are subject to **Section 44-590(b)**, Green Bay Municipal Code.
 - b. Detached accessory structures shall be permitted in residential districts in accordance with **Section 44-590(c)**, Green Bay Municipal Code.
 - c. All garages shall be set back 20 feet from the public right-of-way.
- C. ARCHITECTURE STANDARDS. A variety of architectural and design features and building materials is encouraged to give each building or group of buildings a distinct character, as well as sensitivity to the surrounding context.
1. Commercial use building height. To create a visually unified streetwall, buildings should be no more than 30 percent taller or shorter than average building height on the block.
 2. Entries and facades:

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- a. The architectural features, materials, and the articulation of a façade of a building shall be continued on all sides visible from a public street. This shall exclude single-family detached residential homes.
 - b. The front or principal façade of the principal building on any lot shall face a public street and shall not be oriented to face directly toward a parking lot.
 - c. Buildings of more than 30 feet in width shall be divided into smaller regular increments through articulation of the façade. This can be achieved through variations in materials, detailing, roof lines, and elements, such as arcades, awnings, windows, and balconies.
 - d. The ground level of any multi-story, commercial, and mixed-use structure shall be visually distinct from the upper stories through the use of an intermediate cornice line, sign band, awning or arcade, or a change in building materials, texture, or detailing.
 - e. Porches, pent roofs, roof overhangs, hooded front doors, or similar architectural elements shall be used to define the front entrance to all residences or multi-family buildings.
 - f. No single-family detached structure shall have the same front façade as an adjoining parcel.
3. Residential uses at street level should generally be set back far enough from the street to provide a private yard area between the sidewalk and the front door. Landscaping, steps, porches, grade changes, and low ornamental fences or walls may be used to provide increased privacy and livability for first floor units. ~~A list of permitted residential architectural styles is listed under Exhibit A.~~ **Residential architectural styles shall include but not be limited to: Craftsman, Bungalow, Classic, Traditional, Cottage, Country, Farmhouse, Southern and Ranch. All single family detached homes shall have a covered front porch. The following styles are viewed not to conform: Mediterranean, Log, Southwestern.**
4. For commercial or mixed-use buildings, a minimum of 30 percent of the front façade on the ground floor shall be transparent, consisting of window or door openings allowing views into and out of the interior.
5. Additions to existing structures shall maintain setbacks, building proportions, roof and cornice lines, façade divisions, rhythm and proportion of openings, building materials, and colors that are similar to and compatible with the existing structure.
6. Materials. A 30 percent mix of materials is required for the front façade of residential structures. A major change in texture on a material can be considered a change in material. A change in direction of application qualifies as a change in material or texture. Acceptable building façade material includes:
- a. Concrete (including precast concrete with prior approval of sample),
 - b. Glass,
 - c. Masonry (brick as well as decorative block with prior approval of block sample),
 - d. Metals,
 - e. Stone,
 - f. Tile,

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- g. Vinyl,
 - h. Wood with prior approval of sample,
 - i. Other materials, such as cementitious sidings, stucco, and polyurethane or PVC detailing.
7. Commercial street façade should have clear distinction between the “storefront” on the first floor and the floors above for the mixed-use commercial and light industrial uses of this district.
 8. Any signage, lighting and awning must be integrated into the design.
 9. Second street façade (these will occur on corner lots and lots adjacent to dedicated park space) should be developed to a similar level of detail as the “address” elevation, though the overall emphasis of the “address” elevation should be greater than the second street facades.
 10. Functional entries are allowed and encouraged on second street facades.
 11. Side façade at adjoining property lines may be “blank” and must meet fire separation codes.
 12. Rear façade should also use good design principles.
 - a. Entries should be properly emphasized to match use of entry (customer entry more emphasized than a “receiving” entry).
 - b. Some differentiation should occur between the first floor and the upper floors.
 - c. Rear façade should correlate to the front elevation.
 13. A minimum 1,000 square foot dwelling unit for all single-family detached dwelling structures.
 14. A minimum 900 square foot dwelling unit for single-family attached dwelling structures.

D. SITE DESIGN STANDARDS.

1. Lighting. Street lighting shall be provided on both sides of all streets at intervals of no greater than 75 feet. Generally, smaller lights, as opposed to fewer high-intensity lights, should be used. Street lighting design shall meet the minimum standards developed by the Department of Public Works. Exterior lighting shall be directed downward in order to reduce glare onto adjacent properties, per **Green Bay Municipal Code**, General Regulations.
2. Exterior signage. Sign number, size, height, and location in the PUD shall meet the requirements of the Neighborhood Center District. A comprehensive sign program shall be developed for the entire PUD that establishes a uniform sign theme. Signs shall share a common palette of sizes, shapes, materials, and lettering styles.
3. Landscaping and screening standards:
 - a. Overall composition and location of landscaping shall complement the scale of the development and its surroundings. In general, larger, well-placed contiguous planting areas shall be preferred to smaller disconnected areas.

- b. Height and opacity. Where screening is required by this ordinance, it shall be at least 3 feet in height unless otherwise specified. Required screening shall be at least 50 percent opaque throughout the year.
 - c. Components. Required screening shall be satisfied by one or a combination of the following:
 - (1) A decorative fence not less than 50 percent opaque behind a continuous landscaped area.
 - (2) A masonry wall.
 - (3) A hedge.
 - (4) Mixed use and commercial building foundation landscaping shall be in accordance with **Section 44-1967**, Green Bay Municipal Code.
4. Street trees. Street trees shall be required in accordance with **Chapter 36**, Green Bay Municipal Code. Trees should preferably be located within a planting strip between the sidewalk and the curb, within a landscaped median strip, or in tree wells installed in pavement or concrete.
- E. PARKING. Parking areas for shared or community use should be encouraged. In addition:
- 1. In the mixed-use area, any parking lot shall be located at the rear or side of a building. If located at the side, screening shall be provided as specified in **Chapter 44-1519**, Green Bay Municipal Code.
 - 2. A parking lot or parking garage shall not be located adjacent to or opposite a street intersection.
 - 3. In the mixed-use area, a commercial use shall provide one parking space for every 300 square feet of gross floor area or portion thereof. Parking may be provided in shared or community lots within 1,000 feet of the site.
 - 4. Shared parking and cross-access easements are highly encouraged to better facilitate movement throughout the development area.
 - 5. In the mixed-used and residential areas, 1.5 off-street parking spaces shall be provided for each dwelling unit, with the exception of senior housing and secondary dwelling units, which shall provide one space per unit, and live-work units, which shall provide two spaces per unit.
 - 6. On-street parking directly adjacent to a building may apply toward the minimum parking requirements for that building.
 - 7. Surface parking lots or garages shall provide at least one bicycle parking space for every 10 motor vehicle parking spaces. Bicycle parking shall consist of a rack of acceptable design in a well-lit location, preferably sheltered.
 - 8. Service access. Direct access to service and loading dock areas for service vehicles should be provided, while avoiding movement through parking areas to the greatest extent possible. Alleys may be used to provide service access.
 - 9. Paving. Reduction of impervious surfaces through the use of interlocking pavers is strongly encouraged for remote parking lots or those used infrequently.
 - 10. A preliminary development site and parking plan is included as Exhibits G and H.

- F. LANDSCAPING AND PARKING MAINTENANCE. All parking and loading areas fronting public street and sidewalks shall be landscaped in accordance with the requirements of **Chapter 44, Article XIX**, Green Bay Municipal Code. All parking and loading areas abutting residential districts shall be landscaped in accordance with **Chapter 44, Article XIX**, Green Bay Municipal Code. Parking area interior landscaping shall conform to the requirements of **Chapter 44, Article XIX**, Green Bay Municipal Code. Parking area landscaping can include turf grass, native grasses, or other perennial flowering plants, vines, shrubs, or trees. Such spaces may also include architectural features, such as benches, kiosks, or bicycle parking.
- G. LIGHTING. Lighting throughout the PUD area shall meet the standards as set forth within the Green Bay Zoning Code, **Chapter 44, Article V, Division 8**, Green Bay Municipal Code, and further regulated as follows:
1. Parking lot lighting shall consist of sharp cut-off fixtures. Poles shall not exceed 25 feet in height.
 2. Pedestrian lighting for walkways shall not exceed 16 feet overall measured from ground level.
 3. Lighting plan indicating fixtures, placement, and height shall be included as part of the site plan submittal process and approved by the Community Development Review Team.
- H. STORMWATER MANAGEMENT AND GRADING PLAN. The design and development of the PUD should minimize off-site stormwater run off, promote onsite filtration, and minimize the discharge of pollutants to ground and surface water. Natural topography and existing land cover should be maintained/protected to the maximum extent practicable. New development and redevelopment shall meet the requirements of **Chapter 42**, Green Bay Municipal Code. A conceptual stormwater management plan and grading plan meeting the standards established by the City's Department of Public Works, Brown County, and the State of Wisconsin shall be submitted to and approved by the City prior to the issuance of building permits and shall be approved as listed above.

A complete stormwater management plan can be done for the entire PUD area, or in the following phases (as detailed in Exhibit J):

- Phase 1: All land generally north of Copper Falls Way
- Phase 2: All land generally south of Copper Falls Way
- Phase 3: All land east of Grandview Road

The complete stormwater management plan for each Phase shall be submitted at the time the first land division for a Phase is submitted. This stormwater management plan shall address all watershed areas in the Phase. This stormwater management plan shall be submitted in accordance with the requirements of **Chapter 42**, Green Bay Municipal Code, and prior to approval of any land divisions within each Phase. The

stormwater management plan shall be implemented by the Developer prior to construction of public infrastructure improvements.

Any proposed amendment to the land-use plan within the PUD described in Exhibit D as a result of the complete stormwater management plan shall be approved according to Section 3.D. of this ordinance.

- I. REFUSE AND MECHANICALS. Screening of refuse materials and mechanicals shall meet the standards as set forth within the Green Bay Zoning Code, **Chapter 44, Article XIX**, Green Bay Municipal Code.
- J. ACCESS AND CIRCULATION STANDARDS. Access and circulation for automobile and pedestrian traffic established through permanent access easements and in substantial conformity with what is depicted on the attached Exhibit E. The attached circulation standards allow for multiple modes of transportation. They provide functional and visual links within the residential, mixed-use, and open-space areas of the PUD and provide multiple connections to existing and proposed external development. The circulation standards provide for adequate traffic capacity and multiple connections to pedestrian bicycle routes, including off-street bicycle or multi-use paths. The standards also control through traffic, limit lot access to streets of lower traffic volumes, and promote safe and efficient mobility through the PUD.
 1. Pedestrian circulation. Convenient pedestrian circulation systems that minimize pedestrian-motor vehicle conflicts shall be provided continuously throughout the PUD. Where feasible, any existing pedestrian routes through the site shall be preserved and enhanced. All streets, except for alleys, shall be bordered by sidewalks on both sides in accordance with the specifications listed in Table 14-2. The following provisions also apply:
 - a. Sidewalks in mixed use areas. Clear and well-lighted walkways at least 5 feet in width shall connect all building entrances to the adjacent public sidewalk and associated parking areas.
 - b. Disabled accessibility. Sidewalks shall comply with the applicable requirements of the Americans with Disabilities Act.
 - c. Crosswalks. Intersections of sidewalks with streets shall be designed with clearly defined edges. Crosswalks shall be well-lit and clearly marked with contrasting paving material at the edges or with striping.
 2. Bicycle circulation. Bicycle circulation shall be accommodated on streets and/or dedicated bicycle paths. Any existing or planned bicycle routes through the site shall be preserved or developed. Bicycle facilities may include off-street paths (generally shared with pedestrians and other non-motorized uses) and/or separate striped 4-foot bicycle lanes on streets. If a bicycle lane is combined with a parking lane, the combined width should be 14 feet.
 3. Transit access. Where public transit service is available or planned, convenient access to transit stops shall be provided. Transit shelters, where provided, shall be

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well-lighted and placed in highly visible locations that provide security through surveillance.

4. Motor vehicle circulation. Motor vehicle circulation shall be designed to minimize conflicts with pedestrians and bicycles. Traffic calming features, such as “queuing streets”, curb extensions, traffic circles, and medians, may be used to encourage slow traffic speeds.
5. Street hierarchy. Each street within a PUD shall be classified according to the following hierarchy:
 - a. Arterial streets should not bisect a PUD but may border a PUD.
 - b. Collector. This street provides access to mixed-use areas and is also part of the City’s major street network.
 - c. Subcollector. This street provides primary access to residential properties and connects streets of higher and lower function, and it may provide access to community facilities, such as schools.
 - d. Local street. This street provides primary access to residential properties.
 - e. Alley. This street provides primary access to residential garages and commercial parking areas. It is typically used where street frontages are narrow, where the primary street width is narrow and limited on-street parking is provided, or to provide delivery access and access to commercial parking. Alleys should be discouraged, though not prohibited, in both attached and detached residential areas.
6. Street design. The following table is a guide to street design in the PUD. Street and right-of-way widths shall be reviewed by City staff as part of the concept plan review and shall be approved as part of the platting process in accordance with the phasing exhibit listed above.
7. Concrete sidewalks. Concrete sidewalks shall be installed on both sides of all public streets within this PUD. Sidewalks shall be installed at the time the lots are developed and prior to receiving an occupancy permit or as directed by the Common Council of the City of Green Bay. Once a block is built up with 50 percent of structures, the Common Council shall order in the sidewalks to complete the block network.
8. Walking Trails. The Developer is not responsible for the installation of trails. Dedication of trail areas to the City shall be done at the time of platting. Trails will be installed at the City of Green Bay Parks, Recreation, and Forestry Department’s discretion.

	Collector	Sub-Collector	Local Street	Alley
Typical Average Daily Trips	750 or more	250 – 750	Less than 250	N/A
Right-of-way	76-88 feet	48 -72 feet	50 - 60 feet	12-16 feet
Auto travel lanes	2 or 3 @ 12 feet	2 @ 10 feet	2 @ 10’	2 @ 8 feet or 1 @ 12 feet (1-way)

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Bicycle lanes (may be required where needed)	6 feet next to parking lane	4 feet without parking or 6 feet next to parking lane	None	None
Parking	Both sides, 9 feet	One or both sides, 9 feet	One or both sides, 9 feet	None (access to drives and garages)
Curb and gutter	Required	Required	Required	Not required
Planting strips	Both sides, min. 6 feet	Both sides, min. 6 feet	Both sides, min. 6 feet	None
Sidewalks	Both sides @ 5 feet min.	Both sides @ 5 feet	Both sides @ 5 feet	None

K. SUBDIVISION OF LAND. If the PUD involves the subdivision of land, as defined in the subdivision ordinance, the applicant shall submit all required land division documents in accordance with the requirements of **Chapter 36**, Green Bay Municipal Code, and Chapter 236, Wisconsin Statutes. If there is a conflict between the design standards of the subdivision ordinance and the design guidelines of this ordinance, the provisions of this ordinance shall apply.

L. OWNERSHIP AND MAINTENANCE OF PUBLIC SPACE. Provisions shall be made for the ownership and maintenance of streets, squares, parks, open space, and other public spaces in a PUD by dedication to the City or management by an entity, such as homeowners association or neighborhood association approved by the Common Council.

M. PROPOSED SCHEDULE OF DEVELOPMENT PHASING. The section allows for phased construction with the knowledge that subsequent phases will be developed consistently with earlier phases and under the review of the Plan Commission in accordance with the provisions of **Chapter 44**, Green Bay Municipal Code. Phasing of this PUD shall be permitted, provided that each individual phase is designed and developed to exist as an independent unit and that the construction and improvement of common open space and site amenities shown on the development plan proceeds at the same rate as the construction of dwellings and other permitted land uses. Any violation of this provision shall authorize the Common Council to hold a public hearing to review the status of the PUD and impose any remedies it deems appropriate, including, but not limited to, revocation of permits, issuance of construction orders, or issuance of citations for failure to comply with such orders.

The applicant must submit to the Planning Department for review a Final Development Plan for each phase before development on it can begin. The Final Development Plan for each phase must include a written summary describing the following information:

1. Proposed subdivisions of land, including total number and type of dwelling units.
2. Planned utility improvements plan showing underground and above-ground lines and structures for sanitary sewers, electricity, gas, telecommunications, etc.

ZONING ORDINANCE NO. XX-XX

3. A site plan, including proposed topographic contours at 2-foot intervals, with the following information:
 - a. The location existing and if know commercial and mixed-use structures that will remain, with height and gross floor area noted.
 - b. The location and function of proposed open space.
 - c. The circulation system indicating pedestrian, bicycle, and motor vehicle movement systems, including existing and proposed public streets or rights-of-way; transit stops; easements or other reservations of land on the site; the location and dimensions of existing and proposed curb cuts, off-street parking, and loading spaces, including service access for receiving and trash removal; sidewalks and other walkways.
 - d. Location of all trees, shrubs, and groundcover proposed or existing to remain on the site.
 - e. The location of street and pedestrian lighting, including lamp intensity and height.
 - f. If known, detailed elevations of all proposed commercial buildings and typical elevations of residential buildings. Scaled elevations should identify all signs; building materials; the location, height, and material for screening walls and fences, including outdoor trash storage areas; electrical, mechanical, and gas metering equipment; storage areas for trash and recyclable materials; and rooftop equipment.
4. Stormwater Management Plan as required by **Chapter 42**, Green Bay Municipal Code.
5. Ownership and maintenance of public space (see Section 3.N of this ordinance).
6. Any other information deemed necessary by the Zoning Administrator in order to evaluate plans.

N. AMENDMENTS TO PLANNED UNIT DEVELOPMENT. Requested amendments to the PUD or to individual phases of the PUD as subject to the following:

1. Minor changes. Minor changes to the final plan adopted by the Plan Commission may be approved by the Planning Department, provided that the changes do not involve:
 - a. Increases or decreases of less than 10 percent in the floor area of structures or number of dwelling units or the area designated as open space.
 - b. Changes to the street layout or circulation pattern that would eliminate a street or path segment or an intersection.
 - c. Changes to primary architectural style(s) as shown.
 - d. Alteration of any conditions attached or modifications to the conceptual plan made by the Common Council.
 - e. Any other changes that, in the opinion of the planning staff, depart from the original concept or intent of the conceptual plan.

2. Major changes. A major change to a final plan shall require approval by a majority vote of all members of the Common Council.

O. FINAL SITE PLAN APPROVAL.

1. Following the adoption of this ordinance and prior to the issuance of building permits, the petitioner for single-family attached dwellings shall receive approval of final site plans from the Community Development Review Team.
2. Following the adoption of this ordinance and prior to the issuance of building permits, the petitioner for multi-family dwellings shall receive approval of final site plans from the Plan Commission.
3. Following the adoption of this ordinance and prior to the issuance of building permits, the petitioner for duplexes, townhouses, and rowhouses shall receive approval of final site plans from the Community Development Review Team as part of the conditional-use permit.

SECTION 4. This PUD shall be recorded with any future plats or land divisions.

SECTION 5. The provisions of this ordinance, including, without limitation, the granting of a conditional-use permit and all obligations, conditions, restrictions and limitations related thereto shall run with and be jointly and severally binding upon the fee simple owner and the beneficial owner of all or any portion of the subject property. All obligations, requirements, and rights of the owner shall run with the land and shall automatically be assigned to be binding upon and inure to the benefit of its successors and assigns, including, but not limited to, any entity acquiring any financial interest in the subject property and/or any subsequent owner and/or beneficial owner of all or any portion of the subject property.

SECTION 6. Each exhibit which is attached to this ordinance is deemed to be and is expressly made a part of and incorporated into this ordinance to the same extent as if each such exhibit, and the plans identified therein, had been set forth in its entirety in the body of this ordinance.

SECTION 7. Unless stated above, the development must comply with all other regulations of the Green Bay Municipal Code.

SECTION 8. All ordinances, or parts of ordinances, in conflict herewith are hereby repealed.

~~**SECTION 9.** This ordinance supersedes any discrepancies between the standards herein and the Grandview Place Development Plan Report listed in Exhibit A.~~

SECTION 10. In addition to all other remedies available to the City of Green Bay, the City may decline to issue any building or other permits otherwise required by any ordinance of this City while any violation of this ordinance remains uncured.

ZONING ORDINANCE NO. XX-XX

SECTION 11. If any provision in this ordinance is held invalid or unconstitutional by any court of competent jurisdiction, such a decision shall not affect the validity of any other provision of this ordinance. It is hereby declared to be the intention of the City of Green Bay that all provisions of this ordinance are separable.

SECTION 12. This ordinance shall not take effect until a public hearing is held thereon as provided by Chapter 44, Article II, Division 2, Section 44-82 Zoning Amendments, Green Bay Municipal Code, and the adoption and publication of this ordinance.

Dated at Green Bay, Wisconsin, this _____ day of _____, 2026.

APPROVED:

Mayor

ATTEST:

Clerk

Attachments:

Site Location Map

~~Exhibit A - Grandview Place Development Plan~~

Exhibit B - Grandview Place Natural Resources Inventory

Exhibit C - Grandview Place Existing Site Topography Map

Exhibit D - Grandview Place Land Use Map

Exhibit E - Grandview Place Circulation Plan (sidewalks required)

Exhibit F - Grandview Place Phasing Map

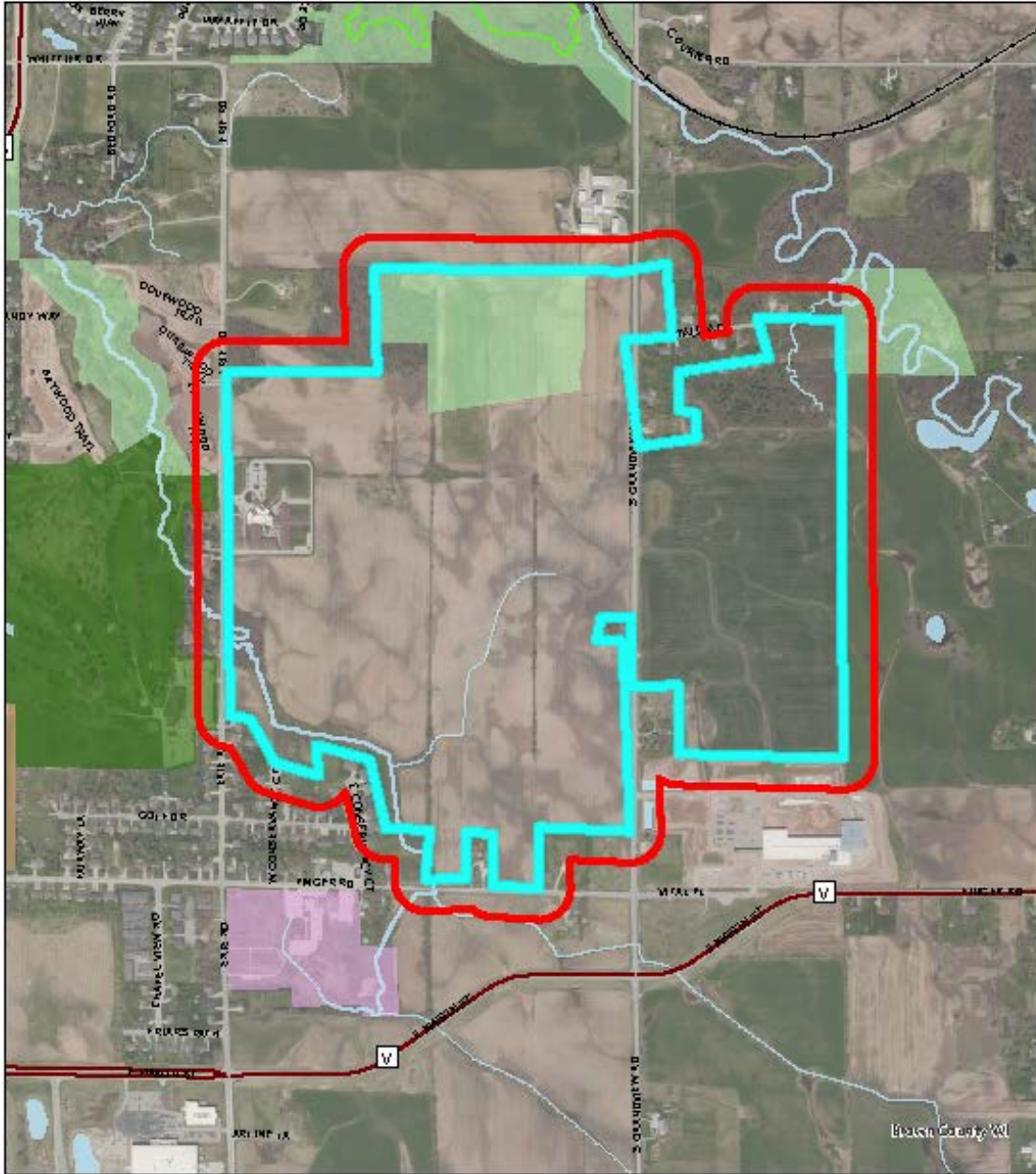
Exhibit G - Grandview Place Development Site


Exhibit H - Grandview Place Development Site

Exhibit I - Grandview Place Conceptual Stormwater Management Plan

Exhibit J - Watershed Map


ZONING ORDINANCE NO. XX-XX







**(ZP 26-07) PUD Amendment for
Grandview Development**

0 240 480 960 Feet



This is a compilation of records and data located in various City of Green Bay offices and is to be used for reference purposes only. The City of Green Bay is not responsible for any inaccuracies or unauthorized use of the information contained within. No warranties are implied. Map prepared by City of Green Bay Department of Community and Economic Development, E.R. 10 Apr 2026. GV2607pud from the document GV2607pud.mxd. MapScale: Map paper.

	JBS Development Site
	200' Notification Area



~ Traditional Neighborhood Development ~

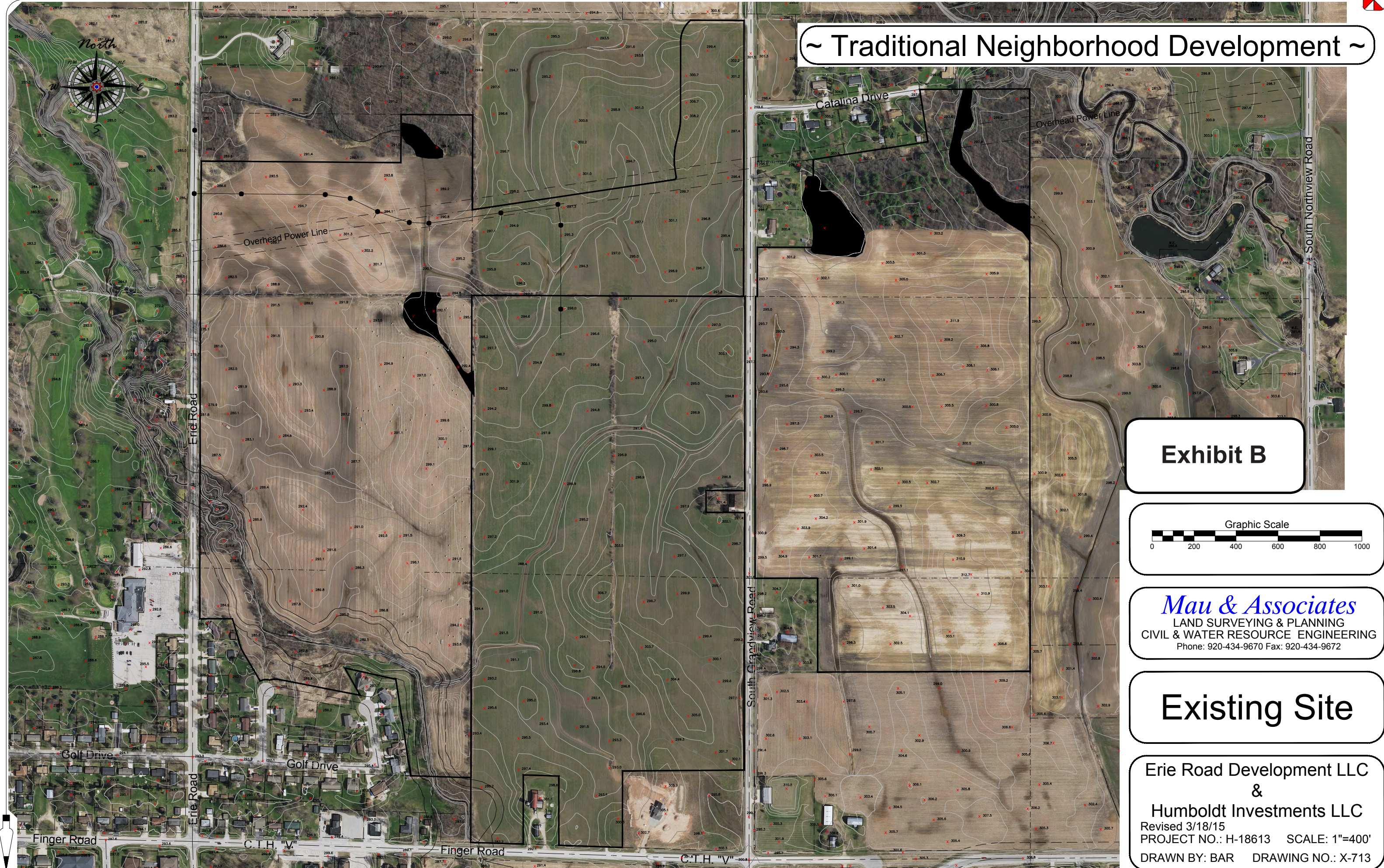
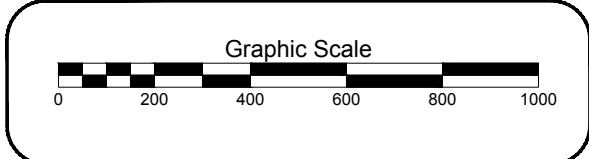


Exhibit B



Mau & Associates
LAND SURVEYING & PLANNING
CIVIL & WATER RESOURCE ENGINEERING
Phone: 920-434-9670 Fax: 920-434-9672

Existing Site

Erie Road Development LLC
&
Humboldt Investments LLC
Revised 3/18/15
PROJECT NO.: H-18613 SCALE: 1"=400'
DRAWN BY: BAR DRAWING NO.: X-713

~ Traditional Neighborhood Development ~

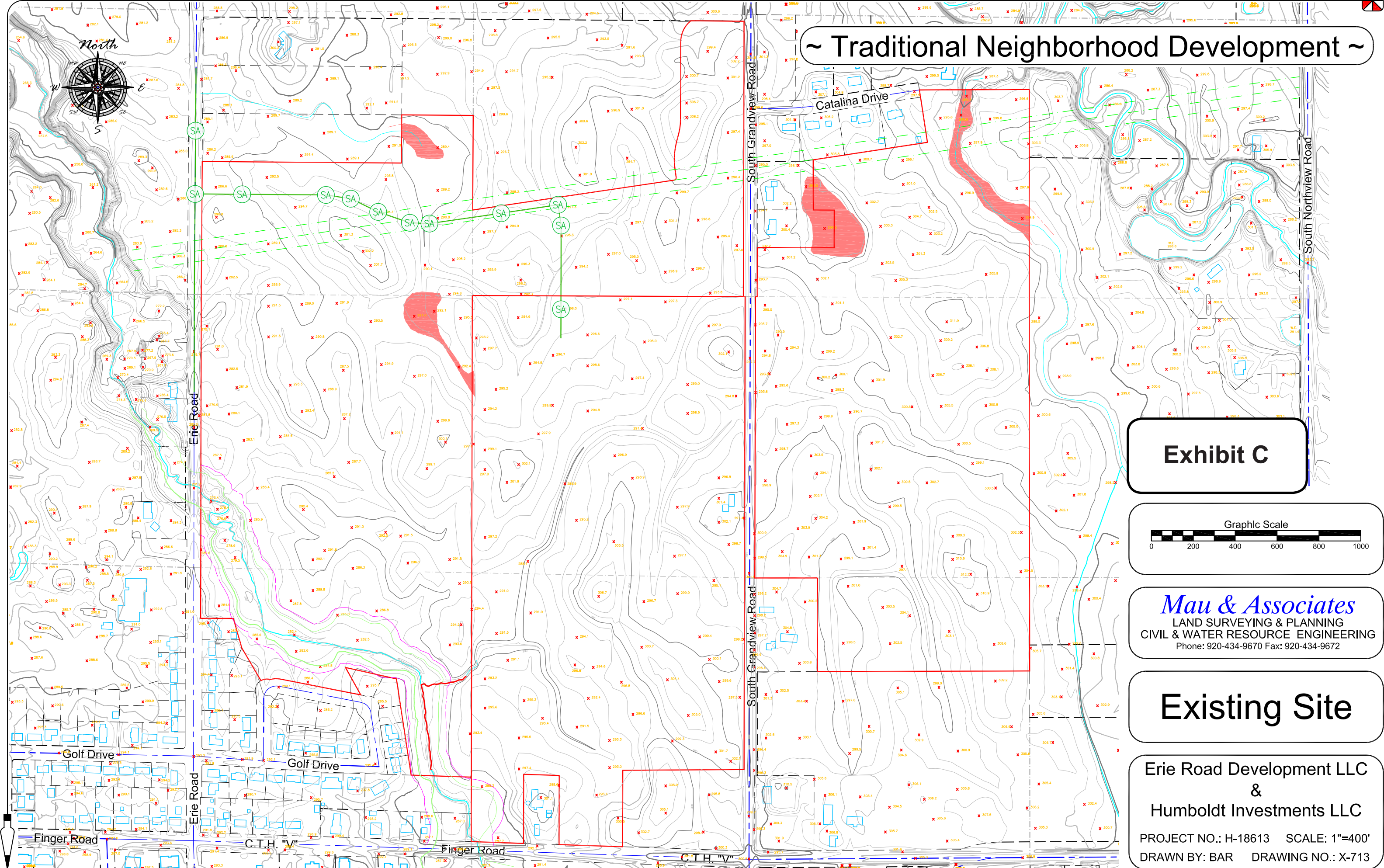
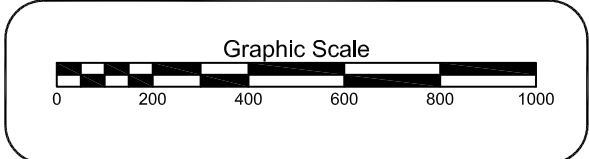


Exhibit C



Mau & Associates
LAND SURVEYING & PLANNING
CIVIL & WATER RESOURCE ENGINEERING
Phone: 920-434-9670 Fax: 920-434-9672

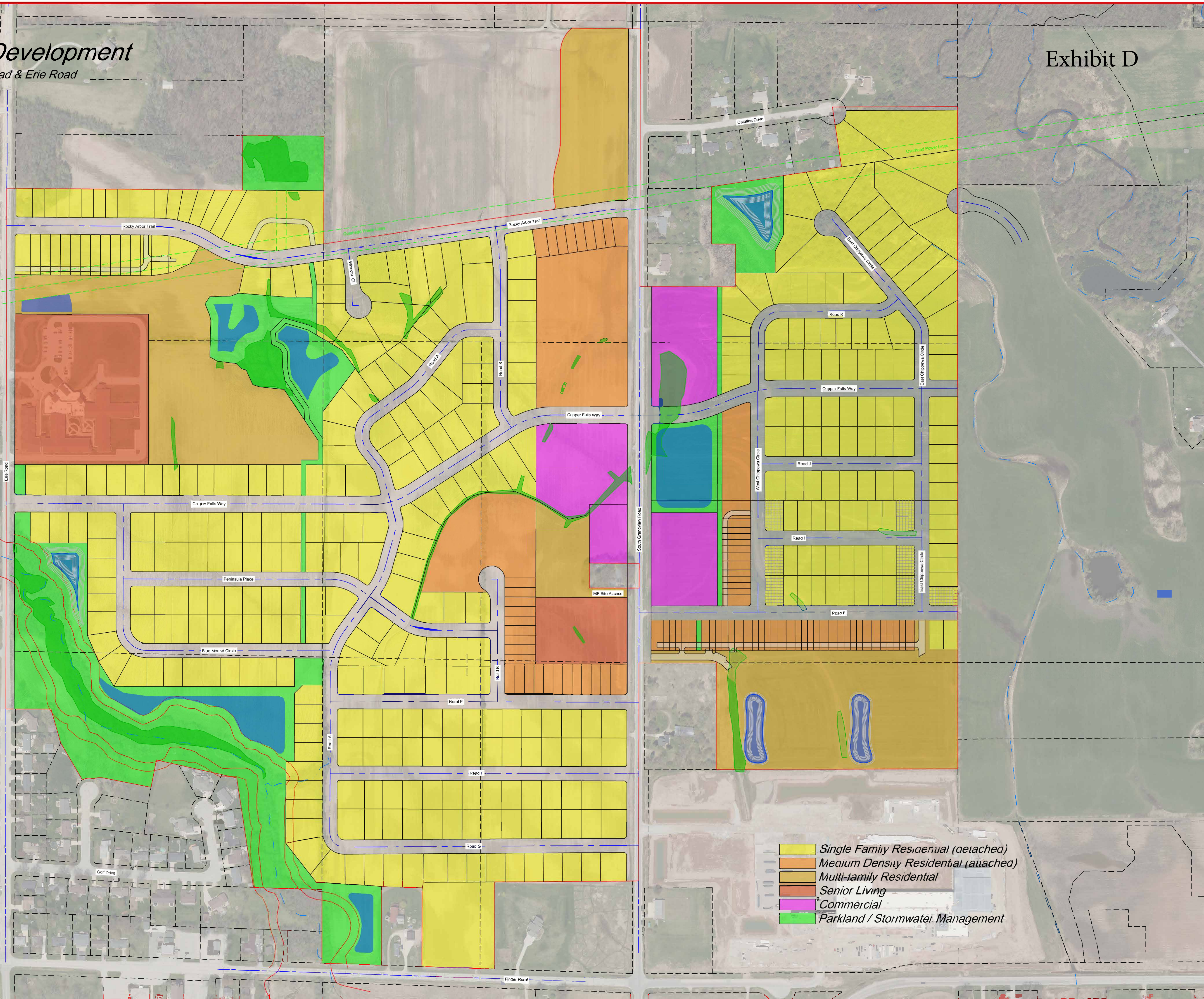
Existing Site

Erie Road Development LLC
&
Humboldt Investments LLC
PROJECT NO.: H-18613 SCALE: 1"=400'
DRAWN BY: BAR DRAWING NO.: X-713

Fiannea Unit Development

South Grandview Road & Erie Road

Exhibit D



- Single Family Residential (attached)
- Medium Density Residential (attached)
- Multi-family Residential
- Senior Living
- Commercial
- Parkland / Stormwater Management



Grandview Place
South Grandview & Erie Roads
City of Green Bay, WI
Brown County

NO.	DATE	REVISIONS	NO.	DATE	REMARKS

DATE: 02-04-26
 DRAFTER: BAR
 CHECKED:
 PROJECT NO: 250743
 SHEET: 1 OF 1



~ Traditional Neighborhood Development ~

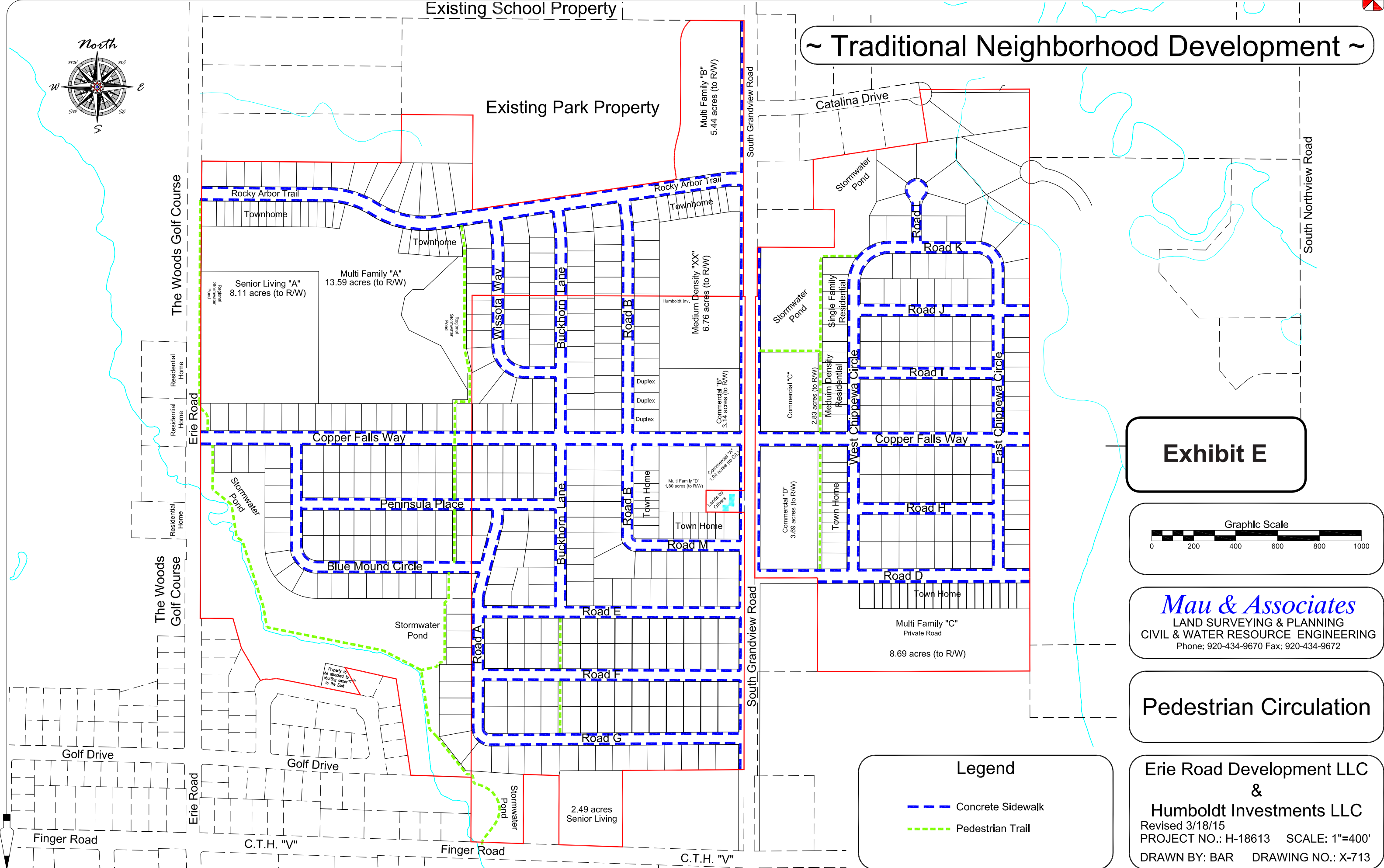
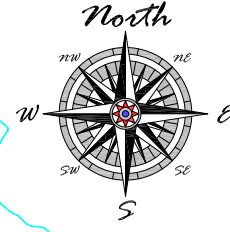
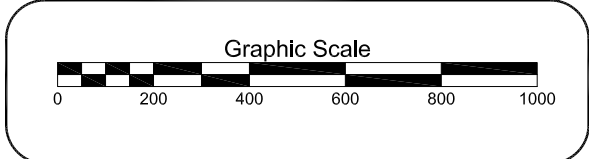


Exhibit E



Mau & Associates
 LAND SURVEYING & PLANNING
 CIVIL & WATER RESOURCE ENGINEERING
 Phone: 920-434-9670 Fax: 920-434-9672

Pedestrian Circulation

Legend

- Concrete Sidewalk
- Pedestrian Trail

Erie Road Development LLC
 &
Humboldt Investments LLC
 Revised 3/18/15
 PROJECT NO.: H-18613 SCALE: 1"=400'
 DRAWN BY: BAR DRAWING NO.: X-713





~ Traditional Neighborhood Development ~

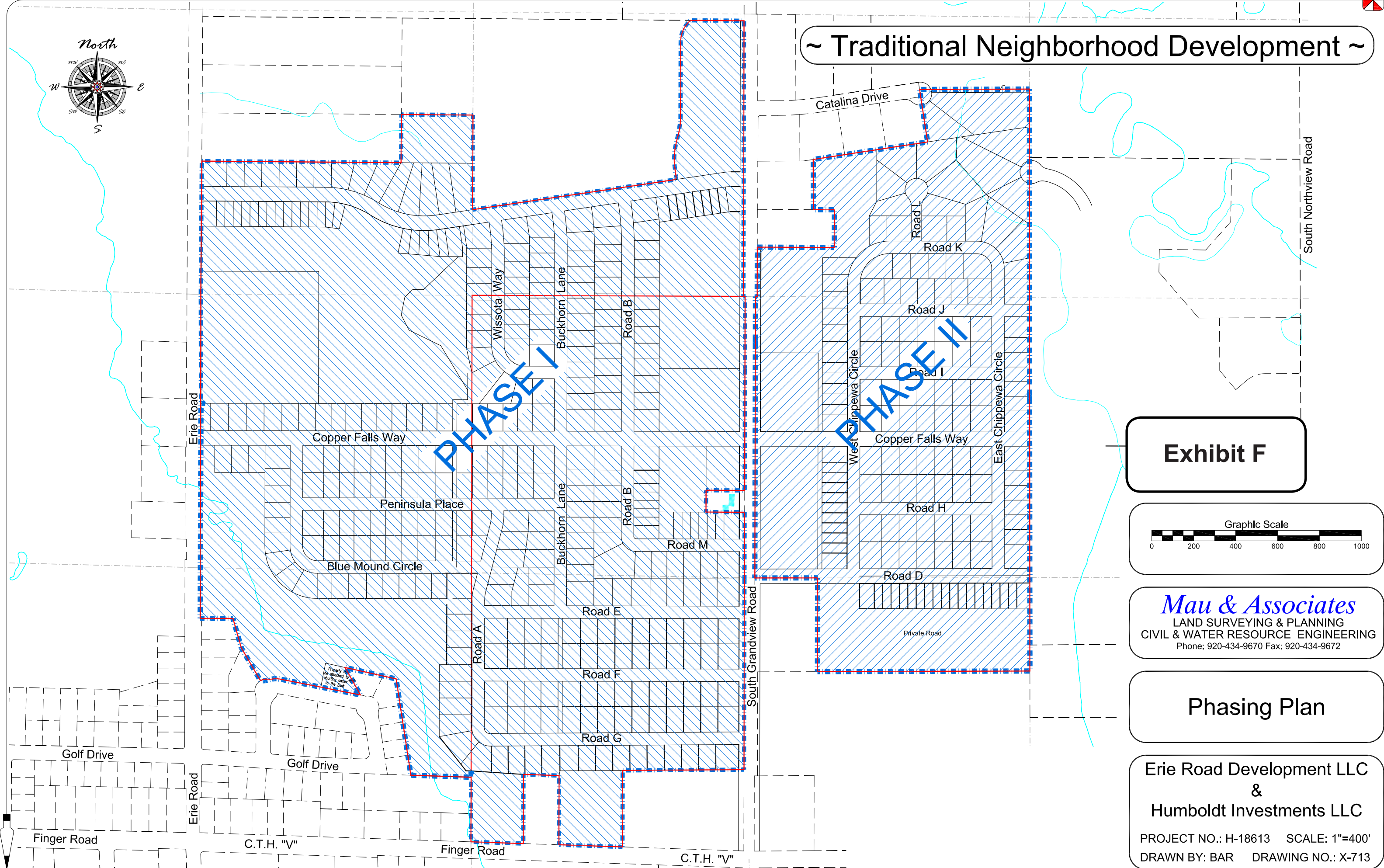
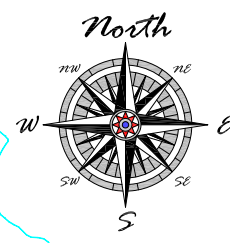
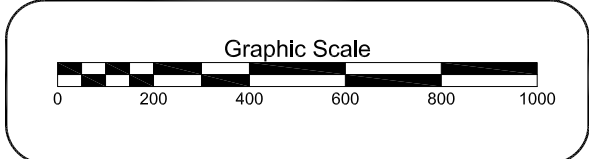


Exhibit F



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Phone: 920-434-9670 Fax: 920-434-9672

Phasing Plan

**Erie Road Development LLC
&
Humboldt Investments LLC**
PROJECT NO.: H-18613 SCALE: 1"=400'
DRAWN BY: BAR DRAWING NO.: X-713

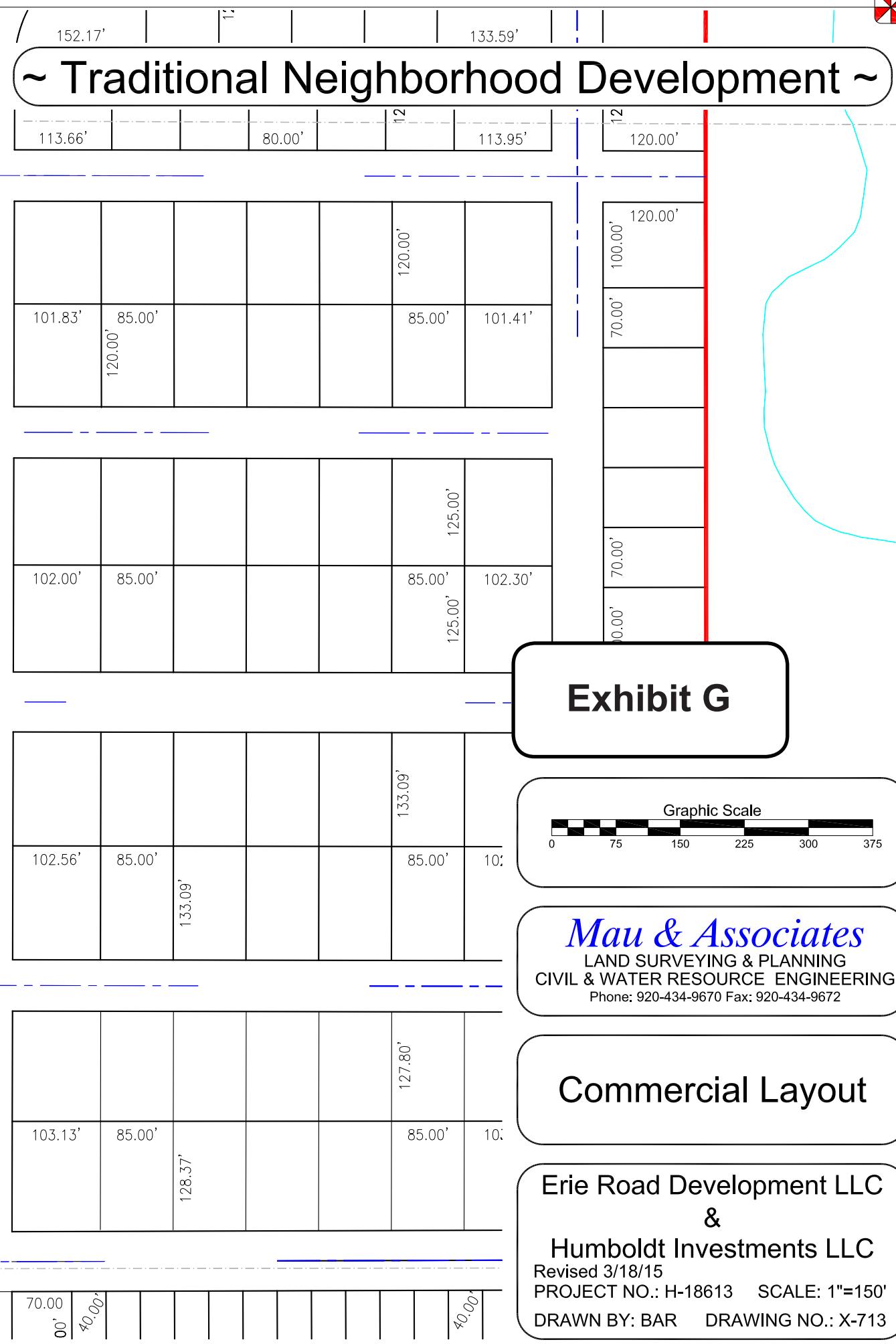
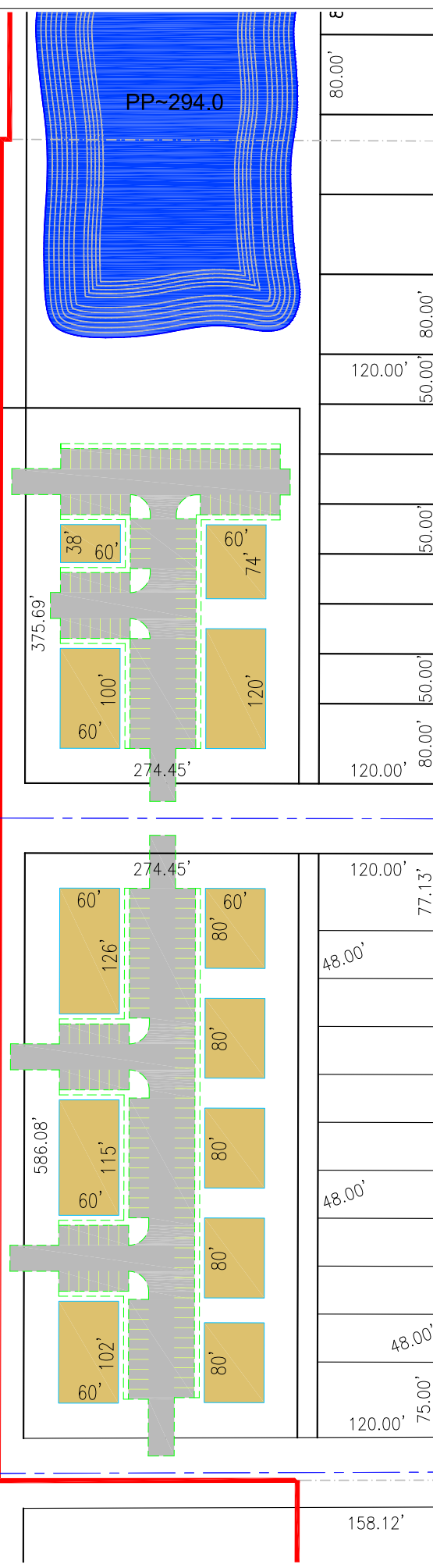
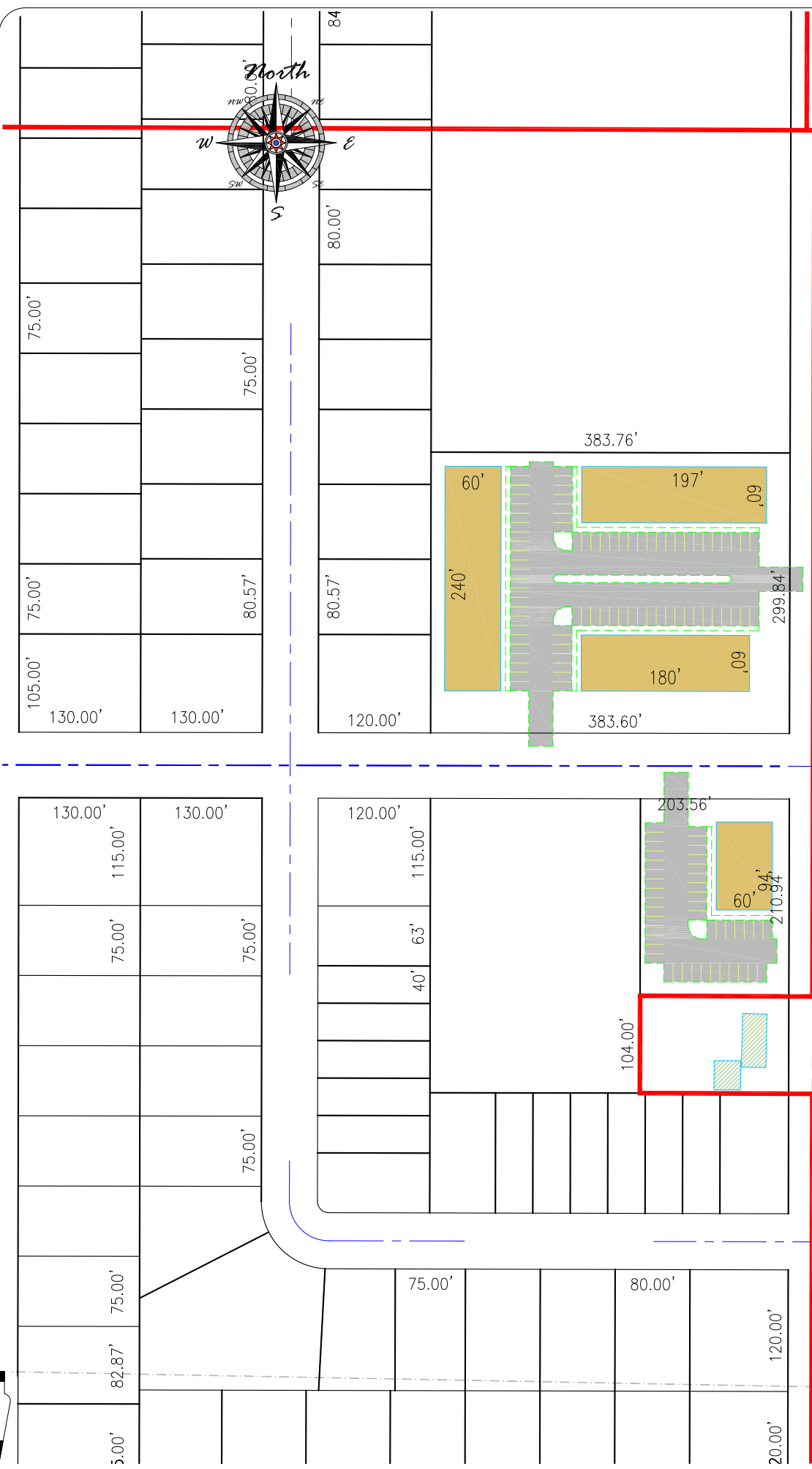
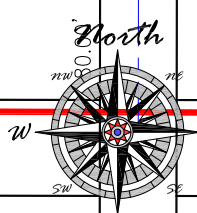
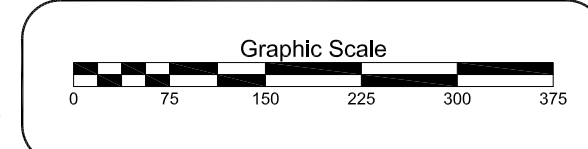


Exhibit G



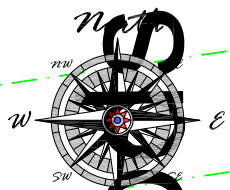
Mau & Associates
 LAND SURVEYING & PLANNING
 CIVIL & WATER RESOURCE ENGINEERING
 Phone: 920-434-9670 Fax: 920-434-9672

Commercial Layout

**Erie Road Development LLC
 &
 Humboldt Investments LLC**
 Revised 3/18/15
 PROJECT NO.: H-18613 SCALE: 1"=150'
 DRAWN BY: BAR DRAWING NO.: X-713



~ Traditional Neighborhood Development ~



The Woods

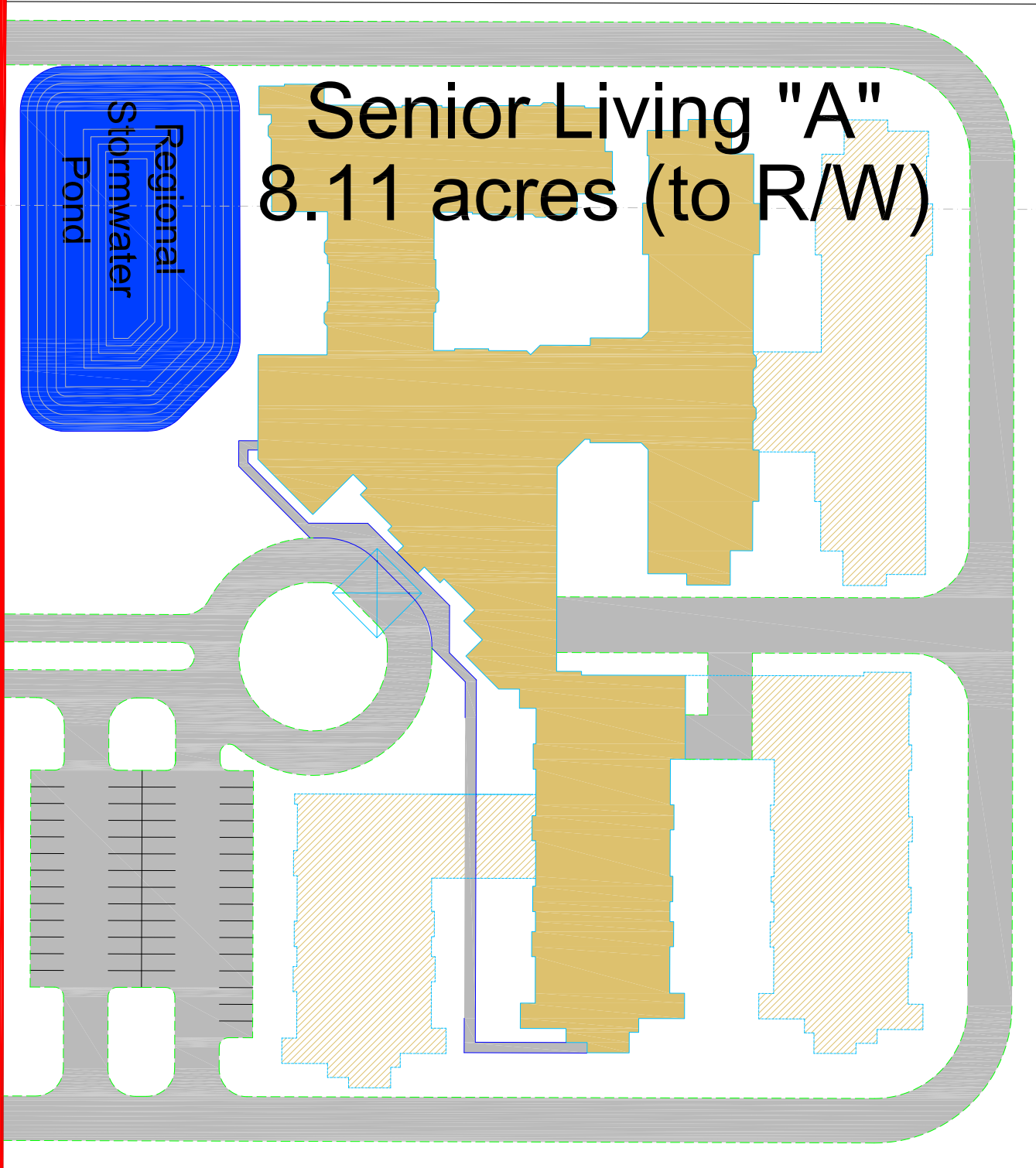
Residential Home

Initial

215.07'

560.22'

630.00'

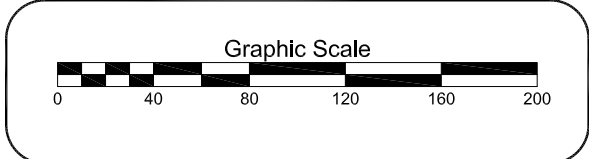


Senior Living "A"
8.11 acres (to R/W)

Regional
Stormwater
Pond

Multi Family "A"
13.59 acres (to R/W)

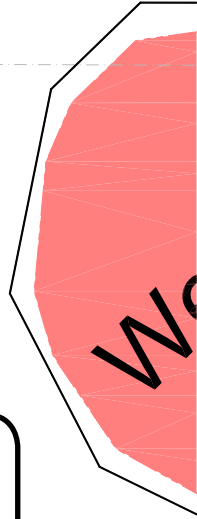
Exhibit H



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CIVIL & WATER RESOURCE ENGINEERING
Phone: 920-434-9670 Fax: 920-434-9672

Senior Living Layout

Erie Road Development LLC
&
Humboldt Investments LLC
PROJECT NO.: H-18613 SCALE: 1"=80'
DRAWN BY: BAR DRAWING NO.: X-713





~ Traditional Neighborhood Development ~

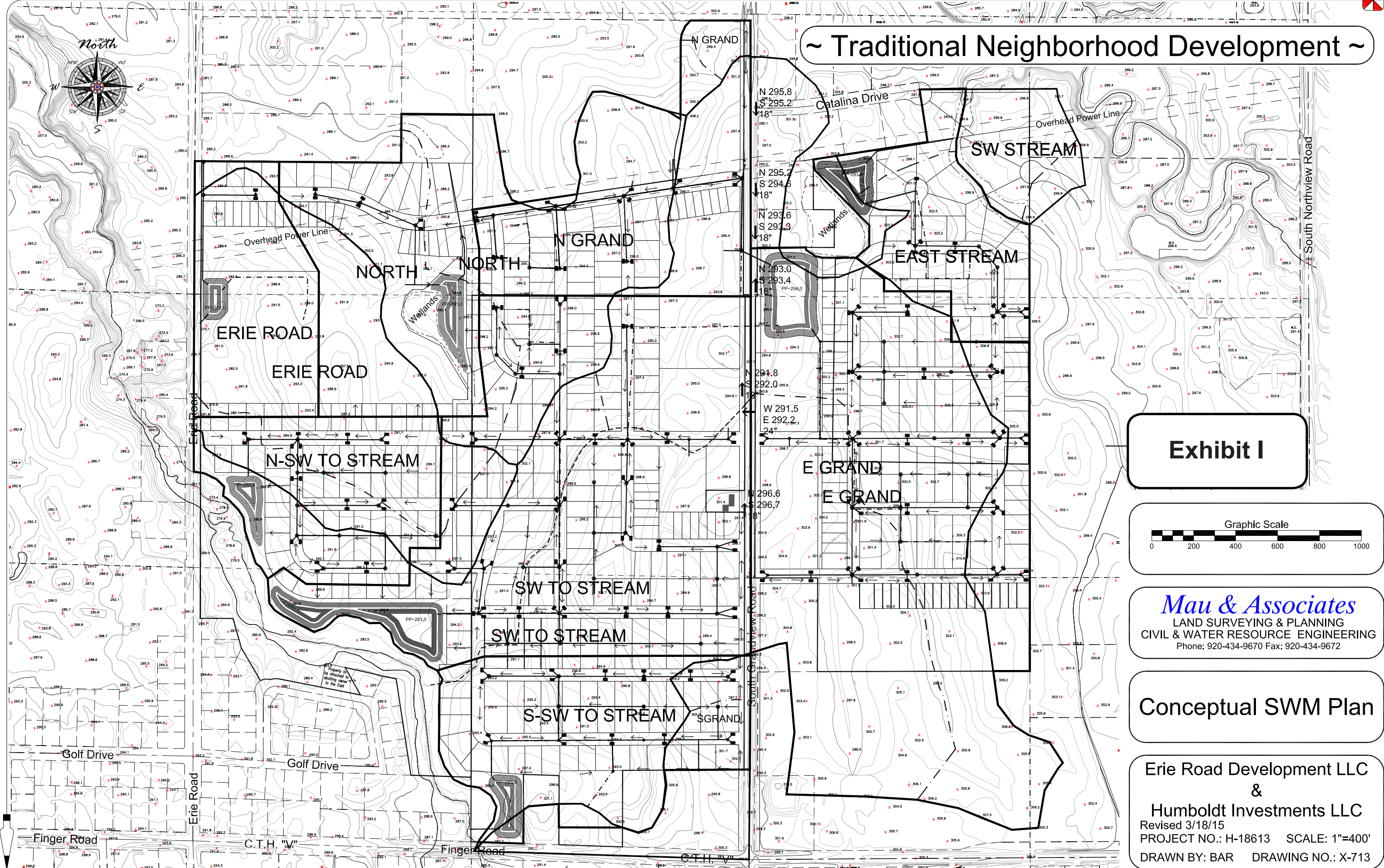
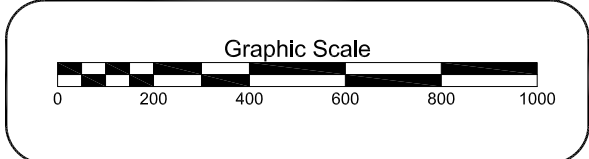


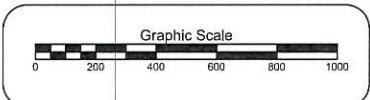
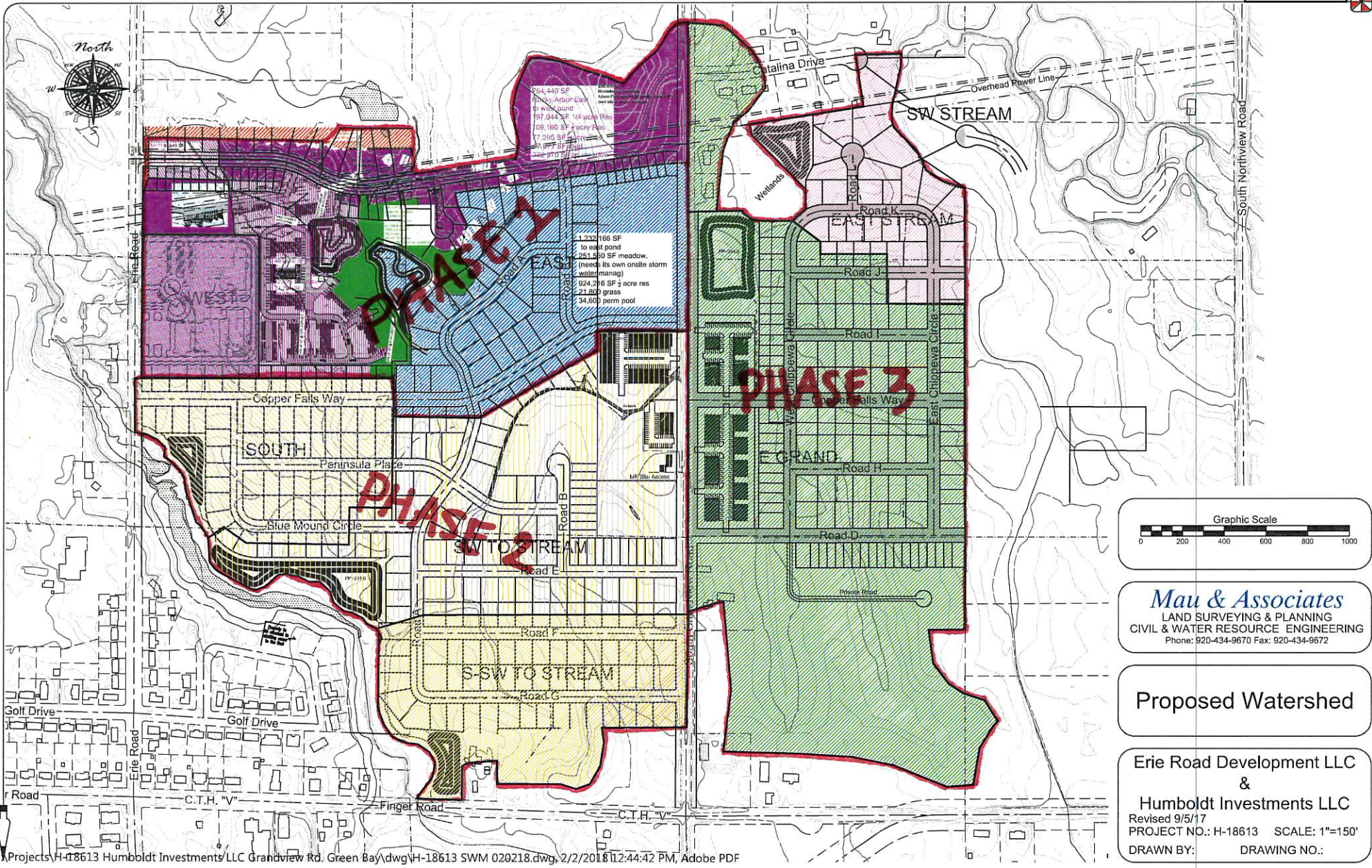
Exhibit I



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Conceptual SWM Plan

**Erie Road Development LLC
&
Humboldt Investments LLC**
Revised 3/18/15
PROJECT NO.: H-18613 SCALE: 1"=400'
DRAWN BY: BAR DRAWING NO.: X-713



Mau & Associates
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 CIVIL & WATER RESOURCE ENGINEERING
 Phone: 920-434-9670 Fax: 920-434-9672

Proposed Watershed

**Erie Road Development LLC
 &
 Humboldt Investments LLC**
 Revised 9/5/17
 PROJECT NO.: H-18613 SCALE: 1"=150'
 DRAWN BY: DRAWING NO.:



Report to the
Green Bay Plan Commission

MEETING DATE

April 27, 2026

PREPARED BY

AGENDA ITEM # E.3

(ZP 26-08) Public Hearing on a request for a Conditional Use Permit to allow a Rooming House at 828 Cherry Street, submitted by David Nelson on behalf of Casabnor Properties LLC, property owner. (Ald. A. Proffitt, District 7)

BACKGROUND

RECOMMENDATION

FISCAL IMPACT

ATTACHMENTS

None



Report to the Green Bay Plan Commission

MEETING DATE

April 27, 2026

PREPARED BY

Stephanie Hummel, Staff

AGENDA ITEM # E.4

(ZP 26-08) Consideration with possible action on a Conditional Use Permit to allow a Rooming House at 828 Cherry Street, submitted by David Nelson, on behalf of Casabnor Properties LLC, property owner. (Ald. A. Proffitt, District 7)

BACKGROUND

Reason for Request: The proposed Conditional Use Permit (CUP) would allow for a Rooming House in the Office Residential (OR) zoning district.

Subject Parcel Zoning and Land Use: Office Residential (OR) | Vacant Office Building

Surrounding Zoning and Land Uses:

North: Office Residential (OR) | Single-Family Home & Townhomes

South: Office Residential (OR) | Single- and Two-Family Homes

East: Office Residential (OR) | Two- and Multi-Family Homes

West: Office Residential (OR) | Multi-Family Homes

Comprehensive Plan: The 2050 Go Big Green Bay Comprehensive Plan recommends Mixed-Use uses for this parcel. This project is compatible with this recommendation.

Report: 828 Cherry Street is a 12,806 square-foot lot with a vacant two-story office building on site. The applicant is proposing a rooming house in the vacant building. A rooming house is defined as follows in our Zoning Code: *a building that provides a dwelling space to be occupied by four or more individuals who are unrelated and do not constitute a family or by a family and two or more unrelated individuals. A fee is paid to the leaseholder or owner for occupancy for usually longer than one night, and common facilities may be shared, including toilet and kitchen. If, in addition to a room, the leaseholder or owner, as part of the fee for services, provides meals, then the building is considered a boarding house. A rooming house/boarding house may be considered a dormitory as defined and regulated within this Code.* Rooming house uses are considered a Conditional Use within the Office Residential (OR) zoning district.

The applicant originally proposed a capacity of 25–31 people. This has been reduced to a maximum of 20 people based on the capacity analysis done by staff, using Section 44-1581(c) — listed below. This is reflected in the approval conditions. Staff believes the capacity may be further reduced due to the parking requirement of one parking stall per bed, but that would be determined during Site Plan Review.

Capacity was discussed at length during a neighborhood meeting for this project. With the existing OR zoning, a 12-unit multi-family building could be built with no CUP required. While we cannot assume the capacity of a fictional building, we could safely estimate 24 people could comfortably live in a 12-unit building. Because of this, and because of the detailed capacity restrictions in Section 44-1581(c) that already have to be adhered to, as well as a parking capacity, staff feels a maximum of 20 is sufficient.

The applicant plans to host sober-only tenants in this rooming house. There will be provisions in place by the landlord concerning tenant requirements to remain housed at this location, but none of those provisions exceed our definition for a rooming house as they will not offer recovery services, programming, or any detox services on site. This property is intended to be a home for sober individuals, not a facility to become sober. Approval conditions have been added to reflect the approval of the rooming house use only and that any changes to capacity or programming would require a new CUP or a CUP Amendment.

Because of the change of use from office to residential, we are requiring buffering on site, specifically to the existing parking lot. The southern and western property lines are adjacent to residential uses. Staff is requiring a 5-foot landscape buffer as well as a 6-foot-tall, 100% opaque fence along those property lines. A 15-foot buffer for the parking lot is also required between the sidewalk and the parking area along the eastern property line. This is reflected in the conditions.

Other possible conditions of approval were discussed at the neighborhood meeting, including requiring annual or semi-annual meetings with the neighborhood association, a limit on police calls that would require the CUP to be revoked or reviewed by Common Council, or requirements for curfews. While these conditions have been placed on shelter facilities in the past, staff sees no reason to place these conditions on a rooming house. A final site plan has to meet our site plan review standards, and additionally meet two land use development standards sections (listed below) for approval. Since this is residential in nature and not a recovery facility, staff has not added these conditions to their approval.

Section 44-83(e) of the Zoning Ordinance establishes seven standards for the Plan Commission to consider when reviewing a CUP:

- (1) The establishment, maintenance, or operation of the conditional use will not be detrimental to or endanger public health, safety, or general welfare.*
- (2) The establishment of the conditional use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.*
- (3) The conditional use, its exterior architectural design, and functional plan of any proposed structure will not be injurious to the use of other property in the immediate vicinity nor substantially diminish or impair property values within the surrounding neighborhood.*
- (4) Adequate utilities, access roads, drainage, and/or necessary facilities have been or are being provided.*
- (5) Adequate measures have been or will be taken to provide ingress and egress and so designed as to minimize traffic congestion.*
- (6) Adequate parking facilities as specified in Article XVIII of this chapter.*
- (7) The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located and all other applicable City ordinances.*

Rooming house uses have land use development standards associated with them. Per section 44-1584(a) of the Green Bay Municipal Code, the following are also required:

- (1) The operator shall submit a management plan for the facility and a floor plan showing sleeping areas, emergency exits, and bathrooms.*
- (2) All new construction or additions to existing buildings shall be compatible with the scale and character of the surroundings.*
- (3) An appropriate transition area between the use and adjacent property shall be required and to include landscaping, screening, and other site improvements consistent with the character of the neighborhood.*
- (4) A rooming house/boarding house may be considered a dormitory as defined and regulated within this Code.*

As noted in the definition, rooming houses can be considered a dormitory use, which has the following standards per Section 44-1581(c):

- (1) Onsite services shall be for residents of the facility only.*

- (2) *The maximum number of persons occupying the building shall not exceed four per bedroom with 50 square feet of sleeping area per resident, except that more than four individuals may be allowed per room if all said individuals are related by blood, marriage, or adoption. Rooms shall consist of enclosed places having walls that extend from the ceiling to the floor and an entry door.*
- (3) *One bath and restroom facility for every eight individuals residing in the dormitory. The bath and restroom facility shall be located so that no individual is required to pass through a sleeping room other than their own in order to access the bath and restroom facility.*
- (4) *One kitchen and dining area for every ten individuals residing in the dormitory.*
- (5) *One laundry facility consisting of a minimum of one clothes washer, one clothes dryer, and a washbasin for every ten individuals residing in the dormitory.*
- (6) *One common use areallounge of at least 600 square feet in size for relaxation and recreation of the occupants for every ten individuals residing in the dormitory.*
- (7) *If the dormitory use ceases for a period of 12 months or more, the conditional use approval will no longer be in effect. If construction and occupancy has not been completed and established within 12 months of the date of approval, the conditional use status of the property shall no longer be in effect. In the event of a natural disaster or emergency situation, as determined by the City of Green Bay, these regulations may be suspended for a term of not more than 12 months.*

Staff believes the CUP standards have been met. Staff also believes the proposed development does or can comply with the two land use development standards listed above. These will be confirmed during site plan review.

A neighborhood meeting was held on April 15th. Approximately 23 members of the public attended. There were people in support, in opposition, and others just looking for information. There was much discussion about having too many “transient”, “rehab”, or “shelter” facilities in their neighborhood. Because of this, staff did an assessment of Congregate Living in our downtown.

Congregate Living covers all types of group living within Green Bay. There are six main types (some with sub-types within): rooming house, boarding house, community living arrangement (CLA), shelters, transitional housing, and dormitories. These are all defined in the attached memo. When discussing the concentration of “transient” housing uses, staff can’t be sure what people mean. Anyone can be transient by definition — as a property owner, renter, or anything in between. Staff is making the assumption that the uses defined as Congregate Living are generally what people are referring to.

To note, there are no concentration restrictions for any congregare living uses except for CLAs. These are detailed in the memo, but generally say that a CUP is needed if two would like to establish within 2,500-feet of one another, that their total capacity within any alder district cannot exceed 25 or 1% of the population of that district (whichever is greater), and that their capacity city-wide cannot exceed 1% of the City’s total population.

Our analysis is based on facilities that have secured a CUP or that we are aware of through our staff’s outreach in the homeless community. We found 16 congregare living uses (shown on the City-Wide map in the memo). Of these, 13 are in our downtown, defined as Alder Districts 7 and 9 (also mapped). We also mapped within a half-mile of 828 Cherry Street, which holds 9 facilities: 3 boarding houses (Jackie Nitschke Sober Living for Women, Jackie Nitschke Sober Living -Future site, & Transformation House), 4 shelters (Wellspring, Newcap/Safer Haven, Jackie Nitschke Sober Living for Women, and Golden House), 1 general congregare living (Serenity House), and 1 dormitory (The Center for Youth).

While staff offers no opinion on this data and only provides it for context in a conversation around concentration of uses, it is important to note that not all congregare living facilities are shelters. Congregare living provides a needed middle-ground for many in our community who are not ready, able, or willing to live

in more “traditional” rental or ownership situations.

Alder Proffitt and property owners within 200’ have been notified of this request. As of the drafting of this report, one additional comment outside the neighborhood meeting has been received via e-mail — see attached.

RECOMMENDATION

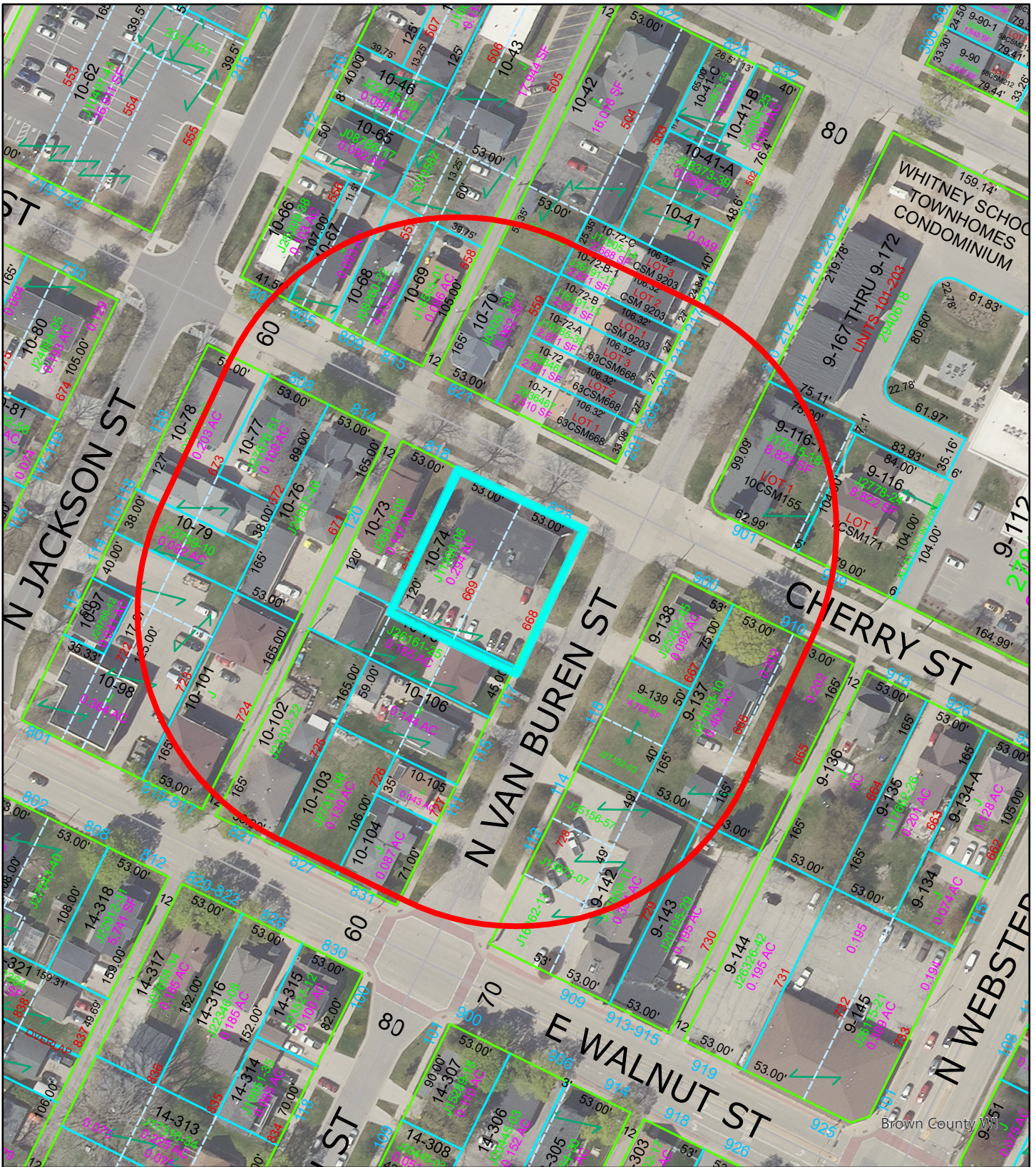
Approval of the conditional use permit, subject to the following conditions:

1. Sleeping capacity shall be limited to 20 people/beds. Any increase in beds and/or capacity shall require an amendment to the Conditional Use Permit.
2. This Conditional Use Permit is for Rooming House uses only; any programming changes may require an amendment to this Conditional Use Permit if programming falls outside the Green Bay Municipal Code’s definition of Rooming House.
3. Onsite parking requirements shall be 1 space provided per every bed.
4. All buffering shall comply with the provisions of Section 44-1966 and is required as follows:
 - a. A 6-foot, 100% opaque fence is required along the southern and western property lines starting 15 feet back from the front property line.
 - b. A 5-foot landscaped buffer is required along the southern and western property lines.
 - c. A 15-foot buffer is required along the eastern property line where it abuts the parking lot.
5. Compliance with all regulations of the Green Bay Municipal Code.

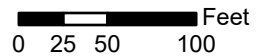
FISCAL IMPACT

ATTACHMENTS



1. ZP 26-08 Map
2. ZP 26-08 Floor Plans
3. ZP 26-08 half mile congregate living map, 828 Cherry
4. ZP 26-08 Project Narrative
5. ZP 26-08 Management Plan
6. Congregate Living Inventory, Review Memo, 4.27.26
7. ZP 26-08, Neighbor Comment, Proposed project at 828 Cherry St.

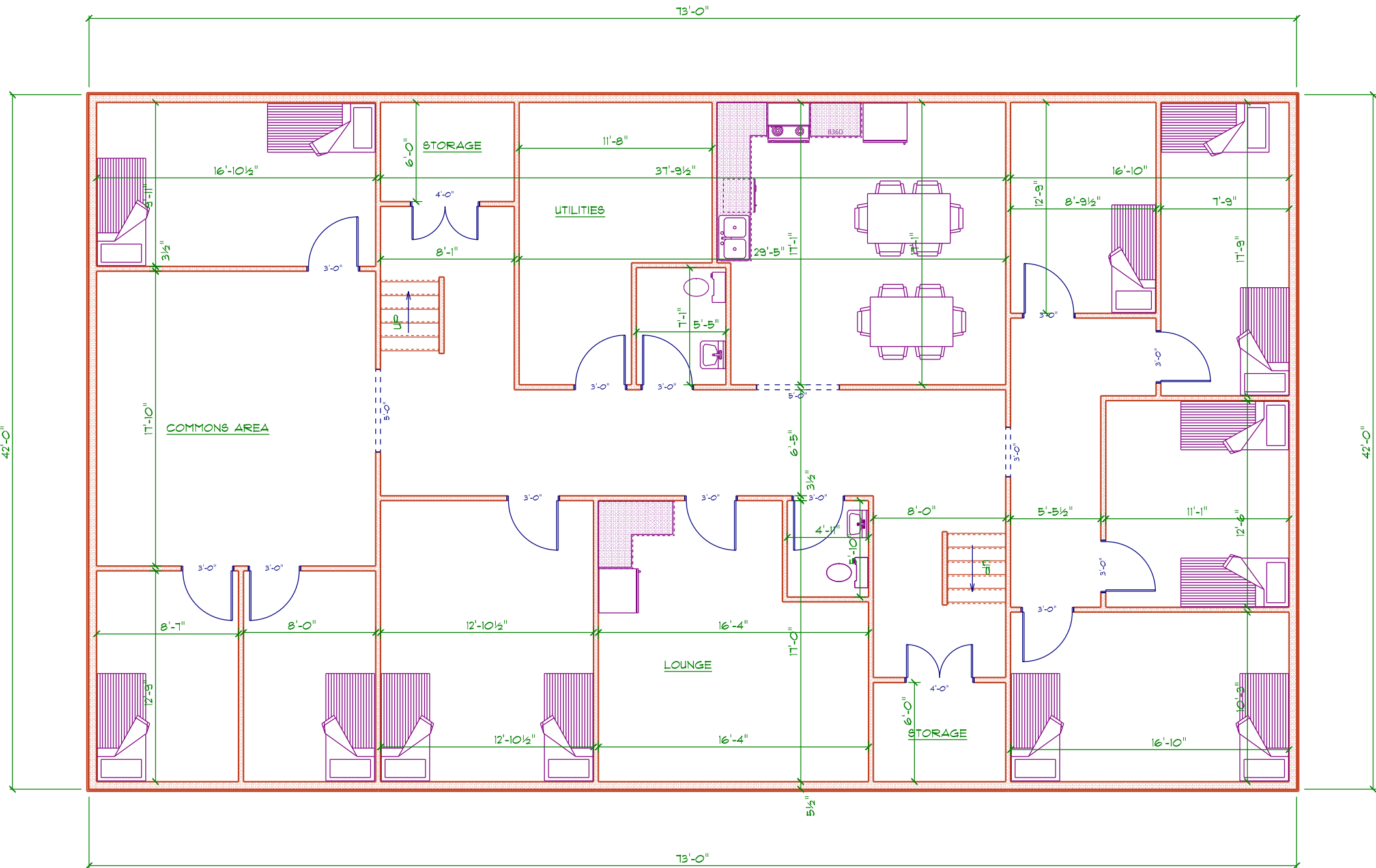


(ZP 26-08) CUP from Rooming House
at 828 Cherry Street

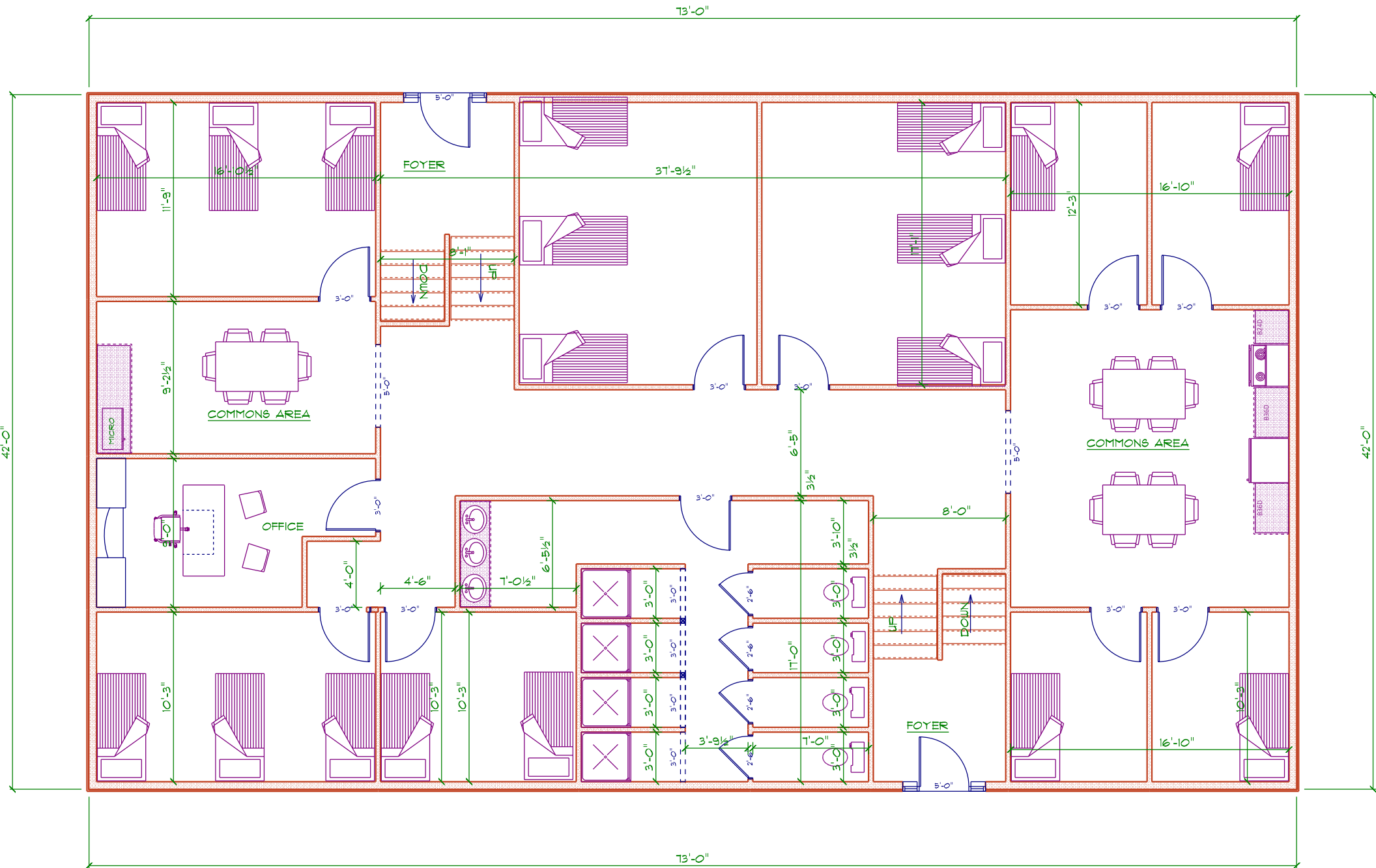


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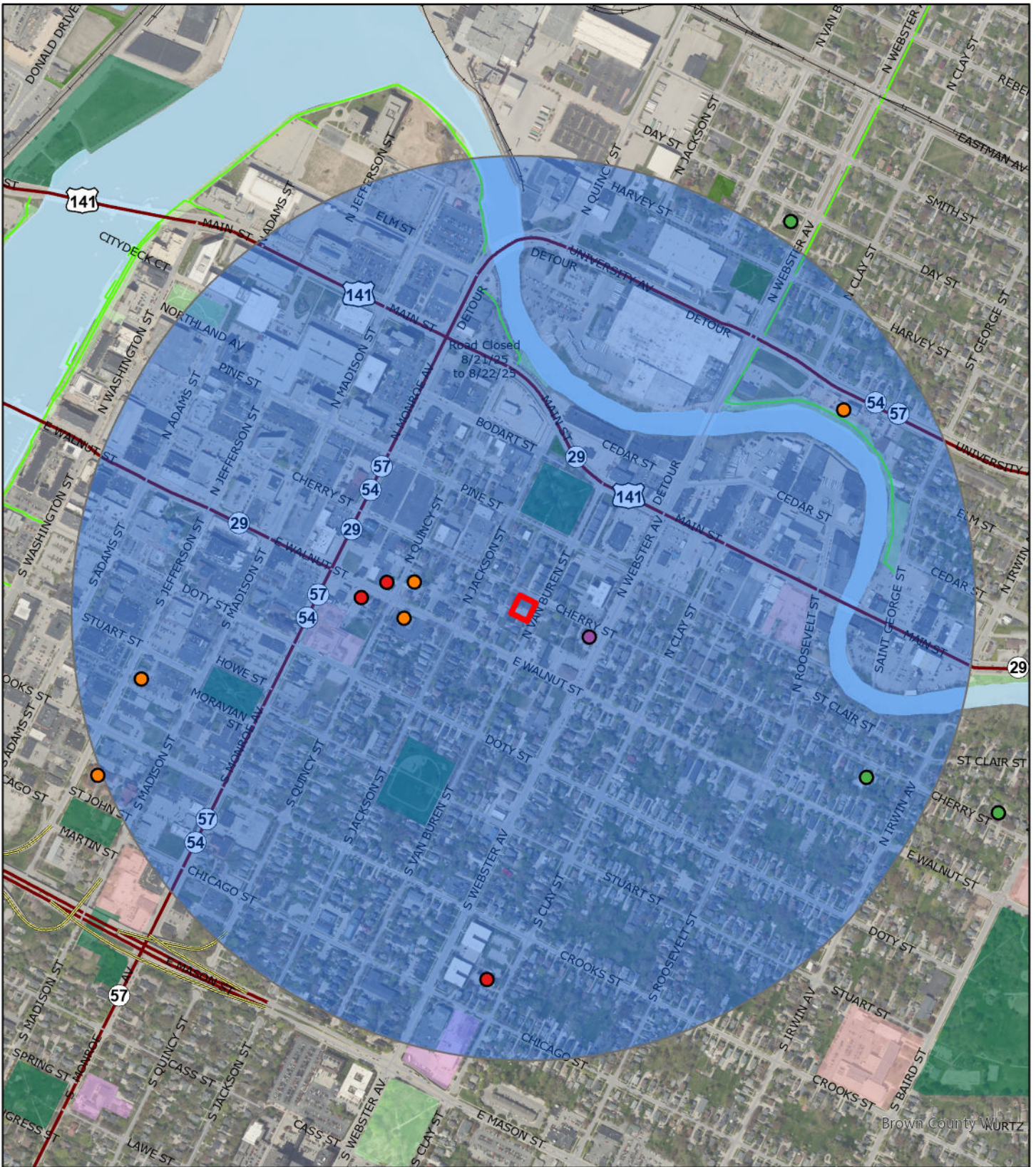
-  828 Cherry Street
-  Buffer



GROUND FLOOR PLAN



MAIN FLOOR PLAN



828 Cherry St - Congregated Living Analysis



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- 828 Cherry St
- 1/2 Mile Buffer

- Boarding House
- Shelter
- Congregate Living
- Dorm

PROJECT NARRATIVE

828 Cherry Street

Green Bay, Wisconsin

Prepared for: City of Green Bay – Community & Economic Development Department

Prepared by: DIG TOO LLC (David Nelson)

Project Overview

My name is David Nelson. I am a local builder and real estate investor based in Green Bay. I have been self-employed in real estate full-time since August of 2015 (and off and on since 1990) and have completed over 120 transactions, including renovations, rentals; short term, month to month furnished and long-term rentals, and new construction. I am a licensed contractor and remain directly involved in the projects I take on.

This project involves the renovation and adaptive reuse of the existing office building at 828 Cherry Street.

The intent is to convert this underutilized property into a structured shared housing environment for adult men who choose to live in a substance-free setting.

This is not a treatment center, not a government program, and not an institutional use. This is affordable, structured, housing.

What makes it different is the structure:

- No alcohol
- No drugs
- Clear expectations for behavior, cleanliness, and respect

The goal is simple, to create a closely monitored, well-run, stable property that provides affordable housing options without creating issues for the surrounding neighborhood.

Property Background & Compatibility

The building has historically functioned as office space and is currently underutilized.

This project represents a transition to residential use that aligns with broader city goals:

- Bringing underused buildings back into productive use

- Increasing available housing
- Supporting stable occupancy near the downtown area

The size and layout of the building are well-suited for shared housing. Using an existing commercial structure for this purpose helps avoid additional pressure on single-family housing in surrounding neighborhoods.

Practical Use Considerations

While office use remains one possible path for buildings in this area, the current market offers a wide range of flexible office options throughout Green Bay and nearby communities.

Today, businesses can access office space with short-term commitments, minimal upfront cost, and fully built-out environments that include shared amenities. This creates a competitive landscape, particularly for older or non-specialized office buildings.

Based on current availability and leasing models, this property is not uniquely positioned to compete as a traditional office building without significant additional investment, leasing concessions, and extended vacancy risk.

At the same time, there is a limited supply of visible, affordable, and structured living environments for individuals seeking stable, substance-free housing.

Most existing options fall into three categories:

- Emergency shelters
- Small shared housing arrangements in residential properties
- Extended motel stays

Motels are often used as a temporary solution, but they typically lack structure, accountability, and long-term stability.

This project is intended to provide a more appropriate alternative, a structured, managed housing environment that offers stability, clear expectations, and a path toward more independent living.

Context Within the Community

Shared housing arrangements already exist throughout Green Bay, typically within traditional residential homes and often without much visibility or structure.

This project is different.

It is being developed intentionally, in a building suited for this scale, and in a way that is transparent and accountable from the beginning.

By using an office building rather than a single-family property, the project reduces impact on surrounding housing stock and allows for clearer oversight and management.

Occupancy & Resident Profile

- Estimated occupancy: 25–30 adult male residents
- No minors or families

Residents are individuals seeking stable housing and a structured environment. Many are working or actively pursuing employment and are choosing this type of housing because they want accountability and consistency. This is a specialized affordable housing option.

Resident Sourcing

Residents will be sourced through:

- Local community networks
- Professional and informal referrals
- Direct inquiries from individuals seeking structured housing

This is a voluntary housing model. Residents choose to live in this environment.

Resident Intake & Expectations

All residents go through an intake process prior to acceptance, which includes:

- Application and screening
- Agreement to house expectations
- Commitment to a substance-free environment

Clear expectations are established upfront to ensure compatibility with the living environment.

Living Environment & Structure

The property will operate with consistent expectations that support a stable and respectful environment:

- Quiet hours
- Respect for other residents and neighbors
- Cleanliness and shared responsibility
- No disruptive or illegal behavior

This is a structured environment. If expectations are not followed, individuals will not remain in the housing.

Substance-Free Standard

A core requirement of residency is maintaining a substance-free environment:

- No alcohol
- No illegal drugs

This is not treatment. It is a housing standard intended to support safety, stability, and accountability.

Length of Stay

Typical stays are approximately 12 months, with flexibility based on individual circumstances.

Rental Structure

Average rent is approximately \$150 per week.

This includes:

- Furnished living space
- Utilities
- Shared common areas

Residents will also have access to:

- Internet
- Designated computers for job searches and applications

The intent is to support residents in maintaining or obtaining employment and moving forward.

Meals & Daily Living

Meals are not provided.

Residents are responsible for their own food and daily living needs, with access to shared kitchen facilities.

Management & Oversight

The property will be actively managed to maintain standards and respond to any issues promptly .

I will remain directly involved and responsible for the property, including oversight of operations, maintenance, and expectations.

Neighborhood Impact & Compatibility

The intent is for this property to operate in a way that is:

- Quiet
- Predictable
- Well-maintained

Clear expectations, active management, and accountability are what allow this to function without negatively impacting the surrounding neighborhood.

Parking & Transportation

Parking demand is expected to be limited.

Residents will primarily rely on:

- Walking
- Public transportation
- Shared transportation

Landscaping & Exterior Improvements

The project will include exterior improvements such as:

- Landscaping
- Property cleanup
- Visual upgrades consistent with the surrounding area

All improvements will be aligned with CUP requirements and neighborhood expectations.

Summary

This project takes an underutilized commercial building and puts it back into productive use in a way that is structured and intentional.

It provides:

- Affordable housing
- Clear expectations
- A substance-free environment
- Active management and accountability

The goal is to create a stable, well-run property that fits into the neighborhood and operates responsibly over the long term.

This management plan establishes a governance framework for the DalMont Phoenix Foundation for Sober Living, that balances professional oversight with direct resident empowerment.

1. Governance Structure

The Foundation operates under a dual-leadership model to ensure both fiscal responsibility and operational excellence.

- **Board of Directors:**
 - **Role:** Responsible for legal oversight, strategic planning, and financial stewardship.
 - **Composition:** A minimum of three members with diverse expertise in recovery, finance, and community advocacy.
 - **Resident Representative:** One elected resident who has attained a "Leadership" or "Senior" status within the house will serve as a non-voting liaison to the Board. This individual has full access to all Board meetings to voice resident concerns and provide feedback on house culture.
- **Executive Director (Founder: LaMaun "Monty" Jensen):**
 - **Role:** Manages day-to-day operations, implements Board-approved strategies, and leads community outreach efforts.
 - **Authority:** Direct oversight of house managers, staff, and the intake process for new residents.

2. Operational Framework

The Foundation follows a "Social Model of Recovery," focusing on peer support and personal accountability.

- **Resident Representation:**
 - **Elected Position:** Every six months, residents elect a "House Liaison" who represents the collective voice of the home.
 - **Responsibilities:** Chairs weekly house meetings, collects grievances or suggestions, and prepares a monthly report for the Executive Director and Board.

- **House Standards:**
 - **Abstinence-Based:** Zero tolerance for alcohol and illicit substances, enforced by random testing.
 - **Accountability:** Residents are required to attend 12-step meetings, participate in shared chores, and maintain employment or volunteer work.

3. Strategic Goals & Mission

- **Mission:** To provide a safe, nurturing, and structured sober environment for individuals to rebuild their lives.
- **Community Integration:** Building strong partnerships with local treatment centers, probation offices, and support groups in Wisconsin (e.g., Green Bay and Oconto areas).
- **Financial Sustainability:** Operating as a 501(c)(3) non-profit, utilizing a mix of resident fees and private donations to ensure long-term stability without pursuing profit.

4. Compliance & Ethics

- **Licensing:** Maintain compliance with Wisconsin state regulations for recovery residences.
- **Ethical Code:** Adhere to the National Alliance for Recovery Residences (NARR) standards to ensure resident rights and safety are prioritized.



MEMORANDUM

TO: Common Council & Plan Commission
FROM: Stephane Hummel, AICP, Planner II
RE: Congregate Living Analysis
DATE: Monday, April 27, 2026

As discussions around the concentration of Congregate Living uses have increased, I have prepared a report memo on the subject. This includes definitions of these uses in the Green Bay Municipal Code, land use development standards that are required of these uses, and a draft analysis of congregate living use locations. Our staff knows this is not a complete list at this time; we have pulled data from locations that applied for Conditional Use Permits when needed, as well as locations that are known to our staff.

Congregate Living covers all types of group living within Green Bay. There are six main types (some with sub-types within): rooming house, boarding house, community living arrangement (CLA), shelters, transitional housing, and dormitories. These are defined below and include any additional standards that are required of them due to their use.

Rooming house, boarding house means a building that provides a dwelling space to be occupied by four or more individuals who are unrelated and do not constitute a family or by a family and two or more unrelated individuals. A fee is paid to the leaseholder or owner for occupancy for usually longer than one night, and common facilities may be shared, including toilet and kitchen. If, in addition to a room, the leaseholder or owner, as part of the fee for services, provides meals, then the building is considered a boarding house. A rooming house/boarding house may be considered a dormitory as defined and regulated within this Code.

- Section 44-1581(a) Rooming house, boarding house in all districts.
 - (1) The operator shall submit a management plan for the facility and a floor plan showing sleeping areas, emergency exits, and bathrooms.
 - (2) All new construction or additions to existing buildings shall be compatible with the scale and character of the surroundings.
 - (3) An appropriate transition area between the use and adjacent property shall be required and to include landscaping, screening, and other site improvements consistent with the character of the neighborhood.
 - (4) A rooming house/boarding house may be considered a dormitory as defined and regulated within this Code.

Community living arrangement means a facility licensed, operated, or permitted by the State of Wisconsin that is either:

- a. A facility where four or more children reside and are provided with care and maintenance by persons other than a relative or guardian. This definition includes foster homes, treatment

foster homes, community living arrangements for children, and residential childcare centers as defined by Wisconsin State Statute, but does not include educational institutions, public agencies, hospitals, maternity homes, nursing homes, or sanitariums.

- b. A facility where three or more adults not related to the operator reside and are typically provided with care, treatment, or services above the level of room service, which may include prescribed personal care. This definition includes Community Living Arrangements (CLAs), Community Based Residential Facilities (CBRFs), and Adult Family Homes (AFHs) as defined by Wisconsin State Statutes, but does not include transitional housing, nursing homes, prisons, jails, correctional facilities, convents, monasteries/seminaries, or educational institutions and related student housing.
- Section 44-1581(b) Community living arrangements in all districts.
 - (1) Intent. It is the intent and purpose of these regulations to avoid discrimination against disabled persons by maintaining the residential character and desirability of the neighborhoods in which community living arrangements may locate. These regulations are intended to avoid the undue concentration of community living arrangements, as such concentrations may alter the residential character and desirability of a neighborhood and thus defeat the purpose of providing community living housing opportunities in a residential neighborhood setting. It is the nature of community living arrangements as business operations within residential neighborhoods, not the disabled individuals who occupy community living arrangements, that necessitate these regulations. Such facilities impact a residential neighborhood like a "business operation" in that they may include higher levels of nonresident traffic due to staffing, shift changes, and various other service providers, may require state licensing, and may be subject to special regulations administered by state agencies. The following standards are established consistent with Wis. Stats. § 62.23(7)(i).
 - (2) No community living arrangement may be established within 2,500 feet of any other such facility except with a conditional use permit. Note that 2,500 feet is not a density standard or minimum separation distance, but rather is a determinant for whether the conditional use process will be applied.
 - (3) Community living arrangements shall be permitted under the standard above as long as their total capacity within any aldermanic district does not exceed 25 or one percent of the population of that district, whichever is greater. When that capacity is reached, no additional community living arrangements shall be permitted within that district until their capacity is reduced or the district's population increases, thus changing the ratio.
 - (4) Community living arrangements shall be permitted under the standards above as long as their total capacity does not exceed one percent of the City's total population. When that total capacity is reached, no additional community living arrangements shall be permitted within the City until their capacity is reduced or the City's population increases, thus changing the ratio.
 - (5) Exceptions from conditional use permit process.
 - a. In accordance with Wis. Stats. § 62.23(7)(i), in all cases where a community living arrangement has capacity for eight or fewer persons being served by the program, meets the criteria listed in subsections (b)(2) through (4) of this section,

and is licensed, operated, or permitted under the authority of the Department of Health Services or the Department of Children and Families, that facility is entitled to locate in any residential zone without being required to obtain a conditional use permit.

- b. Adult family home or small group shelter care facility. All adult family homes or small group shelter care facilities which serve disabled residents are entitled to locate in any residential zone without being required to obtain a conditional use permit. All residents of the adult family home or small group shelter care facility, other than the operator or care provider and the operator or care provider's immediate family, shall be disabled persons, as defined by the required state license application.
- (6) In reviewing a conditional use permit for a community living arrangement, the Plan Commission and Common Council shall consider the following:
 - a. The character and use of surrounding buildings, the density of nearby community living arrangements, and the potential impact of the proposed facility on the character and desirability of the surrounding neighborhood. Such facilities should not be permitted where proposed building architecture (assuming new construction) does not fit in with the surrounding neighborhood or where the density of such facilities (regardless of whether it is new construction or conversion of an existing building) will negatively impact the neighborhood.
 - b. The proximity of the proposed facility to essential services and infrastructure such as police and fire protection, pedestrian paths, transit stops, park facilities, and the like. Such facilities should not be permitted where essential services or infrastructure are not present or planned for improvement or construction.
 - c. Whether granting the conditional use permit will provide disabled persons with reasonable accommodation for housing as defined by the Americans with Disabilities Act (ADA) and Fair Housing Act-Amended (FHAA). Such facilities should not be denied a conditional use permit if they are needed to provide reasonable accommodation.
 - d. Whether any conditions of approval are needed to address the compatibility of the use as a business operation with the character of the residential neighborhood. Such conditions shall not be discriminatory toward disabled residents of a community living arrangement.
- (7) Based on the resident capacity, community living arrangements shall provide adequate living space in compliance with the most restrictive of the dormitory standards of this article (subsection (c) of this section), Chapter 8, and applicable state administrative codes.
- (8) A community living arrangement may be considered a dormitory as defined and regulated within this Code.

Shelter facility means a temporary place of lodging for homeless individuals or homeless families. A shelter facility may be considered a dormitory as defined and regulated within this Code.

Transitional housing means a premises, other than a community living arrangement or community based residential facility, for the temporary placement of persons on parole, extended supervision, or probation in a controlled environment, including supervision or monitoring. A transitional housing facility may be considered a dormitory as defined and regulated within this Code.

Dormitory means a communal-type living arrangement of four or more persons not related by blood, adoption, or marriage who share common sleeping areas, kitchen, bath, or restroom facilities. This definition includes, but is not limited to, shelter facilities, educational facility housing, rooming houses, boarding houses or lodging houses, community living arrangements, community-based residential facilities, migrant housing, seminary, or similar institution.

- Section 44-1581(c) Dormitory in all districts.
 - (1) On-site services shall be for residents of the facility only.
 - (2) The maximum number of persons occupying the building shall not exceed four per bedroom with 50 square feet of sleeping area per resident, except that more than four individuals may be allowed per room if all said individuals are related by blood, marriage, or adoption. Rooms shall consist of enclosed places having walls that extend from the ceiling to the floor and an entry door.
 - (3) One bath and restroom facility for every eight individuals residing in the dormitory. The bath and restroom facility shall be located so that no individual is required to pass through a sleeping room other than their own in order to access the bath and restroom facility.
 - (4) One kitchen and dining area for every ten individuals residing in the dormitory.
 - (5) One laundry facility consisting of a minimum of one clothes washer, one clothes dryer, and a washbasin for every ten individuals residing in the dormitory.
 - (6) One common use area/lounge of at least 600 square feet in size for relaxation and recreation of the occupants for every ten individuals residing in the dormitory.
 - (7) If the dormitory use ceases for a period of 12 months or more, the conditional use approval will no longer be in effect. If construction and occupancy has not been completed and established within 12 months of the date of approval, the conditional use status of the property shall no longer be in effect. In the event of a natural disaster or emergency situation, as determined by the City of Green Bay, these regulations may be suspended for a term of not more than 12 months.

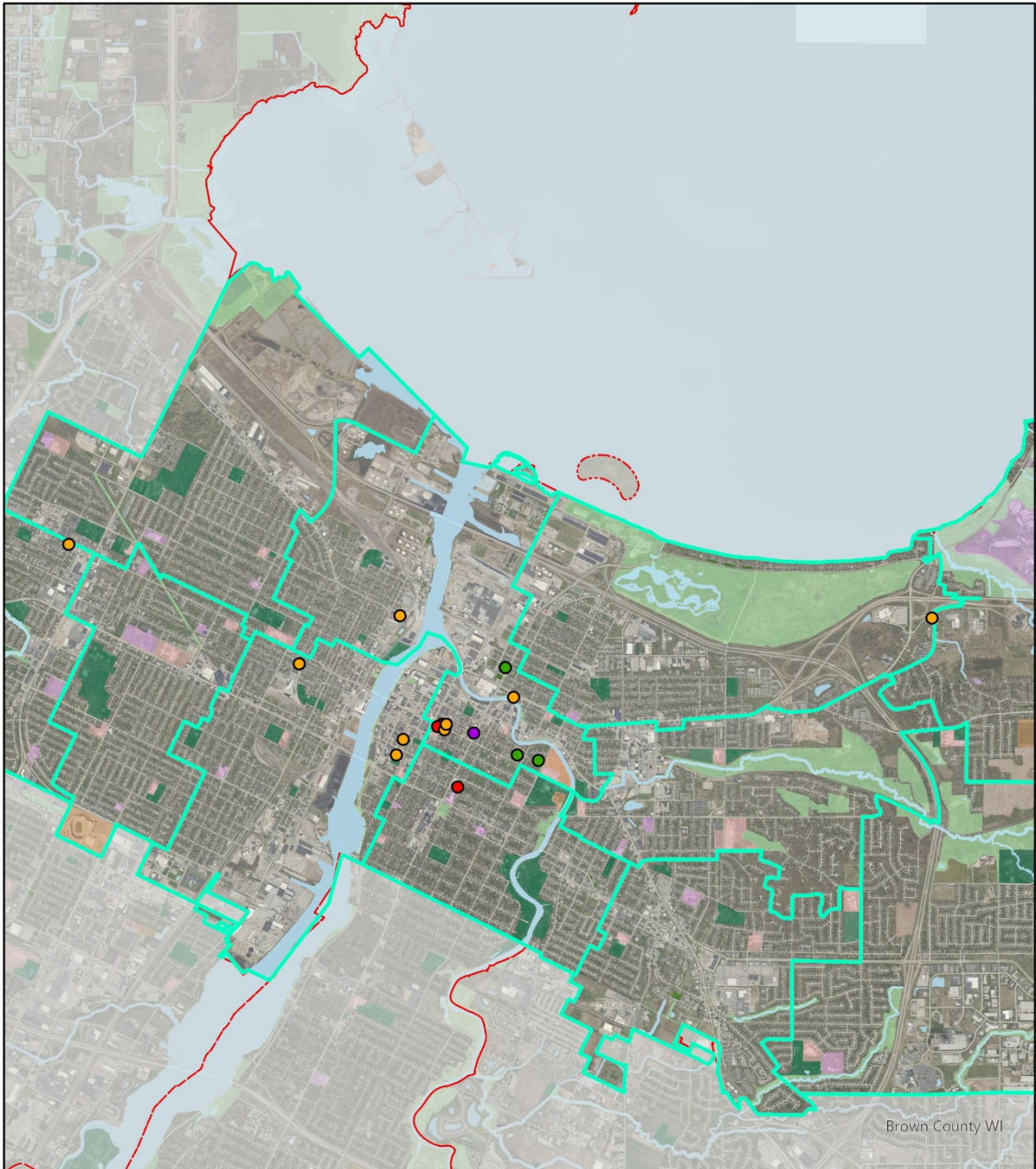
Concerning concentration of these uses, please note that only Community Living Arrangements (CLAs) have capacity limits, listed in Section 44-1581(b). No other congregate living uses have concentration limits in Green Bay.

Our analysis is based on facilities that have secured a Conditional Use Permit or that we are aware of through our staff's outreach in the homeless community. We found 16 congregate living uses (shown on the City-Wide map, attached). Of these, 13 are in our downtown, defined as Alder Districts 7 and 9 (map attached). It is important to note the variety in type of congregate living use for each of these locations. There is generally an assumption that these are all some sort of "shelter" facility, which is not true. Listed below are the locations, names, and uses of the 16 facilities:

- 932 Cherry Street, The Center for Youth, District 7, Dorm (youth specific, currently closed)
- 700 E Walnut Street, Wellspring, District 7, Shelter (women-only)
- 411 St. John Street, St John's Shelter, District 9, Shelter (men-only)
- 315 S Jefferson Street, Former Newcap facility- future Safer Haven, District 9, Shelter (low barrier shelter for men and women)
- 301 Mather Street, NEW Community Shelter, District 7, Shelter (sober shelter, men and women)
- 108 N Quincy Street, Jackie Nitschke Center, District 7, Shelter (sober, women-only)
- 633 E Walnut Street, Jackie Nitschke Center, District 7, Boarding House (future sober living)
- 620 E Walnut Street, Jackie Nitschke Center, District 7, Boarding House (sober living, women-only)
- 430 S Clay Street, Transformation House, District 4, Boarding House (transitional housing)
- 1254 Cherry Street, Serenity House, District 7, General Congregate Living (sober living)
- 825 N Webster Avenue, Amanda's House, District 7, General Congregate Living (sober living)
- 1357 Cherry Street, Serenity House #2, District 7, General Congregate Living (sober living)
- 865 Christiana Street, 4th Dimension, District 9, Shelter
- 1120 University Avenue, Golden House, District 7, Shelter (women and families)
- 2997 St. Anthony Drive, Freedom House, District 6, Dorm/Shelter (families)
- 1660 Christiana Street, House of Hope, District 11, Shelter (emergency for youth)

Staff offers no recommendation based on this information. It is being provided only for context.

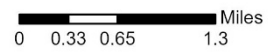
Enclosures



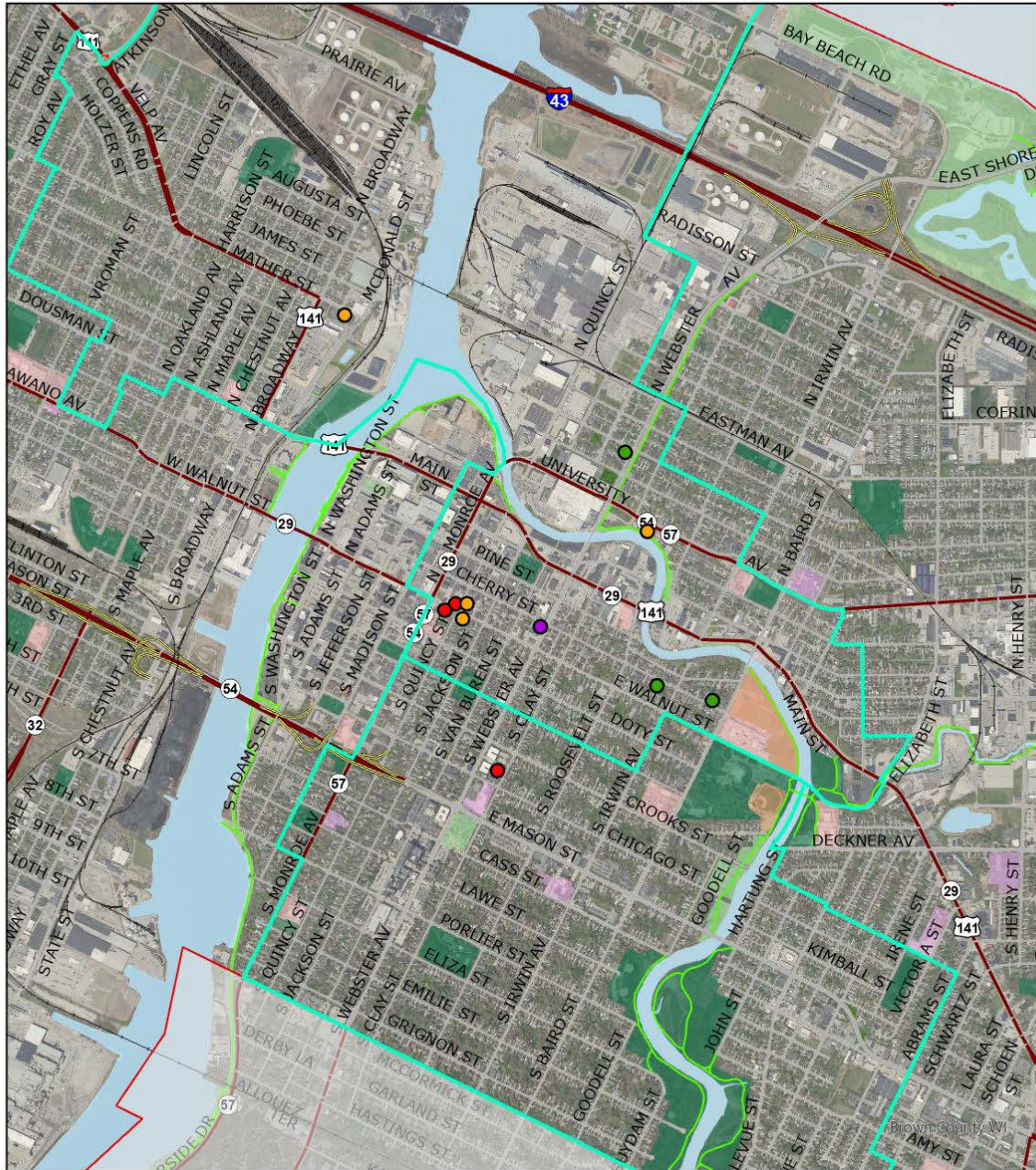
Congregate Living Facilities within City of Green Bay

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 Alder Districts



-  Boarding House
-  Shelter
-  Congregate Living
-  Dorm



Congregated living Facilities within Alder Districts 7 & 9

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Alder Districts



- Boarding House
- Shelter
- Congregate Living
- Dorm

From: [Beth Pless](#)
To: [Stephanie Hummel](#); [Dena Mooney](#); [Alyssa Proffitt](#)
Subject: [EXTERNAL] Proposed project at 828 Cherry St.
Date: Wednesday, April 15, 2026 4:28:15 PM

Caution: This email originated from a sender outside of your organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Stephanie and Dena,

I live on N. Van Buren St. approximately one block away from this proposed project.

While I hold a lot of empathy for people struggling to overcome addiction, I do not support the addition of yet another social services/recovery housing project in our neighborhood. Within a very small radius there are already 2 Jackie Nitschke centers, several other social services providers, and multiple housing/shelter options for houseless individuals and at risk youth. I am sure you are aware of the potential negative impact on property values and appearance of safety in the neighborhood of adding another similar project.

Additionally, the fact that the applicant published an incorrect meeting date, and also failed to enclose a project map as stated in the original notification, raises legitimate concerns about how well the project will be managed and maintained.

Finally, the information provided by the applicant appears to be intentionally vague and ambiguous as to the nature of the project, describing it only as “a structured, shared residential housing environment for adult residents.” It is also highly unlikely that crazyhomebuyers.com has the best interests of the City of Green Bay and this neighborhood in particular in mind when pitching this project.

We have been working for many years to revitalize our neighborhood and make it an attractive and inviting area for families. This project is inconsistent with this goal.

Unfortunately, I am not able to attend the meeting this evening; however, I felt it important that my concerns would be heard.

Beth R. Pless



Report to the Green Bay Plan Commission

MEETING DATE

April 27, 2026

PREPARED BY

AGENDA ITEM # E.5

(ZP 26-18) Public Hearing to amend a Planned Unit Development for the JBS Development Site (Parcels #23-243-1-1, #23-243-1, #23-243-1-2, #23-243-1-3, #B-243-4), submitted by Community and Economic Development Department, on behalf of the Redevelopment Authority of the City of Green Bay and Grand Boulevard Apartments LLC, property owners. (Ald. B. Morgan, District 3)

BACKGROUND

RECOMMENDATION

FISCAL IMPACT

ATTACHMENTS

None



Report to the Green Bay Plan Commission

MEETING DATE

April 27, 2026

PREPARED BY

Stephanie Hummel, Staff

AGENDA ITEM # E.6

(ZP 26-18) Consideration with possible action to amend a Planned Unit Development for the JBS Development Site (Parcels #23-243-1-1, #23-243-1, #23-243-1-2, #23-243-1-3, #B-243-4), submitted by Community and Economic Development Department, on behalf of the Redevelopment Authority of the City of Green Bay and Grand Boulevard Apartments LLC, property owners. (Ald. B. Morgan, District 3)

BACKGROUND

Reason for Request: To amend the existing Planned Unit Development (PUD) to reflect a recently executed land-swap with the Village of Bellevue.

Subject Parcel Zoning and Land Use: Subject land area is zoned General Industrial (GI) District and is undeveloped green space (formerly farmed).

Surrounding Zoning and Land Uses:

North: Business Park District (BP) | Green Bay School District Services Building

South: Village of Bellevue | Railroad Tracks

East: Village of Bellevue | Single-family homes and Walmart Store

West: Public Institutional District (PI) | Kroc Community Center

Comprehensive Plan: The 2050 Go Big Green Bay Comprehensive Plan recommends Mixed Residential uses for this area. The application is consistent with this recommendation.

Report: The JBS Development Area PUD was created in 2023 to regulate the proposed vision for housing of varying types, a community park, and urban farming. The overall development area is approximately 25.61 acres of land; 2.63 of these acres were recently added from the Village of Bellevue in a land swap with the City. Of the 2.63 acres, .695 acres are being added as land for housing. The rest is right-of-way.

The newly-added land for housing was part of the original PUD but had language noting that it was still in the Village of Bellevue. The PUD amendment removes this language. Additionally, we are adding the new land as part of the land description in Section I of the PUD. No substantive changes are being requested, and we consider this amendment a “clean-up” action.

Ald. Morgan and neighbors within 200 ft. have been notified of the meeting based on Plan Commission policy. Staff has not received any inquiries about the request as of the drafting of this report.

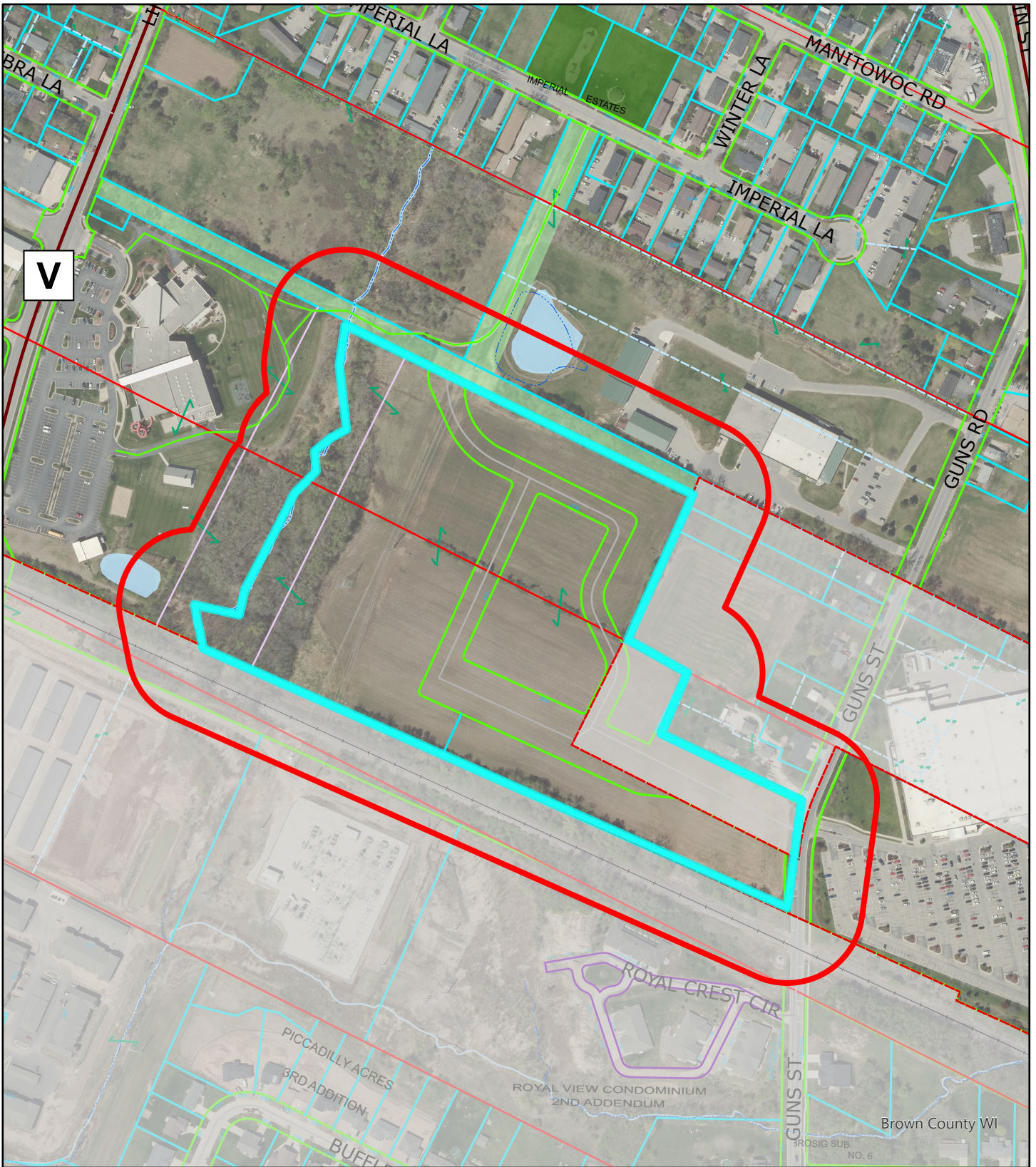
RECOMMENDATION

Approval of the request, subject to the adoption of the draft PUD.

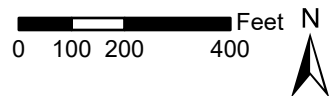
FISCAL IMPACT

ATTACHMENTS

- I. ZP 26-18 Map



(ZP 26-18) PUD Amendment for JBS Development Site



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- JBS Development Site
- 200' Notification Area



Report to the Green Bay Plan Commission

MEETING DATE

April 27, 2026

PREPARED BY

Jon LeRoy, Zoning Administrator

AGENDA ITEM # E.7

(ZP 26-09) Public Hearing on a conditional use permit request to build a single family home within the S-RLI zoned district at **1108 S Broadway**, submitted by Allison Buckley of Radue Homes, applicant; Redevelopment Authority of the City of Green Bay, property owner. (Ald. DeBaker, District 9)

(ZP 26-10) Public Hearing on a conditional use permit request to build a single family home within the S-RLI zoned district at **1112 S Broadway**, submitted by Allison Buckley of Radue Homes, applicant; Redevelopment Authority of the City of Green Bay, property owner. (Ald. DeBaker, District 9)

(ZP 26-11) Public Hearing on a conditional use permit request to build a single family home within the S-RLI zoned district at **1116 S Broadway**, submitted by Allison Buckley of Radue Homes, applicant; Redevelopment Authority of the City of Green Bay, property owner. (Ald. DeBaker, District 9)

BACKGROUND

RECOMMENDATION

FISCAL IMPACT

ATTACHMENTS

None



Report to the Green Bay Plan Commission

MEETING DATE

April 27, 2026

PREPARED BY

Jon LeRoy, Zoning Administrator

AGENDA ITEM # E.8

(ZP 26-09) Consideration with possible action on a Conditional Use Permit request to build a single-family home within the S-RLI zoned district at **1108 S Broadway**, submitted by Allison Buckley of Radue Homes, applicant; Redevelopment Authority of the City of Green Bay, property owner. (Ald. DeBaker, District 9)

(ZP 26-10) Consideration with possible action on a Conditional Use Permit request to build a single-family home within the S-RLI zoned district at **1112 S Broadway**, submitted by Allison Buckley of Radue Homes, applicant; Redevelopment Authority of the City of Green Bay, property owner. (Ald. DeBaker, District 9)

(ZP 26-11) Consideration with possible action on a Conditional Use Permit request to build a single-family home within the S-RLI zoned district at **1116 S Broadway**, submitted by Allison Buckley of Radue Homes, applicant; Redevelopment Authority of the City of Green Bay, property owner. (Ald. DeBaker, District 9)

BACKGROUND

Reason for Request: To construct a single-family home at 1108, 1112, and 1116 S Broadway within the S-RLI Special Purpose–Residential Light Industrial district. A new single-family home requires a conditional use permit.

Subject Parcel Zoning and Land Use: S-RLI | Vacant (All three lots)

Surrounding Zoning and Land Uses:

North: S-RLI Special Purpose–Residential Light Industrial | Single-Family Residential

South: S-RLI Special Purpose–Residential Light Industrial | Single-Family Residential

East: S-RLI Special Purpose–Residential Light Industrial | Single-Family Residential

West: S-RLI Special Purpose–Residential Light Industrial | Single-Family Residential and Vacant

Comprehensive Plan: The Go Big Green Bay 2050 Comprehensive Plan designates this area for Mixed-Use

Report: The subject requests are located on three individual lots at 1108, 1112, and 1116 S Broadway, located mid-block between Seventh and Eighth Street. Radue Homes is seeking to develop each individual lot which measures at approximately 120' x 50' (6,055 sf total). Each individual lot requires its own individual zoning petition, but the applicant is seeking to place a substantially similar product on each adjacent lot. Each single-family home is proposed to be approximately 732 square feet for a footprint of a two-story home. Each home is proposed to have a driveway off Broadway leading to a two-stall garage. Each home shown can meet setback standards.

Because of the same property owner, same applicant, and similar nature of each residence and parcel, these individual parcel applications are being presented as a singular staff report to the Plan Commission as they all share the same characteristics. Each individual parcel will have its own individual resolution and is subject to its own individual standards if the Plan Commission or Common Council choose to enact individual

recommendations for approval. The applicant has provided three different design concepts for the three individual buildings. All share the same building footprint, but variations occur with fenestration and size of attached front porch.

Conditional use approval may be recommended by the Plan Commission with reasonable consideration of the following:

- (1) The establishment, maintenance, or operation of the conditional use will not be detrimental to or endanger public health, safety, or general welfare.*
- (2) The establishment of the conditional use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.*
- (3) The conditional use, its exterior architectural design, and functional plan of any proposed structure will not be injurious to the use of other property in the immediate vicinity nor substantially diminish or impair property values within the surrounding neighborhood.*
- (4) Adequate utilities, access roads, drainage, and/or necessary facilities have been or are being provided.*
- (5) Adequate measures have been or will be taken to provide ingress and egress and so designed as to minimize traffic congestion.*
- (6) Adequate parking facilities as specified in Article XVIII of this chapter.*
- (7) The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located and all other applicable City ordinances.*

After reviewing the request, staff has determined that the use does comply with the seven standards for CUP approval.

S-RLI requires a conditional use permit for new residential homes. The zoning code calls for a mix of compatible land uses in a variety of locations and scales, with the intent of continuing and limiting expansion of single and two-family uses while allowing for compatibility with commercial and light industrial uses. Within the S-RLI, any new residential uses must meet standards defined in Sec. 44-2078. Those standards are italicized.

The residential use is located in a predominantly residential area.

The parcels are mid-block and surrounded by single-family residential uses.

The residential use will not adversely affect commercial and industrial uses in the area.

At a parcel level, staff does not feel the development of a single parcel will adversely affect commercial and industrial uses given the small size of each lot. However, if all three lots were to be combined, the possibility of a more tangible commercial or industrial user would be greater. However, given the location in the mid-block, being surrounded by existing residential homes, staff does not believe banking the individual parcels to hold out for a potential larger user is necessary.

The residential use will not be subject to excessive noise, smoke, dust, noxious odor, toxic materials, safety hazards, or other adverse impacts from current or previous commercial or manufacturing uses.

Staff does not believe this location to have substantial adverse impacts.

The residential use will not impair the future use or development of commercial and manufacturing zoned lots.

As previously noted, staff has some hesitance to this provision, but given the mid-block location and the surrounding existing single-family homes, staff believe the proposed use is appropriate and the development of commercial or manufacturing is more appropriate on larger lots or corner lots.

New residential uses shall fit in with the scale and design of surrounding residential uses.

The proposed options call for a 26-foot-wide, two-story home with a two-stall detached garage in the rear. Each proposed residence includes a covered front porch of varying sizes. The proposal denotes varying

materials and roof pitches. The overall footprint is 732 square feet. This design is of a nature which is similar to surrounding homes which vary from one story to two stories, but generally have a footprint of similar nature, often with covered front porches and detached backyard garages.

For new single-family homes, the minimum building width shall be at least 22 feet.
The proposed buildings meet this qualification.

Ald. DeBaker, the Shipyard Neighborhood Association, and adjacent property owners within 200 ft. of the subject area have been notified of the request. There was one inquiry and shared by a property owner residing on State Street. The neighbor was generally favorable of the request and would like to see more single-family homes in the neighborhood. The neighbor had concerns about construction disruptions as a possible concern.

RECOMMENDATION

Approval subject to the following conditions (for each parcel):

1. Compliance with all regulations of the Green Bay Municipal Code.
2. A sidewalk leading from the front porch to the sidewalk at the Right of Way shall be present
3. New residential construction must vary in roof pitch and material color from neighboring residences.

FISCAL IMPACT

ATTACHMENTS

1. ZP 26-09 26-10 26-11 Redacted Application
2. ZP 26-09 Rendering and Layout
3. ZP 26-09 10 11 Site Plan



REQUEST FOR CITY ACTION PLAN COMMISSION

Community and Economic
Development Department
100 N. Jefferson Street, Rm 608
Green Bay, WI 54301-5026
(920) 448-3400 - phone
(920) 448-3426 - fax
planning@greenbaywi.gov
www.greenbaywi.gov

Location of Property: 1108, 1112, & 1116 S Broadway

Parcel Number(s): 1-767, 1-766, 1-765

Petitioner(s): Radue Homes Inc Date: 2/26/2026

Email: _____ Phone Number: 920-

Address: 2585 S Broadway City: Green Bay State: WI Zip: 54304

Property Owner: City of Green Bay RDA Phone Number: _____

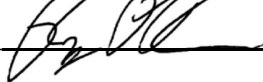
Submit this Request Form and all required attachments to the Community and Economic Development Department, Room 608, City Hall

To: Honorable Mayor and Common Council, c/o City Clerk

I, Ryan Radue, respectfully request that the City of Green Bay take the following action:

- Rezone Property (\$375.00 Review Fee)
- Conditional Use and CUP Amendment, including Single Lot Duplexes (\$375.00 Review Fee)
- Planned Unit Development (PUD)/New (\$600.00 Review Fee)
- Planned Unit Development (PUD)/Amendment (\$250.00 Review Fee)
- Approve Preliminary City/Extraterritorial Subdivision Plat (\$150.00 + \$35.00 per Lot/Outlot Review Fee)
- Approve Preliminary Condominium Plat (\$250.00 + \$35.00 per Lot/Outlot/Lot Equivalent Review Fee)
- Approve Preliminary City/Extraterritorial Certified Survey Map (\$250.00 Review Fee)
- Approve Final City/Extraterritorial Subdivision Plat (\$150.00 Review Fee)
- Approve Final Condominium Plat (\$150.00 Review Fee)
- Grant a City/Extraterritorial Subdivision/CSM Variance (\$200.00 Review Fee)
- Development District Map Amendment (\$200.00 Administration Fee)
- Official Map Amendment (\$200.00 Administration Fee)
- Plat of Right-of-Way (\$200.00 Administration Fee)
- Public Utility Easement Acceptance or Discontinuance (\$200.00 Administration Fee)
- Street Name Change (\$200.00 Administration Fee)
- Declare City Property "City Surplus" (\$200.00 Administration Fee)
- Vacate a Street/Alley/Pedestrian Way (\$300.00 Administration Fee) PLEASE FILL OUT PAGE 2 OF
- APPLICATION Closure of Street/Alley/Pedestrian Way (\$300.00 Administration Fee)
- Comprehensive Plan Amendments (\$375.00 Review Fee)
- Other (\$200.00 Administration Fee): _____

Owner Signature: _____ Date: _____

Petitioner Signature(s):  _____ 3/6/2026

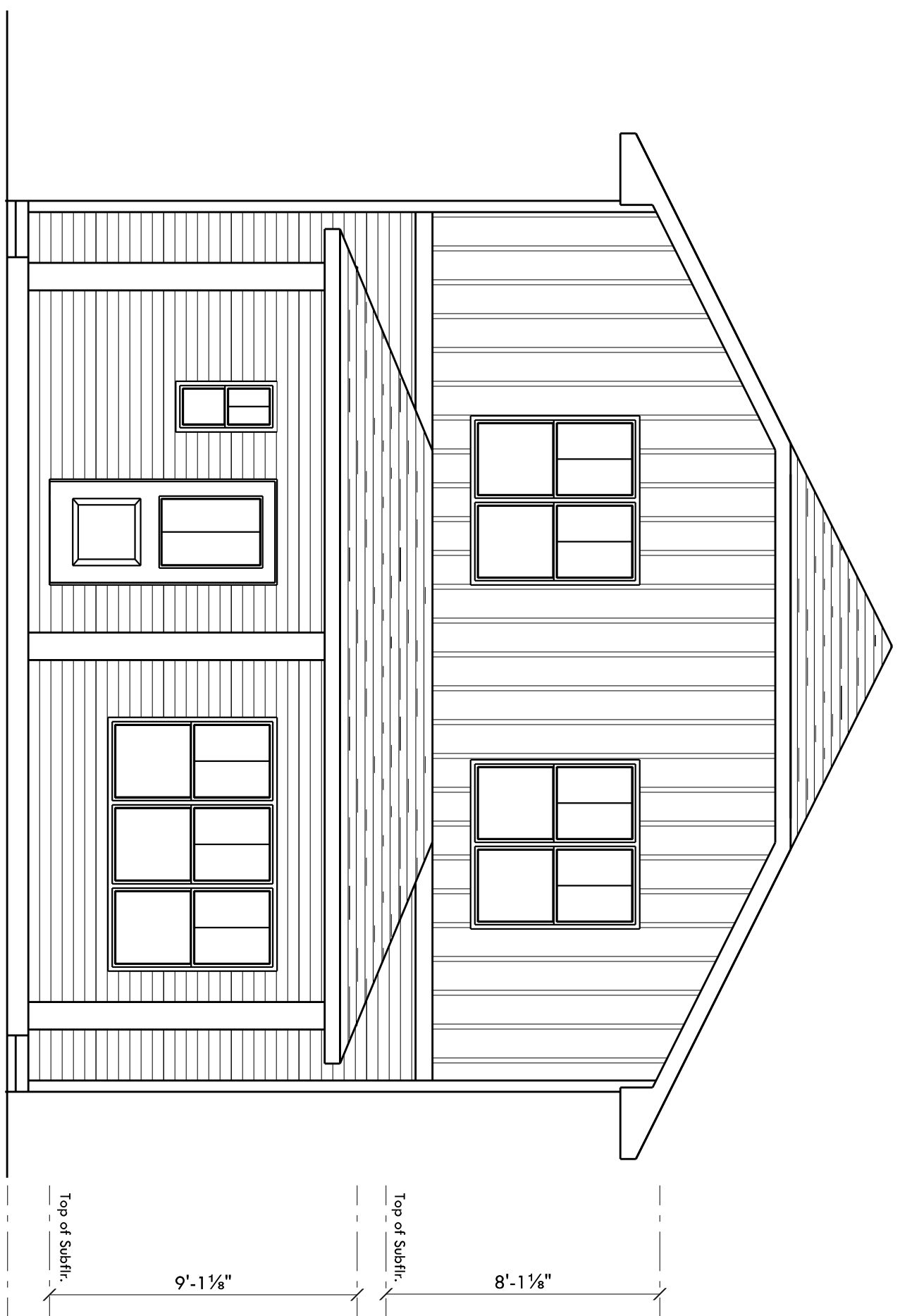
Checklist of required attachments:

- Map
- Legal Description
- Applicant Narrative Describing Project
- All Other Pertinent Information

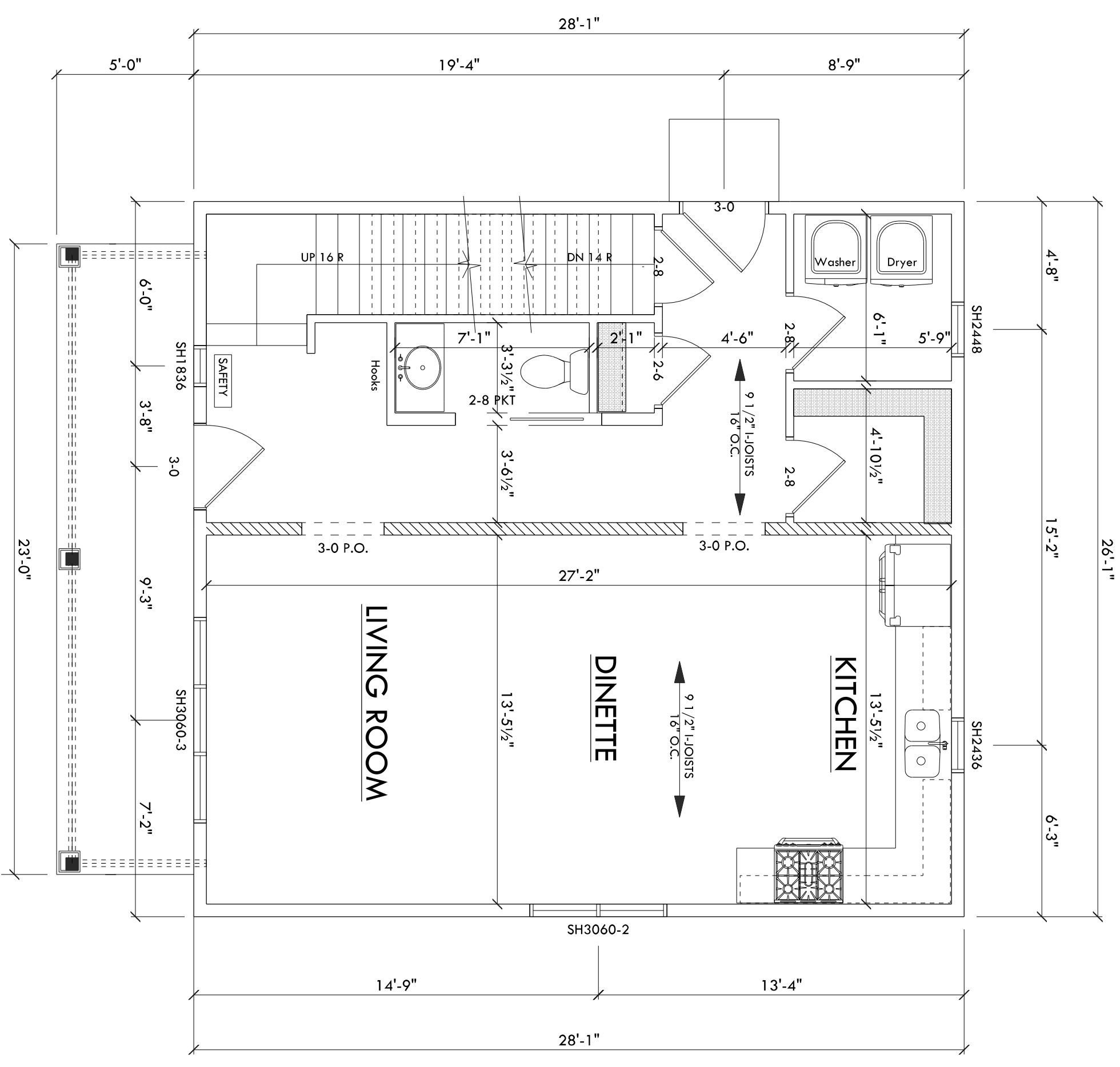
You must meet with Planning staff prior to submission. View City of Green Bay Actions Guide for Rezone, CUP and PUD guidelines - <https://www.greenbaywi.gov/ActionsGuide>

For office use only:

Review Fee: _____ Receipt No.: _____ Zoning Petition No.: _____

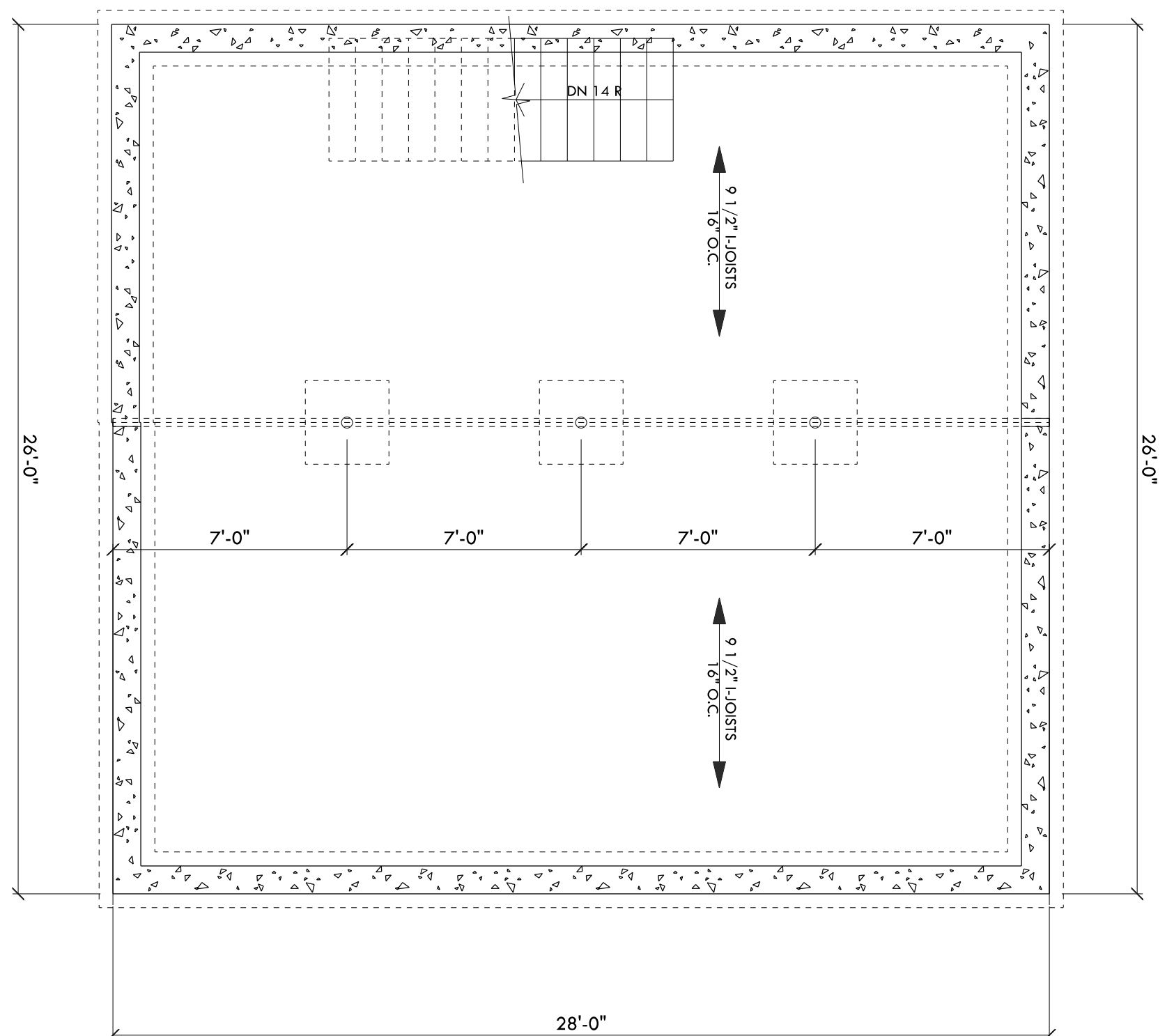


Front Elevation
SCALE 1/4"=1'-0"

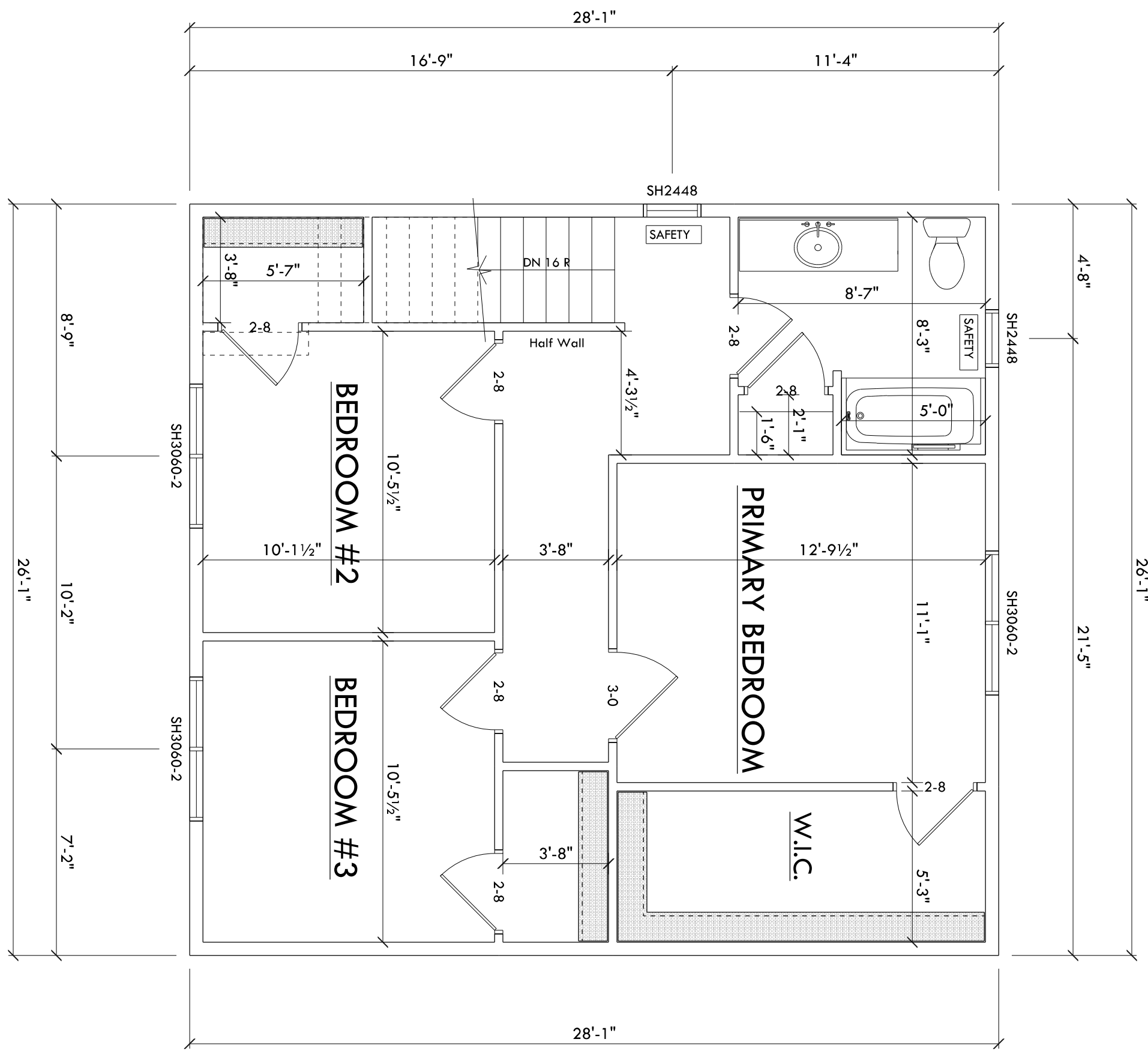


First Floor Plan
SCALE 1/4"=1'-0"
9'-1 1/8" CLG HT.

AREA SCHEDULE	
NAME	AREA
First Floor	732.5 sq ft.
Second Floor	732.5 sq ft.



Lower Level Plan
SCALE 1/4"=1'-0"



Second Floor Plan
SCALE 1/4"=1'-0"
8' 1 1/8" CLG HT.

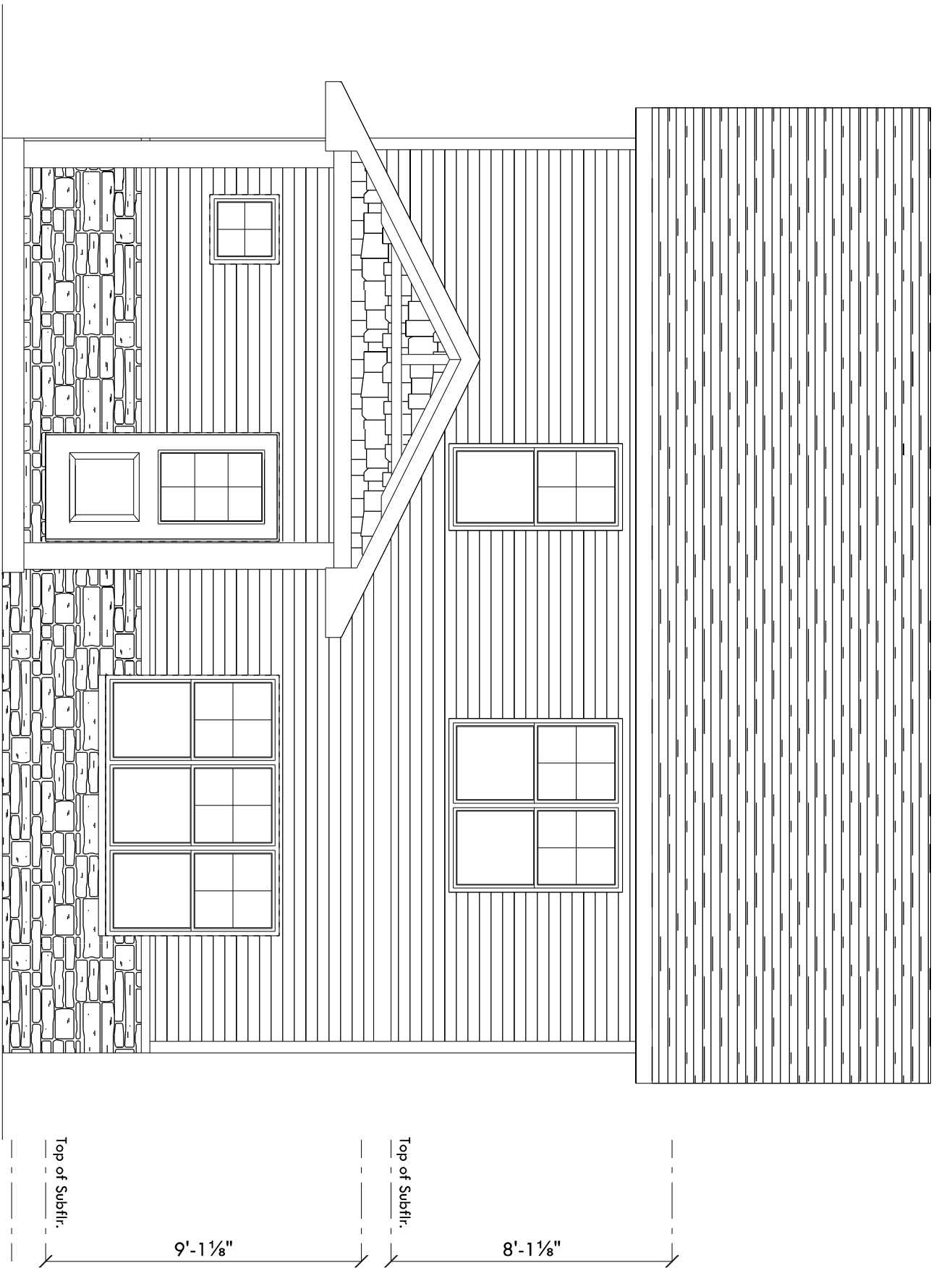
SHEET 1 / 3	PLAN # 26-06	PERSONAL BUILDER	DATE: 2/17/26	REVISIONS
	STATUS: Bid Plan	DESIGNER KAILYN E.		

BROADWAY
OPTION A

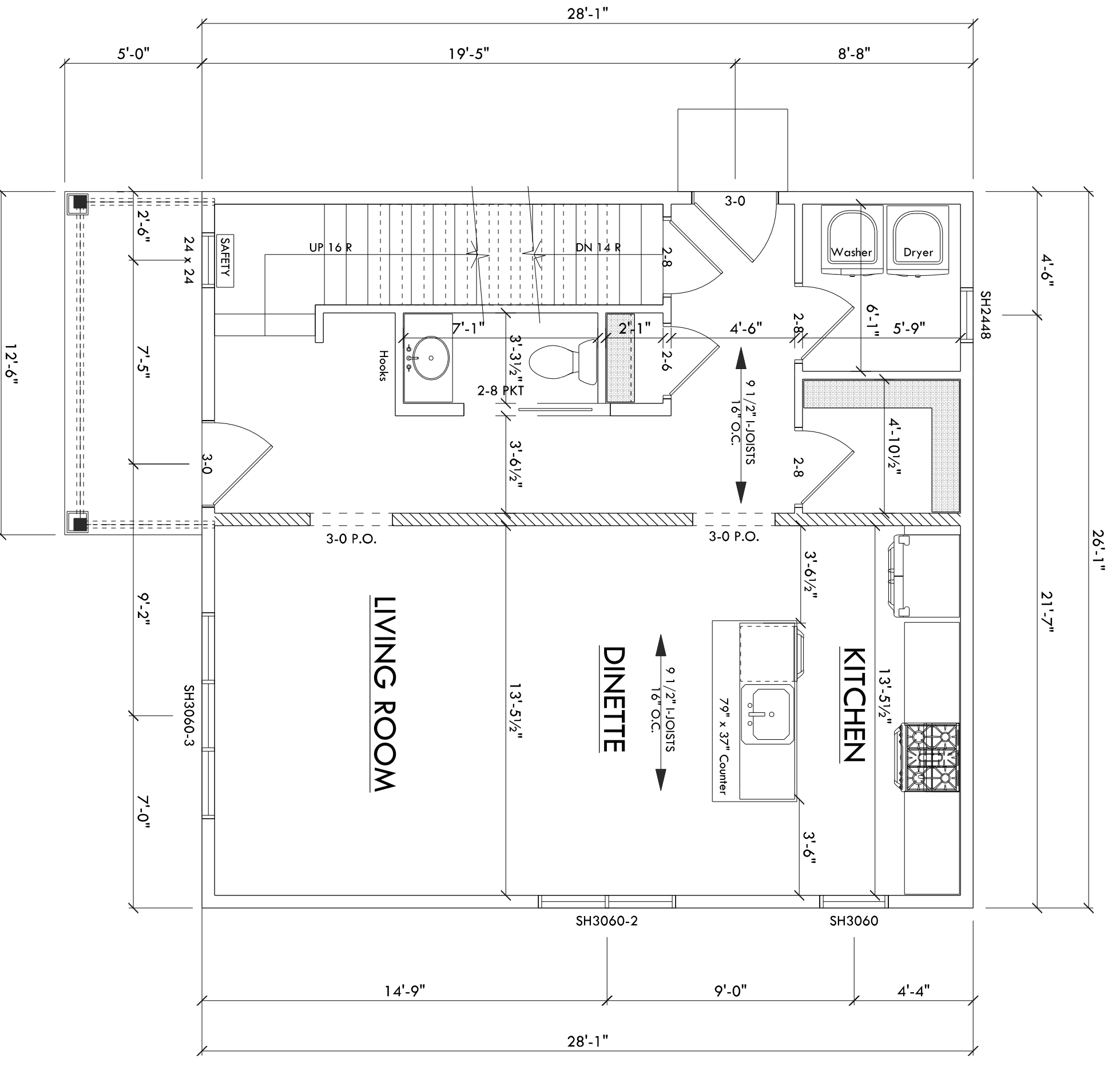
ADDRESS:
2585 S. BROADWAY
GREEN BAY, WI 54304
PH: 920.569.6355
RADUEHOMES.COM

THESE PLANS ARE PROPERTY
OF RADUE HOMES. ANY
REPRODUCTION WITHOUT
WRITTEN CONSENT IS
STRICTLY PROHIBITED



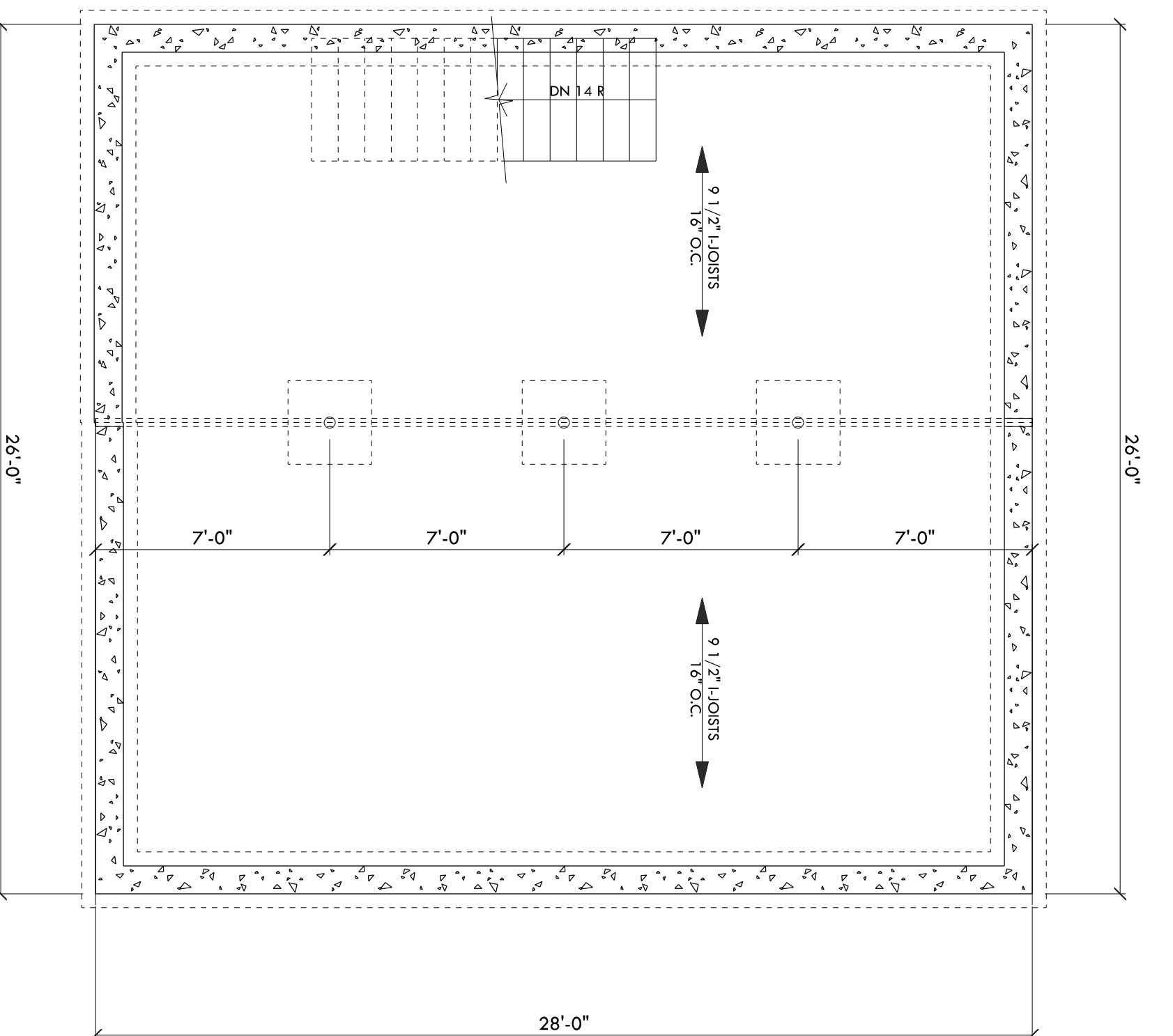


Elevation
SCALE 1/4"=1'-0"

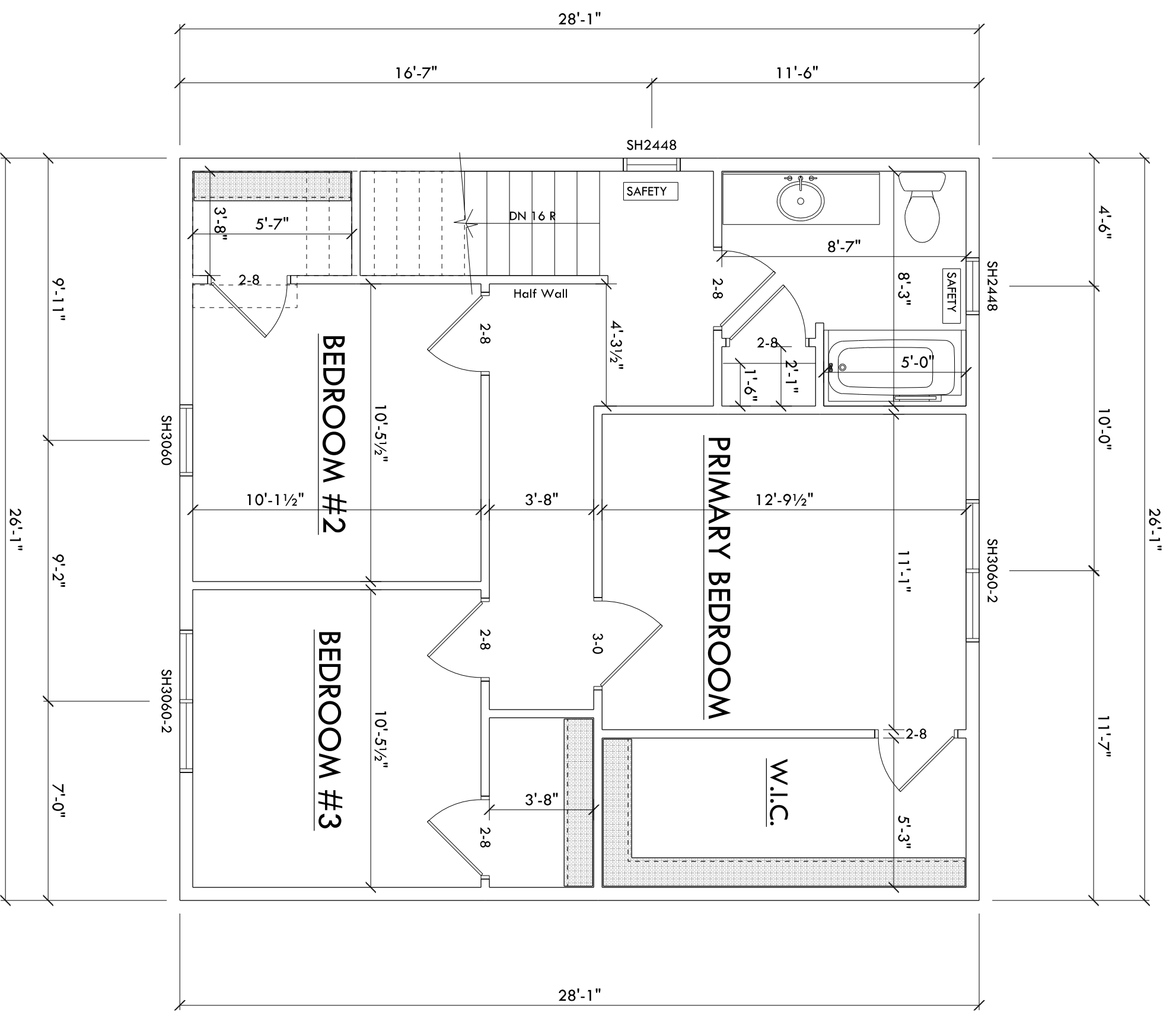


First Floor Plan
SCALE 1/4"=1'-0"
9'-1 1/8" CLG. HT.

AREA SCHEDULE	
NAME	AREA
First Floor	732.5 sq ft.
Second Floor	732.5 sq ft.



Lower Level Plan
SCALE 1/4"=1'-0"



Second Floor Plan
SCALE 1/4"=1'-0"
8'-1 1/8" CLG. HT.

SHEET 2 / 3	PLAN # 26-06	PERSONAL BUILDER	DATE: 2/17/26	REVISIONS
	STATUS: Bid Plan	DESIGNER KAILYN E.		

BROADWAY
OPTION B

ADDRESS:
2585 S. BROADWAY
GREEN BAY, WI 54304
PH. 920.569.6355
RADUEHOMES.COM

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Report to the Green Bay Plan Commission

MEETING DATE

April 27, 2026

PREPARED BY

AGENDA ITEM # E.9

(ZP 26-12) Public Hearing on a Conditional Use Permit request to build a single family home within the S-RLI zoned district at **1216 S Broadway**, submitted by Matt Sahs of Green Bay Habitat for Humanity; applicant and property owner. (Ald. DeBaker, District 9)

(ZP 26-13) Public Hearing on a Conditional Use Permit request to build a single family home within the S-RLI zoned district at **1319 S Broadway**, submitted by Matt Sahs of Green Bay Habitat for Humanity; applicant and property owner. (Ald. DeBaker, District 9)

(ZP 26-14) Public Hearing on a Conditional Use Permit request to build a single family home within the S-RLI zoned district at **1321 S Broadway**, submitted by Matt Sahs of Green Bay Habitat for Humanity; applicant and property owner. (Ald. DeBaker, District 9)

(ZP 26-15) Public Hearing on a Conditional Use Permit request to build a single-family home within the S-RLI zoned district at **1305 S Chestnut Ave**, submitted by Matt Sahs of Green Bay Habitat for Humanity; applicant and property owner. (Ald. DeBaker, District 9)

(ZP 26-16) Public Hearing on a Conditional Use Permit request to build a single family home within the S-RLI zoned district at **1223 S Chestnut Ave**, submitted by Matt Sahs of Green Bay Habitat for Humanity; applicant and property owner. (Ald. DeBaker, District 9)

(ZP 26-17) Public Hearing on a Conditional Use Permit request to build a single family home within the S-RLI zoned district at **1322 S Chestnut Ave**, submitted by Matt Sahs of Green Bay Habitat for Humanity; applicant and property owner. (Ald. DeBaker, District 9)

BACKGROUND

RECOMMENDATION

FISCAL IMPACT

ATTACHMENTS

None



Report to the Green Bay Plan Commission

MEETING DATE

April 27, 2026

PREPARED BY

Jon LeRoy, Zoning Administrator

AGENDA ITEM # E.10

(ZP 26-12) Consideration with possible action on a Conditional Use Permit request to build a single family home within the S-RLI zoned district at **1216 S Broadway**, submitted by Matt Sahs of Green Bay Habitat for Humanity; applicant and property owner. (Ald. DeBaker, District 9)

(ZP 26-13) Consideration with possible action on a Conditional Use Permit request to build a single family home within the S-RLI zoned district at **1319 S Broadway**, submitted by Matt Sahs of Green Bay Habitat for Humanity; applicant and property owner. (Ald. DeBaker, District 9)

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(ZP 26-17) Consideration with possible action on a Conditional Use Permit request to build a single family home within the S-RLI zoned district at **1322 S Chestnut Ave**, submitted by Matt Sahs of Green Bay Habitat for Humanity; applicant and property owner. (Ald. DeBaker, District 9)

BACKGROUND

Reason for Request: To construct a single-family homes within the S-RLI Special Purpose — Residential Light Industrial. A new single-family home requires a conditional use permit. The following staff report is for the following address submitted by Matt Sahs of Green Bay Habitat for Humanity, applicant and property owner.

- 1216 S Broadway (ZP 26-12)
- 1319 S Broadway (ZP 26-13)
- 1321 S Broadway (ZP 26-14)
- 1305 S Chestnut Av (ZP 26-15)
- 1223 S Chestnut Av (ZP 26-16)
- 1322 S Chestnut Av (ZP 26-17)

RLI Special Purpose—Residential Light Industrial district. A new single-family home requires a conditional use permit.

Subject Parcel Zoning and Land Use: S-RLI | Home under construction

Surrounding Zoning and Land Uses:

1216 S Broadway

North: S-RLI Special Purpose–Residential Light Industrial | Single-Family Residential

South: S-RLI Special Purpose–Residential Light Industrial | Single-Family Residential

East: S-RLI Special Purpose–Residential Light Industrial | Blindauer warehouse

West: S-RLI Special Purpose–Residential Light Industrial | Single-Family Residential and Vacant

1319 S Broadway

North: S-RLI Special Purpose–Residential Light Industrial | Two-Family Residential

South: S-RLI Special Purpose–Residential Light Industrial | Single-Family Residential

East: S-RLI Special Purpose–Residential Light Industrial | HVAC Office

West: S-RLI Special Purpose–Residential Light Industrial | Three-Family Residential

1321 S Broadway

North: S-RLI Special Purpose–Residential Light Industrial | Single-Family Residential

South: S-RLI Special Purpose–Residential Light Industrial | Single-Family Residential

East: S-RLI Special Purpose–Residential Light Industrial | Commercial Parking

West: S-RLI Special Purpose–Residential Light Industrial | Two-Family Residential

1305 S Chestnut

North: S-RLI Special Purpose–Residential Light Industrial | Single-Family Residential

South: S-RLI Special Purpose–Residential Light Industrial | Single-Family Residential

East: S-RLI Special Purpose–Residential Light Industrial | RDA Vacant

West: S-RLI Special Purpose–Residential Light Industrial | Single-Family Residential

1223 S Chestnut

North: S-RLI Special Purpose–Residential Light Industrial | Single-Family Residential

South: S-RLI Special Purpose–Residential Light Industrial | Single-Family Residential

East: S-RLI Special Purpose–Residential Light Industrial | Three-Family Residential

West: S-RLI Special Purpose–Residential Light Industrial | Single-Family Residential

1322 S Chestnut

North: S-RLI Special Purpose–Residential Light Industrial | Razed Home Site

South: S-RLI Special Purpose–Residential Light Industrial | Single-Family Residential

East: S-RLI Special Purpose–Residential Light Industrial | Two-Family Residential

West: S-RLI Special Purpose–Residential Light Industrial | Single-Family Residential and Vacant

Comprehensive Plan: The Go Big Green Bay 2050 Comprehensive Plan designates this area for Mixed-Use

Report: The subject requests are located on six individual lots located in the 1200 and 1300 blocks of S Broadway and S Chestnut Ave. All are located mid-block. Greater Green Bay Habitat for Humanity is seeking to develop each individual lot. Each lot is approximately 50 feet and have a slight variance in depth, resulting in lot sizes varying from 7345 square feet to 7688 square feet. Each individual lot requires its own individual zoning petition, but the applicant is seeking to place a single family residence on each lot.

Because of the same property owner, same applicant, and similar nature of each residence and parcel, these individual parcel applications are being presented as a singular staff report to the Plan Commission as they all

share similar design and use characteristics. Each individual parcel has its own individual resolution and is subject to its own individual standards if the Plan Commission or Common Council choose to enact individual recommendations for approval. The applicant has provided individual site plans and building designs for each lot.

The three lots along Broadway were sold as part of a purchase with the Redevelopment Authority (RDA) in 2025. Those three lots, along with parcels at 1305 and 1223 S Chestnut, have received approval for the build of a single-family home from inspectors, meeting typical bulk requirements. These homes still require a conditional use permit for use as a new single-family home.

Conditional use approval may be recommended by the Plan Commission with reasonable consideration of the following:

- (1) The establishment, maintenance, or operation of the conditional use will not be detrimental to or endanger public health, safety, or general welfare.*
- (2) The establishment of the conditional use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.*
- (3) The conditional use, its exterior architectural design, and functional plan of any proposed structure will not be injurious to the use of other property in the immediate vicinity nor substantially diminish or impair property values within the surrounding neighborhood.*
- (4) Adequate utilities, access roads, drainage, and/or necessary facilities have been or are being provided.*
- (5) Adequate measures have been or will be taken to provide ingress and egress and so designed as to minimize traffic congestion.*
- (6) Adequate parking facilities as specified in Article XVIII of Section 44-83 within the Municipal Code.*
- (7) The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located and all other applicable City ordinances.*

After reviewing the request, staff has determined that the use does comply with the seven standards for CUP approval.

S-RLI requires a conditional use permit for new residential homes. The zoning code calls for a mix of compatible land uses in a variety of locations and scale of parcels. Limited expansion of single and two-family uses can be conditionally approved if the use allows for compatibility with commercial and light industrial uses. Within the S-RLI, any new residential uses must meet standards defined in Sec. 44-2078. Those standards are italicized.

The residential use is located in a predominantly residential area.

The parcels are located mid-block and typically surrounded by residential uses on the block itself. The exceptions are some rear yards are adjacent to commercial use as the parcels along Broadway have commercial use adjacent.

The residential use will not adversely affect commercial and industrial uses in the area.

Given the size of the individual lots and its locations in the mid block, new commercial and industrial activity is very limited and the sizing of the lots is appropriate for a single-family home.

The residential use will not be subject to excessive noise, smoke, dust, noxious odor, toxic materials, safety hazards, or other adverse impacts from current or previous commercial or manufacturing uses.

Staff does not believe this location to have substantial adverse impacts.

The residential use will not impair the future use or development of commercial and manufacturing zoned lots.

No. The size of the parcels and locations in the mid-block do not create ideal conditions for standalone

commercial or manufacturing use.

New residential uses shall fit in with the scale and design of surrounding residential uses.

The proposed buildings are a mix of single and two-story single-family homes with detached garages. With the exception of 1319 and 1321 S Broadway, homes have alley-loaded driveway access and have proposed driveways from the alley. The layouts meet bulk requirements.

For new single-family homes, the minimum building width shall be at least 22 feet.

The proposed buildings meet this qualification.

Ald. DeBaker, the Shipyard Neighborhood Association, and adjacent property owners within 200 ft. of the subject area have been notified of the request. As of publishing of this report, staff has not received feedback from neighbors.

RECOMMENDATION

Approval of the request subject to the following conditions (for each parcel):

1) Compliance with all the regulations of the Green Bay Municipal Code, including standard site plan review and approval

FISCAL IMPACT

ATTACHMENTS

1. ZP 26-12 1216 S Broadway Redacted Application
2. ZP 26-12 Site Plan Vertical Letter Size
3. ZP 26-12 Rendering and Layout Vertical Ltr Size
4. Property Map 26-12 26-16
5. ZP 26-13 1319 S Broadway Redacted Application
6. ZP 26-13 1319 S Broadway Site Plan
7. ZP 26-13 Rendering and Layout
8. Property Map ZP 26-13 26-14
9. ZP 26-14 Redacted Application
10. ZP 26-14 1321 S Broadway Site Plan
11. ZP 26-14 Rendering and Layout
12. ZP 26-15 Redacted Application 1305 S Chestnut
13. ZP 26-15 1305 S Chestnut Site Plan
14. ZP 26-15 Rendering and Layout
15. ZP 26-16 Redacted Application 1223 S Chestnut
16. ZP 26-16 1223 S Chestnut Site Plan
17. ZP 26-16 Rendering and Layout
18. ZP 26-17 Redacted Application 1322 S Chestnut
19. Property Map ZP 26-15 26-17
20. ZP 26-17 1322 South Chestnut Site plan
21. ZP 26-17 Rendering and Layout



REQUEST FOR CITY ACTION PLAN COMMISSION

Community and Economic
Development Department
100 N. Jefferson Street, Rm 608
Green Bay, WI 54301-5026
(920) 448-3400 - phone
(920) 448-3426 - fax
planning@greenbaywi.gov
www.greenbaywi.gov

Location of Property: 12 16 S. Broadway

Parcel Number(s): 1-851

Petitioner(s): Greater Green Bay Habitat for Humanity Date: 03/26/2026

Email: _____ Phone Number: _____

Address: 1967 Allouez Avenue City: Green Bay State: WI Zip: 54311

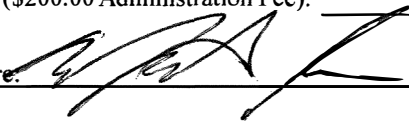
Property Owner: Greater Green Bay Habitat for Humanity Phone Number: _____

Submit this Request Form and all required attachments to the Community and Economic Development Department, Room 608, City Hall

To: Honorable Mayor and Common Council, c/o City Clerk

I, Matt Sahs, respectfully request that the City of Green Bay take the following action:

- Rezone Property (\$375.00 Review Fee)
- Conditional Use and CUP Amendment, including Single Lot Duplexes (\$375.00 Review Fee)
- Planned Unit Development (PUD)/New (\$600.00 Review Fee)
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- Public Utility Easement Acceptance or Discontinuance (\$200.00 Administration Fee)
- Street Name Change (\$200.00 Administration Fee)
- Declare City Property "City Surplus" (\$200.00 Administration Fee)
- Vacate a Street/Alley/Pedestrian Way (\$300.00 Administration Fee) PLEASE FILL OUT PAGE 2 OF APPLICATION
- Closure of Street/Alley/Pedestrian Way (\$300.00 Administration Fee)
- Comprehensive Plan Amendments (\$375.00 Review Fee)
- Other (\$200.00 Administration Fee): _____

Owner Signature:  Date: 3-26-26

Petitioner Signature(s): _____

Checklist of required attachments:

- Map
- Legal Description
- Applicant Narrative Describing Project
- All Other Pertinent Information

You must meet with Planning staff prior to submission. View City of Green Bay Actions Guide for Rezone, CUP and PUD guidelines - <https://www.greenbaywi.gov/ActionsGuide>

For office use only:

Review Fee: _____ Receipt No.: _____ Zoning Petition No.: _____

TAX PARCEL: 1-851
FIELDWORK COMPLETED: XX/XX/XX

LOT 4

LOT 5

LOT 6

LOT 7

LOT 8

LOT 9

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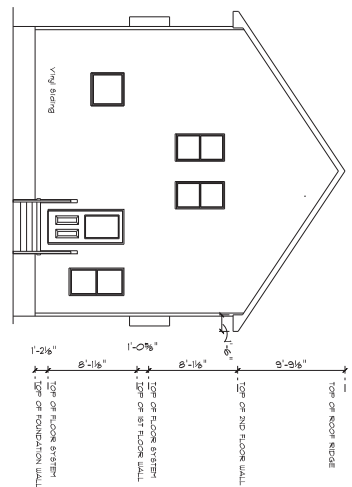
LOT 279

LOT 280

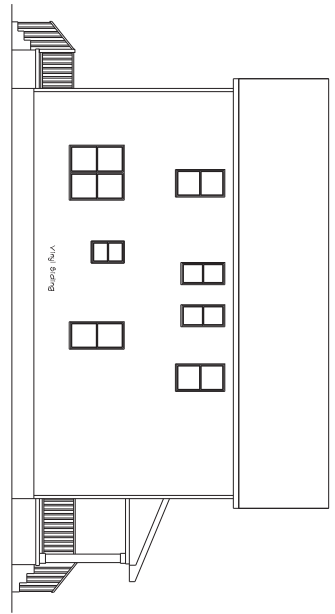
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LOT 282

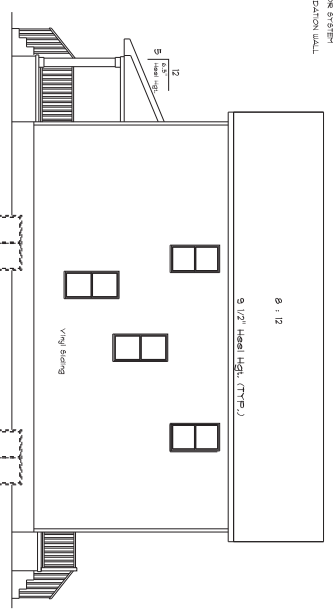
SQUARE FOOTAGE:
 FIRST FLOOR: 961
 SECOND FLOOR: 961
 FINISHED BATHROOM: 525
 COVERED PORCH: 156



REAR ELEVATION
 SCALE: 1/8" = 1'-0"



LEFT ELEVATION
 SCALE: 1/8" = 1'-0"



RIGHT ELEVATION
 SCALE: 1/8" = 1'-0"



FRONT ELEVATION
 SCALE: 1/4" = 1'-0"

NOTE:
 THIS CONSTRUCTION PLAN CURRENTLY DOES NOT MEET PROPER WALL BRACING REQUIREMENTS. PLEASE CONTACT WISCONSIN BUILDING SUPPLY PRIOR TO APPLYING FOR PERMITS TO INITIATE THE START OF THE WALL BRACING PLAN/CALCULATIONS.

CUSTOM DESIGNED FOR:
Greater Green Bay - Habitat For Humanity

JOB NAME: 1216 South Broadway	REVISIONS:
DATE: August 4, 2025	
DRAWN BY: Hattie Sulick	
PLAN #: BASED OFF OF PLAN #19-148-1	25-179-T

IMPORTANT NOTE:

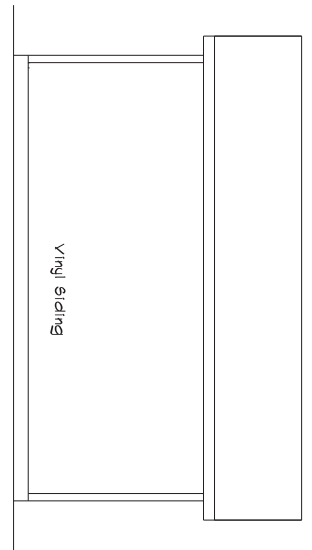
- IT IS AGREED THAT ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING AND CHECKING THESE PLANS FOR ACCURACY, THE GENERAL CONTRACTOR/OWNER MUST REVIEW ALL DIMENSIONS, DETAILS AND NOTES BEFORE BEGINNING ANY CONSTRUCTION AND IS HEREBY HELD RESPONSIBLE FOR ANY DISCOVERED DISCREPANCIES.
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OFFICE:
 1990 LARSEN ROAD
 GREEN BAY, WI 54303
 PHONE (920)496-8080
 FAX (920)494-9510

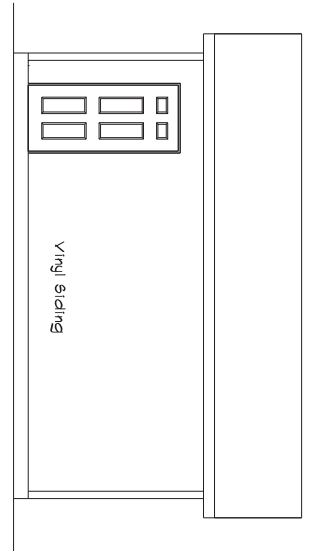
COMPONENTS:
 1745 MORRIS TERRACE
 GREEN BAY, WI 54303
 PHONE (920)496-5094
 FAX (920)498-1219

MAILING ADDRESS:
 P.O. BOX 10007
 GREEN BAY, WI 54301-0007

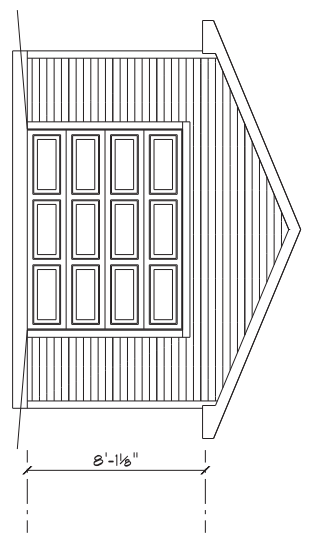
Wisconsin
 BUILDING SUPPLY



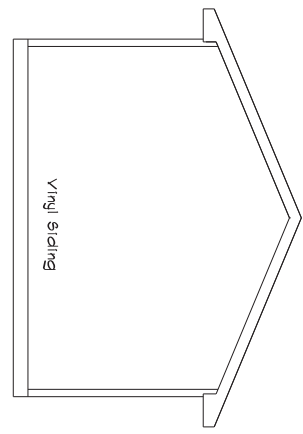
LEFT PLAN
SCALE: 1/4"=1'-0"



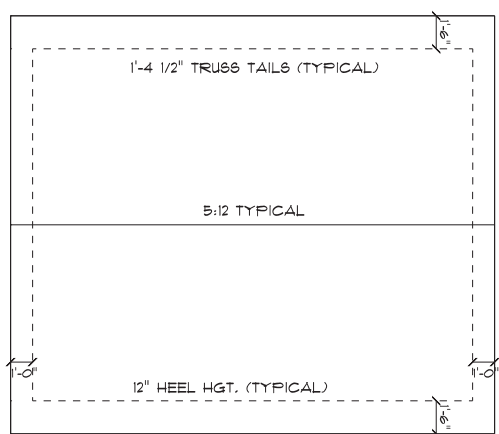
RIGHT PLAN
SCALE: 1/4"=1'-0"



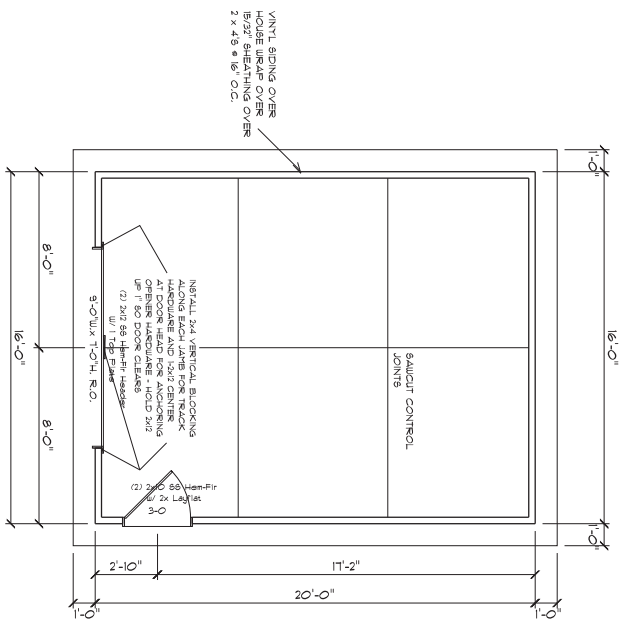
FRONT PLAN
SCALE: 1/4"=1'-0"



REAR PLAN
SCALE: 1/4"=1'-0"



ROOF PLAN
SCALE: 1/4"=1'-0"



FLOOR PLAN
SCALE: 1/4"=1'-0"

NOTE:
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Wisconsin
BUILDING SUPPLY

MAILING ADDRESS:
P.O. BOX 10007
GREEN BAY, WI 54301-0007

OFFICE:
1990 LARSEN ROAD
GREEN BAY, WI 54303
PHONE (920)496-8080
FAX (920)494-9510

COMPONENTS:
1716 MADRAINE TERRACE
GREEN BAY, WI 54303
PHONE (920)496-5094
FAX (920)498-1219

IMPORTANT NOTE:

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CUSTOM DESIGNED FOR:

Greater Green Bay - Habitat For Humanity

JOB NAME: 1216 South Broadway	
DATE: August 4, 2019	REVISIONS:
DRAWN BY: Hallie Sulak	
PLAN #: BASED OFF OF PLAN #19-148-T	25-179-T



REQUEST FOR CITY ACTION PLAN COMMISSION

Community and Economic
Development Department
100 N. Jefferson Street, Rm 608
Green Bay, WI 54301-5026
(920) 448-3400 - phone
(920) 448-3426 - fax
planning@greenbaywi.gov
www.greenbaywi.gov

Location of Property: 1319 S. Broadway

Parcel Number(s): 1-936-C

Petitioner(s): Greater Green Bay Habitat for Humanity Date: 03/26/2026

Email: _____ Phone Number: 9

Address: 1967 Allouez Avenue City: Green Bay State: WI Zip: 54311

Property Owner: Greater Green Bay Habitat for Humanity Phone Number: 9

Submit this Request Form and all required attachments to the Community and Economic Development Department, Room 608, City Hall

To: Honorable Mayor and Common Council, c/o City Clerk

I, Matt Sahs, respectfully request that the City of Green Bay take the following action:

- Rezone Property (\$375.00 Review Fee)
- Conditional Use and CUP Amendment, including Single Lot Duplexes (\$375.00 Review Fee)
- Planned Unit Development (PUD)/New (\$600.00 Review Fee)
- Planned Unit Development (PUD)/Amendment (\$250.00 Review Fee)
- Approve Preliminary City/Extraterritorial Subdivision Plat (\$150.00 + \$35.00 per Lot/Outlot Review Fee)
- Approve Preliminary Condominium Plat (\$250.00 + \$35.00 per Lot/Outlot/Lot Equivalent Review Fee)
- Approve Preliminary City/Extraterritorial Certified Survey Map (\$250.00 Review Fee)
- Approve Final City/Extraterritorial Subdivision Plat (\$150.00 Review Fee)
- Approve Final Condominium Plat (\$150.00 Review Fee)
- Grant a City/Extraterritorial Subdivision/CSM Variance (\$200.00 Review Fee)
- Development District Map Amendment (\$200.00 Administration Fee)
- Official Map Amendment (\$200.00 Administration Fee)
- Plat of Right-of-Way (\$200.00 Administration Fee)
- Public Utility Easement Acceptance or Discontinuance (\$200.00 Administration Fee)
- Street Name Change (\$200.00 Administration Fee)
- Declare City Property "City Surplus" (\$200.00 Administration Fee)
- Vacate a Street/Alley/Pedestrian Way (\$300.00 Administration Fee) PLEASE FILL OUT PAGE 2 OF APPLICATION
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Owner Signature: Date: 3-26-26

Petitioner Signature(s): _____

Checklist of required attachments:

- Map
- Legal Description
- Applicant Narrative Describing Project
- All Other Pertinent Information

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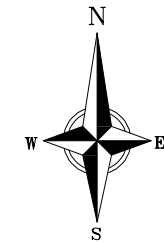
For office use only:

Review Fee: _____ Receipt No.: _____ Zoning Petition No.: _____

SITE PLAN

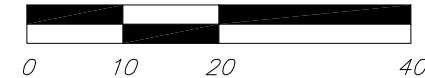
Lot 6, Block 35 of the recorded C.L.A. Tank's 6th Addition, located in Private Claim 9, West Side of Fox River, City of Green Bay, Brown County, Wisconsin.
~ 1319 S. Broadway ~

SITE PLAN



Bearings are based upon the Wisconsin County Coordinate System, Brown County, the Easterly right of way of S. Broadway assumed to be N26°05'36"E.

GRAPHIC SCALE: 1" = 20'



LEGEND

- ⊙ POINT OF RECORD
- 820 — EXISTING CONTOURS
- ⊖ 820 ⊕ PROPOSED CONTOURS
- EROSION CONTROL
- 2.92% PROPOSED SLOPE ARROWS
- ⊕ 1048.61 EXISTING SPOT ELEVATIONS
- 1048.61 PROPOSED SPOT ELEVATIONS
- PROPOSED BUILDING
- PROPOSED CONCRETE
- TRACKING PAD
- WINDOW WELL

BUILDING ELEVATIONS

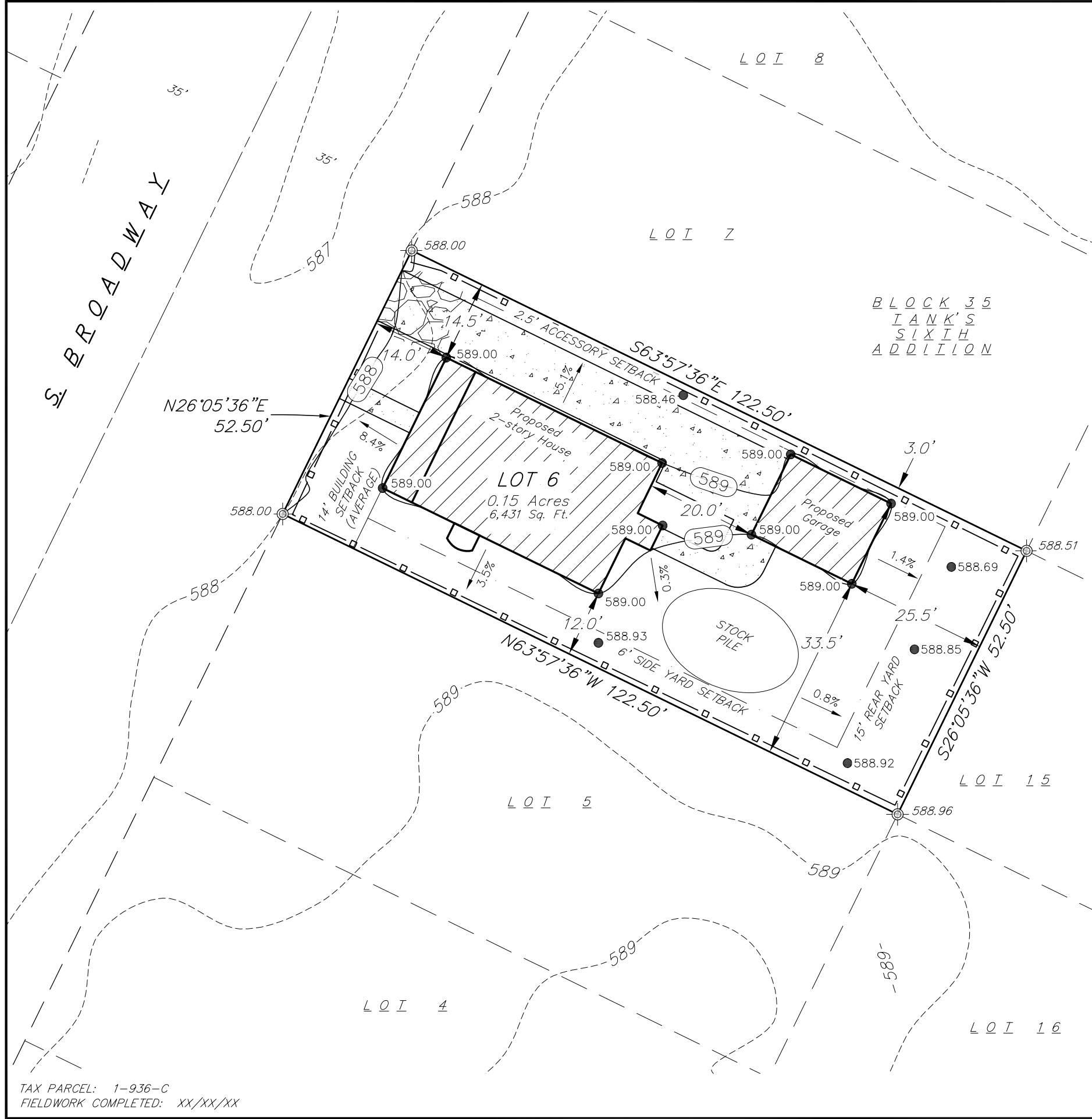
- TOP OF WALL: 591.0'
- FINISHED FLOOR: 592.2'
- BASEMENT FLOOR: 583.3'
- GARAGE FLOOR: 589.2'

NOTES

- Existing contours are from the 2020 Brown County LiDar data.
- Elevations are referenced to the NAVD 88 Benchmark Datum. The conversion factor to the City of Green Bay Datum is -483.79'.
- Footprint of proposed house & garage is Foundation Plan from Wisconsin Building Supply Plan No. 19-148-T, revision date 6/7/19.
- Proposed Impervious Surface:
Buildings: 1,463 sq. ft.
Concrete: 1,036 sq. ft.

EROSION & SEDIMENT CONTROL NOTE

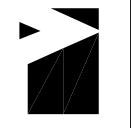
FOLLOW THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS AS FOUND AT: dnr.wisconsin.gov/topic/Stormwater/standards/const_standards.html
ALSO REFER TO CITY OF GREEN BAY ORDINANCE CHAPTER 16 FOR FURTHER REQUIREMENTS.



SURVEYED BY:
Vierbicher Associates, Inc.
400 Security Blvd, Ste 1
Green Bay, WI 54313
(920) 434-9670

SURVEYED FOR:
Habitat for Humanity
1967 Allouez Ave.
Green Bay, WI 54311
Drawing NO.: X-2023

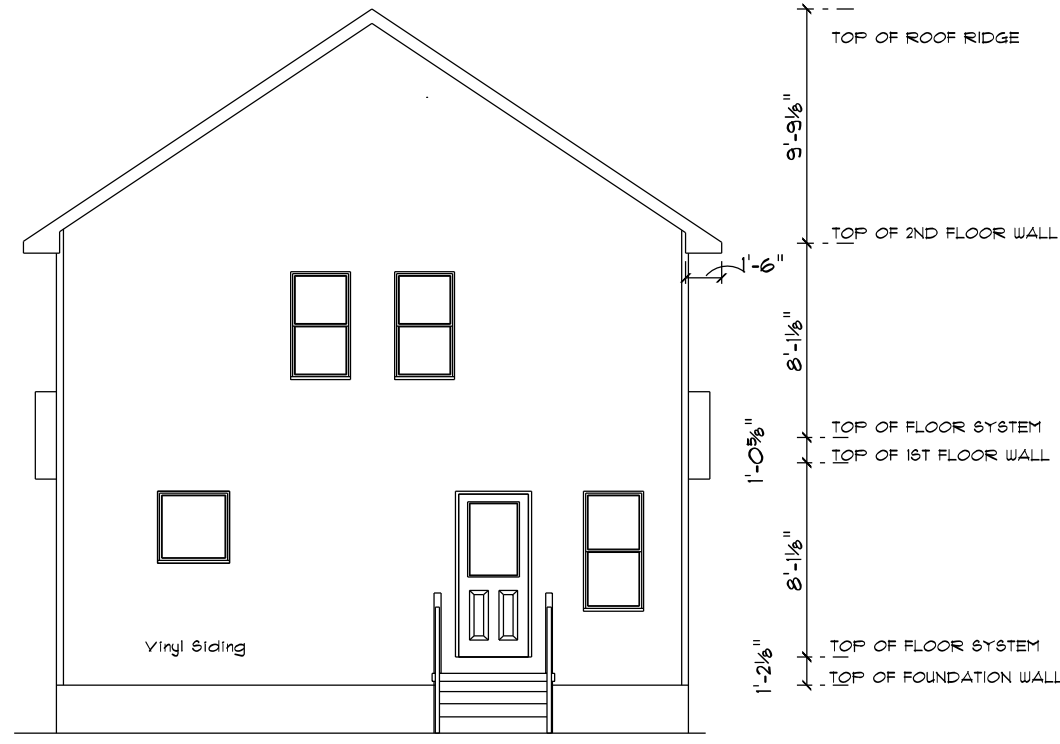
Job #: 250161
Date: 01/28/2025
Rev: 08/26/25
Drafted By: CMUE
Checked By: BBEI



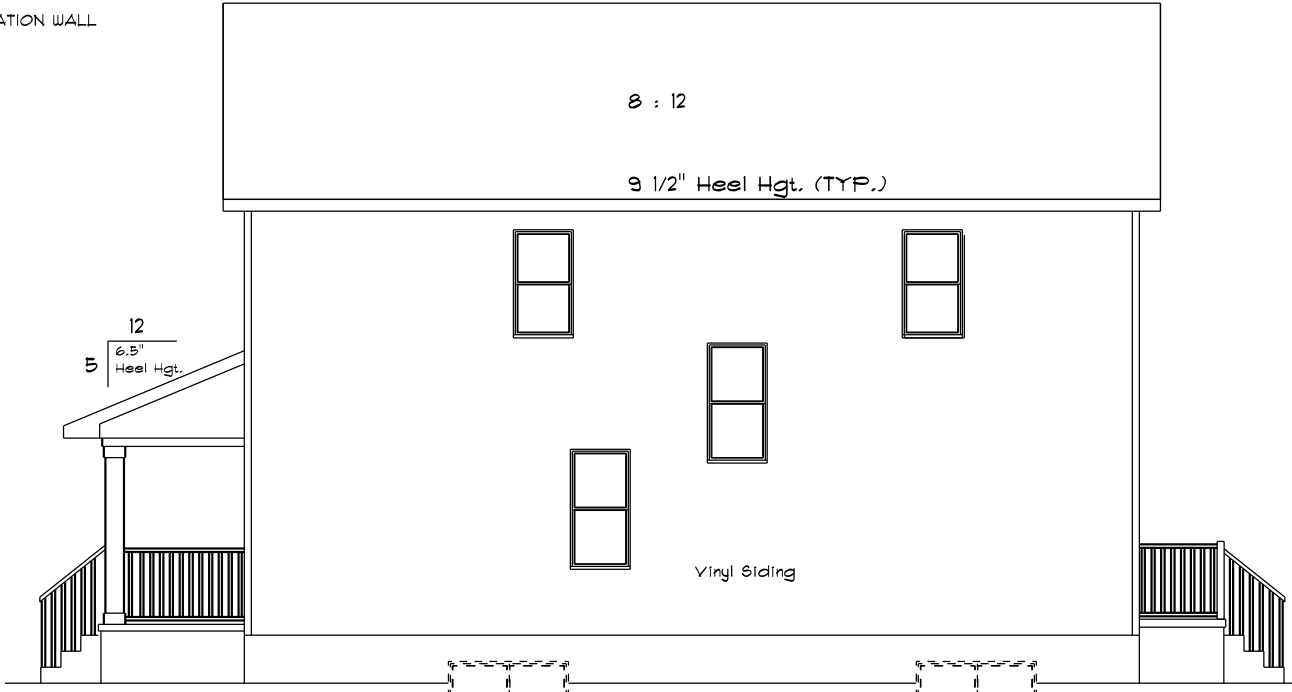
vierbicher
planners | engineers | advisors

TAX PARCEL: 1-936-C
FIELDWORK COMPLETED: XX/XX/XX

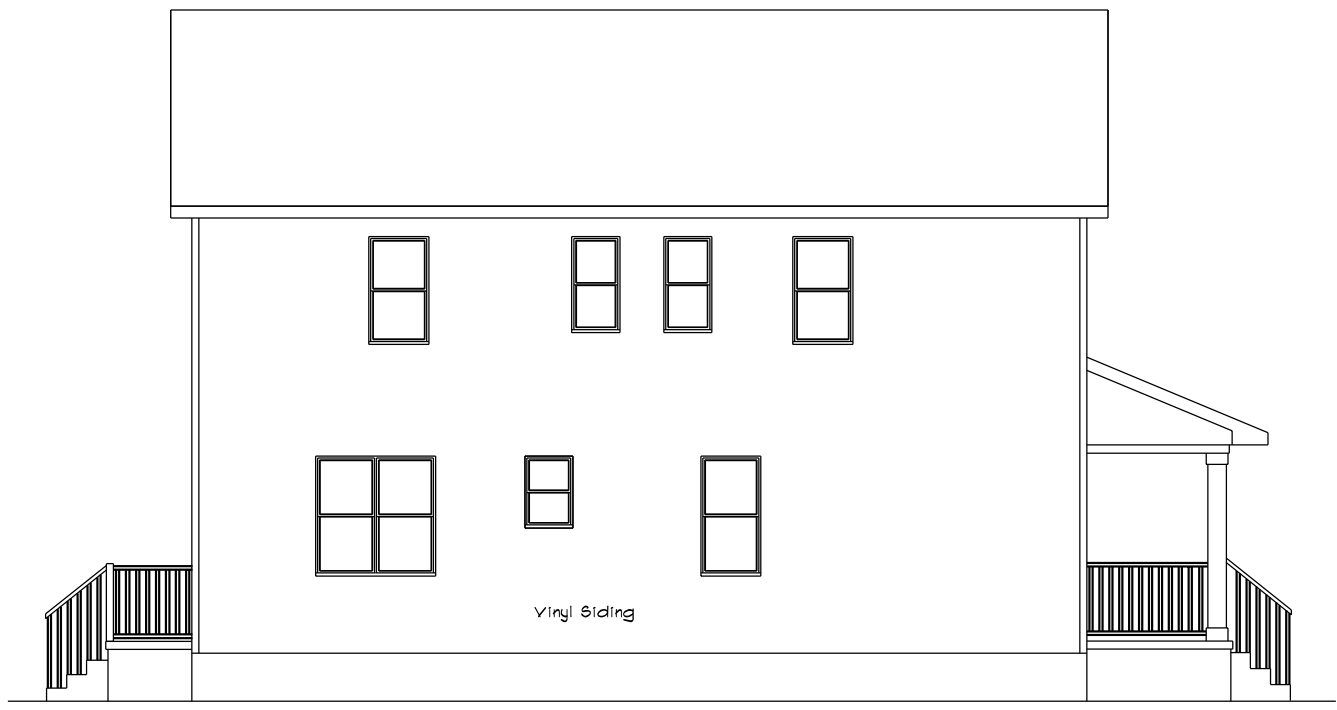
SQUARE FOOTAGE:	
FIRST FLOOR:	967
SECOND FLOOR:	967
FINISHED BASEMENT:	525
COVERED PORCH:	156



REAR ELEVATION
SCALE: 1/8" = 1'-0"



RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



LEFT ELEVATION
SCALE: 1/8" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

NOTE:
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CUSTOM DESIGNED FOR:		Greater Green Bay - Habitat For Humanity	
JOB NAME:		1319 South Broadway	
DATE:		August 4, 2025	
DRAWN BY:		Halle Suick	
PLAN #:		25-178-T	
REVISIONS:			

IMPORTANT NOTE:

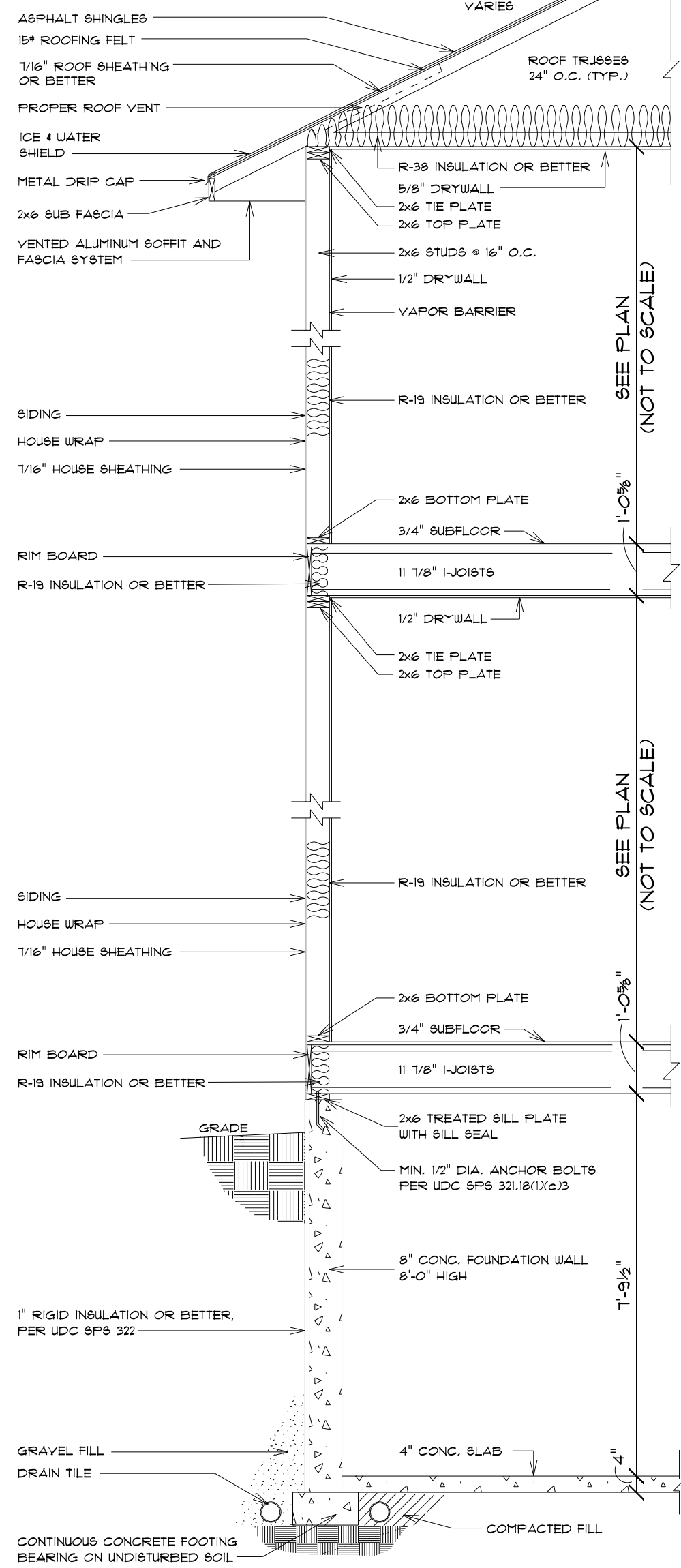
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OFFICE:
1930 LARSEN ROAD
GREEN BAY, WI 54303
PHONE (920)496-5080
FAX (920)494-9570

COMPONENTS:
ITV MOORINE TERRACE
GREEN BAY, WI 54303
PHONE (920)496-5094
FAX (920)498-1215

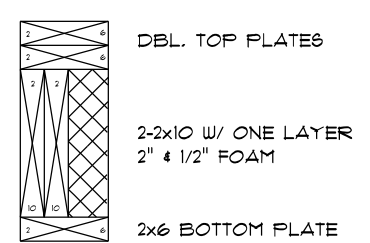
MAILING ADDRESS:
P.O. BOX 10001
GREEN BAY, WI 54307-0001

Wisconsin
BUILDING SUPPLY



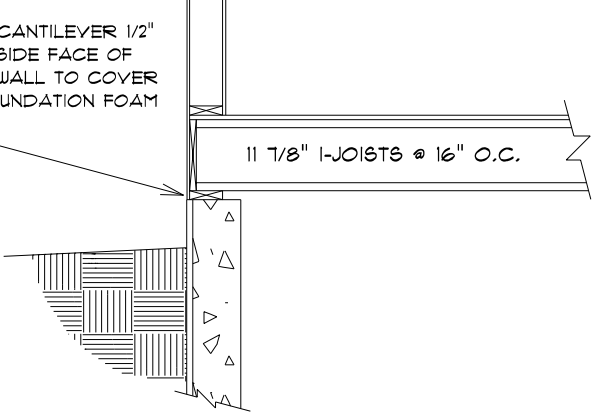
TYPICAL TWO STORY SECTION
SCALE: 3/8" = 1'-0"

ALL ITEMS TO BE VERIFIED BY CONTRACTOR

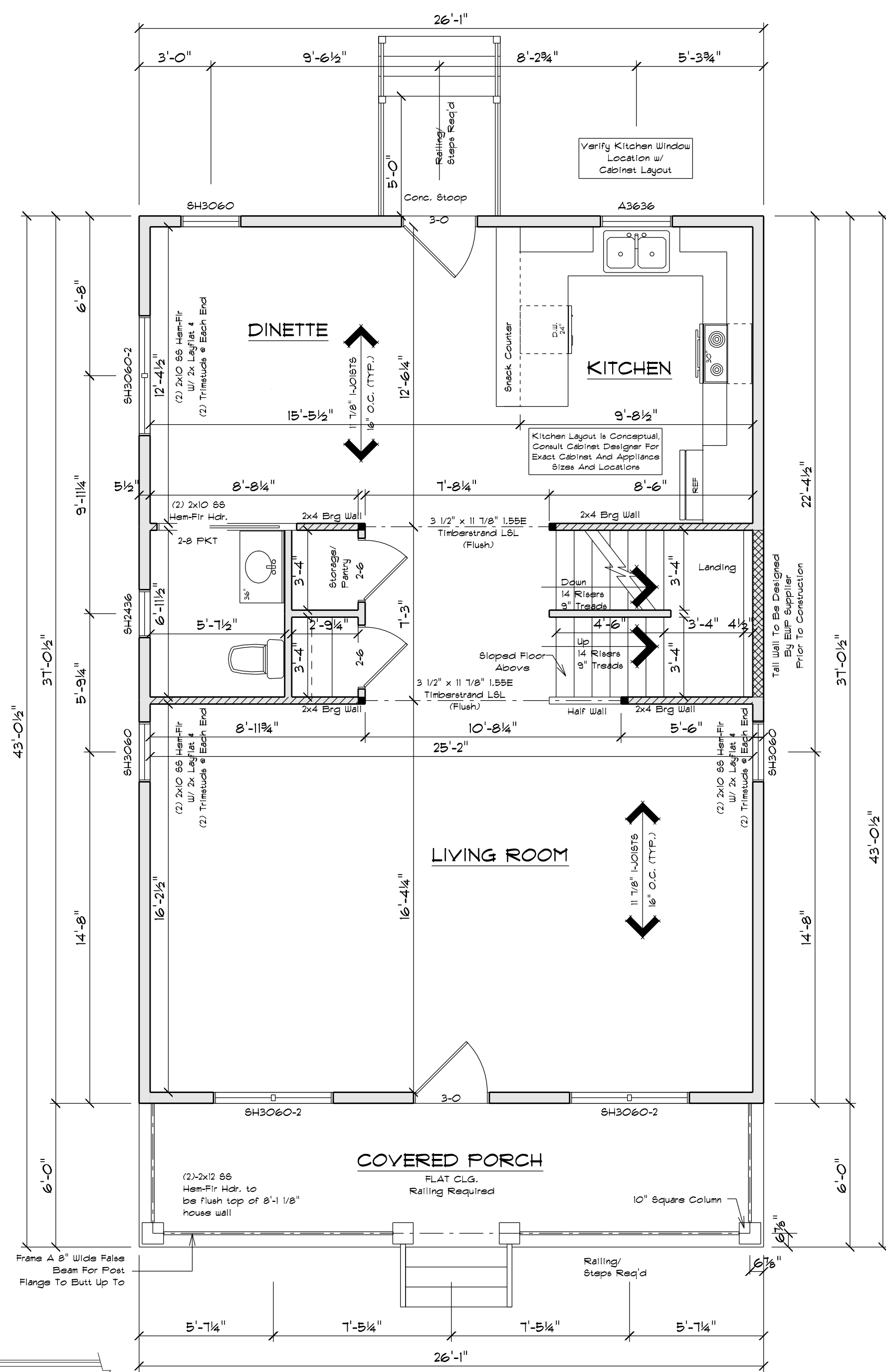


EXTERIOR WALL HEADERS

FRAMING TO CANTILEVER 1/2" BEYOND OUTSIDE FACE OF FOUNDATION WALL TO COVER MINIMUM 1" FOUNDATION FOAM



BOX SILL DETAIL
SCALE: 3/8" = 1'-0"



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"
8'-1 1/8" CLG. HGT.

SQUARE FOOTAGE:

FIRST FLOOR:	961
SECOND FLOOR:	961
FINISHED BASEMENT:	525
COVERED PORCH:	156

PLAN SPECIFICATIONS:

- THE CONDITIONS LISTED BELOW ARE STANDARD FOR THIS PLAN ONLY - EXCEPTIONS ARE NOTED ON THE PLAN ITSELF
- WALL INFORMATION:**
 - HOUSE FOUNDATION: 8" x 8'-0" FOURED CONCRETE
 - PORCH/PATIO FOUNDATION: 8" FOURED CONCRETE, MIN. 4'-0" TALL
 - HOUSE EXTERIOR:
 - FIRST FLOOR: 2 x 4 x 8'-1 1/8" WALLS, STUDS @ 16" O.C.
 - SECOND FLOOR: 2 x 6 x 8'-1 1/8" WALLS, STUDS @ 16" O.C.
 - HOUSE INTERIOR:
 - FIRST FLOOR: 2 x 4 x 8'-1 1/8" WALLS, STUDS @ 16" O.C.
 - SECOND FLOOR: 2 x 4 x 8'-1 1/8" WALLS, STUDS @ 16" O.C.
 - TALL WALLS ARE EXTERIOR WALLS WITH STUDS TALLER THAN 10'-0" AND NEED TO BE DESIGNED BY ENGINEERED WOOD PRODUCTS SUPPLIER
 - TAPERED WALLS ARE TO BE FRAMED TO UNDERSIDE OF SCISSORS ROOF TRUSSES
- STAIR INFORMATION:**
 - BASEMENT TO FIRST FLOOR: 14 RISERS @ 7 3/8" - 13 TREADS @ 9"
 - FIRST FLOOR TO SECOND FLOOR: 14 RISERS @ 7 13/16" - 13 TREADS @ 9"
- FLOOR SYSTEM(S):**
 - BASEMENT: 4" REINFORCED CONCRETE SLAB
 - FIRST FLOOR: 1 1/8" I-joists @ 16" O.C.
 - SECOND FLOOR: 1 1/8" I-joists @ 16" O.C.
 - STD. LOADS (PER SQ. FT.): 40* LL, 10* DL
 - ADDITIONAL LOADING (PER SQ. FT.): 10* TCFL FOR TILE FLOOR, 25* TCFL FOR GRANITE
 - DEFLECTION: LLL/480 D/L/240
 - DURATION OF LOAD: 1.00
 - FRAMER TO REFERENCE JOIST/TRUSS LAYOUT PLANS TO VERIFY EXACT SIZE AND LOCATION OF ALL FLUSH HEADERS AND BEAMS IN FLOOR SYSTEM
- ROOF SYSTEM:**
 - ENGINEERED WOOD TRUSSES @ 24" O.C. DESIGNED FOR BRON COUNTY - ZONE #2
 - STD. LOADS (PER SQ. FT.): 30* TLL, 10* TCFL, 10* BCFL
 - DEFLECTION: LLL/240 D/L/180
 - DURATION OF LOAD: 1.18
 - FRAMER TO REFERENCE TRUSS LAYOUT PLANS TO VERIFY EXACT LOCATION OF GIRDER TRUSSES AND THEIR RESPECTIVE BEARING REQUIREMENTS 4 UPLIFT ANCHORING REQUIREMENTS
- HEADERS:**
 - STD. HEADERS: (2) 2x10 HEM-FIR SELECT STRUCTURAL WITH 2x LAYFLAT (SEE DETAIL)
 - TOP OF WINDOW R.O.S.
 - FIRST FLOOR @ 6'-11 3/8" ABOVE SUBFLOOR
 - SECOND FLOOR @ 6'-11 3/8" ABOVE SUBFLOOR
 - MINIMUM OF (2) TRIM STUDS AT EACH END FOR ALL OPENINGS 6'-0" AND LARGER
- WINDOWS:**
 - ALLIANCE VINYL WINDOWS
 - MANUFACTURER TO PROVIDE SUPPLIER WITH EXACT R.O.S. SIZES AND DETAILS. SUPPLIER TO VERIFY THAT ALL CODE REQUIREMENTS ARE MET.
- GENERAL INFORMATION:**
 - THE FOLLOWING ITEMS ARE TO BE LOCATED IN THE FOUNDATION BY THE GENERAL CONTRACTOR:
 - BASEMENT WINDOWS
 - FLOOR DRAINS
 - ELECTRIC SERVICES
 - WATER HEATER
 - SUMP PIT 4 PUMP
 - FURNACE
 - BUILDER TO PROVIDE HEADERS AT CONCRETE OPENINGS IF NOT NOTED ON THE FOUNDATION PLAN
 - FOURED CONCRETE FOOTINGS TO BEAR ON UNDISTURBED SOIL BELOW THE FROST LINE
 - STEEL COLUMNS TO SUPPORT 12000* SOIL BEARING CONDITIONS
 - CONCRETE CONTRACTOR AND BUILDER ARE RESPONSIBLE TO DETERMINE SITE SOIL CONDITIONS AND FOLLOW STANDARDS PER 9P8 320.24, THE MOST RESTRICTIVE STANDARDS OF 9P8 322.15 - 9P8 321.18, ACI 318-14, AND ACI 332-14 FOR ALL FOOTING 4 WALL REINFORCEMENT, IF NEEDED, MUST BE FOLLOWED
 - ASSUMED SOIL CAPACITY IS 3,000 PSF, FTG SIZES MUST BE ADJUSTED FOR VARYING SITE DETERMINED SOIL BEARING CONDITIONS
 - ALL LUMBER IN PERMANENT CONTACT W/ CONCRETE MUST BE PRESSURE TREATED LUMBER AS PER WI 9P8 321.10
 - DUE TO UNKNOWN GRADE CONDITIONS, ACTUAL STEPS IN FOUNDATION WALLS AND LOCATION OF WINDOW WELLS TO BE DETERMINED ON SITE BY GENERAL CONTRACTOR
 - FRAMER IS RESPONSIBLE FOR TRANSFERRING POINT LOADS FROM ABOVE THROUGH THE FLOOR SYSTEM(S) AND WALLS, W/ SOLID BLOCKING DOWN TO CONCRETE FOUNDATION WALLS BELOW
 - PLAN IS DRAINED ACCORDINGLY FOR 3 1/4" CASING
 - ALL DIMENSIONS SHOWN ARE FROM STUD TO STUD
 - BUILDER TO PROVIDE ATTIC SCUTTLE AND LOCATION
 - FIRE SEPARATION MUST BE PROVIDED BETWEEN HOUSE AND GARAGE (SEE CODE FOR DETAILS)
 - ALL CABINET LAYOUTS ARE CONCEPTUAL. CONSULT CABINET DESIGNER/ PROVIDER FOR EXACT SIZES AND LOCATIONS OF CABINETS, APPLIANCES, AND WINDOWS

NOTE:
EXTERIOR DIMENSIONS ARE SHOWN TO REFLECT HOUSE FRAMING WALLS HELD OUT 1/2" FOR EXTERIOR WALL SHEATHING TO FLUSH OUT WITH 1" FOUNDATION FOAM.

Greater Green Bay - Habitat For Humanity

OFFICE: 1930 LARGEN ROAD, GREEN BAY, WI 54303, PHONE (920)456-5080, FAX (920)434-9510

COMPONENTS: ITVE MOBILE TERRACE, GREEN BAY, WI 54303, PHONE (920)456-5084, FAX (920)438-1215

MAILING ADDRESS: P.O. BOX 10000, GREEN BAY, WI 54307-0000

Wisconsin BUILDING SUPPLY

CUSTOM DESIGNED FOR: **Greater Green Bay - Habitat For Humanity**

JOB NAME: 1319 South Broadway

DATE: August 4, 2025

DRAWN BY: Hallie Suick

REVISIONS:

PLAN #: 25-178-T (BASED OFF OF PLAN 95-148-T)

IMPORTANT NOTE:
IT IS AGREED THAT ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING AND CHECKING THESE PLANS FOR ACCURACY, THE GENERAL CONTRACTOR/OWNER MUST REVIEW ALL DIMENSIONS, DETAILS AND NOTES BEFORE BEGINNING ANY CONSTRUCTION AND IS HEREBY HELD RESPONSIBLE FOR ANY DISCOVERED DISCREPANCIES.
IT IS UNDERSTOOD THAT THE WISCONSIN SAFETY AND PROFESSIONAL SERVICES CODE AND LAYOUT DRAWINGS FOR FLOOR AND ROOF TRUSSES SHALL TAKE FINAL PRECEDENCE OVER THESE ARCHITECTURAL PLANS.

SQUARE FOOTAGE:

FIRST FLOOR:	967
SECOND FLOOR:	967
FINISHED BASEMENT:	525
COVERED PORCH:	156

PLAN SPECIFICATIONS:

- THE CONDITIONS LISTED BELOW ARE STANDARD FOR THIS PLAN ONLY - EXCEPTIONS ARE NOTED ON THE PLAN ITSELF

WALL INFORMATION:
HOUSE FOUNDATION:
8" x 8'-0" FOUNDED CONCRETE
PORCH/PATIO FOUNDATION:
8" FOUNDED CONCRETE, MIN. 4'-0" TALL

HOUSE EXTERIOR:
FIRST FLOOR: 2 x 4 x 8'-1 1/8" WALLS, STUDS @ 16" O.C.
SECOND FLOOR: 2 x 4 x 8'-1 1/8" WALLS, STUDS @ 16" O.C.

HOUSE INTERIOR:
FIRST FLOOR: 2 x 4 x 8'-1 1/8" WALLS, STUDS @ 16" O.C.
SECOND FLOOR: 2 x 4 x 8'-1 1/8" WALLS, STUDS @ 16" O.C.

- TALL WALLS ARE EXTERIOR WALLS WITH STUDS TALLER THAN 10'-0" AND NEED TO BE DESIGNED BY ENGINEERED WOOD PRODUCTS SUPPLIER
- TAPERED WALLS ARE TO BE FRAMED TO UNDERSIDE OF SCISSORS ROOF TRUSSES

STAIR INFORMATION:
BASEMENT TO FIRST FLOOR:
14 RISERS @ 7 3/16" - 13 TREADS @ 9"
FIRST FLOOR TO SECOND FLOOR:
14 RISERS @ 7 13/16" - 13 TREADS @ 9"

FLOOR SYSTEMS:
BASEMENT:
4" REINFORCED CONCRETE SLAB
FIRST FLOOR:
11 1/8" JOISTS @ 16" O.C.
SECOND FLOOR:
11 1/8" JOISTS @ 16" O.C.
STD. LOADING (PER SQ. FT.):
40* LL, 10* DL
ADDITIONAL LOADING (PER SQ. FT.):
10* TCFL FOR TILE FLOOR
8* TCFL FOR GRANITE
DEFLECTION: LL4/L240 DL4/L240
DURATION OF LOAD: 1.00*
- FRAMER TO REFERENCE JOIST/TRUSS LAYOUT PLANS TO VERIFY EXACT SIZE AND LOCATION OF ALL FLUSH HEADERS AND BEAMS IN FLOOR SYSTEM

ROOF SYSTEM:
ENGINEERED WOOD TRUSSES @ 24" O.C.
DESIGNED FOR BROUIN COUNTY - ZONE #2
STD. LOADING (PER SQ. FT.):
30* TCFL, 10* TCCL, 10* BCDL
DEFLECTION: LL4/L240 DL4/L180
DURATION OF LOAD: 1.5*
- FRAMER TO REFERENCE TRUSS LAYOUT PLANS TO VERIFY EXACT LOCATIONS OF GIRDER TRUSSES AND THEIR RESPECTIVE BEARING REQUIREMENTS & UPLIFT ANCHORING REQUIREMENTS

HEADERS:

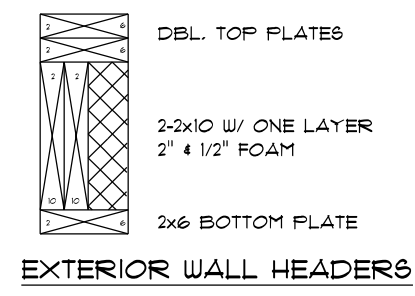
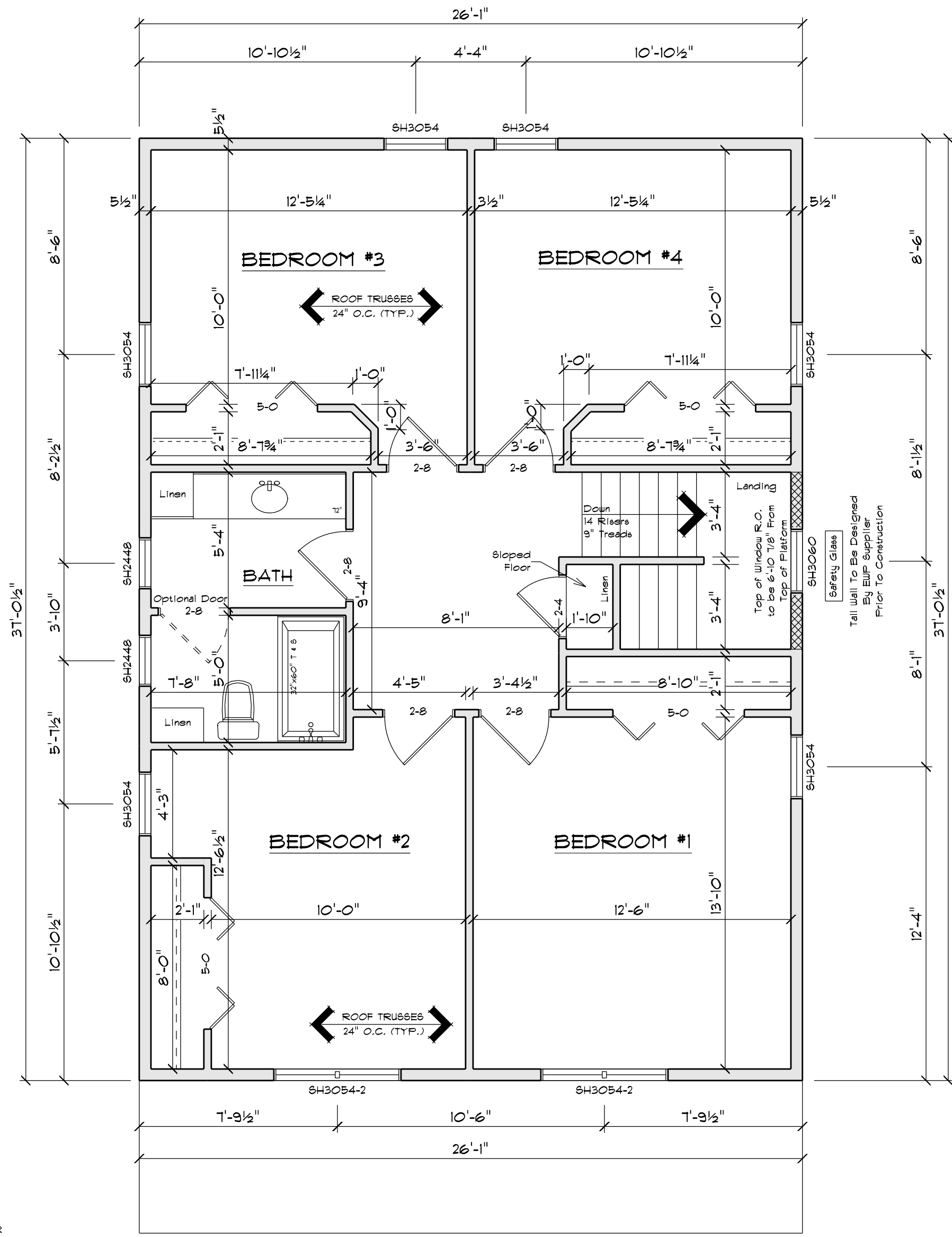
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- TOP OF WINDOW R.O.S.
FIRST FLOOR @ 6'-11 3/8" ABOVE SUBFLOOR
SECOND FLOOR @ 6'-11 3/8" ABOVE SUBFLOOR
- MINIMUM OF (2) TRIM STUDS AT EACH END FOR ALL OPENINGS 6'-0" AND LARGER

WINDOWS:

- ALLIANCE VINYL WINDOWS
- MANUFACTURER TO PROVIDE SUPPLIER WITH EXACT R.O. SIZES AND DETAILS. SUPPLIER TO VERIFY THAT ALL CODE REQUIREMENTS ARE MET.

GENERAL INFORMATION:

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BASEMENT WINDOWS FLOOR DRAINS
ELECTRIC SERVICES WATER HEATER
SUMP PIT & PUMP FURNACE
- BUILDER TO PROVIDE HEADERS AT CONCRETE OPENINGS IF NOT NOTED ON THE FOUNDATION PLAN
- POURED CONCRETE FOOTINGS TO BEAR ON UNDISTURBED SOIL BELOW THE FROST LINE
- STEEL COLUMNS TO SUPPORT 12,000*
- INTERIOR BEARING WALLS TO SIT ON CONTINUOUS CONCRETE FOOTINGS, STUDS @ 16" O.C. WITH BLOCKING OR LATERAL BRACING
- CONCRETE CONTRACTOR AND BUILDER ARE RESPONSIBLE TO DETERMINE SITE SOIL CONDITIONS AND FOLLOW STANDARDS PER SPS 320.24. THE MOST RESTRICTIVE STANDARDS OF SPS 321.15 - SPS 321.18, ACI 318-14, AND ACI 332-14 FOR ALL FOOTING & WALL REINFORCEMENT, IF NEEDED, MUST BE FOLLOWED
- ASSUMED SOIL CAPACITY IS 3,000 PSF, FTG SIZES MUST BE ADJUSTED FOR VARYING SITE DETERMINED SOIL BEARING CONDITIONS
- ALL LUMBER IN PERMANENT CONTACT W/ CONCRETE MUST BE PRESSURE TREATED LUMBER AS PER WI SPS 321.10
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SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"
8'-1 1/8" CLG. HGT.

NOTE:
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Greater Green Bay - Habitat For Humanity

CUSTOM DESIGNED FOR: **Greater Green Bay - Habitat For Humanity**

JOB NAME: 1319 South Broadway

DATE: August 4, 2025

DRAWN BY: Hailie Suick

PLAN #: 25-178-T
(BASED OFF OF PLAN #S-4987)

REVISIONS:

IMPORTANT NOTE:

- IT IS AGREED THAT ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING AND CHECKING THESE PLANS FOR ACCURACY, THE GENERAL CONTRACTOR/OWNER MUST REVIEW ALL DIMENSIONS, DETAILS AND NOTES BEFORE BEGINNING ANY CONSTRUCTION AND IS HEREBY HELD RESPONSIBLE FOR ANY DISCOVERED DISCREPANCIES.
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GREEN BAY, WI 54303
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Wisconsin
BUILDING SUPPLY

MAILING ADDRESS:
P.O. BOX 10001
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FIRST FLOOR TO SECOND FLOOR:
14 RISERS @ 7 13/16" - 13 TREADS @ 9"

FLOOR SYSTEM(S):

BASEMENT:
4" REINFORCED CONCRETE SLAB

FIRST FLOOR:
11 7/8" I-JOISTS @ 16" O.C.

SECOND FLOOR:
11 7/8" I-JOISTS @ 16" O.C.

STD. LOADING (PER SQ. FT.):
40* LL, 10* DL

ADDITIONAL LOADING (PER SQ. FT.):
10* TCCL FOR TILE FLOOR
25* TCCL FOR GRANITE

DEFLECTION: LL-1/480 DL-1/240
DURATION OF LOAD: 100%

- FRAMER TO REFERENCE JOIST/TRUSS LAYOUT PLANS TO VERIFY EXACT SIZE AND LOCATION OF ALL FLUSH HEADERS AND BEAMS IN FLOOR SYSTEM

ROOF SYSTEM:

ENGINEERED WOOD TRUSSES @ 24" O.C.
DESIGNED FOR BROUIN COUNTY - ZONE #2

STD. LOADING (PER SQ. FT.):
30* TCCL, 10* TCCL, 10* BCDL

DEFLECTION: LL-1/240 DL-1/180
DURATION OF LOAD: 100%

- FRAMER TO REFERENCE TRUSS LAYOUT PLANS TO VERIFY EXACT LOCATIONS OF GIRDER TRUSSES AND THEIR RESPECTIVE BEARING REQUIREMENTS & UPLIFT ANCHORING REQUIREMENTS

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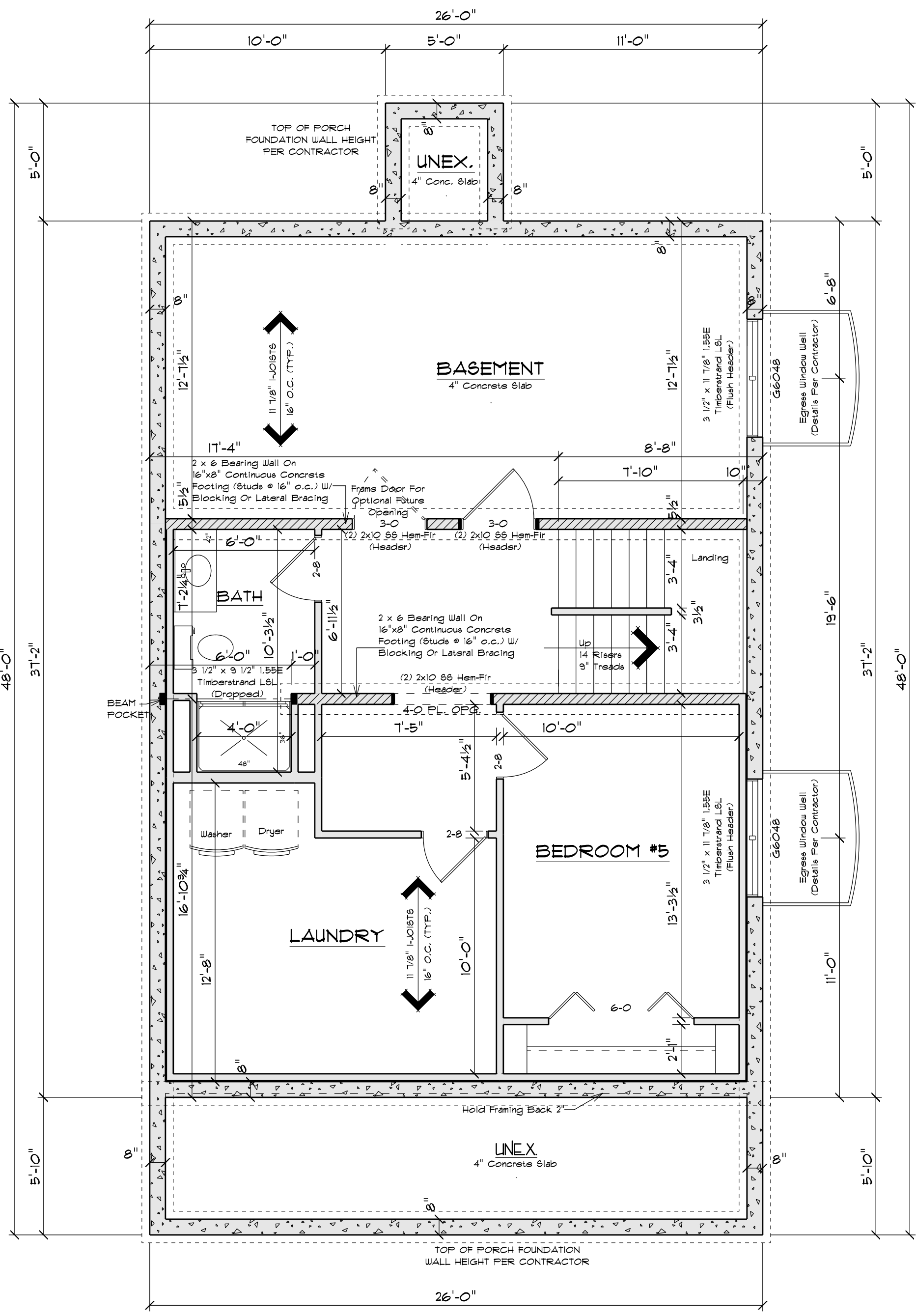
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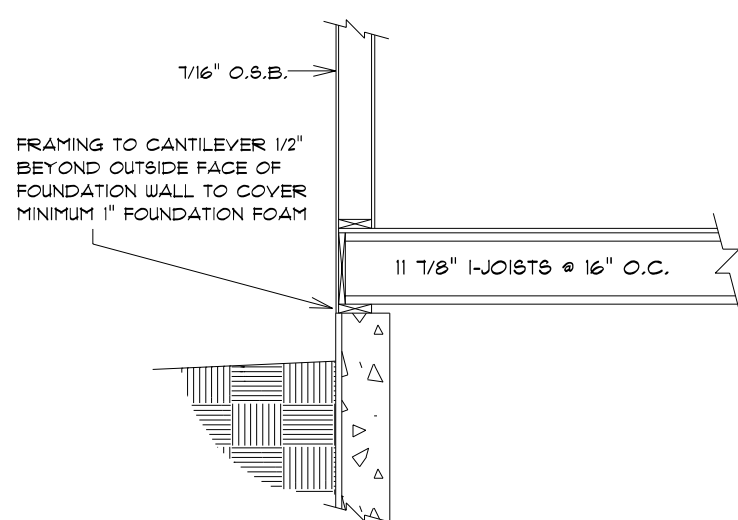
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NOTE:
SUPPLIER OF WINDOW WELL & WINDOW IS RESPONSIBLE FOR MEETING ALL LIGHT & EGRESS REQUIREMENTS PER THE UDC



NOTE:
EXTERIOR DIMENSIONS ARE TO FACE OF FOUNDATION WALLS. EXTERIOR FRAMED HOUSE WALLS ARE TO BE HELD OUT 1/2" TO FLUSH WALL SHEATHING OUT WITH 1" FOUNDATION FOAM

FOUNDATION PLAN
SCALE: 1/4" = 1'-0"
8'-0" FOUNDATION WALL HGT.

Greater Green Bay - Habitat For Humanity

CUSTOM DESIGNED FOR: Greater Green Bay - Habitat For Humanity
JOB NAME: 1919 South Broadway
DATE: August 4, 2025
DRAWN BY: Hattie Swick
PLAN #: 25-178-T (BASED OFF OF PLAN #S-148-T)

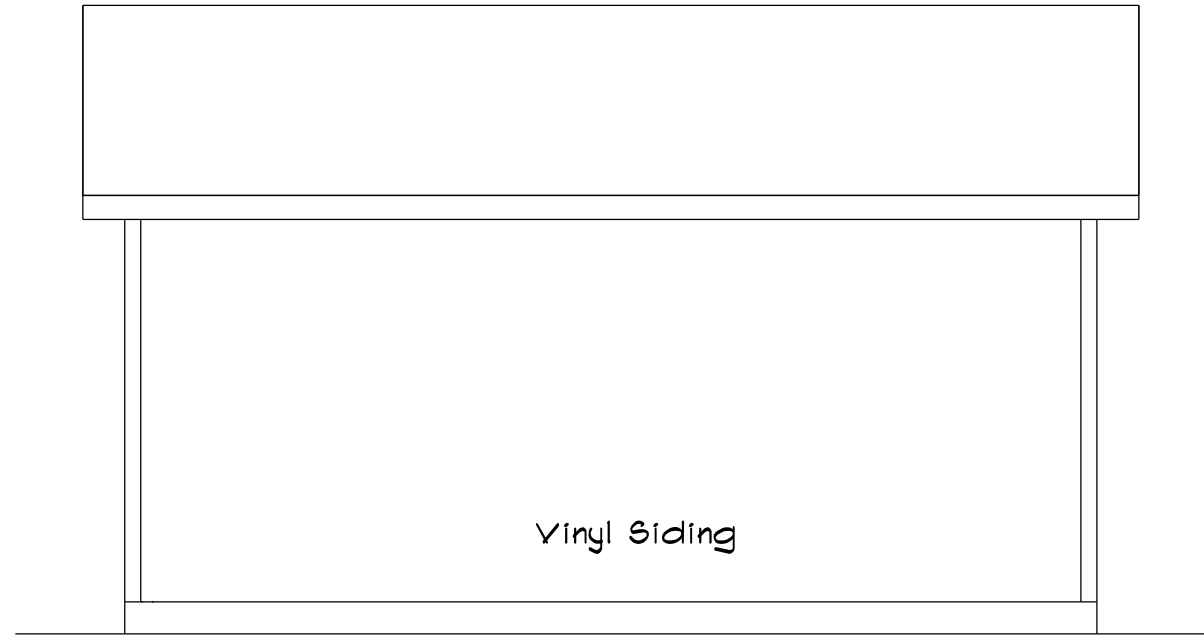
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GREEN BAY, WI 54303
PHONE (920)456-5080
FAX (920)456-5080

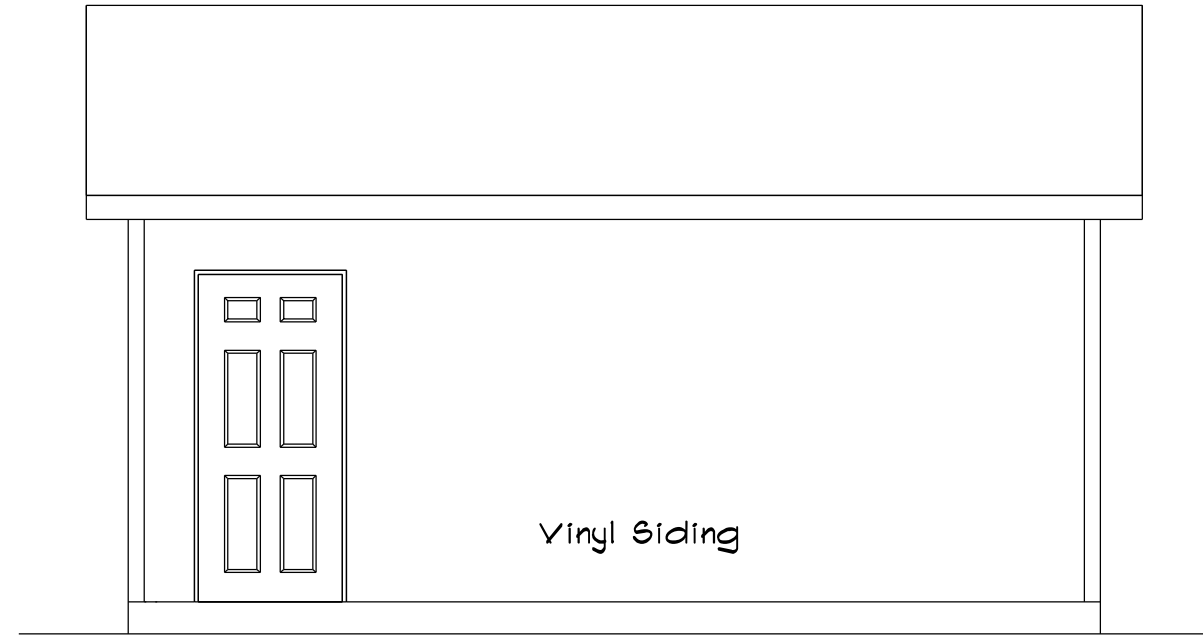
COMPONENTS: IVE MORRINE TERRACE
GREEN BAY, WI 54303
PHONE (920)456-5080
FAX (920)456-5080

Wisconsin BUILDING SUPPLY



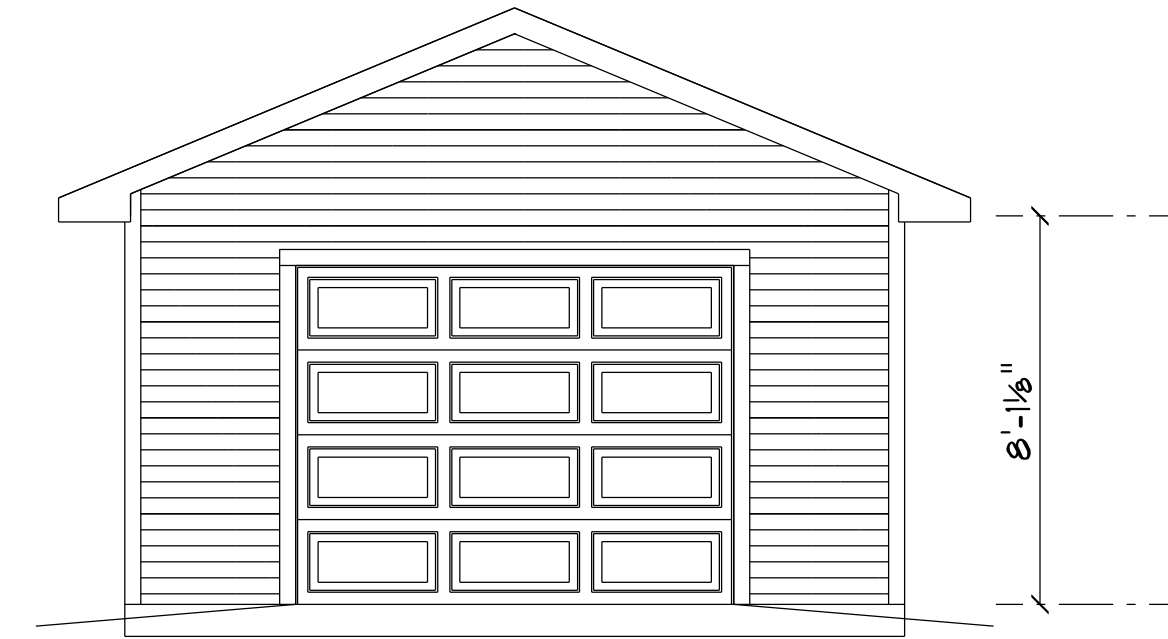
LEFT PLAN

SCALE: 1/4"=1'-0"



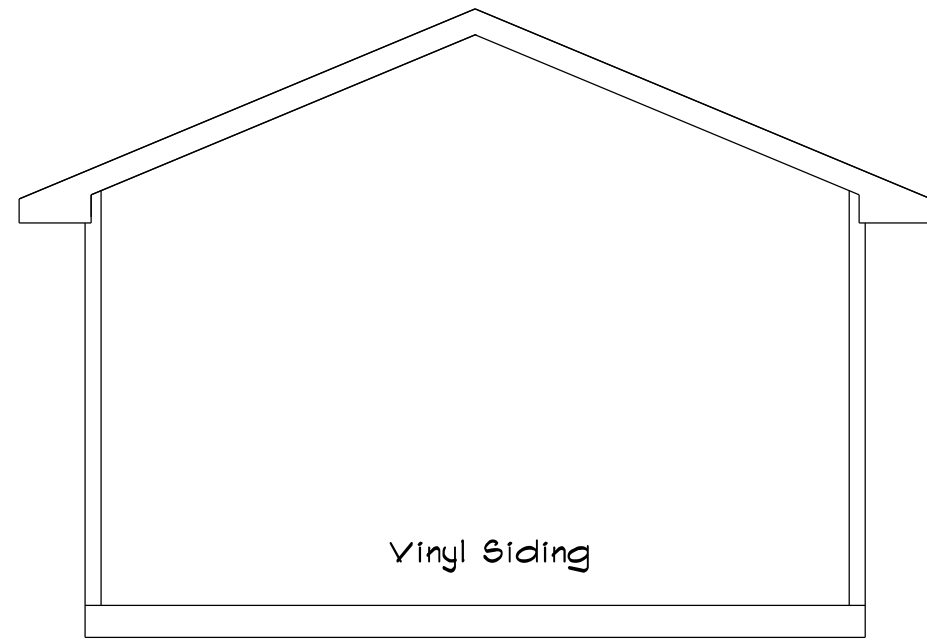
RIGHT PLAN

SCALE: 1/4"=1'-0"



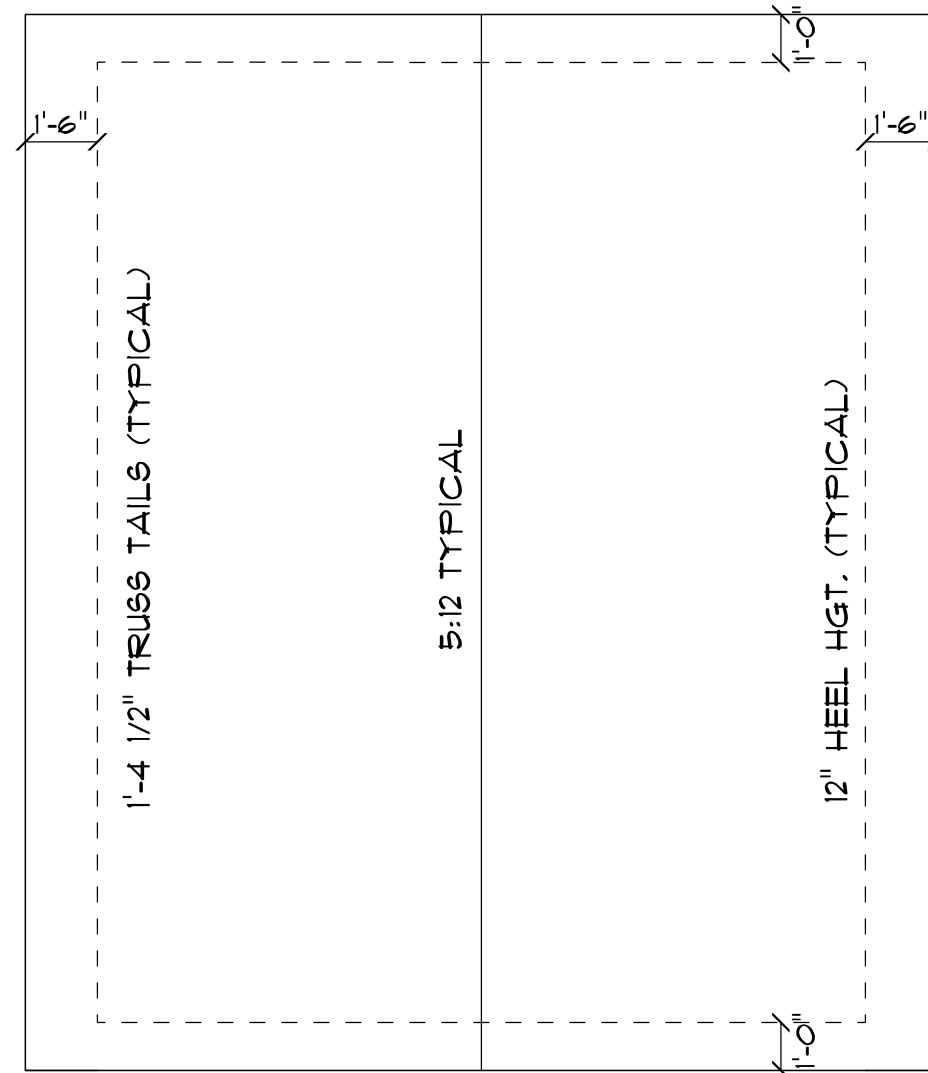
FRONT PLAN

SCALE: 1/4"=1'-0"



REAR PLAN

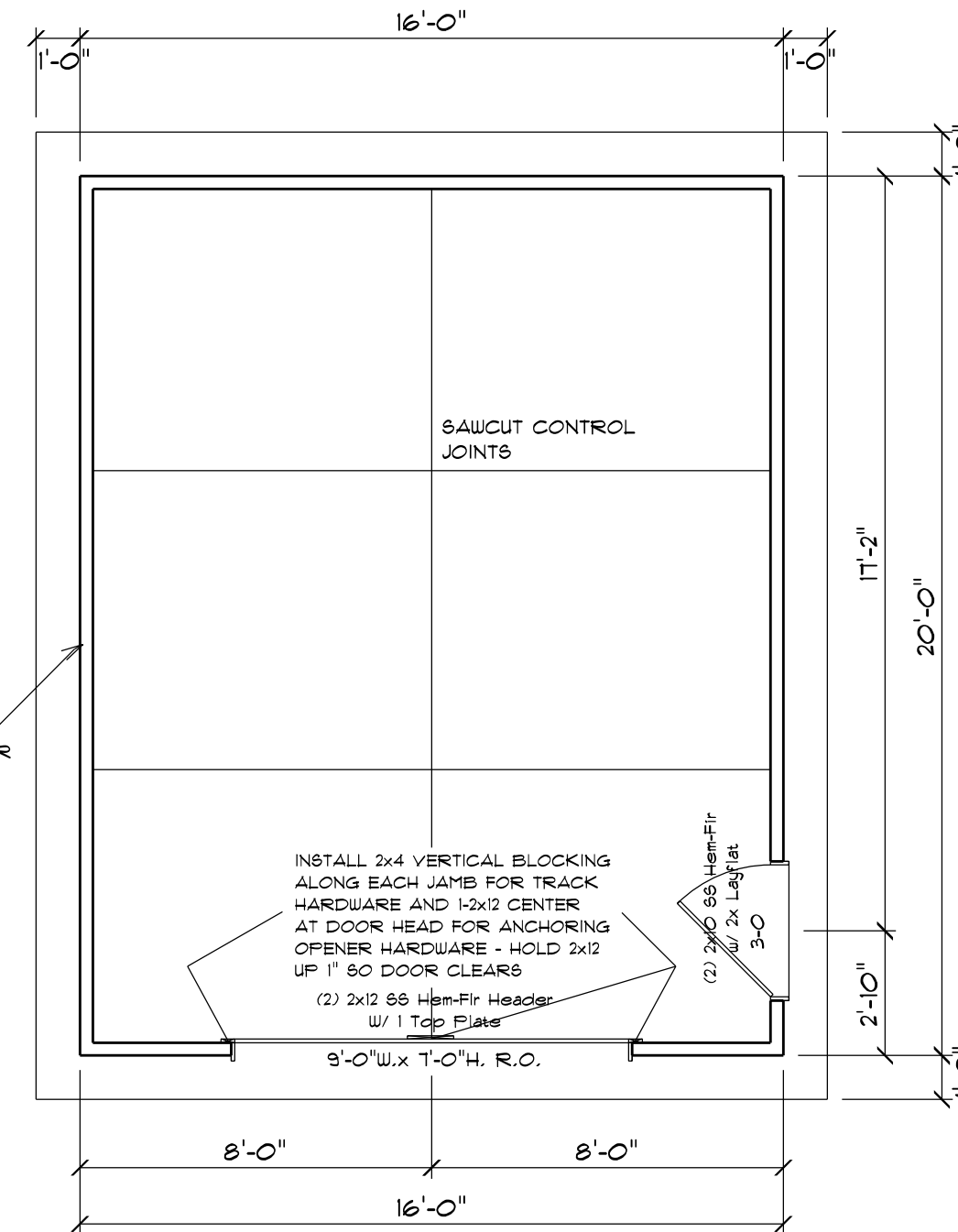
SCALE: 1/4"=1'-0"



ROOF PLAN

SCALE: 1/4"=1'-0"

VINYL SIDING OVER
HOUSE WRAP OVER
15/32" SHEATHING OVER
2 x 4'S @ 16" O.C.



FLOOR PLAN

SCALE: 1/4"=1'-0"

NOTE:

THIS CONSTRUCTION PLAN CURRENTLY DOESN'T NOTATE PROPER WALL BRACING REQUIREMENTS. PLEASE CONTACT LOCAL BUILDING OFFICIAL TO VERIFY IF BRACING IS REQUIRED FOR GARAGE PLAN PRIOR TO APPLYING FOR PERMITS TO INITIATE THE START OF THE WALL BRACING PLAN/CALCULATIONS

CUSTOM DESIGNED FOR:
Greater Green Bay - Habitat For Humanity

JOB NAME: 1319 South Broadway

DATE: August 4, 2025

DRAWN BY: Halle Swick

PLAN #:
(BASED OFF OF
PLAN #25-178-T)

REVISIONS:

IMPORTANT NOTE:

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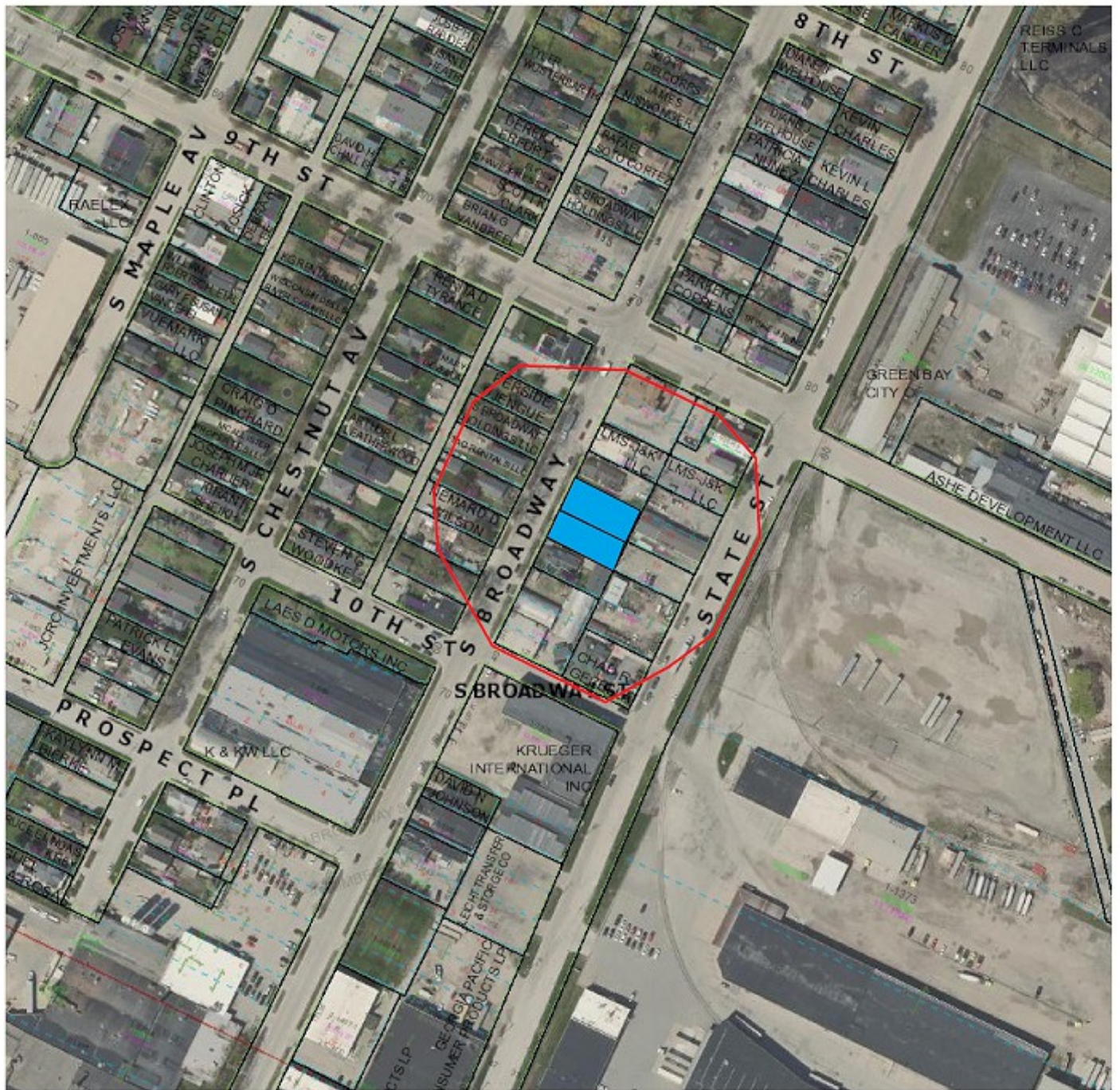
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FAX (920)498-1215

MAILING ADDRESS:
P.O. BOX 10001
GREEN BAY, WI 54301-0001



Wisconsin
BUILDING SUPPLY



- Proposed CUP
- 200' Property Owner Notice

Conditional Use Permit (CUP) Proposal
Single Family Residential Home Request
1319 and 1321 S Broadway

This is a compilation of records and data located in various City of Green Bay offices and is to be used for reference purposes only. The City of Green Bay is not responsible for any inaccuracies or unauthorized use of the information contained within. No warranties are implied.
 Map prepared by JL



REQUEST FOR CITY ACTION PLAN COMMISSION

Community and Economic
Development Department
100 N. Jefferson Street, Rm 608
Green Bay, WI 54301-5026
(920) 448-3400 - phone
(920) 448-3426 - fax
planning@greenbaywi.gov
www.greenbaywi.gov

Location of Property: 1321 S. Broadway

Parcel Number(s): 1-936-B

Petitioner(s): Greater Green Bay Habitat for Humanity Date: 03/26/2026

Email: _____ Phone Number: 920-593-5788

Address: 1967 Allouez Avenue City: Green Bay State: WI Zip: 54311

Property Owner: Greater Green Bay Habitat for Humanity Phone Number _____

Submit this Request Form and all required attachments to the Community and Economic Development Department, Room 608, City Hall

To: Honorable Mayor and Common Council, c/o City Clerk

I, Matt Sahs, respectfully request that the City of Green Bay take the following action:

- Rezone Property (\$375.00 Review Fee)
- Conditional Use and CUP Amendment, including Single Lot Duplexes (\$375.00 Review Fee)
- Planned Unit Development (PUD)/New (\$600.00 Review Fee)
- Planned Unit Development (PUD)/Amendment (\$250.00 Review Fee)
- Approve Preliminary City/Extraterritorial Subdivision Plat (\$150.00 + \$35.00 per Lot/Outlot Review Fee)
- Approve Preliminary Condominium Plat (\$250.00 + \$35.00 per Lot/Outlot/Lot Equivalent Review Fee)
- Approve Preliminary City/Extraterritorial Certified Survey Map (\$250.00 Review Fee)
- Approve Final City/Extraterritorial Subdivision Plat (\$150.00 Review Fee)
- Approve Final Condominium Plat (\$150.00 Review Fee)
- Grant a City/Extraterritorial Subdivision/CSM Variance (\$200.00 Review Fee)
- Development District Map Amendment (\$200.00 Administration Fee)
- Official Map Amendment (\$200.00 Administration Fee)
- Plat of Right-of-Way (\$200.00 Administration Fee)
- Public Utility Easement Acceptance or Discontinuance (\$200.00 Administration Fee)
- Street Name Change (\$200.00 Administration Fee)
- Declare City Property "City Surplus" (\$200.00 Administration Fee)
- Vacate a Street/Alley/Pedestrian Way (\$300.00 Administration Fee) PLEASE FILL OUT PAGE 2 OF APPLICATION
- Closure of Street/Alley/Pedestrian Way (\$300.00 Administration Fee)
- Comprehensive Plan Amendments (\$375.00 Review Fee)
- Other (\$200.00 Administration Fee): _____

Owner Signature: Date: 3-26-26

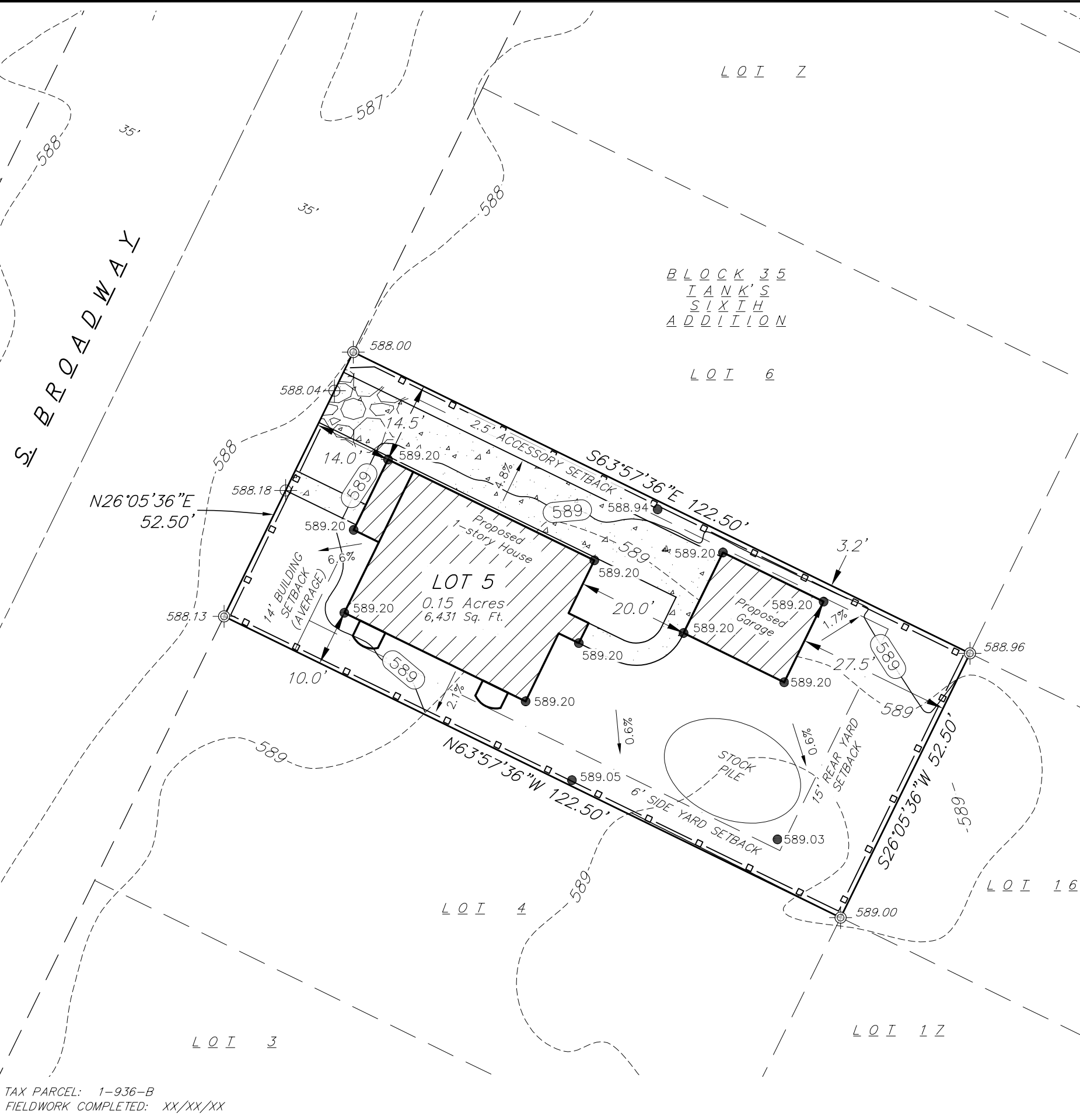
Petitioner Signature(s): _____

Checklist of required attachments:

- Map
- Legal Description
- Applicant Narrative Describing Project
- All Other Pertinent Information

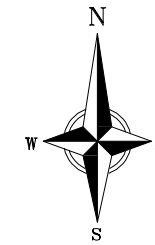
You must meet with Planning staff prior to submission. View City of Green Bay Actions Guide for Rezone, CUP and PUD guidelines - <https://www.greenbaywi.gov/ActionsGuide>

For office use only:
Review Fee: _____ Receipt No.: _____ Zoning Petition No.: _____



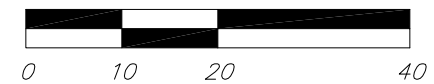
SITE PLAN

Lot 5, Block 35 of the recorded C.L.A. Tank's 6th Addition, located in Private Claim 9, West Side of Fox River, City of Green Bay, Brown County, Wisconsin.
 ~ 1321 S. Broadway ~



Bearings are based upon the Wisconsin County Coordinate System, Brown County, the Easterly right of way of S. Broadway assumed to be N26°05'36"E.

GRAPHIC SCALE: 1" = 20'



LEGEND

- ⊙ POINT OF RECORD
- 820 — EXISTING CONTOURS
- ⊕ 820 PROPOSED CONTOURS
- EROSION CONTROL
- ↘ 2.92% PROPOSED SLOPE ARROWS
- ⊕ 1048.61 EXISTING SPOT ELEVATIONS
- 1048.61 PROPOSED SPOT ELEVATIONS
- PROPOSED BUILDING
- PROPOSED CONCRETE
- TRACKING PAD
- WINDOW WELL

BUILDING ELEVATIONS
 TOP OF WALL: 589.7'
 FINISHED FLOOR: 590.7'
 BASEMENT FLOOR: 582.0'
 GARAGE FLOOR: 589.4'

NOTES
 Existing contours are from the 2020 Brown County LiDar data.
 Elevations are referenced to the NAVD 88 Benchmark Datum. The conversion factor to the City of Green Bay Datum is -483.79'.
 Footprint of proposed house & garage is Foundation Plan from Wisconsin Building Supply Plan No. 24-064-R, revision date 3/05/24.
 Proposed Impervious Surface:
 Buildings: 1,414 sq. ft.
 Concrete: 902 sq. ft.

EROSION & SEDIMENT CONTROL NOTE
 FOLLOW THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS AS FOUND AT:
dnr.wisconsin.gov/topic/Stormwater/standards/const_standards.html
 ALSO REFER TO CITY OF GREEN BAY ORDINANCE CHAPTER 16 FOR FURTHER REQUIREMENTS.

SURVEYED BY:
 Vierbicher Associates, Inc.
 400 Security Blvd, Ste 1
 Green Bay, WI 54313
 (920) 434-9670

SURVEYED FOR:
 Habitat for Humanity
 1967 Allouez Ave.
 Green Bay, WI 54311
 Drawing NO.: X-2024

Job #: 250161
 Date: 01/28/2025
 Rev: 08/26/2025
 Drafted By: CMUE
 Checked By: BBEI

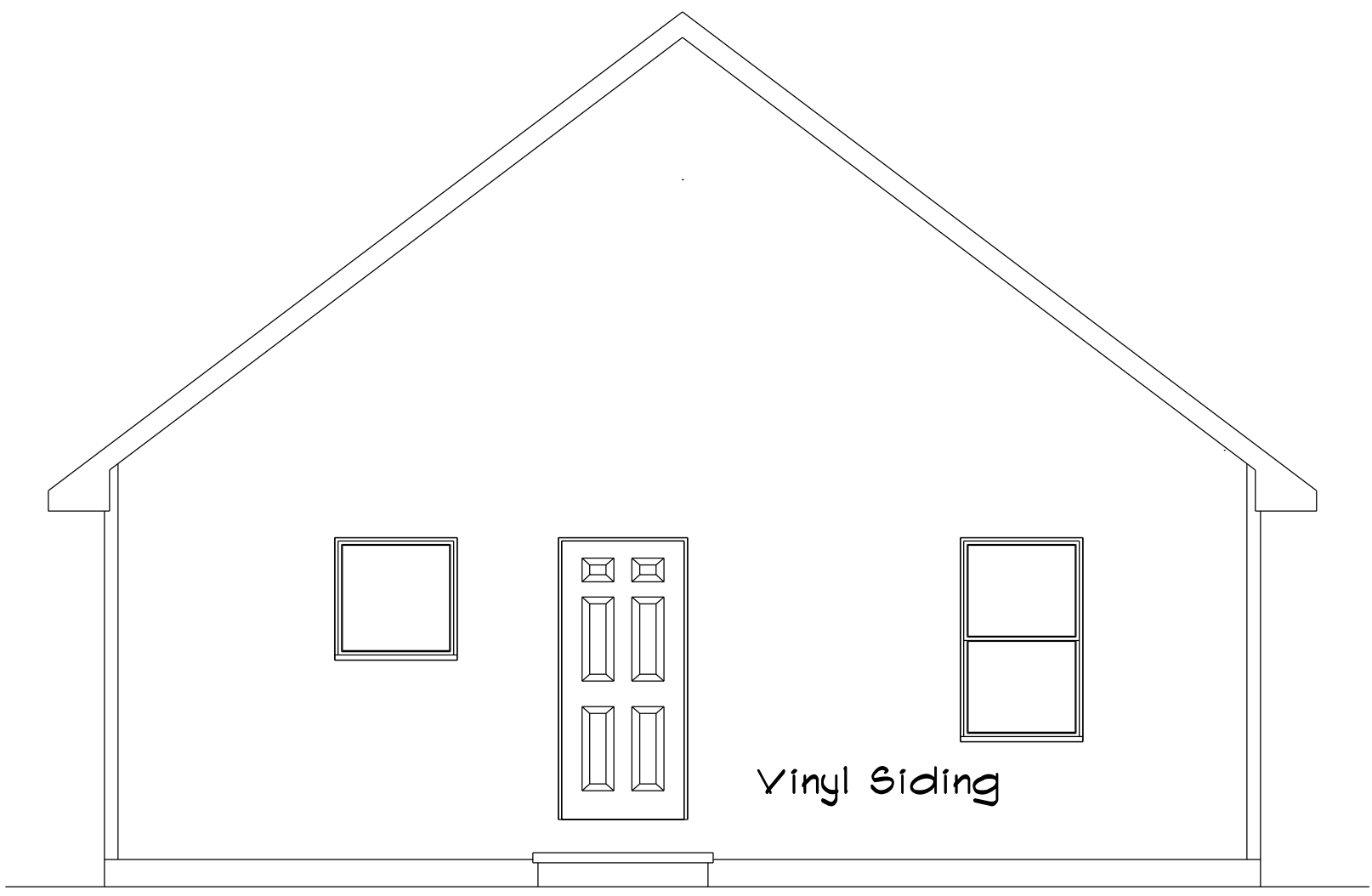
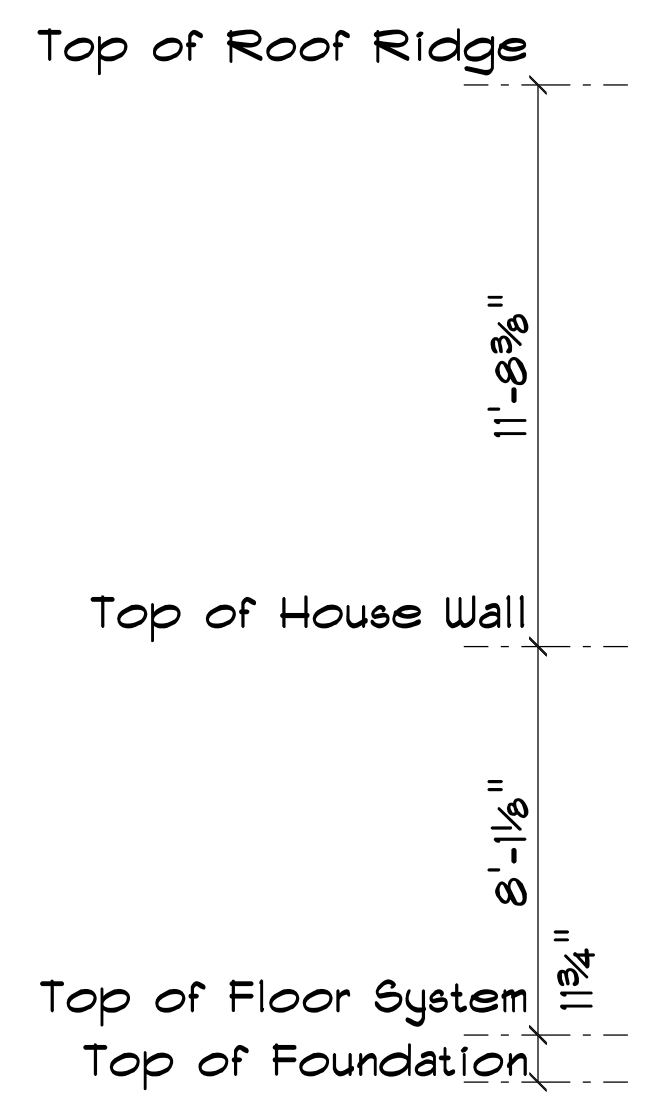


vierbicher
 planners | engineers | advisors



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

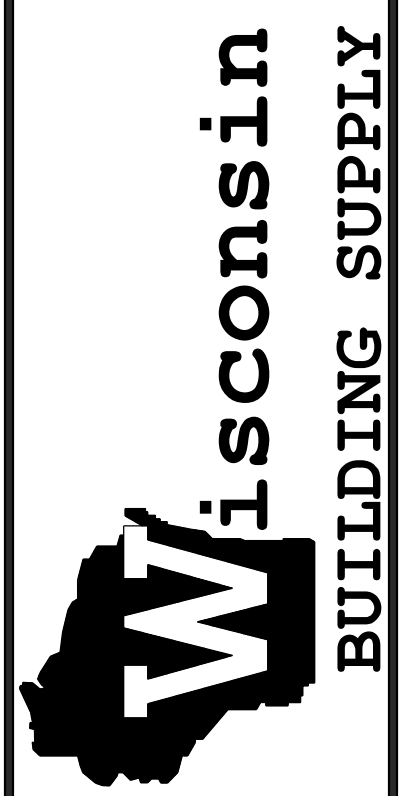


REAR ELEVATION

SCALE: 1/4" = 1'-0"

OFFICE:
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 FAX (920) 494-9510
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 P.O. BOX 10001
 GREEN BAY, WI 54301

COMPONENTS:
 PHONE (920) 496-5084
 FAX (920) 498-1215
 1145 MORaine TERRACE
 GREEN BAY, WI 54303



CUSTOM DESIGNED FOR: **GREATER GREEN BAY
 HABITAT FOR HUMANITY**

JOB NAME: 1321 South Broadway

DRAWN BY: Hallee Swick

DATE: August 4TH, 2025

REVISIONS:
 (Based Off
 Plan 24-064-R)

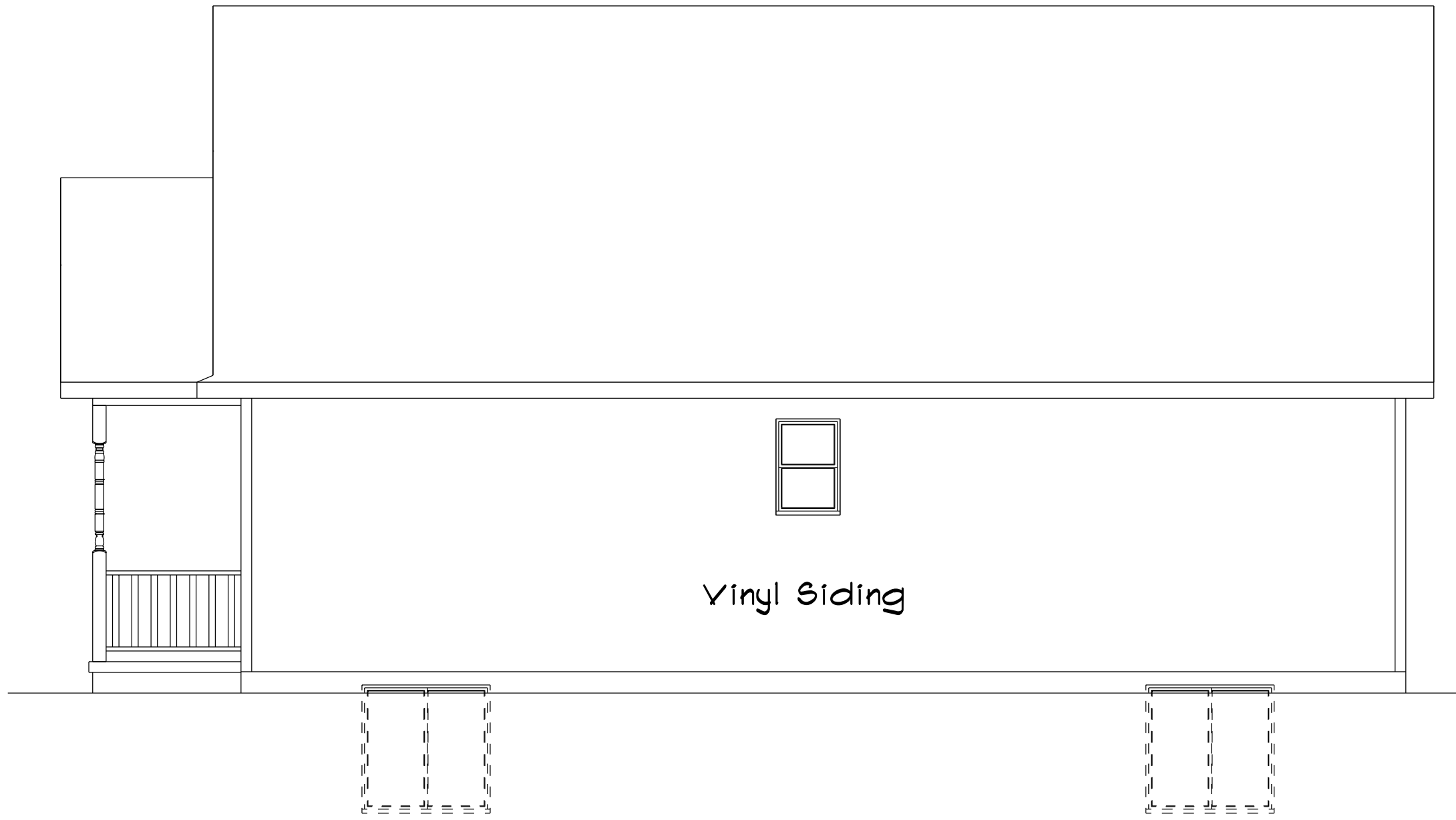
SQ. FT.: See Plan

SCALE: As Indicated

PLAN NO.: **25-180-R**

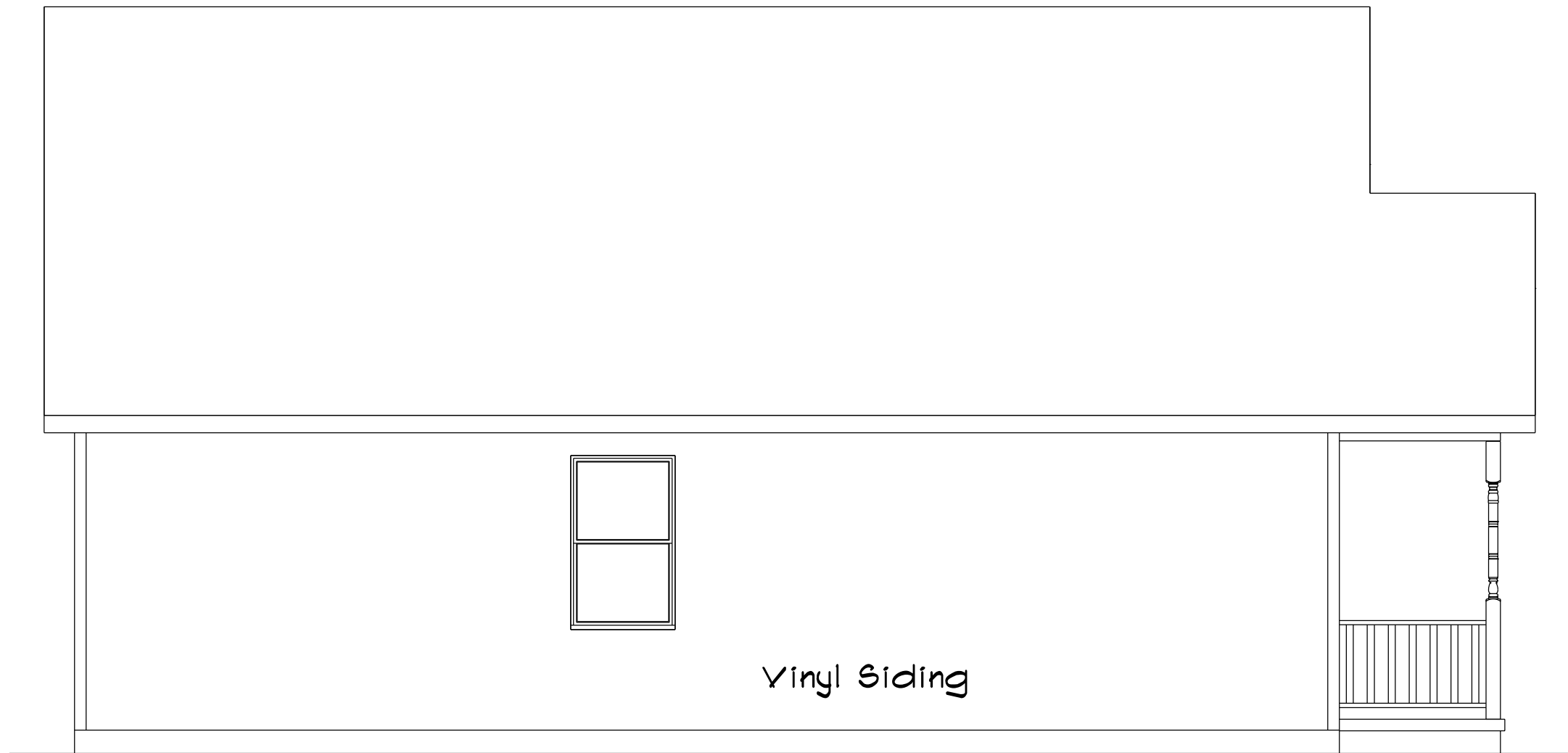
IMPORTANT NOTE:

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- IT IS UNDERSTOOD THAT THE WISCONSIN UNIFORM DWELLING CODE AND LAYOUT DRAWINGS FOR FLOOR AND ROOF TRUSSES SHALL TAKE FINAL PRECEDENCE OVER THESE ARCHITECTURAL PLANS.



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

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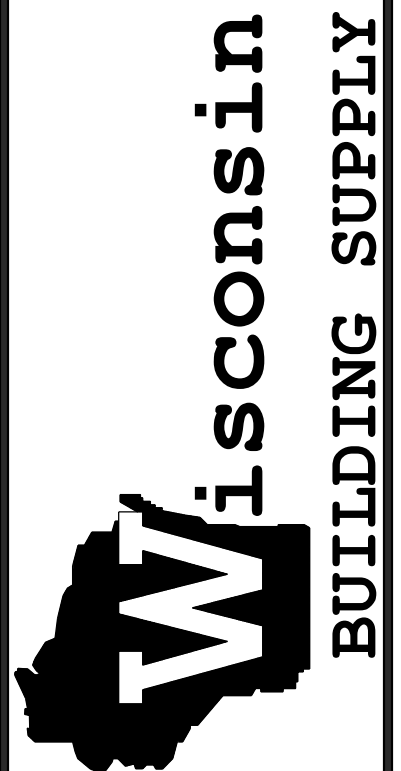
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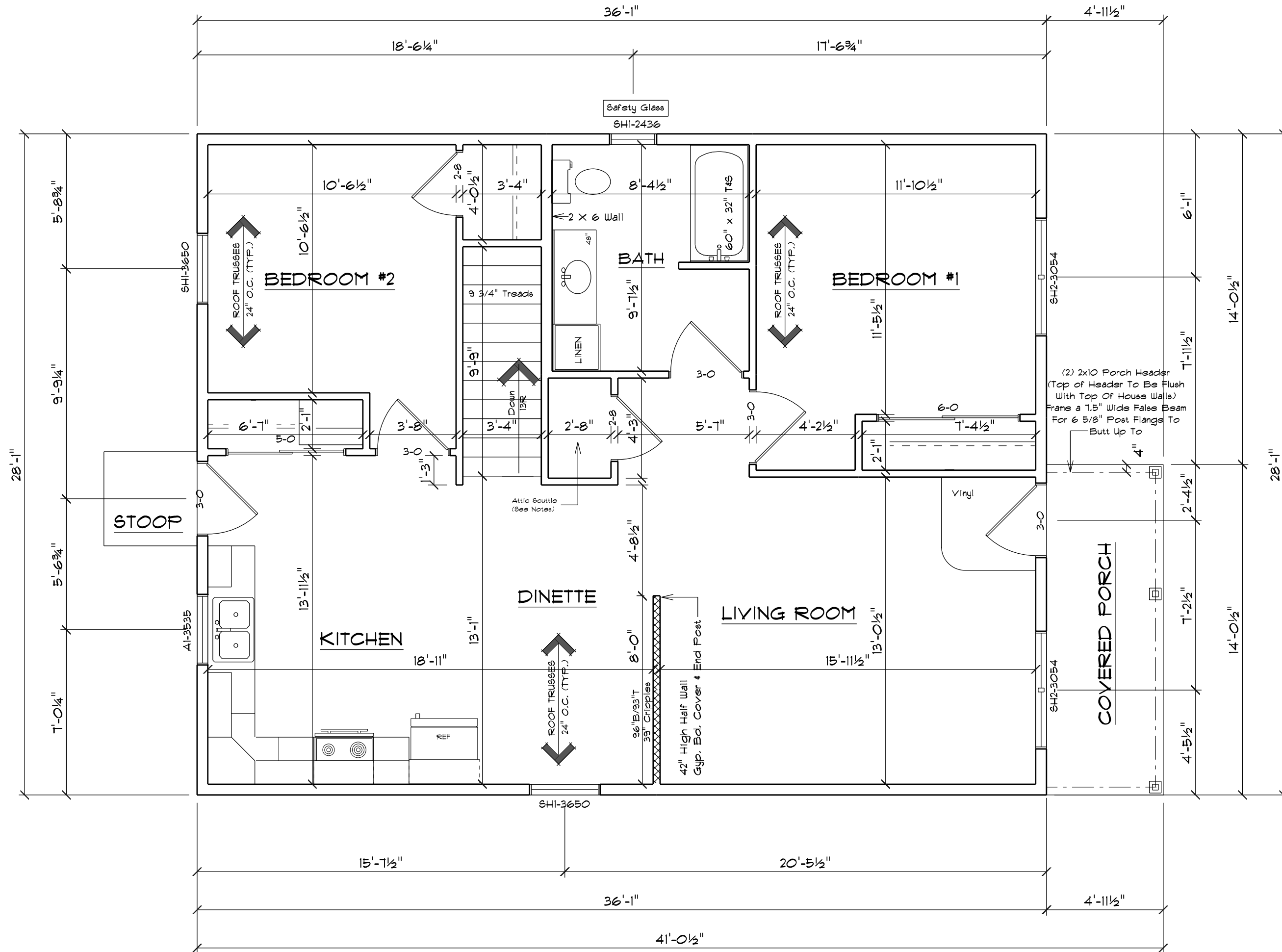
SCALE: As Indicated

PLAN NO.: 25-180-R

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FLOOR PLAN

8'-1 1/8" CLG. HGT.
1014 SQ. FT.
TO 6Q. FT. (COVERED PORCH)

NOTE:

EXTERIOR DIMENSIONS ARE SHOWN TO REFLECT HOUSE FRAMING WALLS HELD OUT 1/2" FOR EXTERIOR WALL SHEATHING TO FLUSH OUT WITH 1" FOUNDATION FOAM. IF FOUNDATION FOAM IS TO BE OTHER THAN 1", FRAMING DIMENSIONS ARE TO BE FIELD ADJUSTED AND MAINTAIN ALL CODE COMPLIANCE ACCORDINGLY.

NOTE:

BUILDER RESPONSIBLE TO TRANSFER POINT LOADS FROM ABOVE THROUGH THE FLOOR SYSTEM, AND OTHER WALLS WITH SOLID BLOCKING DOWN TO FOUNDATION WALLS BELOW

NOTE:

BUILDER TO CONSULT TRUSS LAYOUT PLANS TO VERIFY EXACT LOCATIONS OF GIRDER TRUSSES, AND ANY ADDITIONAL BEARING REQUIREMENTS OTHER THAN THOSE NOTED ON FLOOR PLANS

NOTES:

- FLOOR SYSTEM: 1ST FLR: 9 1/2" I-JOISTS @ 19.2" O.C.
LOADING: TOTAL LOAD = 50*
LL = 40*
DL = 10*
(ADDITIONAL 10* DL @ TILE AREAS)
(ADDITIONAL 25* DL @ GRANITE AREAS)
FLOOR DEFLECTION: LL = L/480
DL = L/240
DURATION OF LOAD: 1.00%
- ROOF SYSTEM: WOOD TRUSSES @ 24" O.C.
LOADING: TOTAL LOAD = 50*
TCLL = 30*
TCDL = 10*
BCDL = 10*
ROOF DEFLECTION: LL = L/240
TL = L/180
DURATION OF LOAD: 1.15%
- STD. HEADERS: (2) 2 x 10 SELECT STRUCTURAL HEM-FIR
- EXT. WALL STUDS: 1ST FLR: 2x6 x 92-5/8" @ 16" o.c. (8'-1 1/8" HT.)
- INT. WALL STUDS: 1ST FLR: 2x4 x 92-5/8" @ 16" o.c. (8'-1 1/8" HT.)
- WINDOW SIZES SHOWN ARE FOR SILVERLINE WINDOWS
SEE CATALOG FOR DETAILS
- ALL DIMENSIONS SHOWN ARE TO FACE OF STUD,
- STAIRS: 89MT. TO 1ST FLR: 15 RISERS @ 7 13/16"
TREADS @ 9 3/4"
- PROVIDE ATTIC ACCESS PANEL W/ 2 - 2" FOAM ON BACK OF 5/8" GYPSUM BOARD. SET ON FOAM WEATHERSTRIP ROUGH OPENING TO BE 16 1/2" x 21". PROVIDE 1/2" OSB INSULATION BAFFLES 16" TO TOP MEASURED FROM BOTTOM OF TRUSSES.
MIN. CODE CLEAR FINISH OPEN OF ACCESS IS 14"x24"
- AT BEDROOM 2, BASEMENT BEDROOMS, AND HALL CLOSETS INSTALL MINIMUM OF 3-2X6 BACKING FOR CLOSET POLE BRACKET CENTERED IN CLOSET AT 10" TO TOP.
- FOR STAIR RAILING INSTALL MINIMUM OF 2-2X6 BLOCKING AT TOP AND BOTTOM OF STAIRS AND 3 AT MIDDLE SPACED 3'-3" APART AT 26" TO TOP OF BLOCKING FOR A TOTAL OF FIVE BRACKETS SPACED
- THE ABOVE CONDITIONS LISTED ARE STANDARD FOR THIS PLAN (EXCEPTIONS ARE NOTED ON THE PLAN)

IMPORTANT NOTE:

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CUSTOM DESIGNED FOR:
**GREATER GREEN BAY
HABITAT FOR HUMANITY**

JOB NAME: 1321 South Broadway

DRAWN BY: Halile Guick

DATE: August 4TH, 2025

REVISIONS:
(Based Off
Plan 24-064-R)

SQ. FT.:

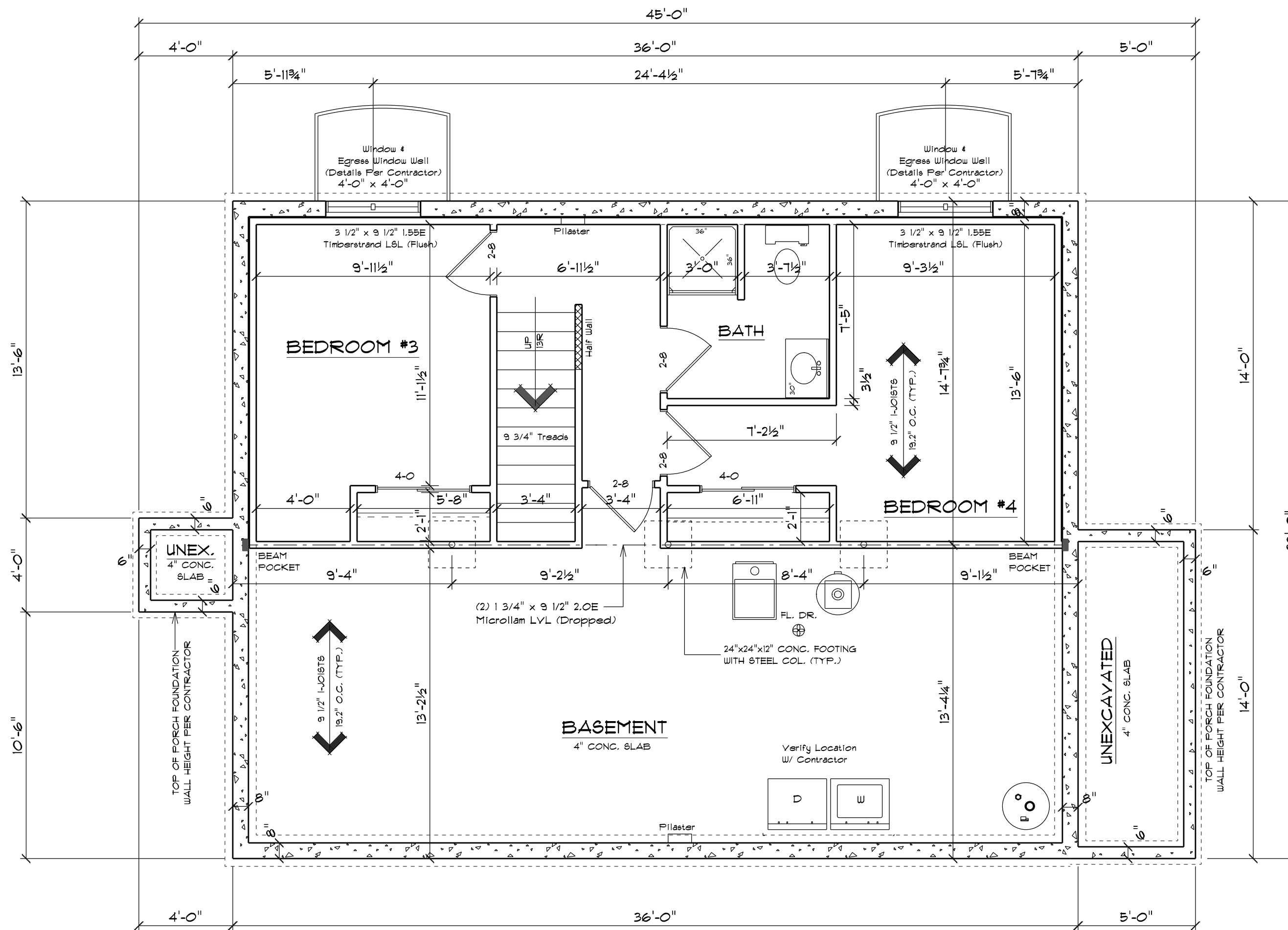
SCALE: As Indicated

PLAN NO.: 25-180-R

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Wisconsin
BUILDING SUPPLY



FOUNDATION PLAN

8'-0" FOUNDATION WALL HGT.
444 SQ. FT.

NOTE:

EXTERIOR DIMENSIONS ARE SHOWN TO REFLECT HOUSE FRAMING WALLS HELD OUT 1/2" FOR EXTERIOR WALL SHEATHING TO FLUSH OUT WITH 1" FOUNDATION FOAM. IF FOUNDATION FOAM IS TO BE OTHER THAN 1", FRAMING DIMENSIONS ARE TO BE FIELD ADJUSTED AND MAINTAIN ALL CODE COMPLIANCE ACCORDINGLY.

NOTE:

BUILDER RESPONSIBLE TO TRANSFER POINT LOADS FROM ABOVE THROUGH THE FLOOR SYSTEM, AND OTHER WALLS WITH SOLID BLOCKING DOWN TO FOUNDATION WALLS BELOW

NOTES:

- FOUNDATION WALLS:
HOUSE: 8" POURED CONCRETE WALLS 8'-0" HIGH
GARAGE / PORCH: 6" POURED CONCRETE WALLS 4'-0" HIGH
THE FOLLOWING ITEMS ARE TO BE LOCATED IN THE FOUNDATION BY THE CONTRACTOR:
BASEMENT WINDOWS FLOOR DRAINS
ELECTRIC SERVICES WATER HEATER
SUMP PIT & PUMP FURNACE
- BUILDER TO PROVIDE HEADERS AT BASEMENT WINDOWS IF NOT NOTED ON THE FOUNDATION PLAN
- POURED CONCRETE FOOTINGS TO BEAR ON UNDISTURBED SOIL BELOW THE FROST LINE
- STEEL COLUMNS TO SUPPORT 12,000 LBS. UNLESS OTHERWISE NOTED
- ASSUMED SOIL BEARING CAPACITY IS 3,000 PSF. FOOTING SIZES MUST BE ADJUSTED FOR VARYING SOIL CONDITIONS
- FOUNDATION WALLS ARE ASSUMED TO BE UNREINFORCED 3,000 PSI CONCRETE. WALLS ARE DESIGNED PER UBC TABLE 218.4.5 BASED ON THE HEIGHT OF UNBALANCED FILL. PROPER REINFORCEMENT (DESIGNED BY OTHERS) MAY ALLOW FOR WALLS THAT ARE LESS THICK, BUT ANY DEVIATION FROM THE THICKNESSES SHOWN ON THE PLAN ARE THE RESPONSIBILITY OF THE FOUNDATION AND/OR GENERAL CONTRACTOR.
- ALL LUMBER IN PERMANENT CONTACT WITH CONCRETE MUST BE PRESURE-TREATED LUMBER AS PER UBC 21.10.

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CUSTOM DESIGNED FOR:
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HABITAT FOR HUMANITY**

JOB NAME: 1321 South Broadway

DRAWN BY: Hallie Sulick

DATE: August 4TH, 2025

REVISIONS:
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SQ. FT.: See Plan

SCALE: As Indicated

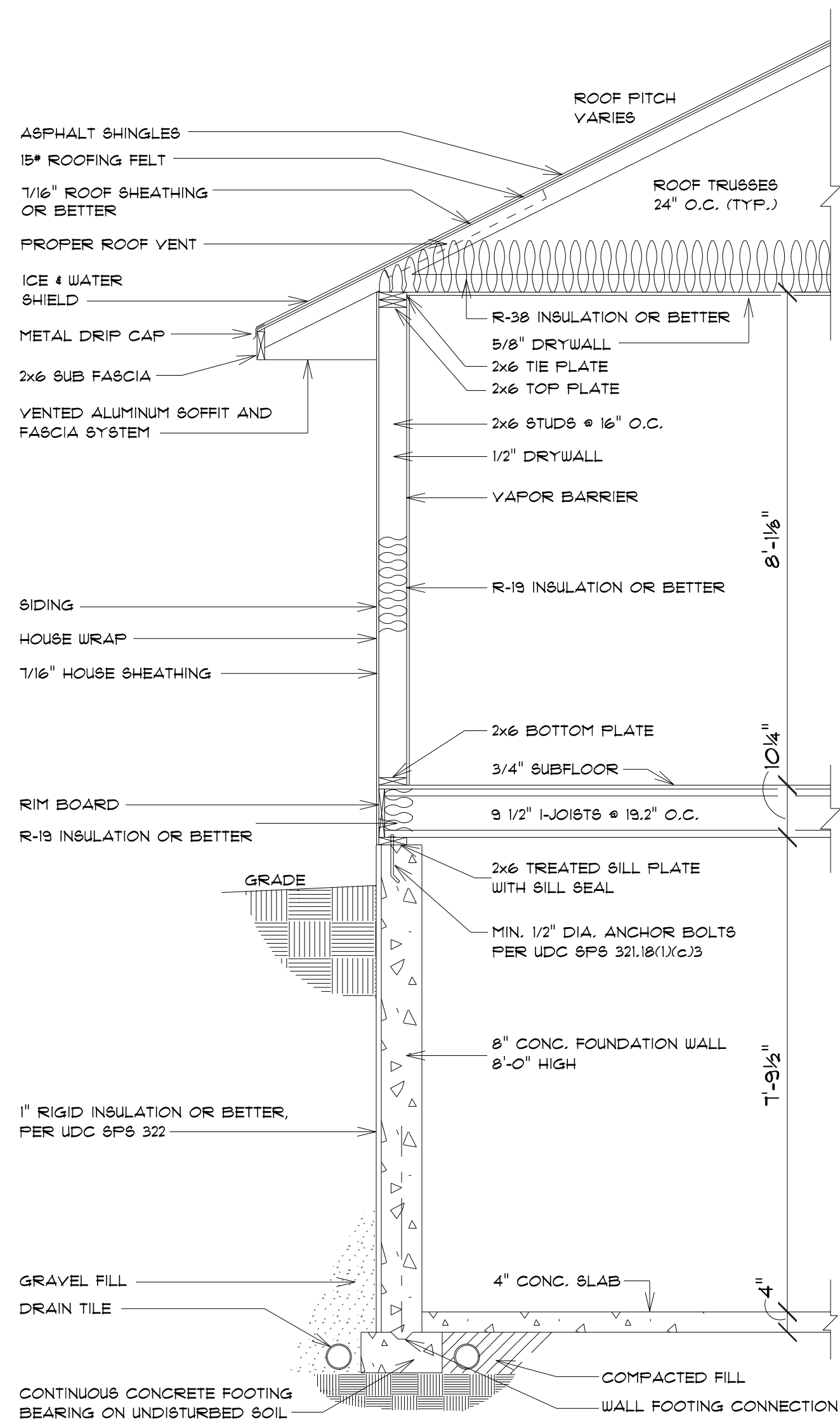
PLAN NO.: 25-180-R

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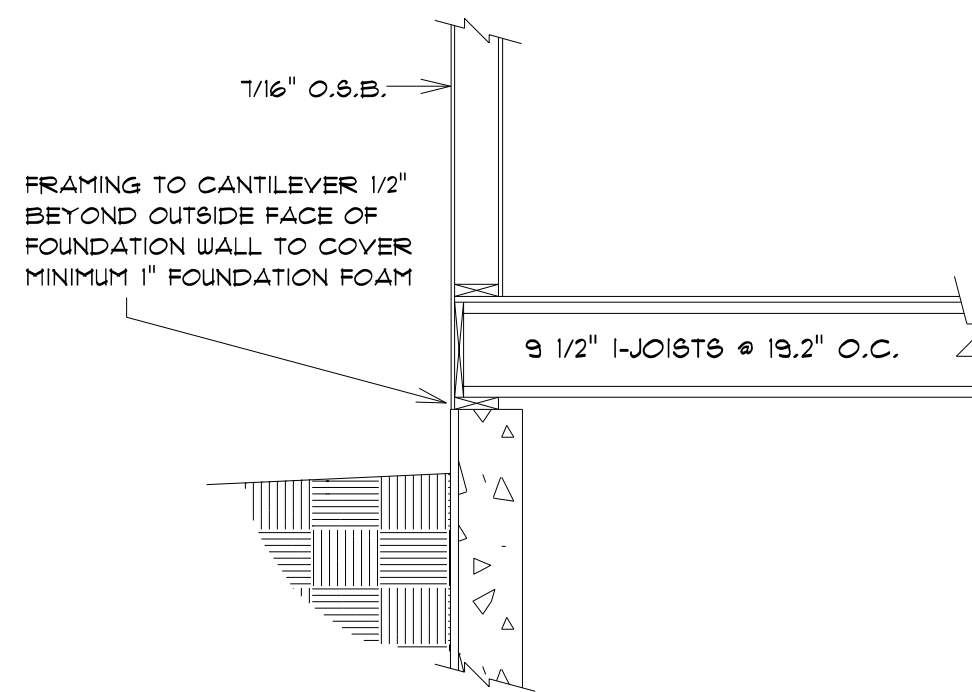
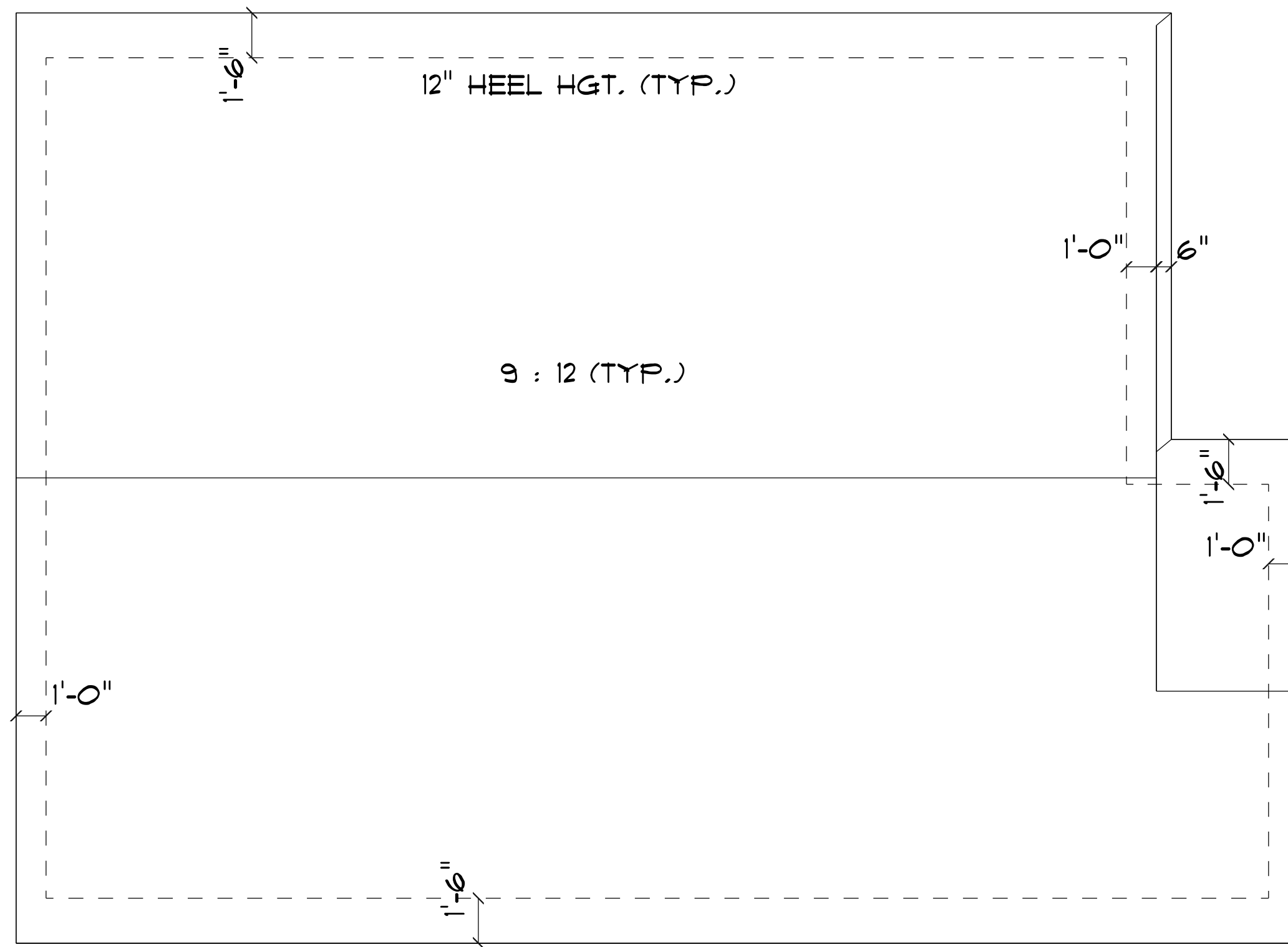
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Wisconsin
BUILDING SUPPLY



TYPICAL RANCH SECTION
SCALE: 1/2" = 1'-0"

ALL ITEMS TO BE VERIFIED BY CONTRACTOR



BOX SILL DETAIL
SCALE: 1/2" = 1'-0"

IMPORTANT NOTE:

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CUSTOM DESIGNED FOR:
GREATER GREEN BAY
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JOB NAME: 1321 South Broadway

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SQ. FT.: See Plan

SCALE: As indicated

PLAN NO.: 25-180-R

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Wisconsin
BUILDING SUPPLY

TOTAL ADJACENT SIDE LENGTH: 36'-1"
BRACING METHOD: CONTINUOUSLY SHEATHED
EXPOSURE CATEGORY: C
TOTAL PANEL LENGTH REQUIRED: 1'-4 15/16"
TOTAL PANEL LENGTH PROVIDED: 6'-0"
6.0 X 1.3 (CAT C) X 0.95 (WALL HGT.) = 1'-4 15/16"

TOTAL ADJACENT SIDE LENGTH: 28'-1"
BRACING METHOD: CONTINUOUSLY SHEATHED
EXPOSURE CATEGORY: C
TOTAL PANEL LENGTH REQUIRED: 6'-2 1/8"
TOTAL PANEL LENGTH PROVIDED: 8'-0"
5.0 X 1.3 (CAT C) X 0.95 (WALL HGT.) = 6'-2 1/8"

TOTAL ADJACENT SIDE LENGTH: 28'-1"
BRACING METHOD: CONTINUOUSLY SHEATHED
EXPOSURE CATEGORY: C
TOTAL PANEL LENGTH REQUIRED: 6'-2 1/8"
TOTAL PANEL LENGTH PROVIDED: 8'-0"
5.0 X 1.3 (CAT C) X 0.95 (WALL HGT.) = 6'-2 1/8"

WALL BRACING LAYOUT PLAN

Scale: 1/4" = 1'-0"
House Wall Ht.: 8'-1 1/8"
Garage Wall Ht.: 9'-0 7/8"
Top-Of-Wall-To-Ridge Ht.: 8'-1 3/4"
Exterior Stud Spacing: 16" O.C.
Seismic Design: B

GENERAL NOTES:

WALL BRACING, SPS 321.25 (B)

- CIRCUMSCRIBED RECTANGLES: EACH FLOOR PLAN LEVEL SHALL BE CIRCUMSCRIBED WITH ONE OR MORE RECTANGLES AROUND THE ENTIRE FLOOR PLAN AT THE FLOOR LEVEL UNDER CONSIDERATION. WHEN MULTIPLE RECTANGLES ARE USED, EACH SIDE SHALL BE BRACED AS THOUGH IT WERE A SEPARATE BUILDING AND THE BRACING AMOUNT ADDED TOGETHER ALONG THE COMMON WALL WHERE ADJACENT RECTANGLES OVERLAP OR ABUT.
- EACH RECTANGLE SHALL HAVE A MAXIMUM RECTANGLE LENGTH-TO-WIDTH RATIO OF 3:1.
- BRACED WALL PANEL (BWP) LOCATIONS: WITHIN 12'-6" FROM EACH SIDE AND 21'-0" PANEL EDGE TO PANEL EDGE (SEE FIGURE 321.25-C).
- ALL EDGES OF PANEL TYPE BRACING EXCEPT HORIZONTAL JOINTS IN GB BRACING SHALL BE ATTACHED TO FRAMING OR BLOCKING.
- THE INTERIOR SIDE OF ALL EXTERIOR WALLS SHALL BE SHEATHED WITH MINIMUM 1/2" GYPSUM WALLBOARD UNLESS OTHERWISE PERMITTED TO BE EXCLUDED BY THIS SUBSECTION. (THIS REQUIREMENT IS EXCLUDED IN PORTAL FRAME METHOD).
- BRACING WITH CS-WSP SHALL HAVE SHEATHING INSTALLED ON ALL SHEATHABLE SURFACES ABOVE, BELOW, AND BETWEEN WALL OPENINGS.
- EACH BRACED WALL PANEL MAY CONTAIN NO MORE THAN ONE HOLE, HAVING A MAXIMUM DIMENSION OF NO MORE THAN TEN PERCENT OF THE LEAST DIMENSION OF THE PANEL, AND CONFINED TO THE MIDDLE THREE-FIFTHS OF THE PANEL.
- BLOCKING AND BRIDGING: 2x18 BRIDGING USED AT PARALLEL BOX SILL AND FLOOR JOIST BRIDGING (@ 32" O.C.) IS THE SAME DEPTH AS THE JOIST.
- WHERE JOISTS ARE PERPENDICULAR TO BWLS ABOVE OR BELOW, BLOCKING SHALL BE PROVIDED BETWEEN THE JOISTS AT BWP LOCATIONS TO PERMIT FASTENING OF WALL PLATES WITH 16d NAILS @ 16" O.C.
- WHERE JOISTS ARE PARALLEL TO BWLS ABOVE OR BELOW, A RIM JOIST OR OTHER PARALLEL FRAMING MEMBER SHALL BE PROVIDED AT THE BWP TO PERMIT FASTENING OF WALL PLATES WITH 16d NAILS @ 16" O.C.

WALL BRACING MATERIAL LEGEND

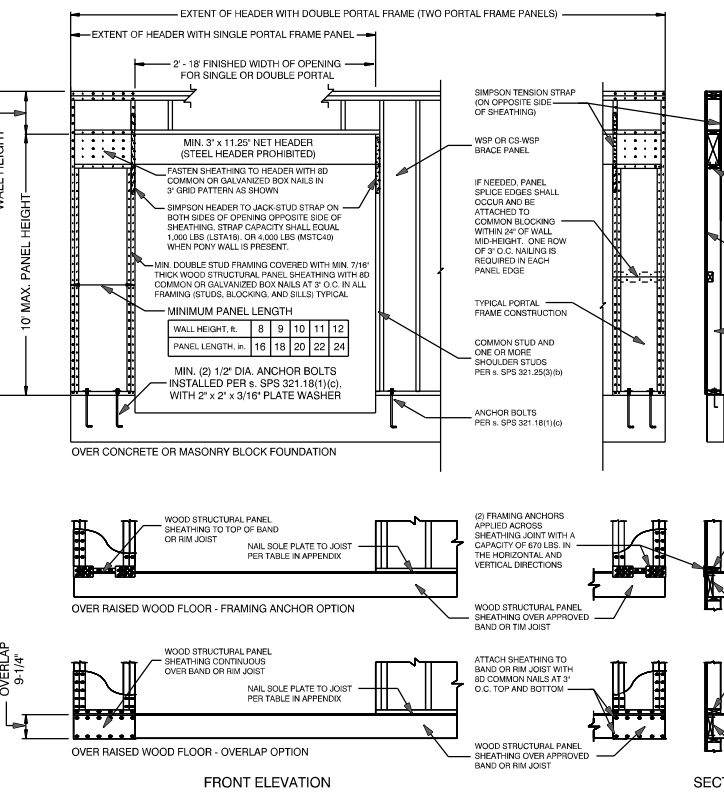
	(CONTINUOUSLY SHEATHED WOOD STRUCTURAL PANEL) 3/8" THICK SHEATHING FOR MAX. 16" O.C. STUD SPACING 1/8" THICK SHEATHING FOR MAX. 24" O.C. STUD SPACING FASTEN WITH 6d COMMON NAIL OR 8d BOX NAIL (2 3/8") OR 1 1/2" x 1/2" CROWN NAIL GAGE STAPLES, 1 1/4" LONG MAXIMUM FASTENER SPACING: 6" EDGES, 2" FIELD (NAILS) / 3" EDGES, 6" FIELD (STAPLES)
--	--

TABLE 321.25-H a,b MINIMUM WIDTHS OF CS-WSP BRACED WALL PANELS

MAXIMUM OPENING HEIGHT ADJACENT TO BRACED WALL PANEL	MINIMUM LENGTH OF FULL-HEIGHT BRACED WALL PANEL (INCHES)			
	8'	9'	10'	12'
5' - 4"	24	27	30	36
6' - 8"	32	30	30	36
8' - 0"	48	41	38	36
9' - 0"	-	54	46	41
10' - 0"	-	-	60	48
12' - 0"	-	-	-	72

A. SHEATHING SHALL EXTEND FROM TOP OF THE TOP PLATE TO THE BOTTOM PLATE AND MAY BE MULTIPLE SHEETS. ALL JOINTS SHALL BE BLOCKED.
B. INTERPOLATION IS PERMITTED.

FIGURE 321.25-A
PF / CS-PF - PORTAL FRAME BRACE CONSTRUCTION



NOTE: STEEL HEADERS ARE PERMITTED IF DESIGNED BY STRUCTURAL ANALYSIS.
NOTE: AS SHOWN IN THE ABOVE CROSS-SECTION, 1/2" GYPSUM WALL BOARD IS NOT REQUIRED ON THE INTERIOR SIDE OF THE WALL.

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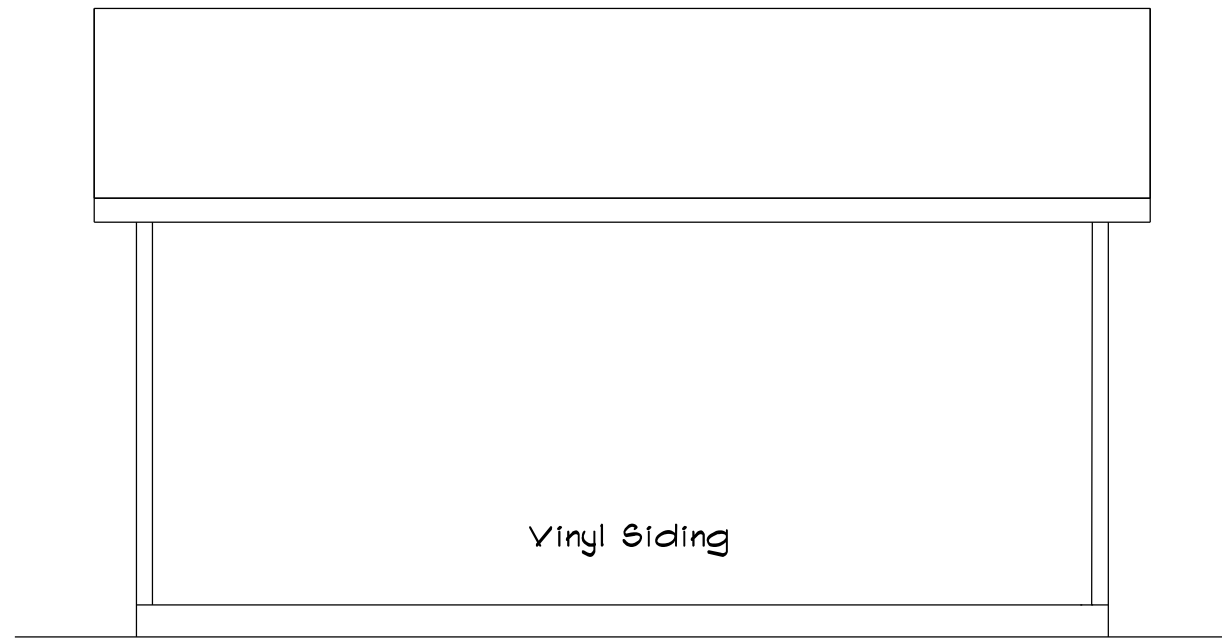
JOB NAME: 1321 South Broadway
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EQ. FT.: See Plan
SCALE: As Indicated
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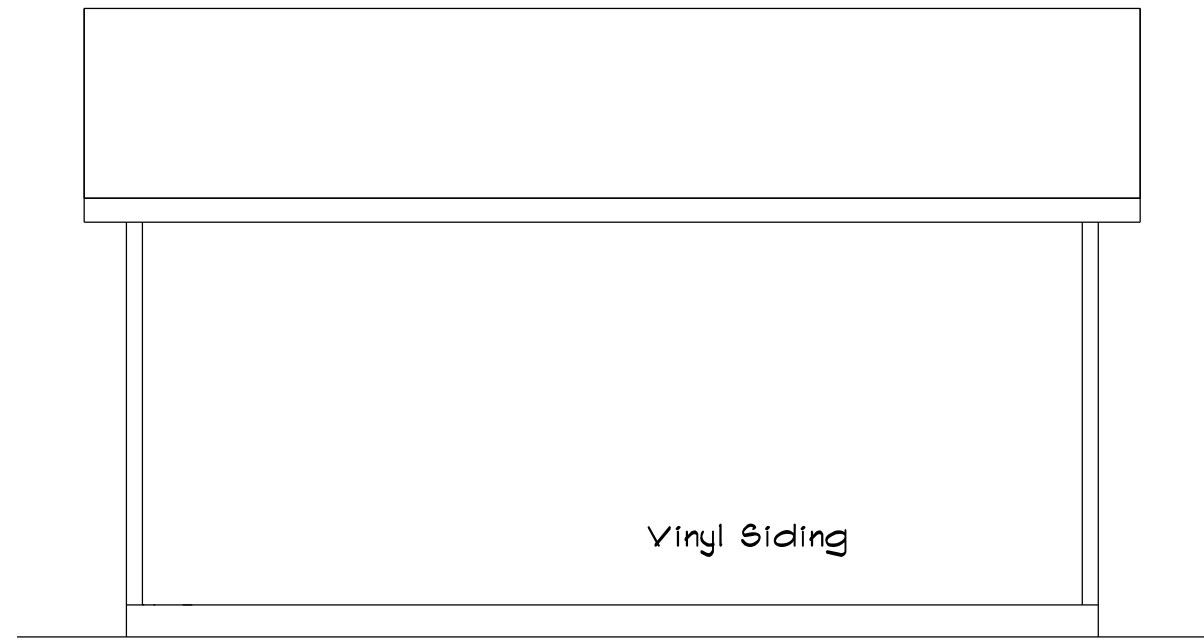
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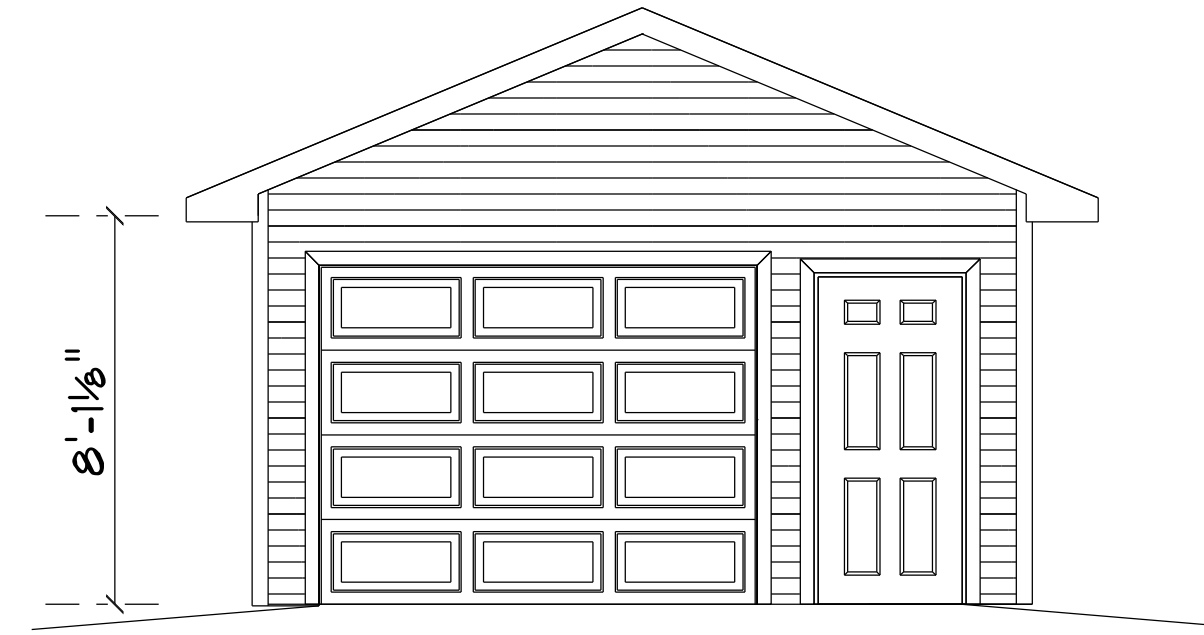
**Wisconsin
BUILDING SUPPLY**



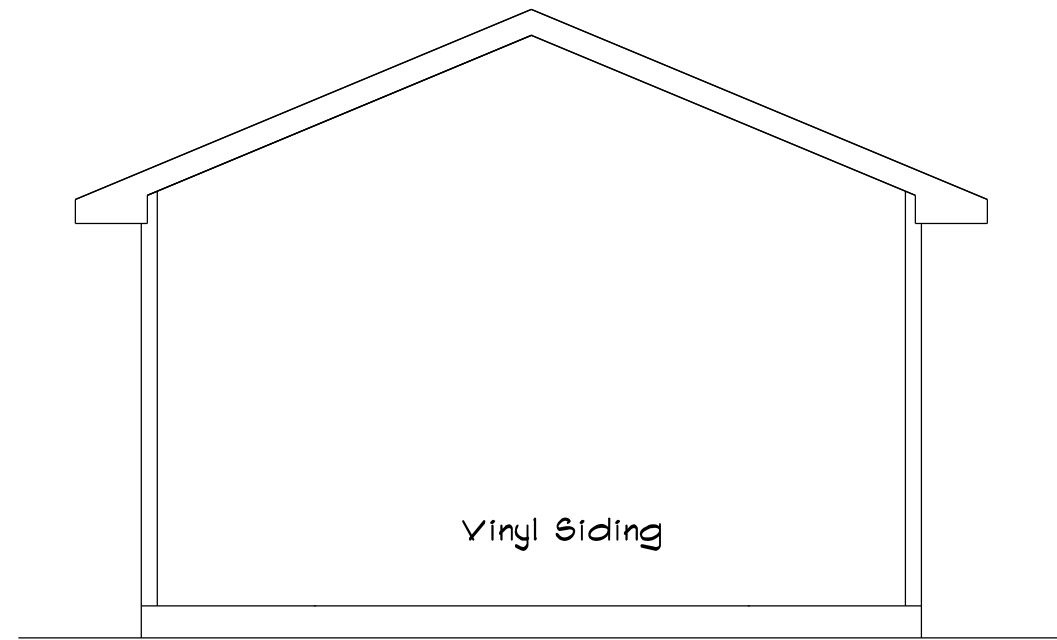
LEFT ELEVATION
SCALE: 1/4" = 1'-0"



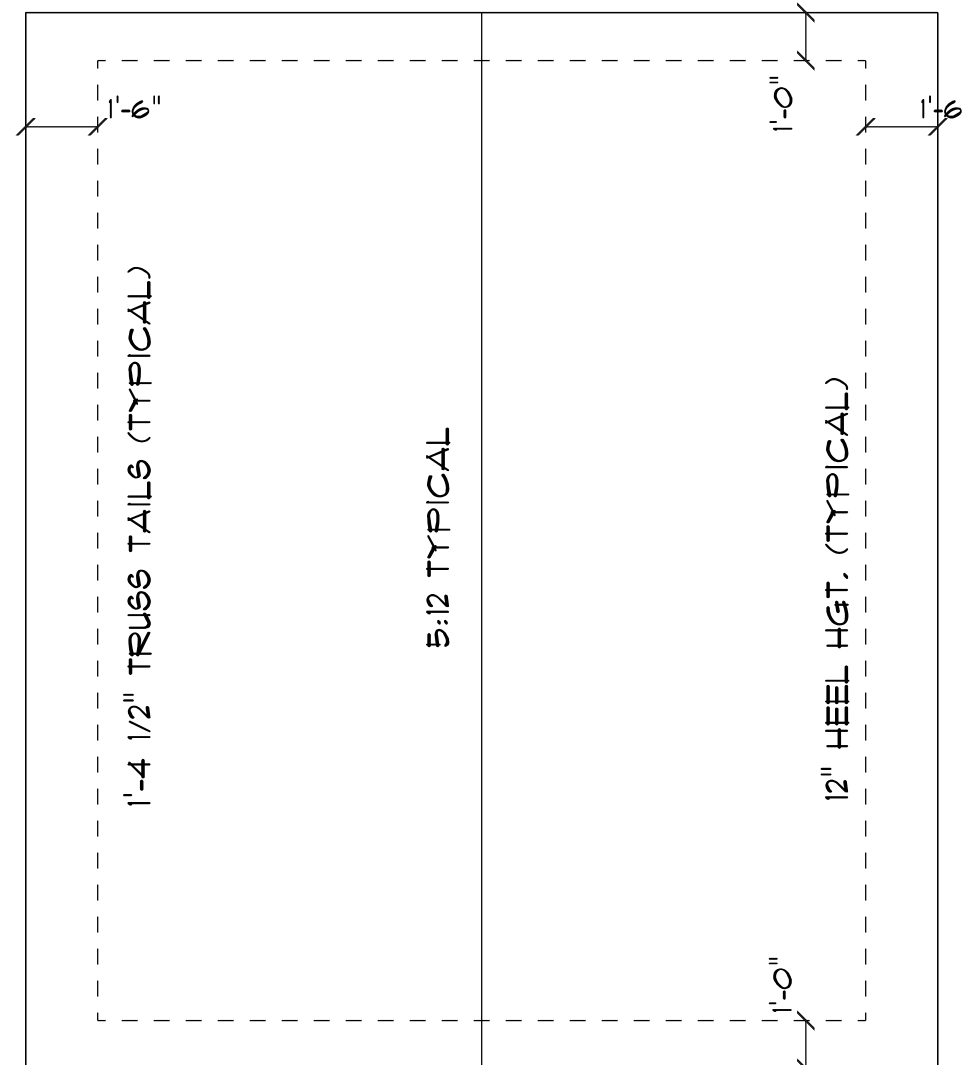
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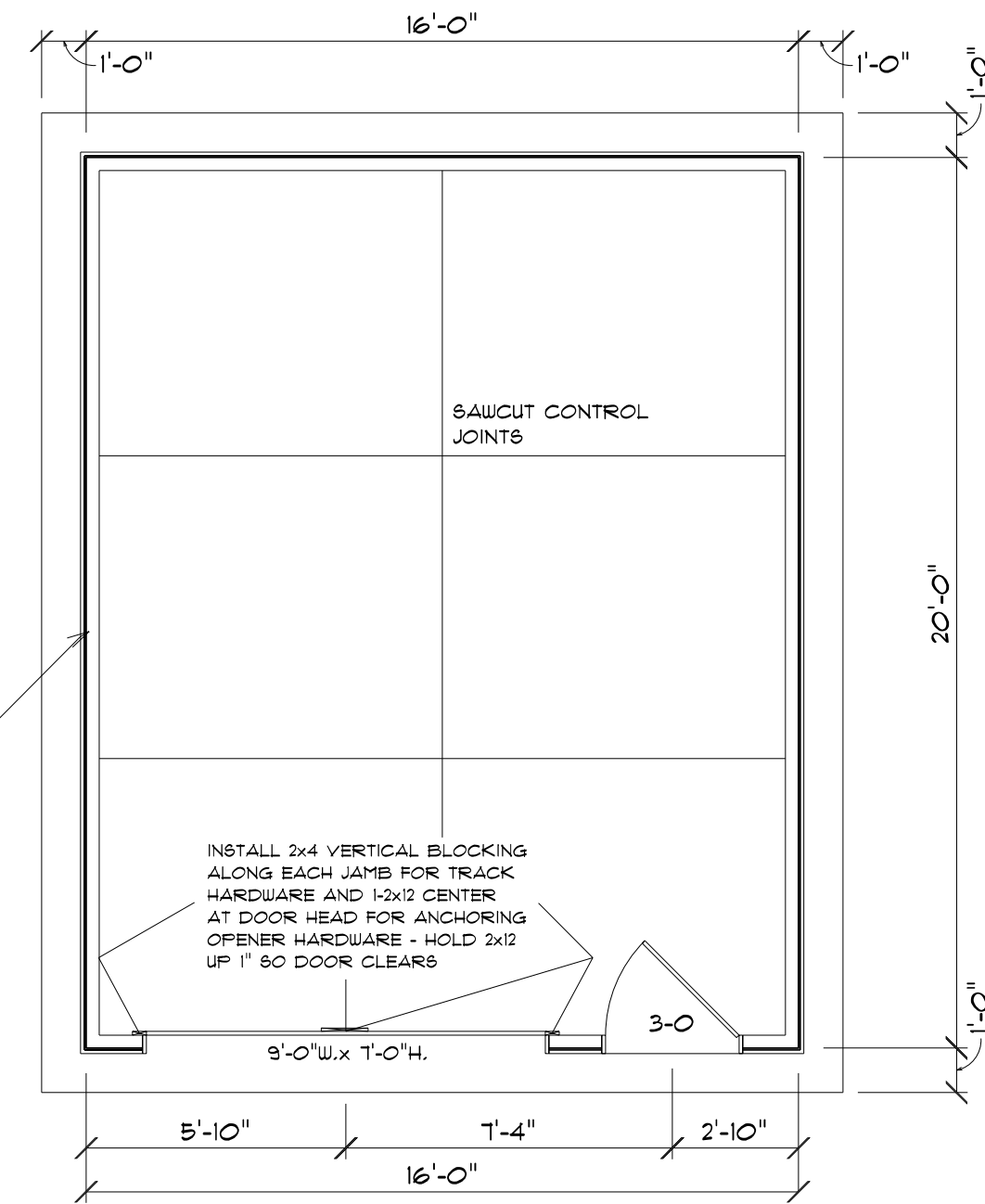
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"



ROOF PLAN
SCALE: 1/4" = 1'-0"



FLOOR PLAN
SCALE: 1/4" = 1'-0"

NOTE:

THIS CONSTRUCTION PLAN CURRENTLY DOESN'T NOTATE PROPER WALL BRACING REQUIREMENTS. PLEASE CONTACT WISCONSIN BUILDING SUPPLY PRIOR TO APPLYING FOR PERMITS TO INITIATE THE START OF THE WALL BRACING PLAN/CALCULATIONS

IMPORTANT NOTE:

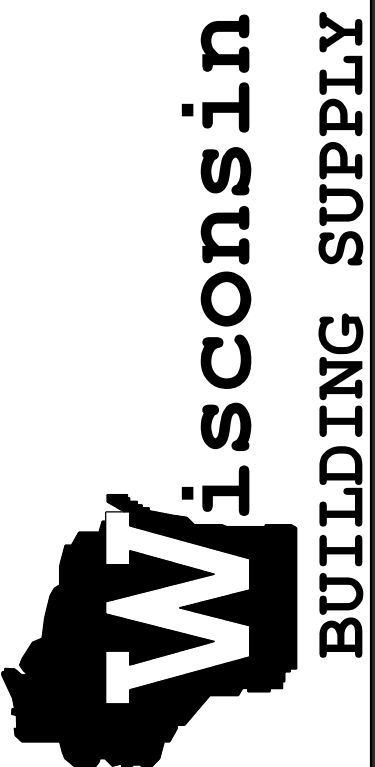
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JOB NAME: 1321 South Broadway	SQ. FT.: See Plan
DRAWN BY: Hallee Gwick	SCALE: As Indicated
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REQUEST FOR CITY ACTION PLAN COMMISSION

Community and Economic
Development Department
100 N. Jefferson Street, Rm 608
Green Bay, WI 54301-5026
(920) 448-3400 - phone
(920) 448-3426 - fax
planning@greenbaywi.gov
www.greenbaywi.gov

Location of Property: 1305 S. Chestnut

Parcel Number(s): 1-925

Petitioner(s): Greater Green Bay Habitat for Humanity Date: 03/26/2026

Email: _____ Phone Number: 9 _____

Address: 1967 Allouez Avenue City: Green Bay State: WI Zip: 54311

Property Owner: Greater Green Bay Habitat for Humanity Phone Number: 9 _____

Submit this Request Form and all required attachments to the Community and Economic Development Department, Room 608, City Hall

To: Honorable Mayor and Common Council, c/o City Clerk

I, Matt Sahs, respectfully request that the City of Green Bay take the following action:

- Rezone Property (\$375.00 Review Fee)
- Conditional Use and CUP Amendment, including Single Lot Duplexes (\$375.00 Review Fee)
- Planned Unit Development (PUD)/New (\$600.00 Review Fee)
- Planned Unit Development (PUD)/Amendment (\$250.00 Review Fee)
- Approve Preliminary City/Extraterritorial Subdivision Plat (\$150.00 + \$35.00 per Lot/Outlot Review Fee)
- Approve Preliminary Condominium Plat (\$250.00 + \$35.00 per Lot/Outlot/Lot Equivalent Review Fee)
- Approve Preliminary City/Extraterritorial Certified Survey Map (\$250.00 Review Fee)
- Approve Final City/Extraterritorial Subdivision Plat (\$150.00 Review Fee)
- Approve Final Condominium Plat (\$150.00 Review Fee)
- Grant a City/Extraterritorial Subdivision/CSM Variance (\$200.00 Review Fee)
- Development District Map Amendment (\$200.00 Administration Fee)
- Official Map Amendment (\$200.00 Administration Fee)
- Plat of Right-of-Way (\$200.00 Administration Fee)
- Public Utility Easement Acceptance or Discontinuance (\$200.00 Administration Fee)
- Street Name Change (\$200.00 Administration Fee)
- Declare City Property "City Surplus" (\$200.00 Administration Fee)
- Vacate a Street/Alley/Pedestrian Way (\$300.00 Administration Fee) PLEASE FILL OUT PAGE 2 OF
- APPLICATION Closure of Street/Alley/Pedestrian Way (\$300.00 Administration Fee)
- Comprehensive Plan Amendments (\$375.00 Review Fee)
- Other (\$200.00 Administration Fee). _____

Owner Signature: Date: 3-26-26

Petitioner Signature(s): _____

Checklist of required attachments:

- Map
- Legal Description
- Applicant Narrative Describing Project
- All Other Pertinent Information

You must meet with Planning staff prior to submission. View City of Green Bay Actions Guide for Rezone, CUP and PUD guidelines - <https://www.greenbaywi.gov/ActionsGuide>

For office use only:

Review Fee: _____ Receipt No.: _____ Zoning Petition No.: _____

SITE PLAN

Lot 12, Block 34 of the recorded C.L.A. Tank's 6th Addition, located in Private Claim 9, West Side of Fox River, City of Green Bay, Brown County, Wisconsin.

~ 1305 S. Chestnut Avenue ~



Bearings are based upon the Wisconsin County Coordinate System, Brown County, the Easterly right of way of S. Chestnut Avenue assumed to be N26°01'26"E.

GRAPHIC SCALE: 1" = 20'

LEGEND

- POINT OF RECORD
- ▨ PROPOSED BUILDING
- 820- EXISTING CONTOURS
- (820) PROPOSED CONTOURS
- EROSION CONTROL
- 2.92% PROPOSED SLOPE ARROWS
- ⊕1048.61 EXISTING SPOT ELEVATIONS
- 1048.61 PROPOSED SPOT ELEVATIONS
- ▨ PROPOSED CONCRETE
- ▨ TRACKING PAD
- WINDOW WELL

BUILDING ELEVATIONS

TOP OF WALL: 588.75'
 FINISHED FLOOR: 589.75'
 BASEMENT FLOOR: 581.08'
 GARAGE FLOOR: 588.45'

NOTES

Existing contours are from the 2020 Brown County LIDar data.

Elevations are referenced to the NAVD 88 Benchmark Datum. The conversion factor to the City of Green Bay Datum is -483.79'.

Footprint of proposed house & garage is Foundation Plan from Wisconsin Building Supply Plan No. 25-181-R, dated 8/04/25.

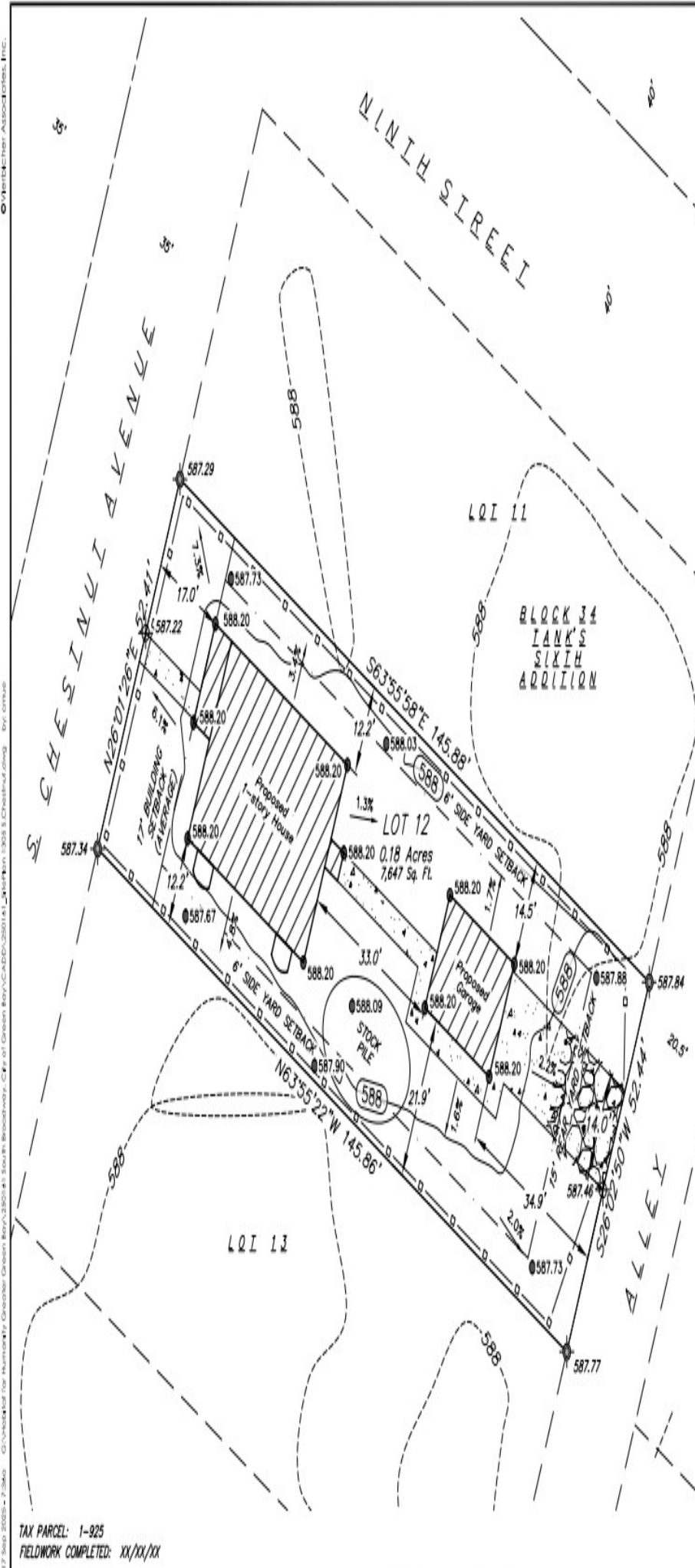
Proposed Impervious Surface:

Buildings: 1,414 sq. ft.
 Concrete: 804 sq. ft.

EROSION & SEDIMENT CONTROL NOTE

FOLLOW THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS AS FOUND AT:
dnr.wisconsin.gov/topic/stormwater/standards/const_standards.html

ALSO REFER TO CITY OF GREEN BAY ORDINANCE CHAPTER 16 FOR FURTHER REQUIREMENTS.



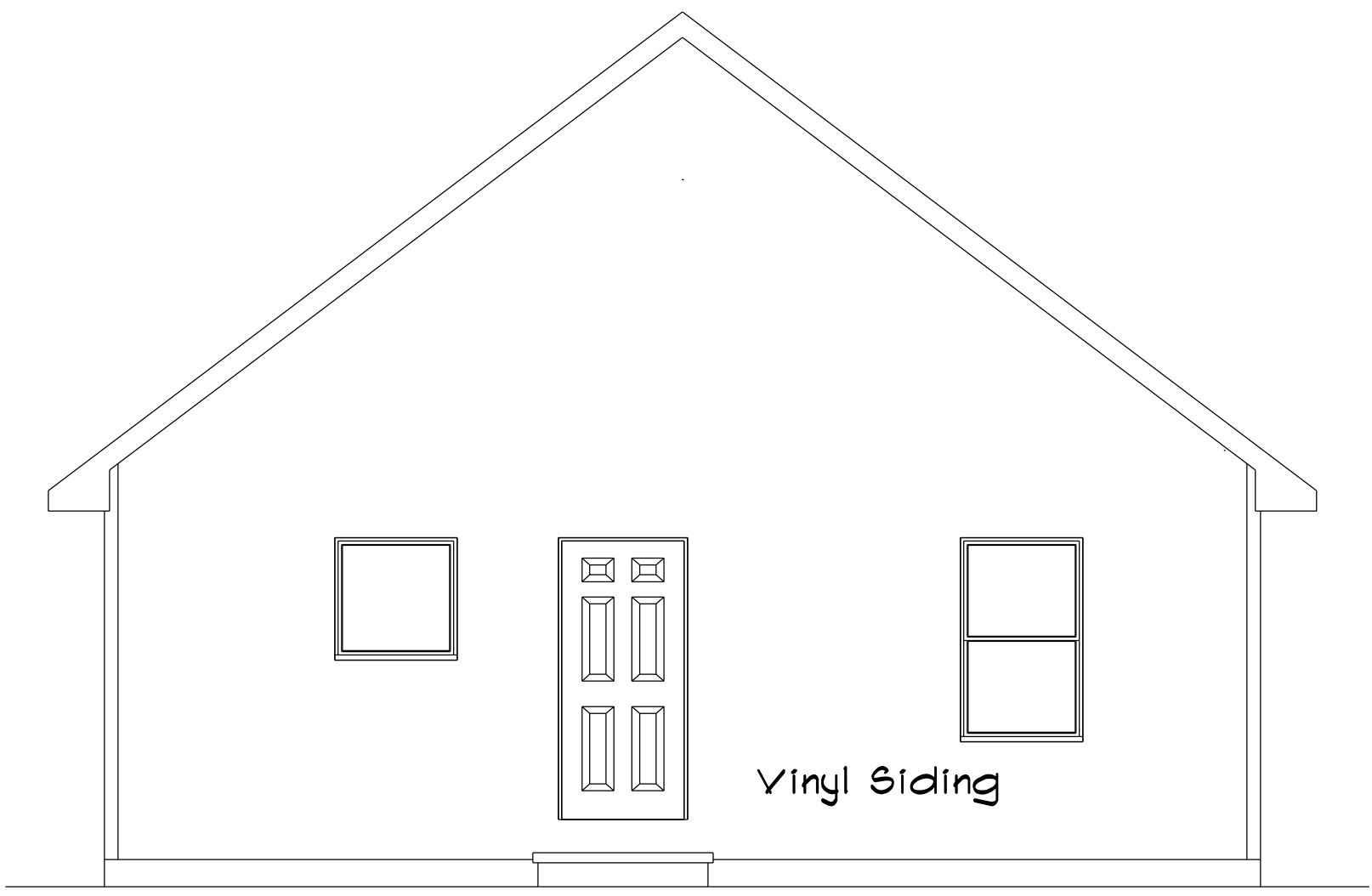
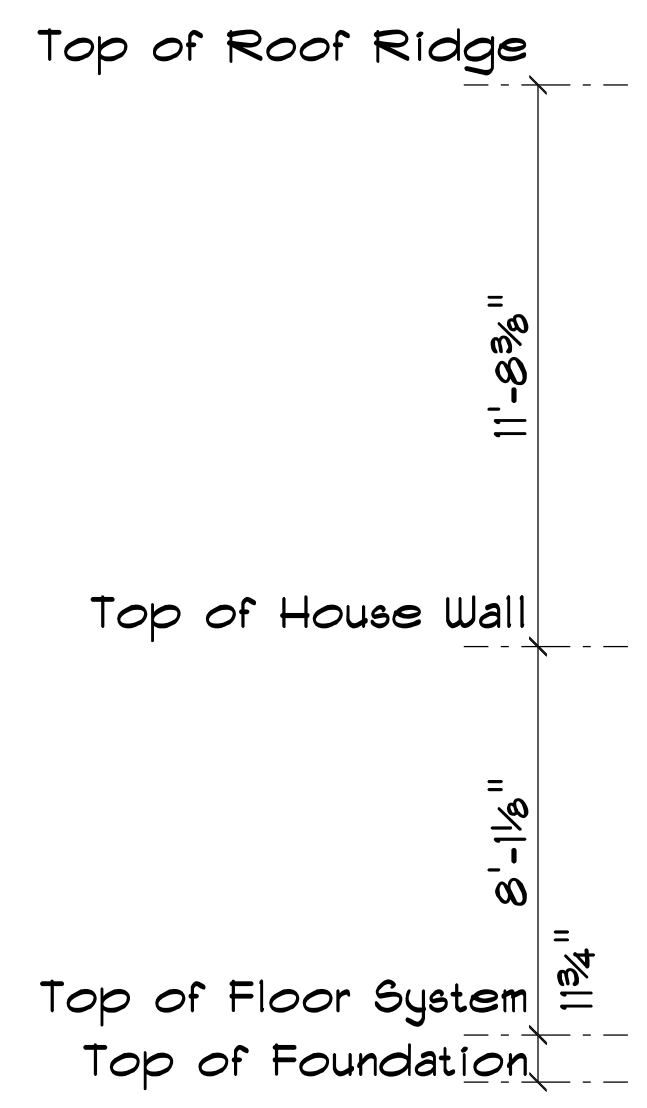
17-Sep-2025 2:56:40 C:\Users\jg\OneDrive\Green Bay\330548 - South Woodway, City of Green Bay\CADD\250161_17-Sep-2025_1305 S. Chestnut Ave.dwg by: jg

TAX PARCEL: 1-925
 FIELDWORK COMPLETED: XX/XX/XX



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

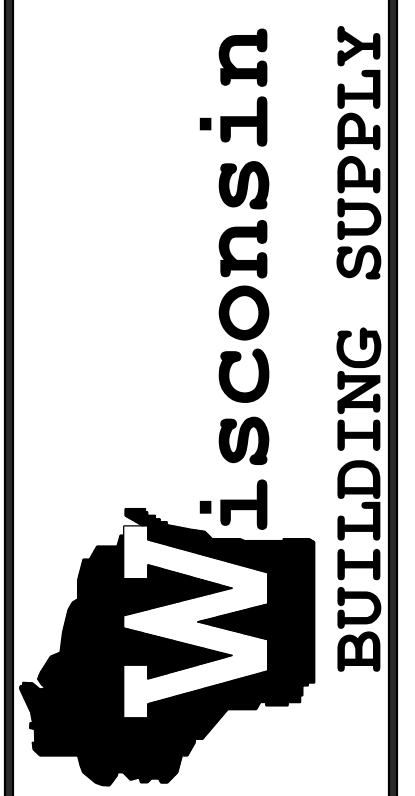


REAR ELEVATION

SCALE: 1/4" = 1'-0"

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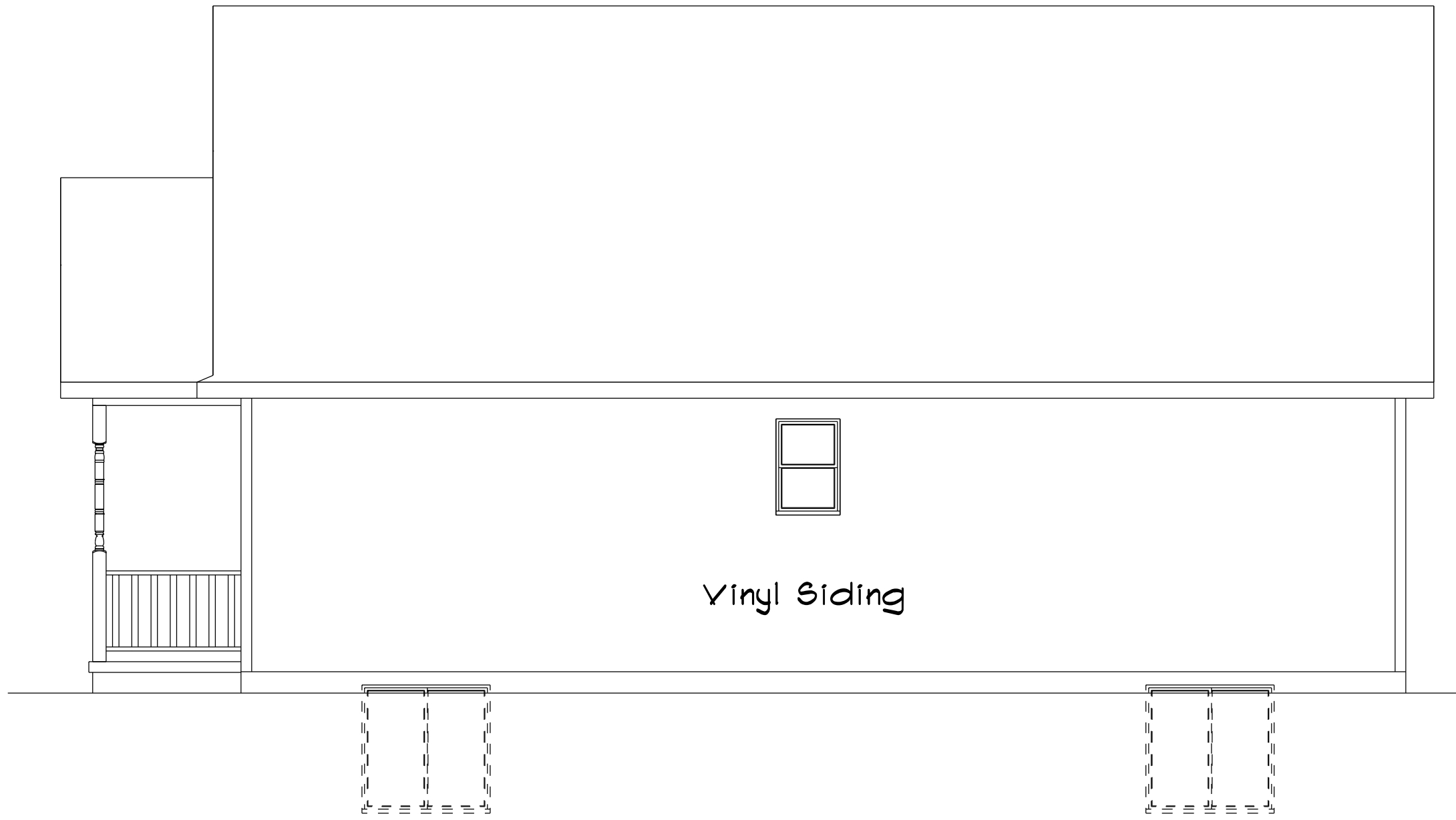
CUSTOM DESIGNED FOR:
**GREATER GREEN BAY
 HABITAT FOR HUMANITY**

JOB NAME: 1305 Chestnut St.
 DRAWN BY: Hallee Swick
 DATE: August 4TH, 2025
 REVISIONS:
 (Based Off
 Plan 24-064-R)

sq. FT.: See Plan
 SCALE: As Indicated
 PLAN NO.: 25-181-R

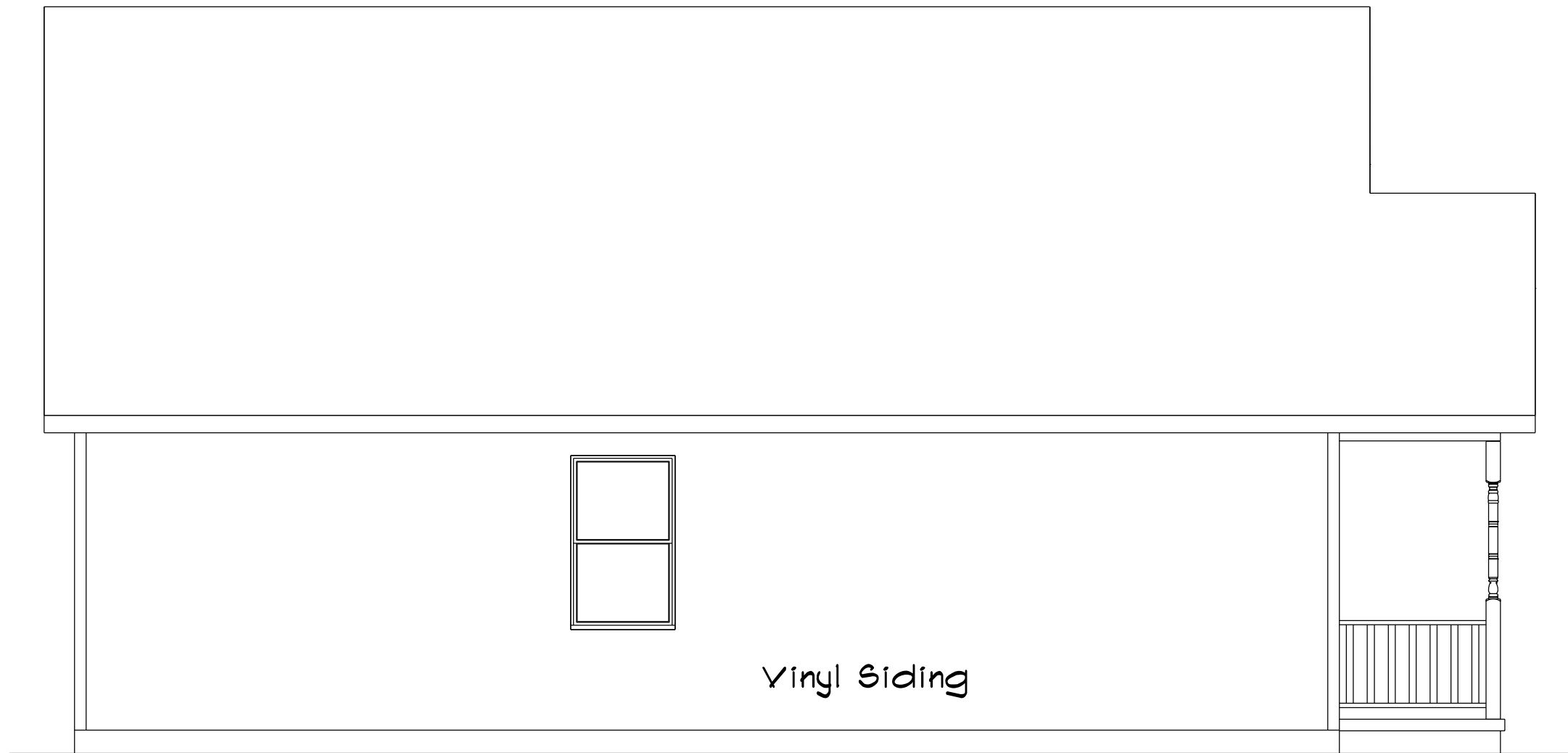
IMPORTANT NOTE:

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- IT IS UNDERSTOOD THAT THE WISCONSIN UNIFORM DWELLING CODE AND LAYOUT DRAWINGS FOR FLOOR AND ROOF TRUSSES SHALL TAKE FINAL PRECEDENCE OVER THESE ARCHITECTURAL PLANS.



R I G H T E L E V A T I O N

SCALE: 1/4" = 1'-0"



L E F T E L E V A T I O N

SCALE: 1/4" = 1'-0"

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SQ. FT.: See Plan

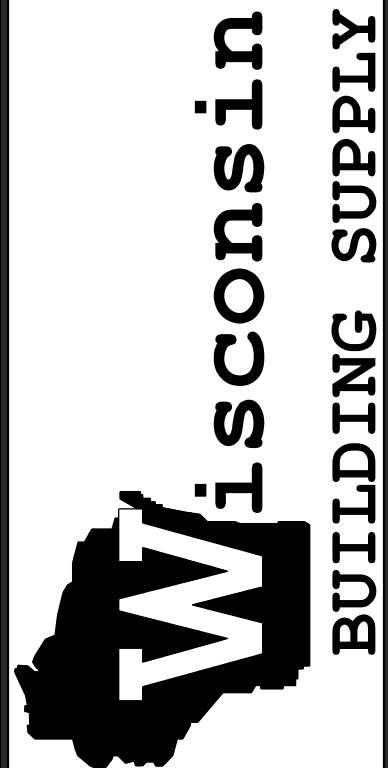
SCALE: As Indicated

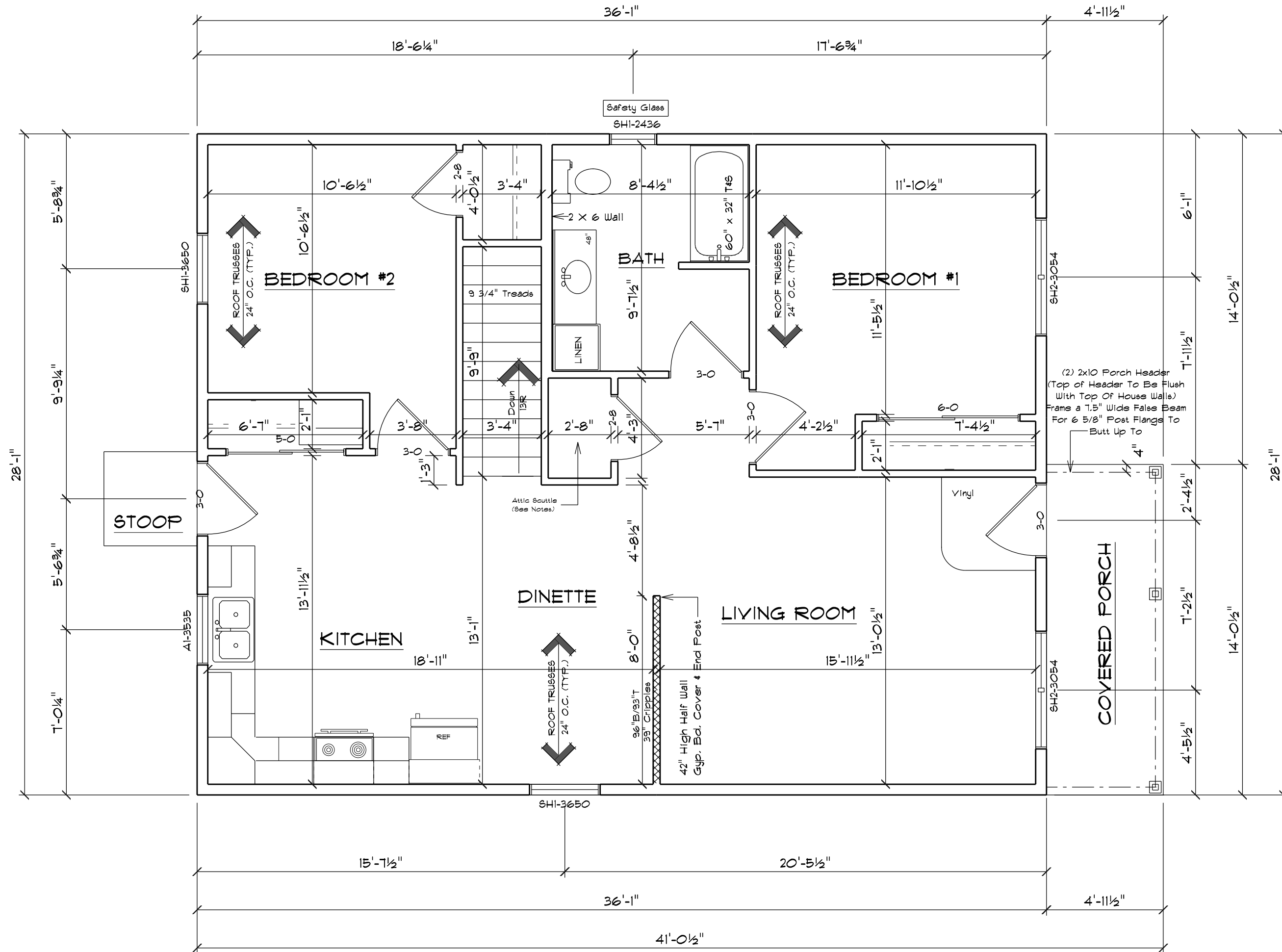
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FLOOR PLAN

8'-1 1/8" CLG. HGT.
1014 SQ. FT.
TO 6Q. FT. (COVERED PORCH)

NOTE:

EXTERIOR DIMENSIONS ARE SHOWN TO REFLECT HOUSE FRAMING WALLS HELD OUT 1/2" FOR EXTERIOR WALL SHEATHING TO FLUSH OUT WITH 1" FOUNDATION FOAM. IF FOUNDATION FOAM IS TO BE OTHER THAN 1", FRAMING DIMENSIONS ARE TO BE FIELD ADJUSTED AND MAINTAIN ALL CODE COMPLIANCE ACCORDINGLY.

NOTE:

BUILDER RESPONSIBLE TO TRANSFER POINT LOADS FROM ABOVE THROUGH THE FLOOR SYSTEM, AND OTHER WALLS WITH SOLID BLOCKING DOWN TO FOUNDATION WALLS BELOW

NOTE:

BUILDER TO CONSULT TRUSS LAYOUT PLANS TO VERIFY EXACT LOCATIONS OF GIRDER TRUSSES, AND ANY ADDITIONAL BEARING REQUIREMENTS OTHER THAN THOSE NOTED ON FLOOR PLANS

NOTES:

- FLOOR SYSTEM: 1ST FLR: 9 1/2" I-JOISTS @ 19.2" O.C.
LOADING: TOTAL LOAD = 50*
LL = 40*
DL = 10*
(ADDITIONAL 10* DL @ TILE AREAS)
(ADDITIONAL 25* DL @ GRANITE AREAS)
FLOOR DEFLECTION: LL = L/480
DL = L/240
DURATION OF LOAD: 1.00%
- ROOF SYSTEM: WOOD TRUSSES @ 24" O.C.
LOADING: TOTAL LOAD = 50*
TCLL = 30*
TCDL = 10*
BCDL = 10*
ROOF DEFLECTION: LL = L/240
TL = L/180
DURATION OF LOAD: 1.15%
- STD. HEADERS: (2) 2 x 10 SELECT STRUCTURAL HEM-FIR
- EXT. WALL STUDS: 1ST FLR: 2x6 x 92-5/8" @ 16" o.c. (8'-1 1/8" HT.)
- INT. WALL STUDS: 1ST FLR: 2x4 x 92-5/8" @ 16" o.c. (8'-1 1/8" HT.)
- WINDOW SIZES SHOWN ARE FOR SILVERLINE WINDOWS
SEE CATALOG FOR DETAILS
- ALL DIMENSIONS SHOWN ARE TO FACE OF STUD,
- STAIRS: 89MT. TO 1ST FLR: 15 RISERS @ 7 13/16"
TREADS @ 9 3/4"
- PROVIDE ATTIC ACCESS PANEL W/ 2 - 2" FOAM ON BACK OF 5/8" GYPSUM BOARD. SET ON FOAM WEATHERSTRIP ROUGH OPENING TO BE 16 1/2" x 21". PROVIDE 1/2" OSB INSULATION BAFFLES 16" TO TOP MEASURED FROM BOTTOM OF TRUSSES.
MIN. CODE CLEAR FINISH OPEN OF ACCESS IS 14"x24"
- AT BEDROOM 2, BASEMENT BEDROOMS, AND HALL CLOSETS INSTALL MINIMUM OF 3-2X6 BACKING FOR CLOSET POLE BRACKET CENTERED IN CLOSET AT 10" TO TOP.
- FOR STAIR RAILING INSTALL MINIMUM OF 2-2X6 BLOCKING AT TOP AND BOTTOM OF STAIRS AND 3 AT MIDDLE SPACED 3'-3" APART AT 26" TO TOP OF BLOCKING FOR A TOTAL OF FIVE BRACKETS SPACED
- THE ABOVE CONDITIONS LISTED ARE STANDARD FOR THIS PLAN (EXCEPTIONS ARE NOTED ON THE PLAN)

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1745 MORaine TERRACE
GREEN BAY, WI 54303

CUSTOM DESIGNED FOR:
**GREATER GREEN BAY
HABITAT FOR HUMANITY**

JOB NAME: 1305 Chestnut St.

DRAWN BY: Halle Gwick

DATE: August 4TH, 2025

REVISIONS:
(Based Off
Plan 24-064-R)

SQ. FT.: See Plan

SCALE: As Indicated

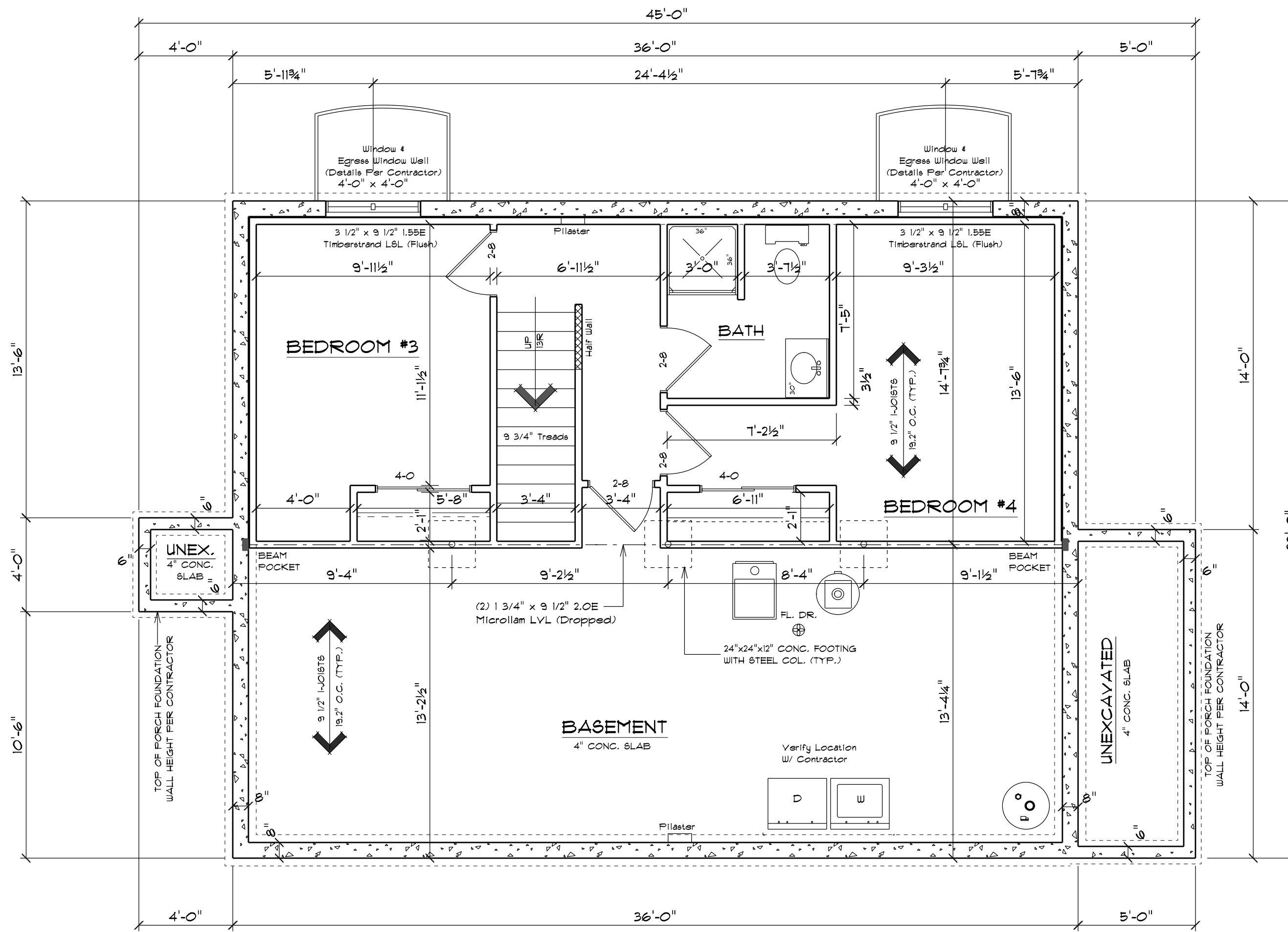
PLAN NO.: 25-181-R

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Wisconsin
BUILDING SUPPLY



FOUNDATION PLAN

8'-0" FOUNDATION WALL HGT.
444 SQ. FT.

NOTE:

EXTERIOR DIMENSIONS ARE SHOWN TO REFLECT HOUSE FRAMING WALLS HELD OUT 1/2" FOR EXTERIOR WALL SHEATHING TO FLUSH OUT WITH 1" FOUNDATION FOAM. IF FOUNDATION FOAM IS TO BE OTHER THAN 1", FRAMING DIMENSIONS ARE TO BE FIELD ADJUSTED AND MAINTAIN ALL CODE COMPLIANCE ACCORDINGLY.

NOTE:

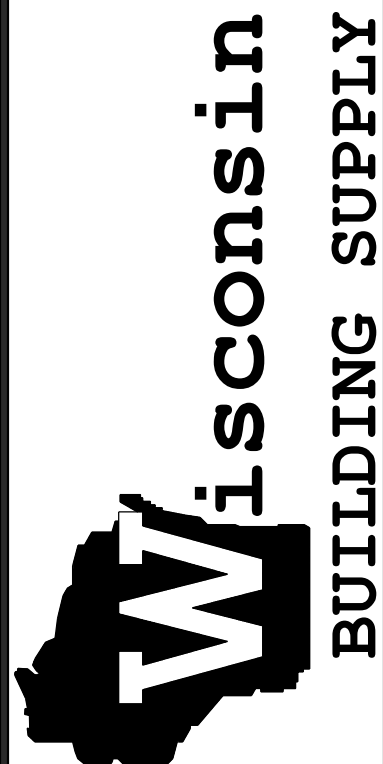
BUILDER RESPONSIBLE TO TRANSFER POINT LOADS FROM ABOVE THROUGH THE FLOOR SYSTEM, AND OTHER WALLS WITH SOLID BLOCKING DOWN TO FOUNDATION WALLS BELOW

NOTES:

- | | |
|--|---|
| <p>1) FOUNDATION WALLS:
HOUSE: 8" Poured concrete walls 8'-0" high
GARAGE / PORCH: 6" Poured concrete walls 4'-0" high
2) THE FOLLOWING ITEMS ARE TO BE LOCATED IN THE FOUNDATION BY THE CONTRACTOR:
BASEMENT WINDOWS FLOOR DRAINS
ELECTRIC SERVICES WATER HEATER
SUMP PIT & PUMP FURNACE
3) BUILDER TO PROVIDE HEADERS AT BASEMENT WINDOWS IF NOT NOTED ON THE FOUNDATION PLAN
4) Poured concrete footings to bear on undisturbed soil below the frost line</p> | <p>5) STEEL COLUMNS TO SUPPORT 12,000 LBS. UNLESS OTHERWISE NOTED
6) ASSUMED SOIL BEARING CAPACITY IS 3,000 PSF. FOOTING SIZES MUST BE ADJUSTED FOR VARYING SOIL CONDITIONS
7) FOUNDATION WALLS ARE ASSUMED TO BE UNREINFORCED 3,000 PSI CONCRETE. WALLS ARE DESIGNED PER UBC TABLE 2108.4B BASED ON THE HEIGHT OF UNBALANCED FILL. PROPER REINFORCEMENT (DESIGNED BY OTHERS) MAY ALLOW FOR WALLS THAT ARE LESS THICK, BUT ANY DEVIATION FROM THE THICKNESSES SHOWN ON THE PLAN ARE THE RESPONSIBILITY OF THE FOUNDATION AND/OR GENERAL CONTRACTOR.
8) ALL LUMBER IN PERMANENT CONTACT WITH CONCRETE MUST BE PRESURE-TREATED LUMBER AS PER UDC 21.10.</p> |
|--|---|

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GREEN BAY, WI 54303



CUSTOM DESIGNED FOR: **GREATER GREEN BAY HABITAT FOR HUMANITY**

JOB NAME: 1305 Chestnut St.

DRAWN BY: Hallie Sulick

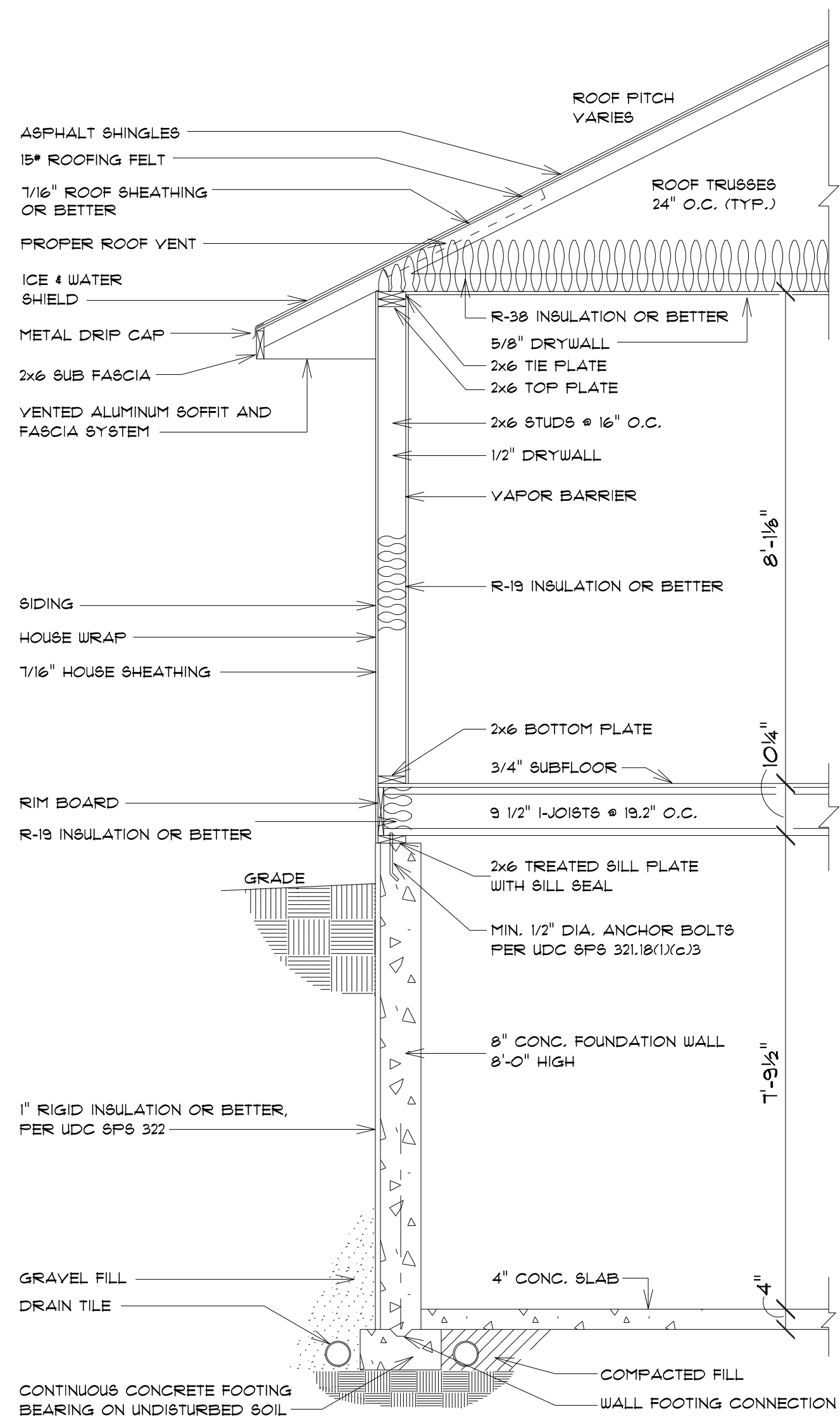
DATE: August 4TH, 2025

REVISIONS: (Based Off Plan #24-064R)

PLAN NO.: 25-181-R

IMPORTANT NOTE:

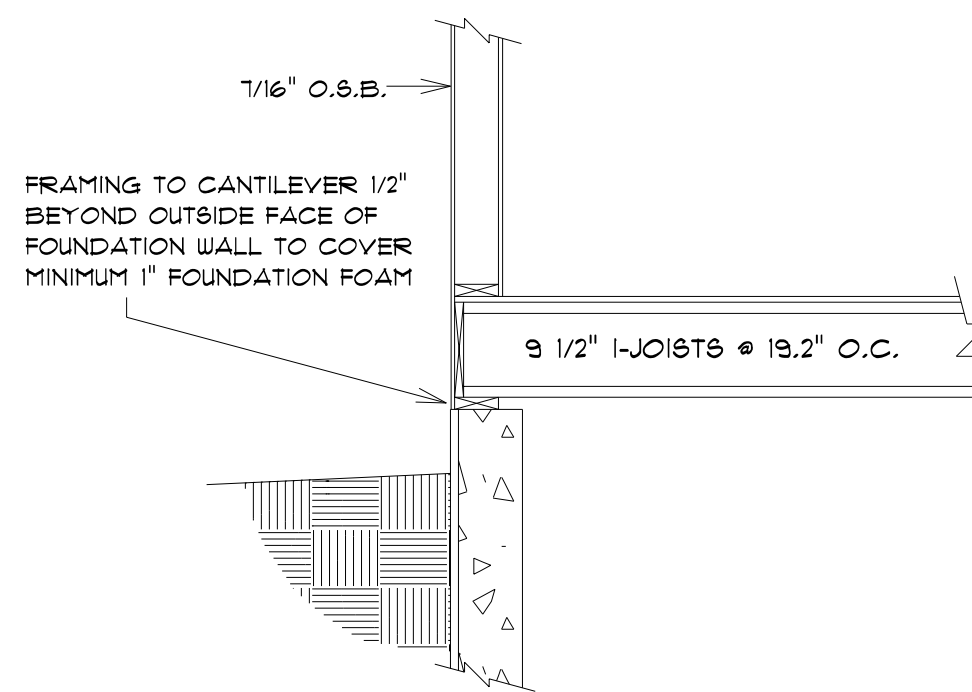
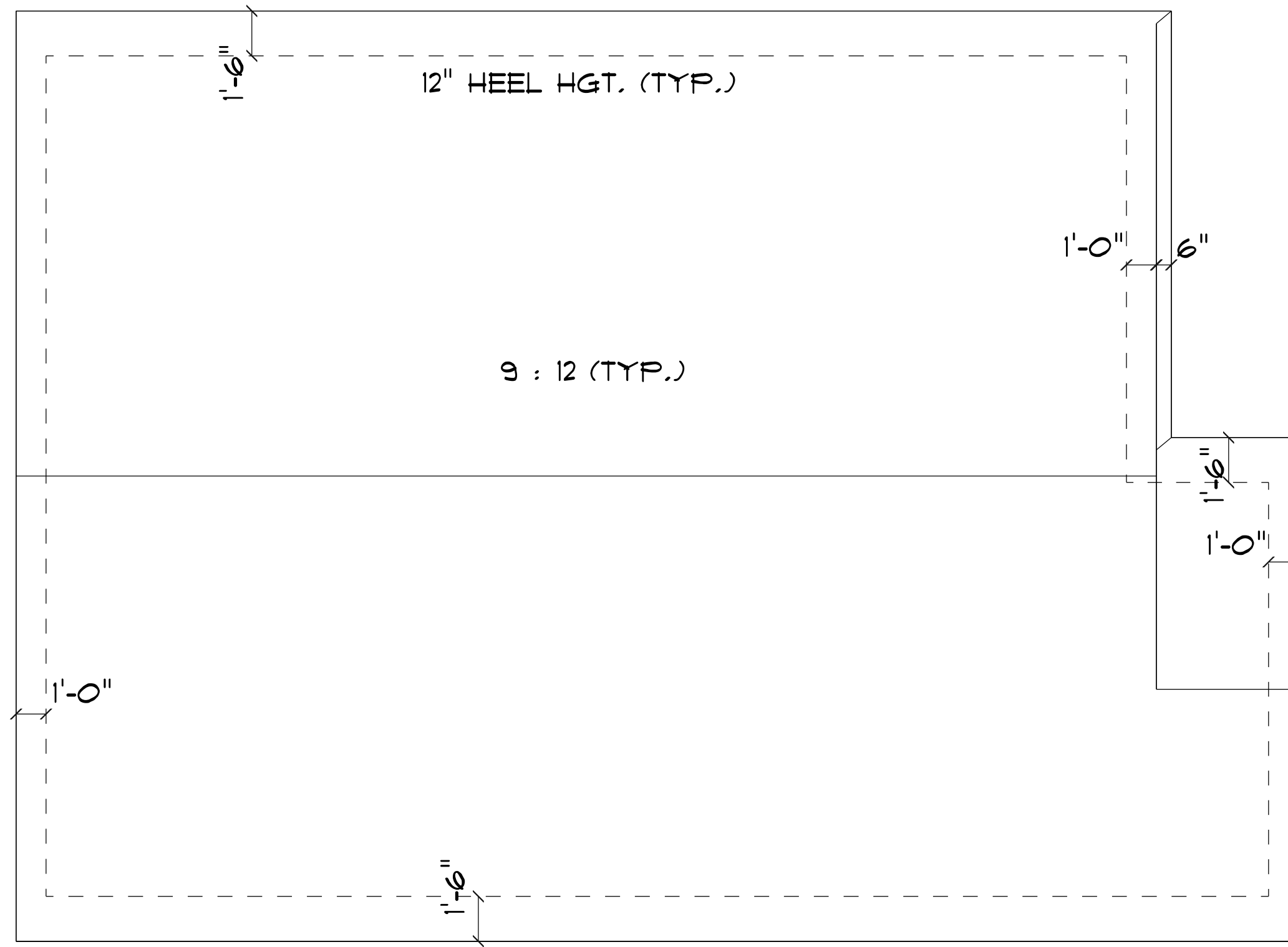
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TYPICAL RANCH SECTION

SCALE: 1/2" = 1'-0"

ALL ITEMS TO BE VERIFIED BY CONTRACTOR



BOX SILL DETAIL

SCALE: 1/2" = 1'-0"

IMPORTANT NOTE:

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CUSTOM DESIGNED FOR: **GREATER GREEN BAY HABITAT FOR HUMANITY**

JOB NAME: 1305 Chestnut St.

DRAWN BY: Halle Guick

DATE: August 4TH, 2025

REVISIONS: (Based Off Plan #24-064R)

SQ. FT.: See Plan

SCALE: As indicated

PLAN NO.: 25-181-R

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Wisconsin
BUILDING SUPPLY

TOTAL ADJACENT SIDE LENGTH: 36'-1"
BRACING METHOD: CONTINUOUSLY SHEATHED
EXPOSURE CATEGORY: C
TOTAL PANEL LENGTH REQUIRED: 1'-4 15/16"
TOTAL PANEL LENGTH PROVIDED: 6'-0"
6.0 X 1.3 (CAT C) X 0.95 (WALL HGT.) = 1'-4 15/16"

TOTAL ADJACENT SIDE LENGTH: 28'-1"
BRACING METHOD: CONTINUOUSLY SHEATHED
EXPOSURE CATEGORY: C
TOTAL PANEL LENGTH REQUIRED: 6'-2 1/8"
TOTAL PANEL LENGTH PROVIDED: 8'-0"
5.0 X 1.3 (CAT C) X 0.95 (WALL HGT.) = 6'-2 1/8"

TOTAL ADJACENT SIDE LENGTH: 28'-1"
BRACING METHOD: CONTINUOUSLY SHEATHED
EXPOSURE CATEGORY: C
TOTAL PANEL LENGTH REQUIRED: 6'-2 1/8"
TOTAL PANEL LENGTH PROVIDED: 8'-0"
5.0 X 1.3 (CAT C) X 0.95 (WALL HGT.) = 6'-2 1/8"

WALL BRACING LAYOUT PLAN

Scale: 1/4" = 1'-0"
House Wall Ht.: 8'-1 1/8"
Garage Wall Ht.: 9'-0 7/8"
Top-Of-Wall-To-Ridge Ht.: 8'-1 3/4"
Exterior Stud Spacing: 16" O.C.
Seismic Design: B

GENERAL NOTES:

WALL BRACING, SPS 321.25 (8)

- CIRCUMSCRIBED RECTANGLES: EACH FLOOR PLAN LEVEL SHALL BE CIRCUMSCRIBED WITH ONE OR MORE RECTANGLES AROUND THE ENTIRE FLOOR PLAN AT THE FLOOR LEVEL UNDER CONSIDERATION. WHEN MULTIPLE RECTANGLES ARE USED, EACH SIDE SHALL BE BRACED AS THOUGH IT WERE A SEPARATE BUILDING AND THE BRACING AMOUNT ADDED TOGETHER ALONG THE COMMON WALL WHERE ADJACENT RECTANGLES OVERLAP OR ABUT.
- EACH RECTANGLE SHALL HAVE A MAXIMUM RECTANGLE LENGTH-TO-WIDTH RATIO OF 3:1.
- BRACED WALL PANEL (BWP) LOCATIONS: WITHIN 12'-6" FROM EACH SIDE AND 21'-0" PANEL EDGE TO PANEL EDGE (SEE FIGURE 321.25-C).
- ALL EDGES OF PANEL TYPE BRACING EXCEPT HORIZONTAL JOINTS IN GB BRACING SHALL BE ATTACHED TO FRAMING OR BLOCKING.
- THE INTERIOR SIDE OF ALL EXTERIOR WALLS SHALL BE SHEATHED WITH MINIMUM 1/2" GYPSUM WALLBOARD UNLESS OTHERWISE PERMITTED TO BE EXCLUDED BY THIS SUBSECTION. (THIS REQUIREMENT IS EXCLUDED IN PORTAL FRAME METHOD).
- BRACING WITH CS-WSP SHALL HAVE SHEATHING INSTALLED ON ALL SHEATHABLE SURFACES ABOVE, BELOW, AND BETWEEN WALL OPENINGS.
- EACH BRACED WALL PANEL MAY CONTAIN NO MORE THAN ONE HOLE, HAVING A MAXIMUM DIMENSION OF NO MORE THAN TEN PERCENT OF THE LEAST DIMENSION OF THE PANEL, AND CONFINED TO THE MIDDLE THREE-FIFTHS OF THE PANEL.
- BLOCKING AND BRIDGING: 2x18 BRIDGING USED AT PARALLEL BOX SILL AND FLOOR JOIST BRIDGING (@ 32" O.C.) IS THE SAME DEPTH AS THE JOIST.
- WHERE JOISTS ARE PERPENDICULAR TO BWLS ABOVE OR BELOW, BLOCKING SHALL BE PROVIDED BETWEEN THE JOISTS AT BWP LOCATIONS TO PERMIT FASTENING OF WALL PLATES WITH 16d NAILS @ 16" O.C.
- WHERE JOISTS ARE PARALLEL TO BWLS ABOVE OR BELOW, A RIM JOIST OR OTHER PARALLEL FRAMING MEMBER SHALL BE PROVIDED AT THE BWP TO PERMIT FASTENING OF WALL PLATES WITH 16d NAILS @ 16" O.C.

WALL BRACING MATERIAL LEGEND

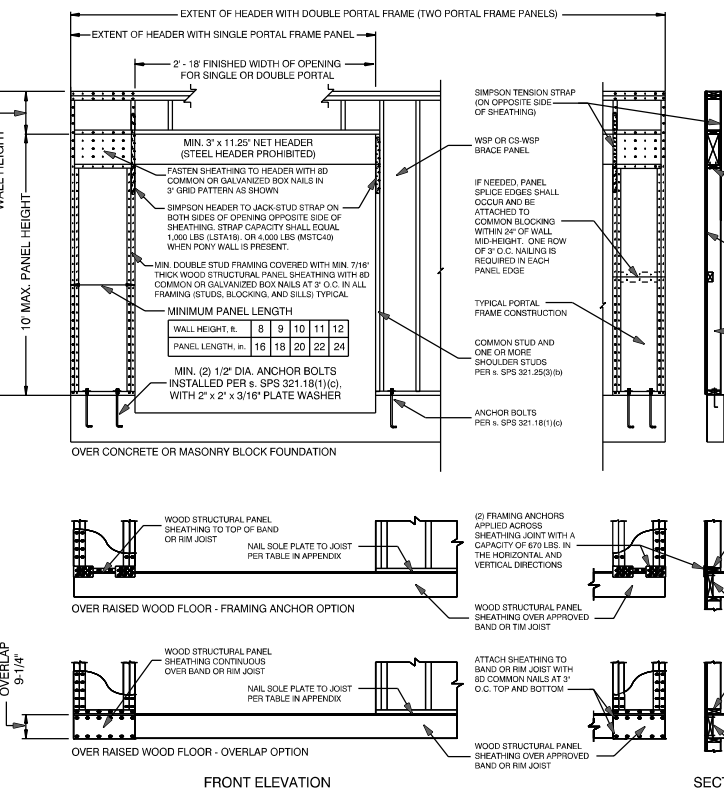
	(CONTINUOUSLY SHEATHED WOOD STRUCTURAL PANEL) 3/8" THICK SHEATHING FOR MAX. 16" O.C. STUD SPACING 1/8" THICK SHEATHING FOR MAX. 24" O.C. STUD SPACING FASTEN WITH 6d COMMON NAIL OR 8d BOX NAIL (2 3/8") OR 1 1/2" x 1/2" CROWN NAIL GAGE STAPLES (1 1/4" LONG) MAXIMUM FASTENER SPACING: 6" EDGES, 2" FIELD (NAILS) / 3" EDGES, 6" FIELD (STAPLES)
--	---

TABLE 321.25-H a,b MINIMUM WIDTHS OF CS-WSP BRACED WALL PANELS

MAXIMUM OPENING HEIGHT ADJACENT TO BRACED WALL PANEL	MINIMUM LENGTH OF FULL-HEIGHT BRACED WALL PANEL (INCHES)			
	8'	9'	10'	12'
5' - 4"	24	27	30	36
6' - 8"	32	30	30	36
8' - 0"	48	41	38	36
9' - 0"	-	54	46	41
10' - 0"	-	-	60	48
12' - 0"	-	-	-	72

A. SHEATHING SHALL EXTEND FROM TOP OF THE TOP PLATE TO THE BOTTOM PLATE AND MAY BE MULTIPLE SHEETS. ALL JOINTS SHALL BE BLOCKED.
B. INTERPOLATION IS PERMITTED.

FIGURE 321.25-A
PF / CS-PF - PORTAL FRAME BRACE CONSTRUCTION



NOTE: STEEL HEADERS ARE PERMITTED IF DESIGNED BY STRUCTURAL ANALYSIS.
NOTE: AS SHOWN IN THE ABOVE CROSS-SECTION, 1/2" GYPSUM WALL BOARD IS NOT REQUIRED ON THE INTERIOR SIDE OF THE WALL.

TOTAL ADJACENT SIDE LENGTH: 36'-1"
BRACING METHOD: CONTINUOUSLY SHEATHED
EXPOSURE CATEGORY: C
TOTAL PANEL LENGTH REQUIRED: 1'-4 15/16"
TOTAL PANEL LENGTH PROVIDED: 6'-0"
6.0 X 1.3 (CAT C) X 0.95 (WALL HGT.) = 1'-4 15/16"

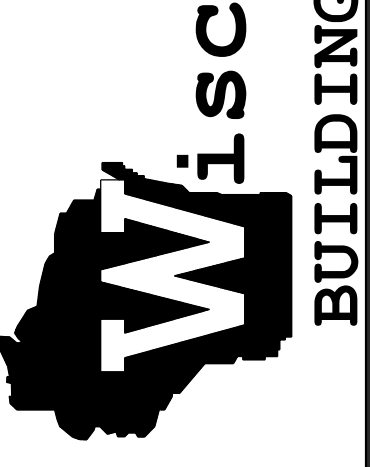
TOTAL ADJACENT SIDE LENGTH: 28'-1"
BRACING METHOD: CONTINUOUSLY SHEATHED
EXPOSURE CATEGORY: C
TOTAL PANEL LENGTH REQUIRED: 6'-2 1/8"
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5.0 X 1.3 (CAT C) X 0.95 (WALL HGT.) = 6'-2 1/8"

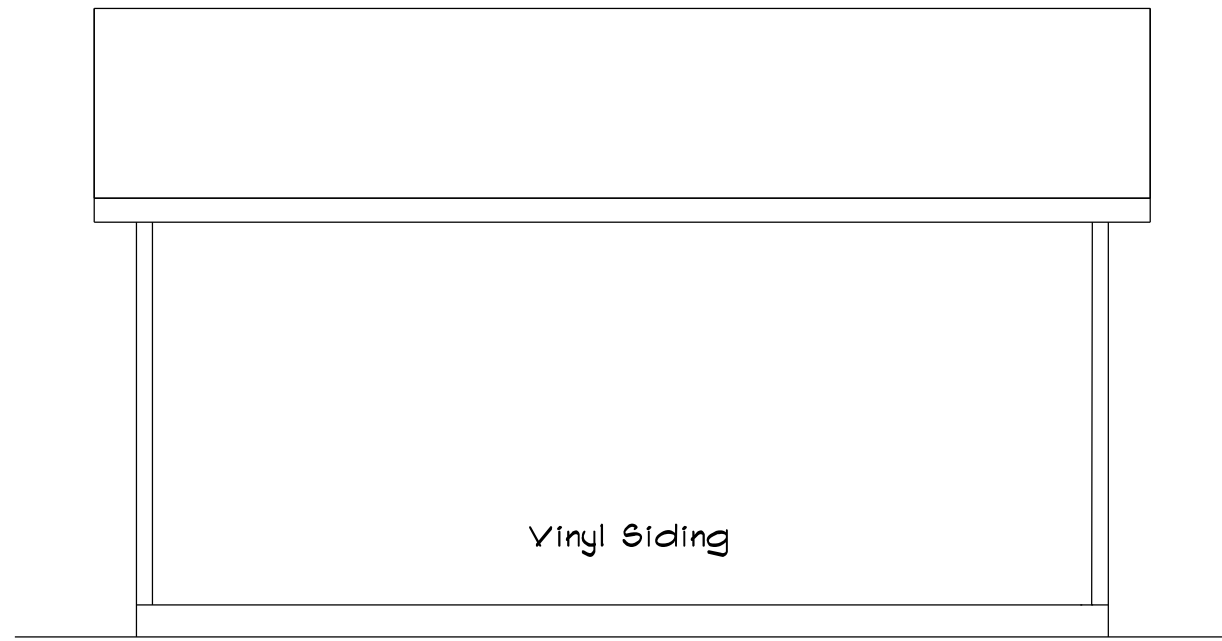
IMPORTANT NOTE:
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IT IS UNDERSTOOD THAT THE WISCONSIN UNIFORM DWELLING CODE AND LAYOUT DRAWINGS FOR FLOOR AND ROOF TRUSSES SHALL TAKE FINAL PRECEDENCE OVER THESE ARCHITECTURAL PLANS.

CUSTOM DESIGNED FOR: **GREATER GREEN BAY HABITAT FOR HUMANITY**
JOB NAME: 1305 Chestnut St.
DRAWN BY: Hailee Guick
DATE: August 4TH, 2025
REVISIONS: (Based Off Plan 24-064-R)
SCALE: As Indicated
PLAN NO.: 25-181-R

OFFICE: (920) 456-5080
PHONE: (920) 494-9510
FAX: 1800 LARSEN ROAD
P.O. BOX 10001
GREEN BAY, WI 54301

COMPONENTS:
PHONE: (920) 496-5084
FAX: (920) 498-1215
1745 MORaine TERRACE
GREEN BAY, WI 54303

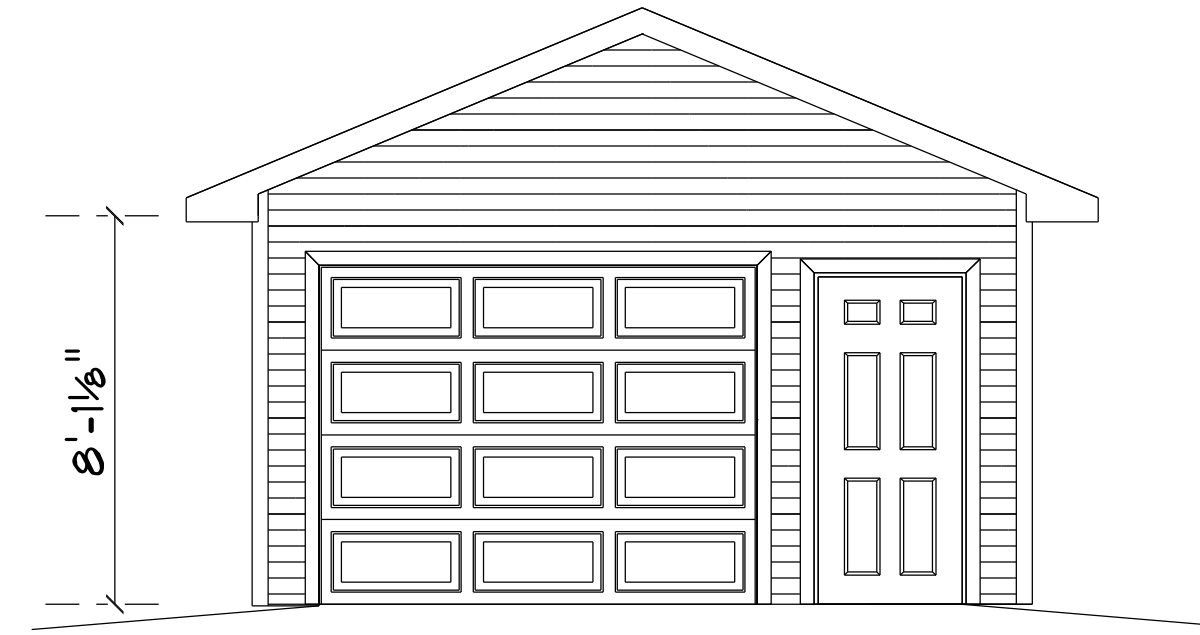




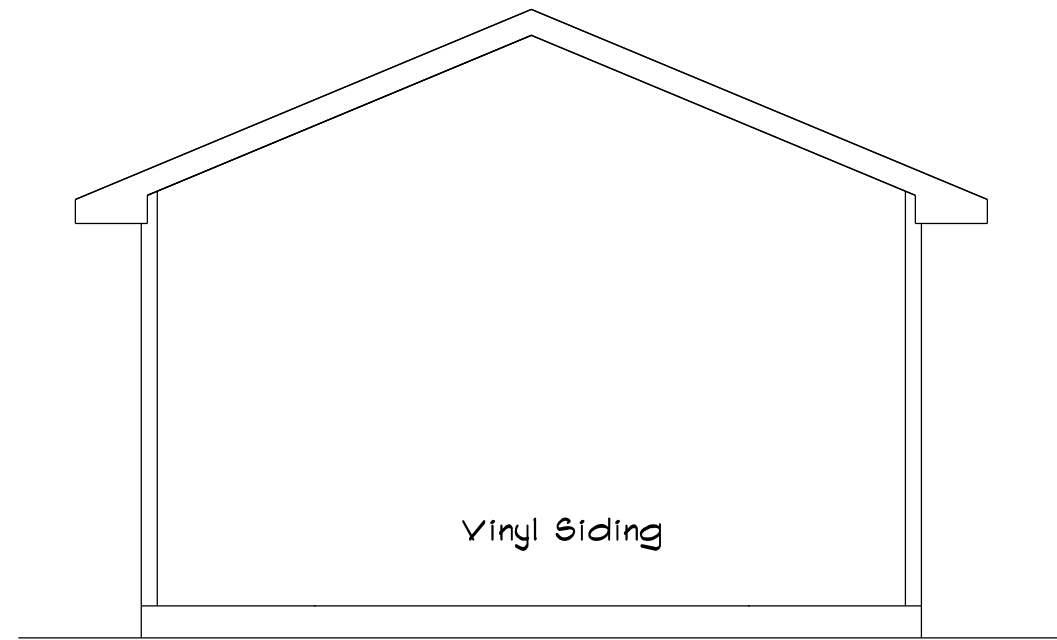
LEFT ELEVATION
SCALE: 1/4" = 1'-0"



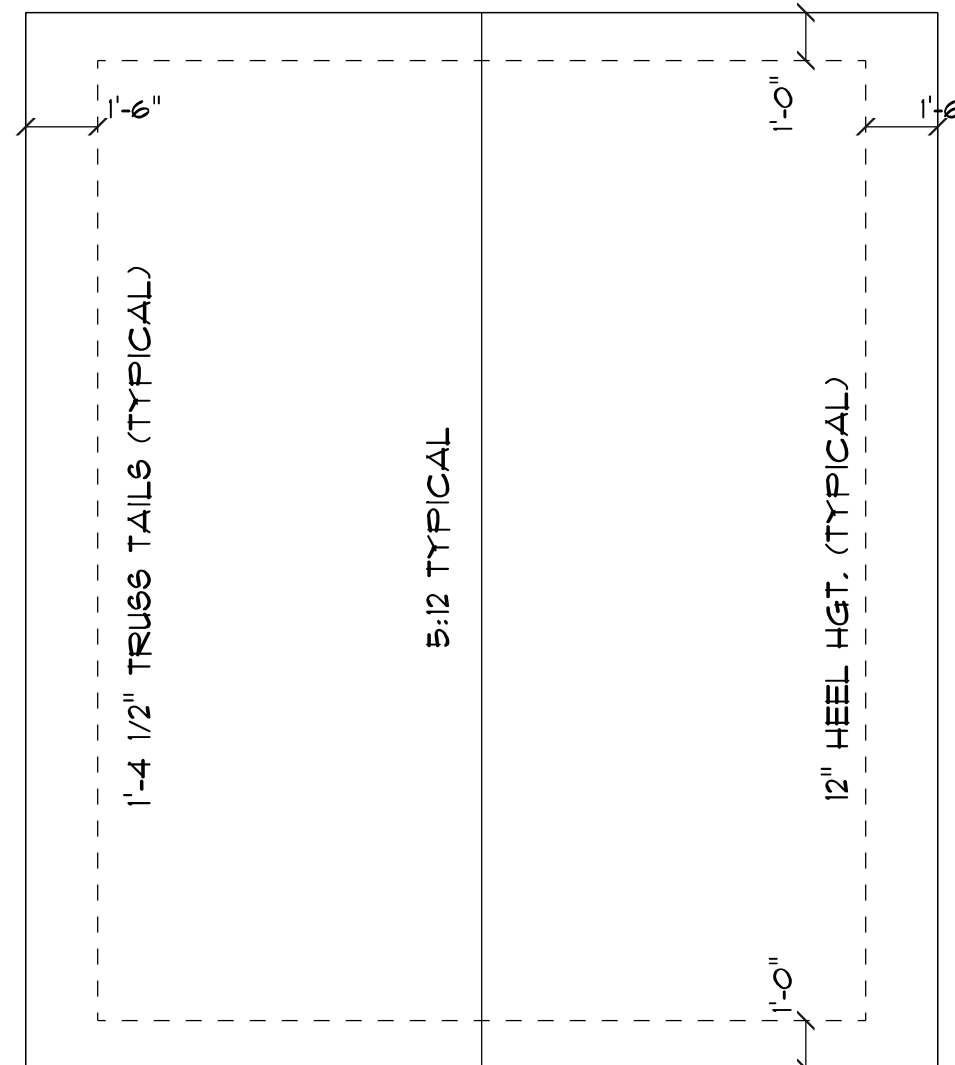
RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



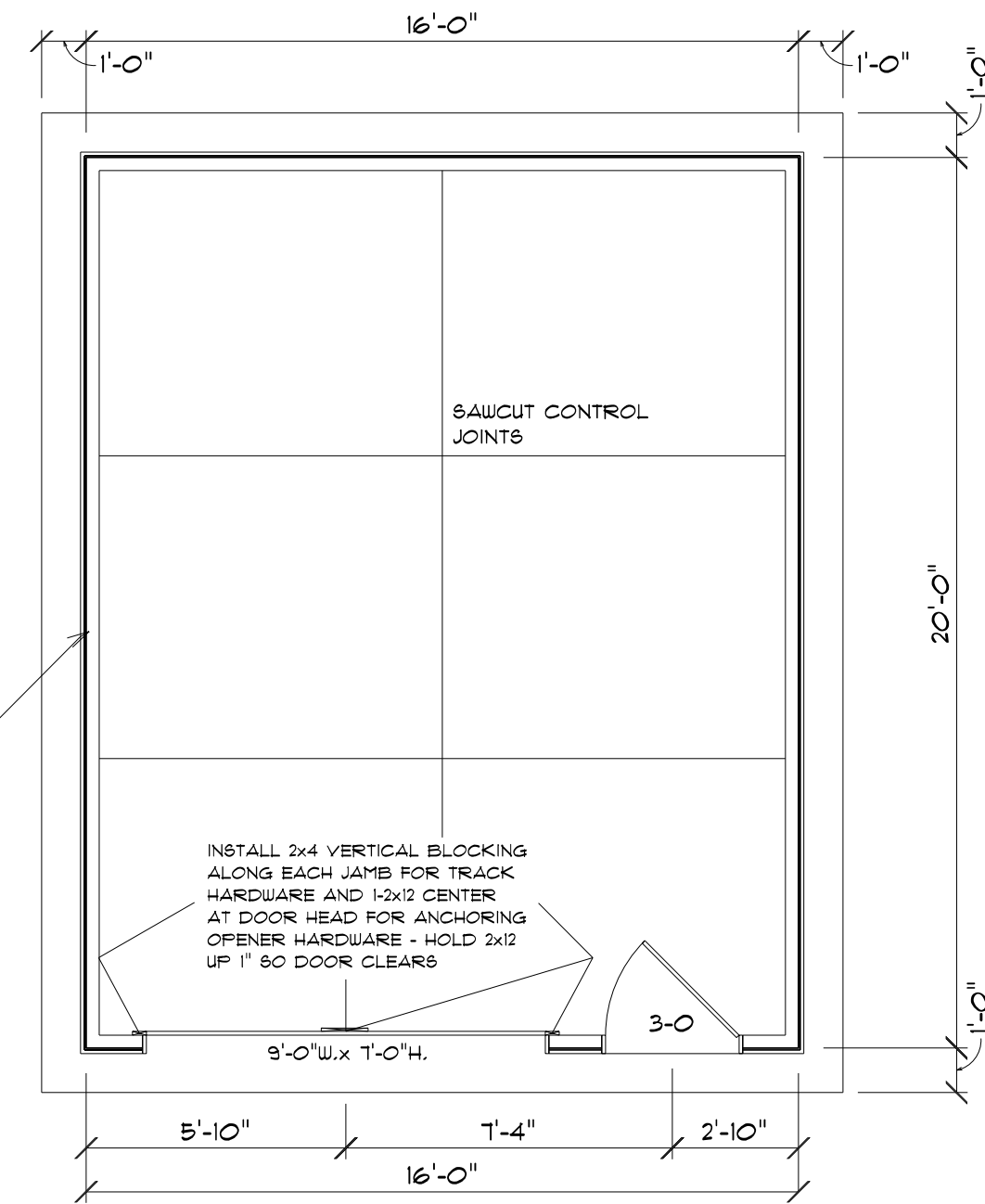
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"



ROOF PLAN
SCALE: 1/4" = 1'-0"



FLOOR PLAN
SCALE: 1/4" = 1'-0"

NOTE:

THIS CONSTRUCTION PLAN CURRENTLY DOESN'T NOTATE PROPER WALL BRACING REQUIREMENTS. PLEASE CONTACT WISCONSIN BUILDING SUPPLY PRIOR TO APPLYING FOR PERMITS TO INITIATE THE START OF THE WALL BRACING PLAN/CALCULATIONS

VINYL SIDING OVER HOUSE WRAP OVER 15/32" SHEATHING OVER 2 x 4'S @ 16" O.C.

INSTALL 2x4 VERTICAL BLOCKING ALONG EACH JAMB FOR TRACK HARDWARE AND 1-2x12 CENTER AT DOOR HEAD FOR ANCHORING OPENER HARDWARE - HOLD 2x12 UP 1" SO DOOR CLEARS

IMPORTANT NOTE:

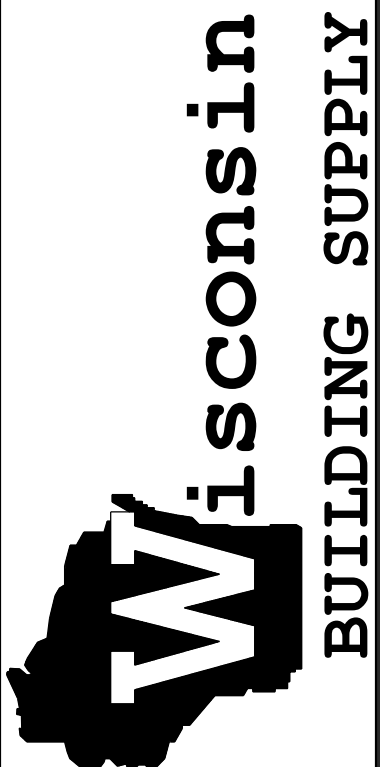
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- IT IS UNDERSTOOD THAT THE WISCONSIN UNIFORM DWELLING CODE AND LAYOUT DRAWINGS FOR FLOOR AND ROOF TRUSSES SHALL TAKE FINAL PRECEDENCE OVER THESE ARCHITECTURAL PLANS.

CUSTOM DESIGNED FOR: **GREATER GREEN BAY HABITAT FOR HUMANITY**

JOB NAME: 1305 Chestnut St.	SQ. FT.: See Plan
DRAWN BY: Hallee Quick	SCALE: As Indicated
DATE: August 4TH, 2025	PLAN NO.: 25-181-R
REVISIONS: (Based Off Plan 24-064-R)	

OFFICE: PHONE (920) 496-5080
FAX (920) 494-9510
1890 LARSEN ROAD
P.O. BOX 10001
GREEN BAY, WI 54301

COMPONENTS: PHONE (920) 496-5084
FAX (920) 498-1215
1145 MORaine TERRACE
GREEN BAY, WI 54303





REQUEST FOR CITY ACTION PLAN COMMISSION

Community and Economic
Development Department
100 N. Jefferson Street, Rm 608
Green Bay, WI 54301-5026
(920) 448-3400 - phone
(920) 448-3426 - fax
planning@greenbaywi.gov
www.greenbaywi.gov

Location of Property: 1223 S. Chestnut

Parcel Number(s): 1-861

Petitioner(s): Greater Green Bay Habitat for Humanity Date: 03/26/2026

Email: _____ Phone Number: 9 City: Green

Address: 1967 Allouez Avenue Bay _____ State: WI Zip: 54311 Phone _____

Property Owner: Greater Green Bay Habitat for Humanity Number: _____

Submit this Request Form and all required attachments to the Community and Economic Development Department, Room 608, City Hall

To: Honorable Mayor and Common Council, c/o City Clerk

I, Matt Sahs, respectfully request that the City of Green Bay take the following action:

- Rezone Property (\$375.00 Review Fee)
- Conditional Use and CUP Amendment, including Single Lot Duplexes (\$375.00 Review Fee)
- Planned Unit Development (PUD)/New (\$600.00 Review Fee)
- Planned Unit Development (PUD)/Amendment (\$250.00 Review Fee)
- A ~~Preliminary~~ **Preliminary** City/Extraterritorial Subdivision Plat (\$150.00 + \$35.00 per Lot/Outlot Review Fee)
- Approve Preliminary Condominium Plat (\$250.00 + \$35.00 per Lot/Outlot/Lot Equivalent Review Fee)
- Approve Preliminary City/Extraterritorial Certified Survey Map (\$250.00 Review Fee)
- Approve Final City/Extraterritorial Subdivision Plat (\$150.00 Review Fee)
- Approve Final Condominium Plat (\$150.00 Review Fee)
- Grant a City/Extraterritorial Subdivision/CSM Variance (\$200.00 Review Fee)
- Development District Map Amendment (\$200.00 Administration Fee)
- Official Map Amendment (\$200.00 Administration Fee)
- Plat of Right-of-Way (\$200.00 Administration Fee)
- Public Utility Easement Acceptance or Discontinuance (\$200.00 Administration Fee)
- Street Name Change (\$200.00 Administration Fee)
- Declare City Property "City Surplus" (\$200.00 Administration Fee)
- Vacate a Street/Alley/Pedestrian Way (\$300.00 Administration Fee) PLEASE FILL OUT PAGE 2 OF APPLICATION
- Closure of Street/A /Pedestrian Way (\$300.00 Administration Fee)
- Comprehensive Plan Amendments (\$375.00 Review Fee)
- Other (\$200.00 Administration Fee): _____

Owner Signature:

Date: 3-26-26

Petitioner Signature(s): _____

Checklist of required attachments:

- Map
- Legal Description
- Applicant Narrative Describing Project
- All Other Pertinent Information

You must meet with Planning staff prior to submission. View City of Green Bay Actions Guide for Rezone, CUP and PUD guidelines - <https://www.greenbaywi.gov/ActionsGuide>

For office use only:

Review Fee: _____

Receipt No.: _____

Zoning Petition No.: _____

SITE PLAN

Lot 16, Block 27 of the recorded C.L.A. Tank's 4th Addition, located in Private Claim 8, West Side of Fox River, City of Green Bay, Brown County, Wisconsin.
~ 1223 S. Chestnut Avenue ~

Bearings are based upon the Wisconsin County Coordinate System, Brown County, the Easterly right of way of S. Chestnut Ave. assumed to be N26°05'31"E.



LEGEND

- ⊙ POINT OF RECORD
- 820 — EXISTING CONTOURS
- ⊖ 820 ⊕ PROPOSED CONTOURS
- EROSION CONTROL
- 2.92% PROPOSED SLOPE ARROWS
- ⊕ 1048.61 EXISTING SPOT ELEVATIONS
- 1048.61 PROPOSED SPOT ELEVATIONS
- PROPOSED BUILDING
- PROPOSED CONCRETE
- TRACKING PAD
- WINDOW WELL

BUILDING ELEVATIONS

TOP OF WALL: 588.2'
FINISHED FLOOR: 589.2'
BASEMENT FLOOR: 580.5'
GARAGE FLOOR: 588.0'

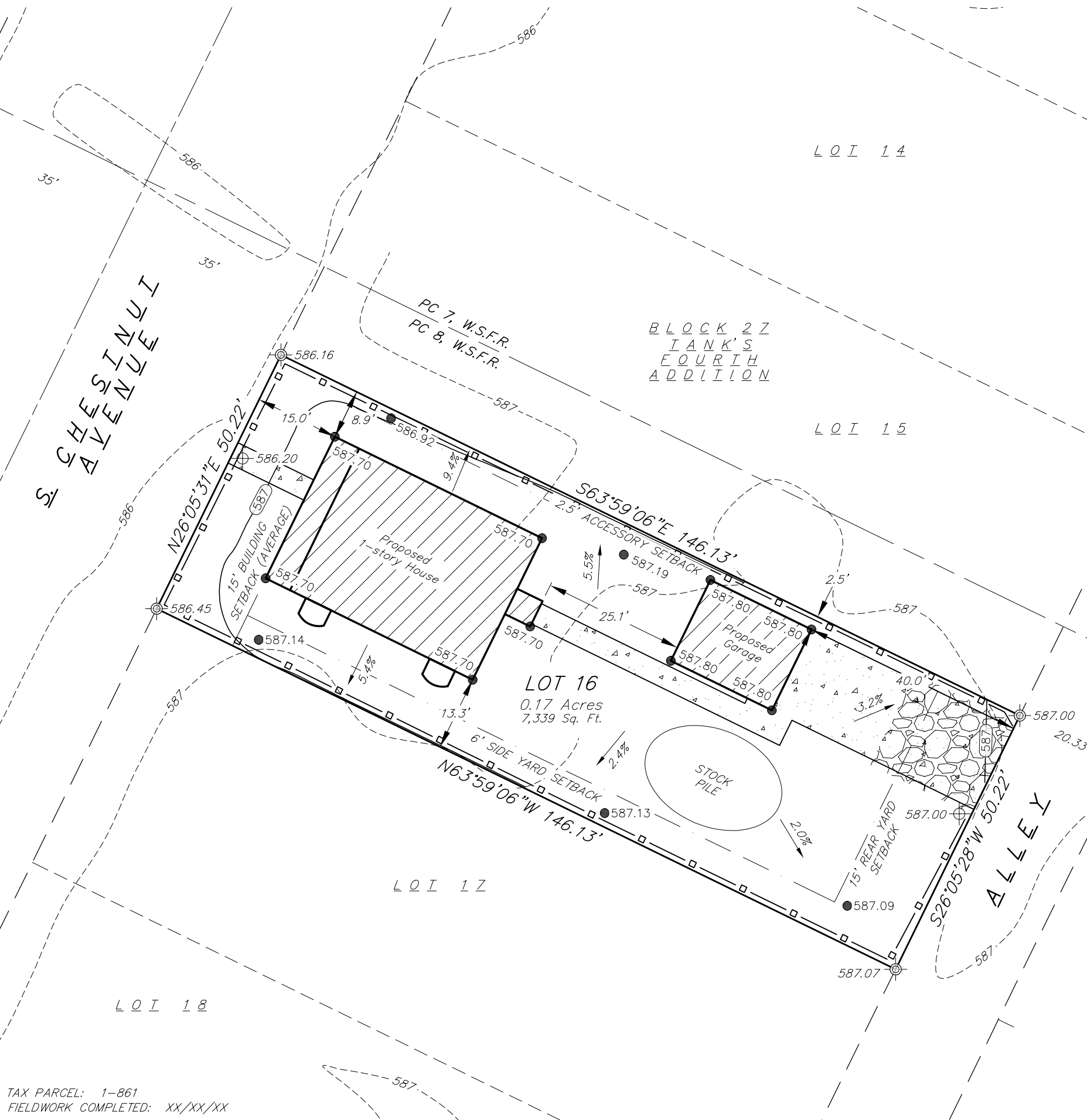
NOTES

Existing contours are from the 2020 Brown County LiDAR data.
Elevations are referenced to the NAVD 88 Benchmark Datum. The conversion factor to the City of Green Bay Datum is -483.79'.
Footprint of proposed house & garage is Foundation Plan from Wisconsin Building Supply Plan No. 26-005-R, dated 1/13/2026.

Proposed Impervious Surface:
Buildings: 1,493 sq. ft.
Concrete: 905 sq. ft.

EROSION & SEDIMENT CONTROL NOTE

FOLLOW THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS AS FOUND AT:
dnr.wisconsin.gov/topic/Stormwater/standards/const_standards.html
ALSO REFER TO CITY OF GREEN BAY ORDINANCE CHAPTER 16 FOR FURTHER REQUIREMENTS.



TAX PARCEL: 1-861
FIELDWORK COMPLETED: XX/XX/XX

SURVEYED BY:
Vierbicher Associates, Inc.
400 Security Blvd, Ste 1
Green Bay, WI 54313
(920) 434-9670

SURVEYED FOR:
Habitat for Humanity
1967 Allouez Ave.
Green Bay, WI 54311
Drawing NO.: X-2426

Job #: 250161
Date: 01/27/2026
Rev:
Drafted By: CMUE
Checked By: BBEL



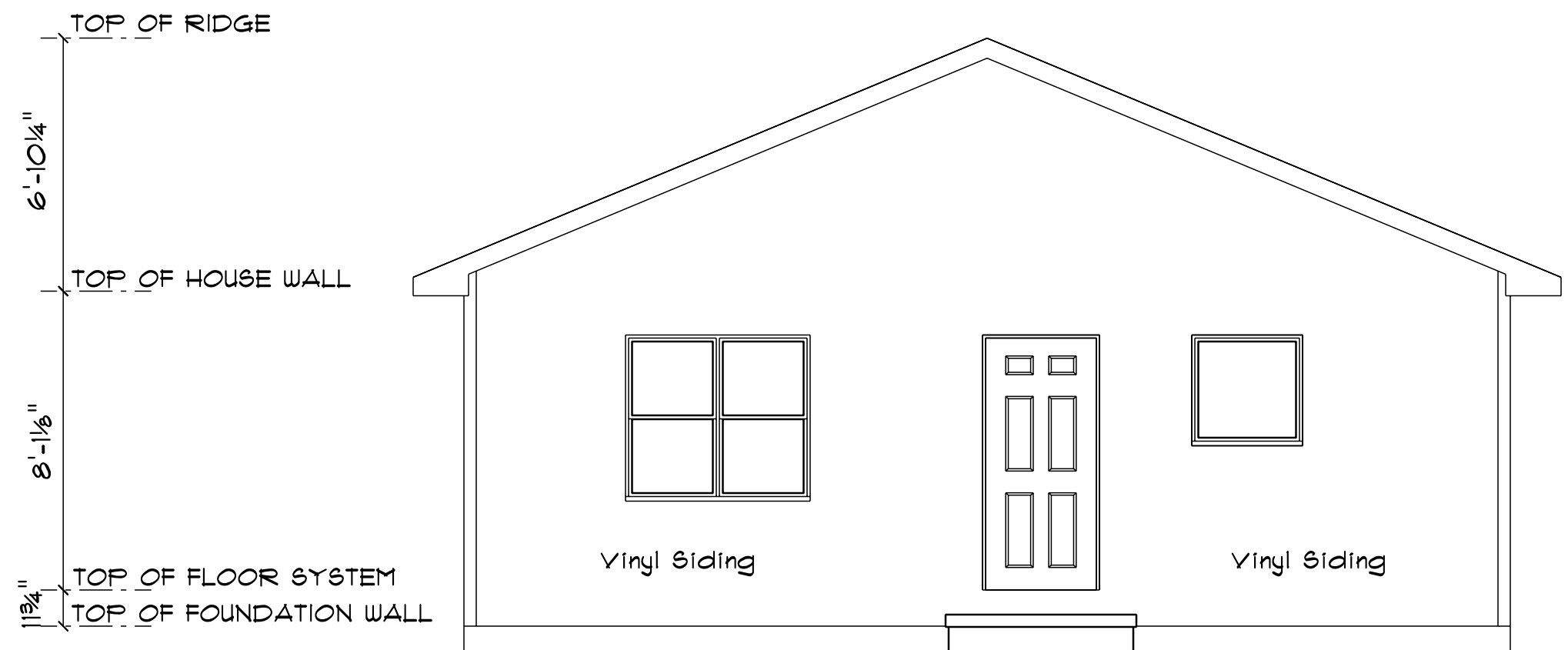
vierbicher
planners | engineers | advisors



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

SQUARE FOOTAGE:	
FIRST FLOOR:	1014
FUT. FIN. BASEMENT:	441
GARAGE:	320
COVERED PORCH:	70



REAR ELEVATION

SCALE: 1/4" = 1'-0"

CUSTOM DESIGNED FOR: **HABITAT FOR HUMANITY**

JOB NAME: 1223 SOUTH CHESTNUT

DATE: 1/13/2026

DRAWN BY: ALI VAN STRATEN

PLAN #: **26-005-R**
(BASED OFF OF PLAN #8-555-R)

IMPORTANT NOTE:

• IT IS AGREED THAT ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING AND CHECKING THESE PLANS FOR ACCURACY, THE GENERAL CONTRACTOR/OWNER MUST REVIEW ALL DIMENSIONS, DETAILS AND NOTES BEFORE BEGINNING ANY CONSTRUCTION AND IS HEREBY HELD RESPONSIBLE FOR ANY DISCOVERED DISCREPANCIES.

• IT IS UNDERSTOOD THAT THE WISCONSIN SAFETY AND PROFESSIONAL SERVICES CODE AND LAYOUT DRAWINGS FOR FLOOR AND ROOF TRUSSES SHALL TAKE FINAL PRECEDENCE OVER THESE ARCHITECTURAL PLANS.

OFFICE:
1930 LARSEN ROAD
GREEN BAY, WI 54303
PHONE (920)496-5080
FAX (920)494-9570

COMPONENTS:
TIVE MORaine TERRACE
GREEN BAY, WI 54303
PHONE (920)496-5094
FAX (920)498-1215

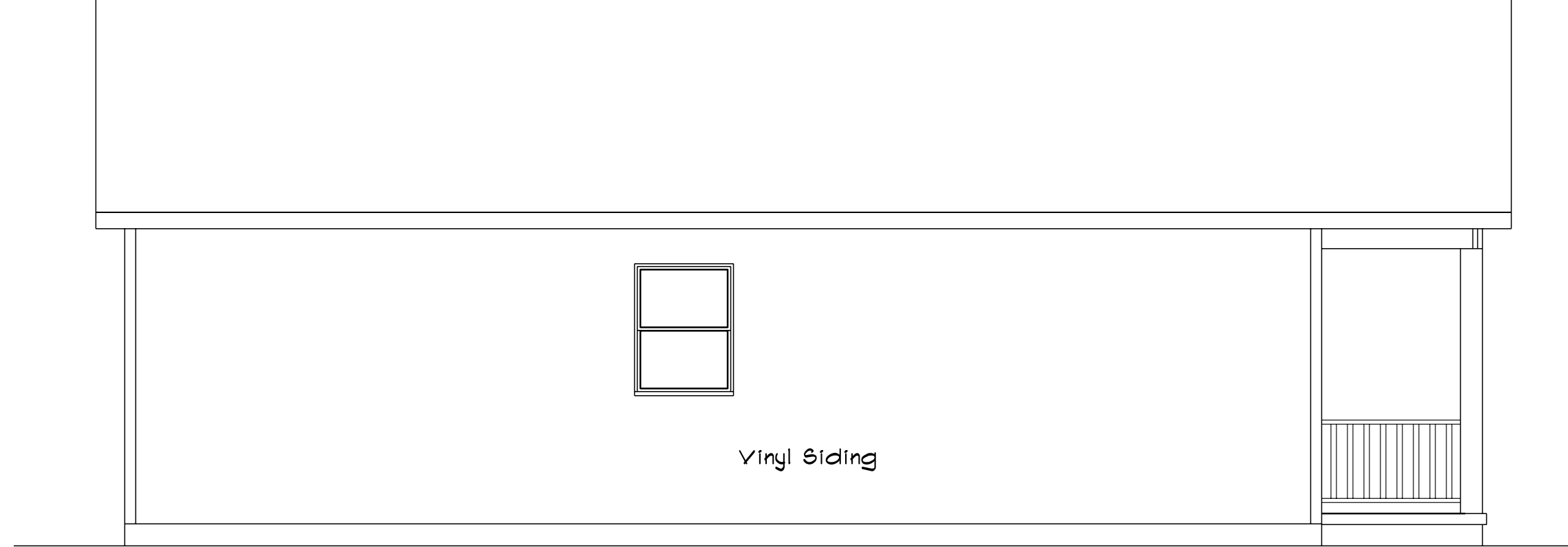
MAILING ADDRESS:
P.O. BOX 10001
GREEN BAY, WI 54301-0001



Wisconsin
BUILDING SUPPLY

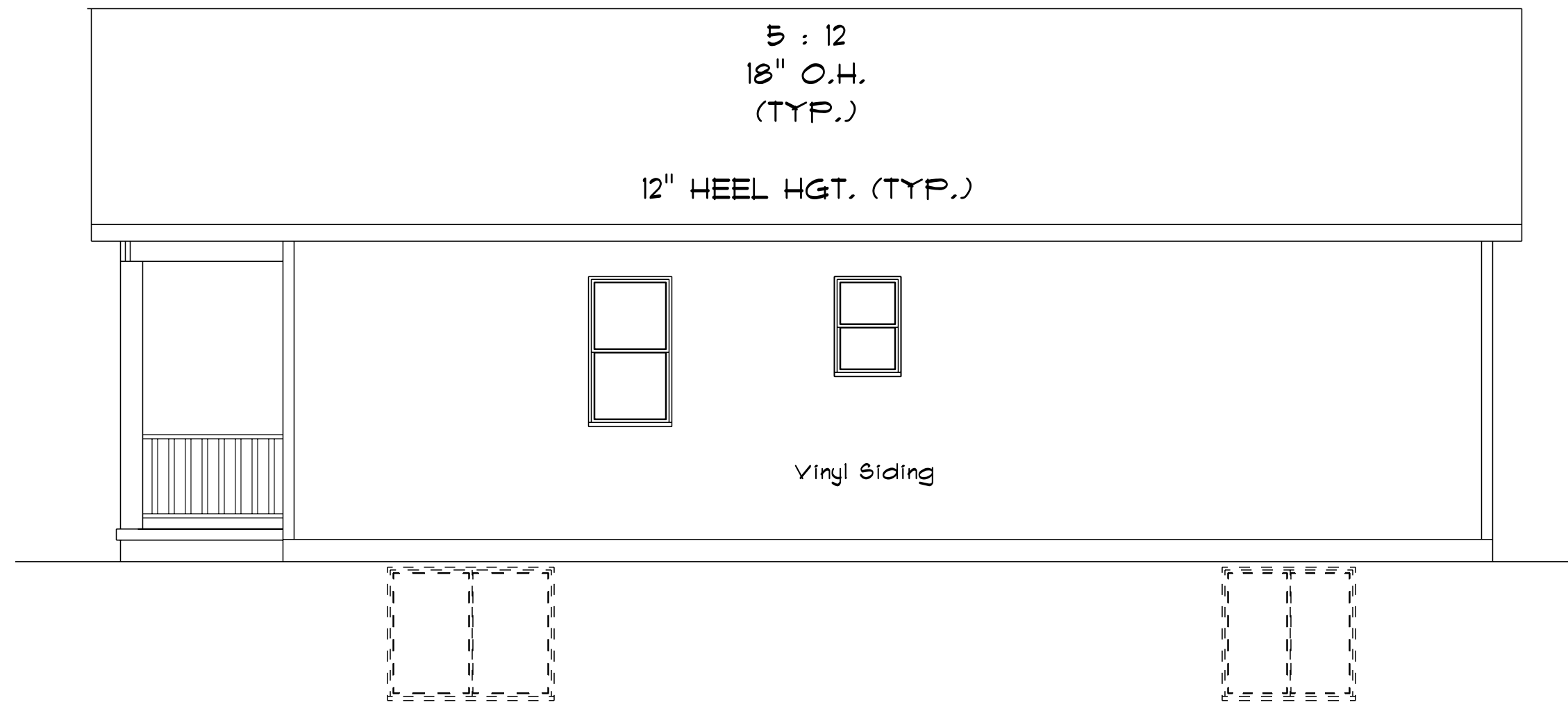
SQUARE FOOTAGE:

FIRST FLOOR: 1014
FUT. FIN. BASEMENT: 441
GARAGE: 320
COVERED PORCH: 10



LEFT ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

CUSTOM DESIGNED FOR: **HABITAT FOR HUMANITY**

JOB NAME: 123 SOUTH CHESTNUT

DATE: 1/13/2026

DRAWN BY: ALI VAN STRATEN

PLAN #: **26-005-R**
(BASED OFF OF PLAN #18-555-R)

REVISIONS:

IMPORTANT NOTE:

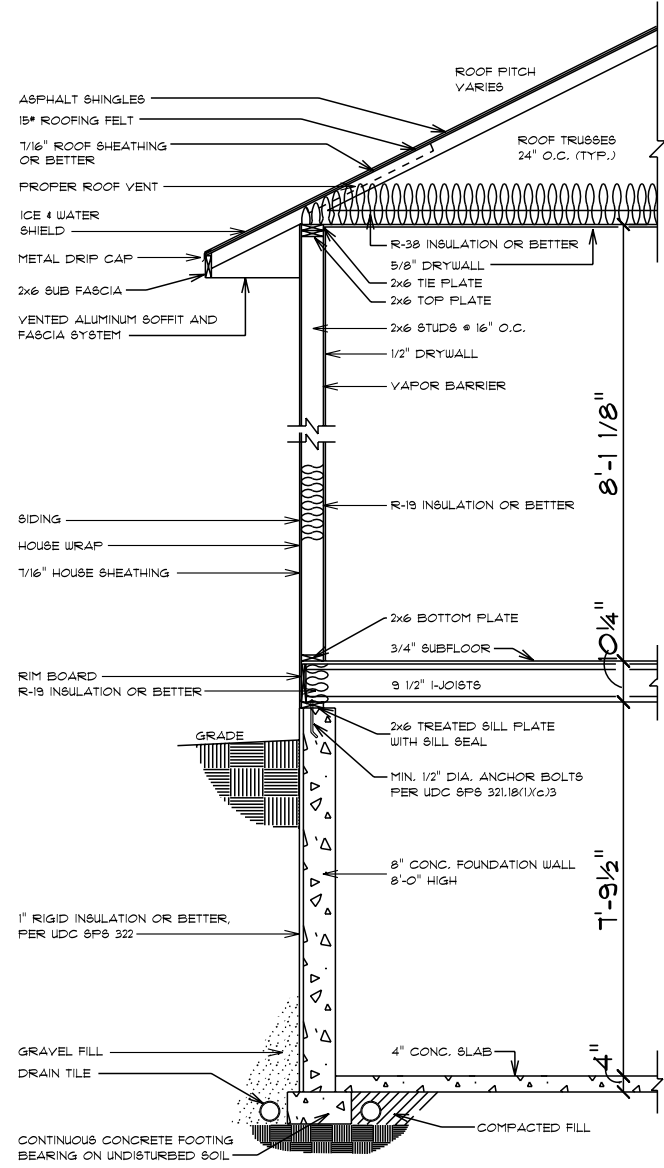
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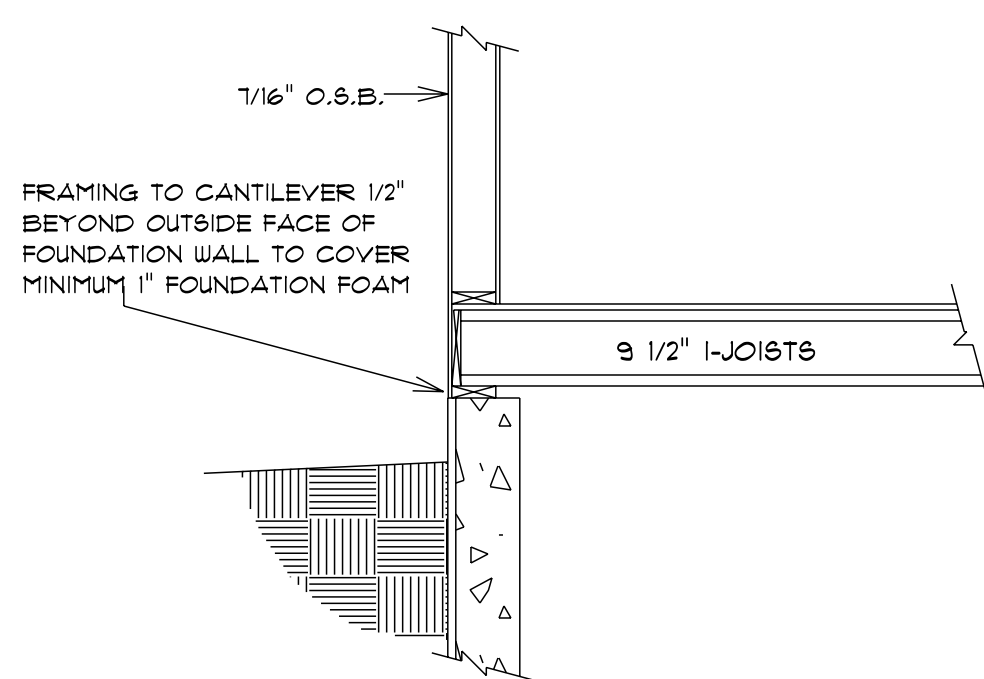
MAILING ADDRESS:
P.O. BOX 10001
GREEN BAY, WI 54301-0001





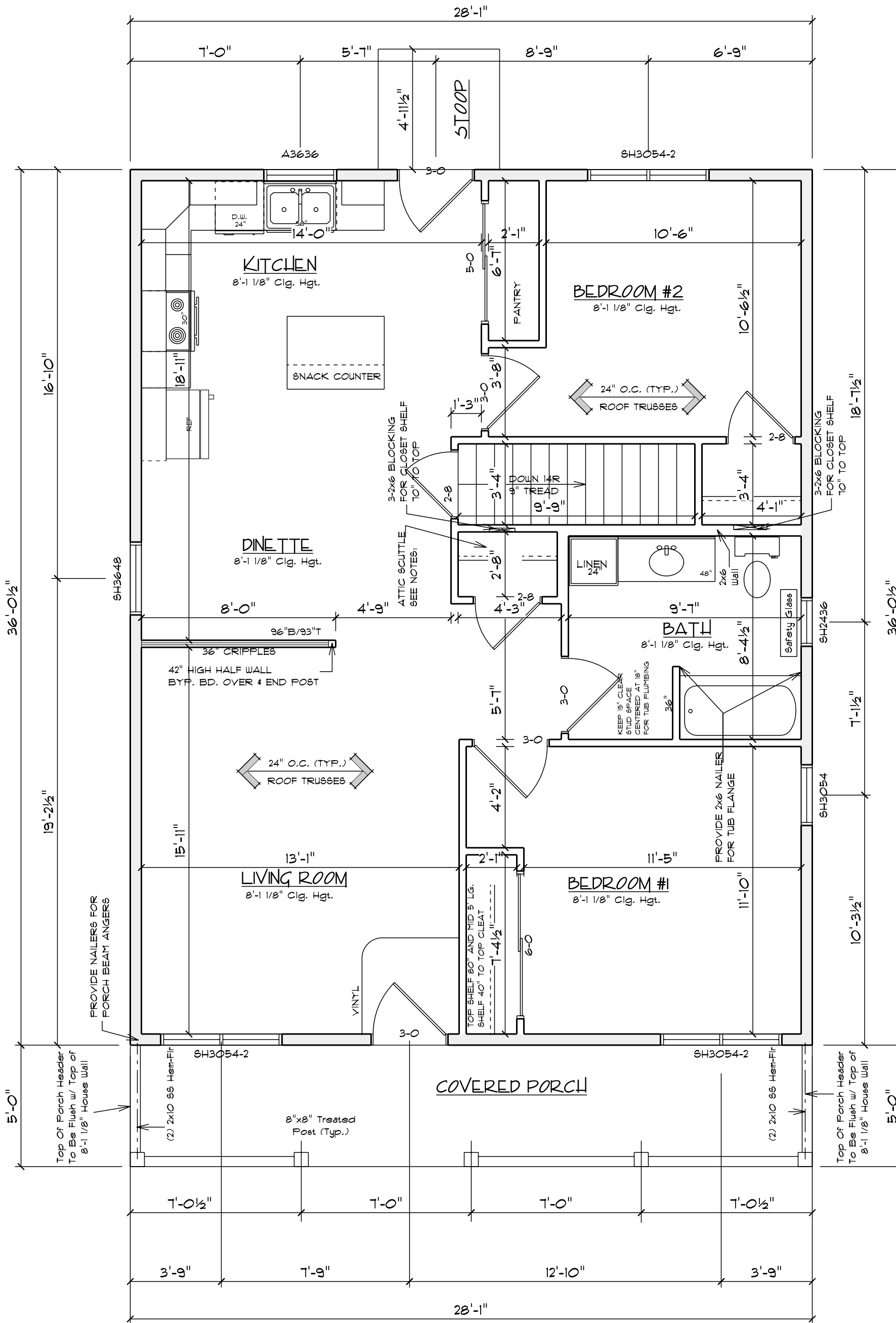
TYPICAL RANCH SECTION
SCALE: 1/4" = 1'-0"

ALL ITEMS TO BE VERIFIED BY CONTRACTOR



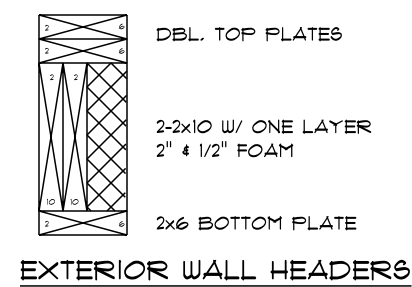
BOX SILL DETAIL
SCALE: 1/2" = 1'-0"

NOTE:
EXTERIOR DIMENSIONS ARE SHOWN TO REFLECT HOUSE FRAMING WALLS HELD OUT 1/2" FOR EXTERIOR WALL SHEATHING TO FLUSH OUT WITH 1" FOUNDATION FOAM. IF FOUNDATION FOAM IS TO BE OTHER THAN 1", FRAMING DIMENSIONS ARE TO BE FIELD ADJUSTED AND MAINTAIN ALL CODE COMPLIANCE ACCORDINGLY.



FLOOR PLAN

SCALE: 1/4" = 1'-0"
8'-1 1/8" CLG. HGT.



SQUARE FOOTAGE:

FIRST FLOOR: 1014
FUT. FIN. BASEMENT: 441
GARAGE: 320
COVERED PORCH: 70

PLAN SPECIFICATIONS:

• THE CONDITIONS LISTED BELOW ARE STANDARD FOR THIS PLAN ONLY - EXCEPTIONS ARE NOTED ON THE PLAN ITSELF

WALL INFORMATION:
HOUSE FOUNDATION: 8" X 8'-0" POURED CONCRETE
PORCH/PATIO FOUNDATION: 6" POURED CONCRETE, MIN. 4'-0" TALL
HOUSE EXTERIOR: FIRST FLOOR: 2 X 6 X 8'-1 1/8", STUDS @ 16" O.C.
HOUSE INTERIOR: FIRST FLOOR: 2 X 4 X 8'-1 1/8", STUDS @ 16" O.C.
• TALL WALLS ARE EXTERIOR WALLS WITH STUDS TALLER THAN 10'-0" AND NEED TO BE DESIGNED BY ENGINEERED WOOD PRODUCTS SUPPLIER
• TAPERED WALLS ARE TO BE FRAMED TO UNDERSIDE OF SCISSOR ROOF TRUSSES

STAIR INFORMATION:
BASEMENT TO FIRST FLOOR: 14 RISERS @ 7 1/8" - 13 TREADS @ 9"

FLOOR SYSTEM(S):
BASEMENT: 4" REINFORCED CONCRETE SLAB
FIRST FLOOR: 9 1/2" JOISTS @ 19.2" O.C. STD. LOADING (PER SQ. FT.) 40# LL, 10# DL
ADDITIONAL LOADING (PER SQ. FT.): 10# DL FOR TILE FLOOR 25# DL FOR GRANITE
DEFLECTION: LLL/480 D/L/340
DURATION OF LOAD: 1.00
• FRAMER TO REFERENCE JOIST/TRUSS LAYOUT PLANS TO VERIFY EXACT SIZE AND LOCATION OF ALL FLUSH HEADERS AND BEAMS IN FLOOR SYSTEM

ROOF SYSTEM:
ENGINEERED WOOD TRUSSES @ 24" O.C. DESIGNED FOR BRONX COUNTY - ZONE #2
STD. LOADING (PER SQ. FT.): 30# TOLL, 10# TCDL, 10# BCDL
DEFLECTION: LLL/240 D/L/180
DURATION OF LOAD: 1.15
• FRAMER TO REFERENCE TRUSS LAYOUT PLANS TO VERIFY EXACT LOCATIONS OF GIRDER TRUSSES AND THEIR RESPECTIVE BEARING REQUIREMENTS & UPLIFT ANCHORING REQUIREMENTS

HEADERS:
• STD. HEADERS: (2) 2X10 HEM-FIR SELECT STRUCTURAL W/ FLAT
• TOP OF WINDOW R.O.S.
• FIRST FLOOR @ 6'-11 3/8" ABOVE SUBFLOOR
• MINIMUM OF (2) TRIM STUDS AT EACH END FOR ALL OPENINGS 6'-0" AND LARGER

WINDOWS:
• ALLIANCE VINYL WINDOWS
• MANUFACTURER TO PROVIDE SUPPLIER WITH EXACT R.O. SIZES AND DETAILS. SUPPLIER TO VERIFY THAT ALL CODE REQUIREMENTS ARE MET.

GENERAL INFORMATION:
• THE FOLLOWING ITEMS ARE TO BE LOCATED IN THE FOUNDATION BY THE GENERAL CONTRACTOR:
BASEMENT WINDOWS FLOOR DRAINS
ELECTRIC SERVICES WATER HEATER
BUMP PIT & PUMP FURNACE
• BUILDER TO PROVIDE HEADERS AT CONCRETE OPENINGS IF NOT NOTED ON THE FOUNDATION PLAN
• POURED CONCRETE FOOTINGS TO BEAR ON UNDISTURBED SOIL BELOW THE FROST LINE
• STEEL COLUMNS TO SUPPORT 12000#
• BEARING WALLS TO SIT ON MINIMUM 16"x26" CONTINUOUS CONCRETE FOOTINGS, STUDS @ 16" O.C. WITH BLOCKING OR LATERAL BRACING
• ASSUMED SOIL CAPACITY IS 3000 PSF, FTG 5IZES MUST BE ADJUSTED FOR VARYING SOIL CONDITIONS
• FOUNDATION WALLS ARE ASSUMED TO BE UNREINFORCED 3000 PSF CONCRETE. WALLS ARE DESIGNED PER W/ 8PS TABLE 321.8-B BASED ON THE HEIGHT OF THE UNBALANCED FILL. PROPER REINFORCEMENT (DESIGNED BY OTHERS) MAY ALLOW FOR WALLS THAT ARE LESS THICK, BUT ANY DEVIATION FROM THE THICKNESS SHOWN ON THE PLAN IS THE RESPONSIBILITY OF THE FOUNDATION CONTRACTOR AND/OR THE GENERAL CONTRACTOR
• ALL LUMBER IN PERMANENT CONTACT W/ CONCRETE MUST BE PRESSURE TREATED LUMBER AS PER W/ 8PS 321.10 DUE TO UNKNOWN GRADE CONDITIONS. ACTUAL STEPS IN FOUNDATION WALLS AND LOCATION OF WINDOW WELLS TO BE DETERMINED ON SITE BY GENERAL CONTRACTOR
• FRAMER IS RESPONSIBLE FOR TRANSFERRING POINT LOADS FROM ABOVE, THROUGH THE FLOOR SYSTEM(S) AND WALLS, W/ SOLID BLOCKING DOWN TO CONCRETE FOUNDATION WALLS BELOW
• PLAN IS DRAIN ACCORDINGLY FOR 3 1/4" CASING
• ALL DIMENSIONS SHOWN ARE FROM STUD TO STUD
• BUILDER TO PROVIDE ATTIC SCUTTLE AND LOCATION
• FIRE SEPARATION MUST BE PROVIDED BETWEEN HOUSE AND GARAGE (SEE CODE FOR DETAILS)
• ALL CABINET LAYOUTS ARE CONCEPTUAL. CONSULT CABINET DESIGNER/ PROVIDER FOR EXACT SIZES AND LOCATIONS OF CABINETS, APPLIANCES, AND WINDOWS

CUSTOM DESIGNED FOR: **HABITAT FOR HUMANITY**

JOB NAME: 123 SOUTH CHESTNUT

DATE: 1/13/2026

DRAWN BY: ALI VAN STRATEN

PLAN #: 26-005-R

(BASED OFF OF PLAN 18-555-R)

IMPORTANT NOTE:

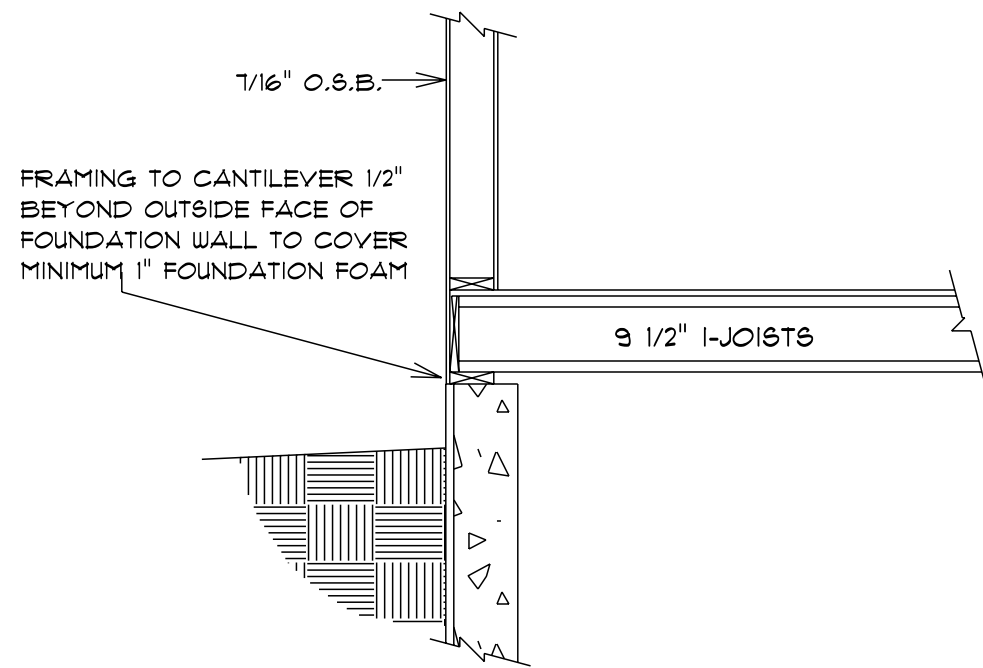
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OFFICE:
1930 LARGEN ROAD
GREEN BAY, WI 54303
PHONE (920)456-5080
FAX (920)454-9510

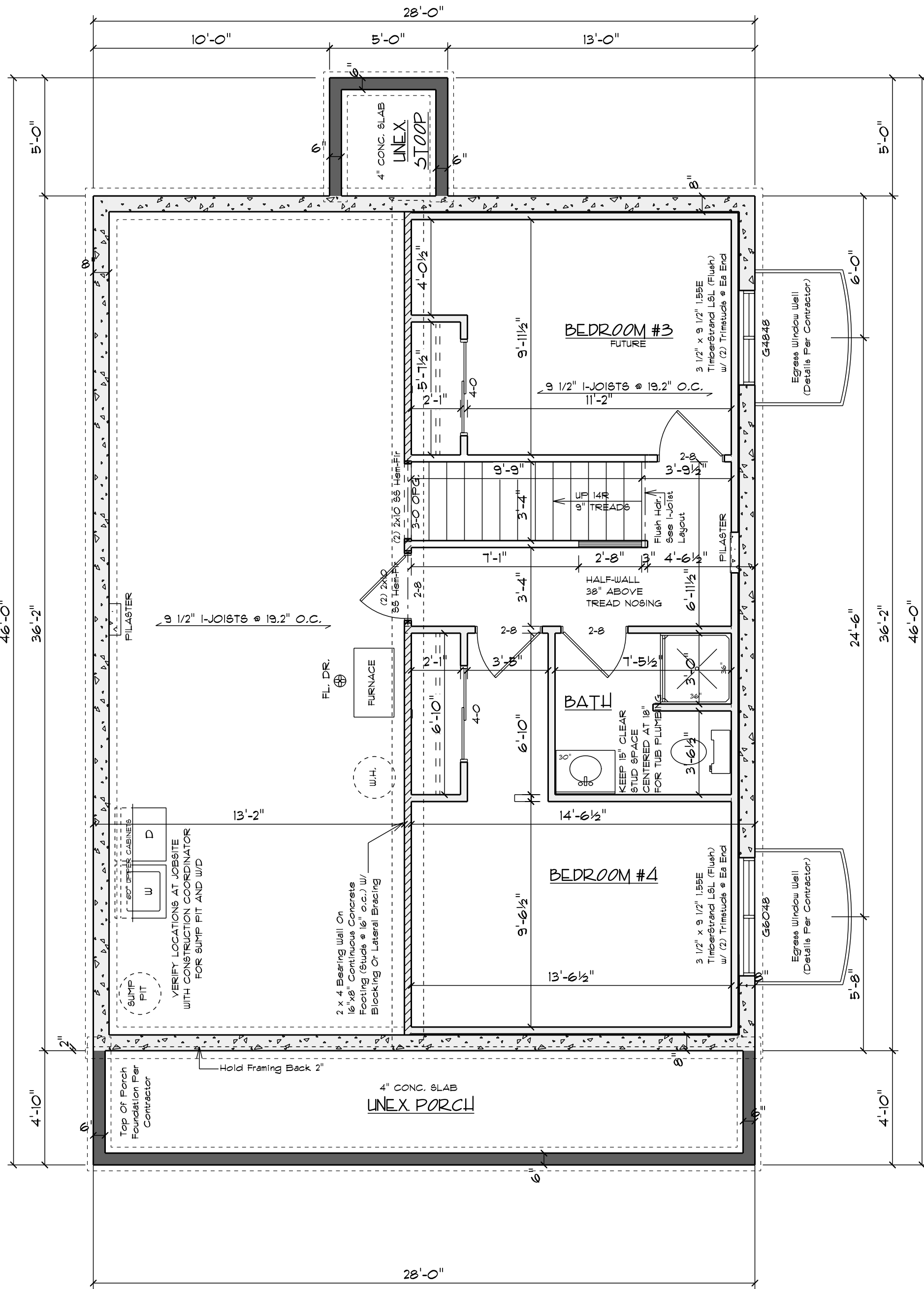
COMPONENTS:
ITVS MOORINE TERRACE
GREEN BAY, WI 54303
PHONE (920)456-5054
FAX (920)458-1215

MAILING ADDRESS:
P.O. BOX 10000
GREEN BAY, WI 54301-0000





BOX SILL DETAIL
SCALE: 1/2" = 1'-0"



FOUNDATION PLAN
SCALE: 1/4" = 1'-0"
8'-0" FOUNDATION WALL HGT.

SQUARE FOOTAGE:

FIRST FLOOR:	1014
FUT. FIN. BASEMENT:	441
GARAGE:	320
COVERED PORCH:	70

PLAN SPECIFICATIONS:

• THE CONDITIONS LISTED BELOW ARE STANDARD FOR THIS PLAN ONLY - EXCEPTIONS ARE NOTED ON THE PLAN ITSELF

WALL INFORMATION:
HOUSE FOUNDATION:
8" x 8'-0" FOAMED CONCRETE
PORCH/FATIO FOUNDATION:
6" FOAMED CONCRETE, MIN. 4'-0" TALL
HOUSE EXTERIOR:
FIRST FLOOR: 2 x 4 x 8'-1 1/8", STUDS @ 16" O.C.
HOUSE INTERIOR:
FIRST FLOOR: 2 x 4 x 8'-1 1/8", STUDS @ 16" O.C.
• TALL WALLS ARE EXTERIOR WALLS WITH STUDS TALLER THAN 10'-0" AND NEED TO BE DESIGNED BY ENGINEERED WOOD PRODUCTS SUPPLIER
• TAPERED WALLS ARE TO BE FRAMED TO UNDERSIDE OF SCISSOR ROOF TRUSSES

STAIR INFORMATION:
BASEMENT TO FIRST FLOOR:
14 RISERS @ 7 1/16" - 13 TREADS @ 9"

FLOOR SYSTEM(S):
BASEMENT:
4" REINFORCED CONCRETE SLAB
FIRST FLOOR:
9 1/2" I-JOISTS @ 19.2" O.C.
8TD. LOADS (PER SQ. FT.):
40' LL, 10' DL
ADDITIONAL LOADING (PER SQ. FT.):
10' DL FOR TILE FLOOR
25' DL FOR GRANITE
DEFLECTION: LL: L/480 DL: L/240
DURATION OF LOAD: 100%

FRAMER TO REFERENCE JOIST/TRUSS LAYOUT PLANS TO VERIFY EXACT SIZE AND LOCATION OF ALL FLUSH HEADERS AND BEAMS IN FLOOR SYSTEM

ROOF SYSTEM:
ENGINEERED WOOD TRUSSES @ 24" O.C.
DESIGNED FOR BROWN COUNTY - ZONE #2
8TD. LOADS (PER SQ. FT.):
30' TOLL, 10' TCDL, 10' BCDL
DEFLECTION: LL: L/240 DL: L/180
DURATION OF LOAD: 15%

FRAMER TO REFERENCE TRUSS LAYOUT PLANS TO VERIFY EXACT LOCATIONS OF GIRDER TRUSSES AND THEIR RESPECTIVE BEARING REQUIREMENTS & UPLIFT ANCHORING REQUIREMENTS

HEADERS:
• 6TD. HEADERS: (2) 2X10 HEM-FIR SELECT STRUCTURAL W/ FLAT
• TOP OF WINDOW R.O.S.
• FIRST FLOOR @ 6'-1 3/8" ABOVE SUBFLOOR
• MINIMUM OF (2) TRIM STUDS AT EACH END FOR ALL OPENINGS 6'-0" AND LARGER

WINDOWS:
• ALLIANCE VINYL WINDOWS
• MANUFACTURER TO PROVIDE SUPPLIER WITH EXACT R.O. SIZES AND DETAILS. SUPPLIER TO VERIFY THAT ALL CODE REQUIREMENTS ARE MET.

GENERAL INFORMATION:
• THE FOLLOWING ITEMS ARE TO BE LOCATED IN THE FOUNDATION BY THE GENERAL CONTRACTOR:
BASEMENT WINDOWS FLOOR DRAINS
ELECTRIC SERVICES WATER HEATER
SUMP PIT & PUMP FURNACE
• BUILDER TO PROVIDE HEADERS AT CONCRETE OPENINGS IF NOT NOTED ON THE FOUNDATION PLAN
• FOAMED CONCRETE FOOTINGS TO BEAR ON UNDISTURBED SOIL BELOW THE FROST LINE
• STEEL COLUMNS TO SUPPORT 12,000#
• BEARING WALLS TO SIT ON MINIMUM 16"X8" CONTINUOUS CONCRETE FOOTINGS, STUDS @ 16" O.C. WITH BLOCKING OR LATERAL BRACING
• ASSUMED SOIL CAPACITY IS 3,000 PSF. FTG. SIZES MUST BE ADJUSTED FOR VARYING SOIL CONDITIONS
• FOUNDATION WALLS ARE ASSUMED TO BE UNREINFORCED 3,000 PSI CONCRETE. WALLS ARE DESIGNED PER UH SFS TABLE 321.8-B BASED ON THE HEIGHT OF THE UNBALANCED FILL. PROPER REINFORCEMENT (DESIGNED BY OTHERS) MAY ALLOW FOR WALLS THAT ARE LESS THICK, BUT ANY DEVIATION FROM THE THICKNESS SHOWN ON THE PLAN IS THE RESPONSIBILITY OF THE FOUNDATION CONTRACTOR AND/OR THE GENERAL CONTRACTOR
• ALL LUMBER IN PERMANENT CONTACT W/ CONCRETE MUST BE PRESSURE TREATED LUMBER AS PER UH SFS 321.10
• DUE TO UNKNOWN GRADE CONDITIONS, ACTUAL STEPS IN FOUNDATION WALLS AND LOCATION OF WINDOW WELLS TO BE DETERMINED ON SITE BY GENERAL CONTRACTOR
• FRAMER IS RESPONSIBLE FOR TRANSFERRING POINT LOADS FROM ABOVE, THROUGH THE FLOOR SYSTEM(S) AND WALLS, W/ SOLID BLOCKING DOWN TO CONCRETE FOUNDATION WALLS BELOW
• PLAN IS DRAINAGE ACCORDINGLY FOR 3 1/4" CASING
• ALL DIMENSIONS SHOWN ARE FROM STUD TO STUD
• BUILDER TO PROVIDE ATTIC SCUTTLE AND LOCATION
• FIRE SEPARATION MUST BE PROVIDED BETWEEN HOUSE AND GARAGE (SEE CODE FOR DETAILS)
• ALL CABINET LAYOUTS ARE CONCEPTUAL. CONSULT CABINET DESIGNER/ PROVIDER FOR EXACT SIZES AND LOCATIONS OF CABINETS, APPLIANCES, AND WINDOWS

CUSTOM DESIGNED FOR: **HABITAT FOR HUMANITY**

JOB NAME: 1223 SOUTH CHESTNUT	REVISIONS:
DATE: 1/13/2026	
DRAWN BY: ALI VAN STRATEN	
PLAN #: 26-005-R	
(BASED OFF OF PLAN 18-555-R)	

IMPORTANT NOTE:

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• IT IS UNDERSTOOD THAT THE WISCONSIN SAFETY AND PROFESSIONAL SERVICES CODE AND LAYOUT DRAWINGS FOR FLOOR AND ROOF TRUSSES SHALL TAKE FINAL PRECEDENCE OVER THESE ARCHITECTURAL PLANS.

OFFICE:
1930 LARSEN ROAD
P.O. BOX 10000
GREEN BAY, WI 54303
PHONE (920)486-5080
FAX (920)484-9510

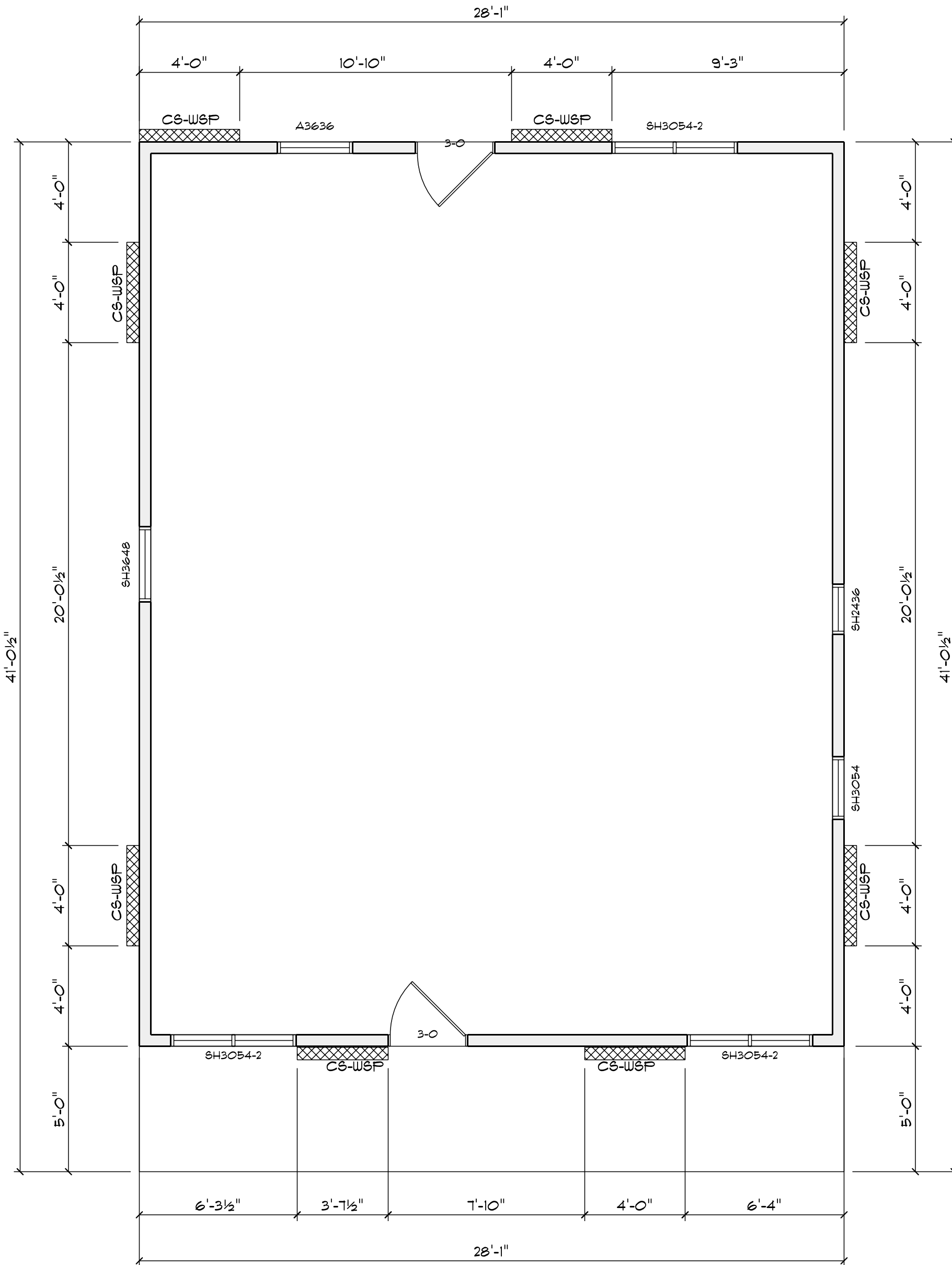
COMPONENTS:
ITVS MOORINE TERRACE
GREEN BAY, WI 54303
PHONE (920)486-5054
FAX (920)488-1215

Mailing Address:
P.O. Box 10000
Green Bay, WI 54303

Wisconsin
BUILDING SUPPLY

Interpolation Of Table 321.25-J Was Performed To Achieve Req'd Bracing Length

TOTAL SIDE LENGTH: 36'-0 1/2"
BRACING METHOD: CONTINUOUSLY SHEATHED
EXPOSURE CATEGORY: C
TOTAL PANEL LENGTH REQUIRED: 6'-1"
TOTAL PANEL LENGTH PROVIDED: 8'-0"



Interpolation Of Table 321.25-J Was Performed To Achieve Req'd Bracing Length

TOTAL SIDE LENGTH: 36'-0 1/2"
BRACING METHOD: CONTINUOUSLY SHEATHED
EXPOSURE CATEGORY: C
TOTAL PANEL LENGTH REQUIRED: 6'-1"
TOTAL PANEL LENGTH PROVIDED: 8'-0"

TOTAL SIDE LENGTH: 28'-1"
BRACING METHOD: CONTINUOUSLY SHEATHED
EXPOSURE CATEGORY: C
TOTAL PANEL LENGTH REQUIRED: 5'-1"
TOTAL PANEL LENGTH PROVIDED: 8'-0"

Interpolation Of Table 321.25-J Was Performed To Achieve Req'd Bracing Length

TOTAL SIDE LENGTH: 28'-1"
BRACING METHOD: CONTINUOUSLY SHEATHED
EXPOSURE CATEGORY: C
TOTAL PANEL LENGTH REQUIRED: 5'-1"
TOTAL PANEL LENGTH PROVIDED: 8'-0"

Interpolation Of Table 321.25-J Was Performed To Achieve Req'd Bracing Length

WALL BRACING LAYOUT PLAN

Scale: 1/4" = 1'-0"
House Wall Ht.: 8'-1 1/8"
Top-Of-Wall-To-Ridge Ht.: 6'-10 1/4"
Exterior Stud Spacing: 16" O.C.
Seismic Design: B

GENERAL NOTES:

- WALL BRACING, SPS 321.25 (8)
- ◁ CIRCUMSCRIBED RECTANGLES
 - ◁ EACH FLOOR PLAN LEVEL SHALL BE CIRCUMSCRIBED WITH ONE OR MORE RECTANGLES AROUND THE ENTIRE FLOOR PLAN AT THE FLOOR LEVEL UNDER CONSIDERATION. WHEN MULTIPLE RECTANGLES ARE USED, EACH SIDE SHALL BE BRACED AS THOUGH IT WERE A SEPARATE BUILDING AND THE BRACING AMOUNT ADDED TOGETHER ALONG THE COMMON WALL WHERE ADJACENT RECTANGLES OVERLAP OR ABUT.
 - ◁ EACH RECTANGLE SHALL HAVE A MAXIMUM RECTANGLE LENGTH-TO-WIDTH RATIO OF 3:1.
 - ◁ BRACED WALL PANEL (BWP) LOCATIONS: WITHIN 12'-6" FROM EACH SIDE AND 21'-0" PANEL EDGE TO PANEL EDGE (SEE FIGURE 321.25-C)
 - ◁ ALL EDGES OF PANEL-TYPE BRACING, EXCEPT HORIZONTAL JOINTS IN GB BRACING, SHALL BE ATTACHED TO FRAMING OR BLOCKING.
 - ◁ THE INTERIOR SIDE OF ALL EXTERIOR WALLS SHALL BE SHEATHED WITH MINIMUM 1/2" GYPSUM WALLBOARD UNLESS OTHERWISE PERMITTED TO BE EXCLUDED BY THIS SUBSECTION. (THIS REQUIREMENT IS EXCLUDED IN PORTAL FRAME METHOD)
 - ◁ BRACING WITH CS-WSP SHALL HAVE SHEATHING INSTALLED ON ALL SHEATHABLE SURFACES ABOVE, BELOW, AND BETWEEN WALL OPENINGS.
 - ◁ EACH BRACED WALL PANEL MAY CONTAIN NO MORE THAN ONE HOLE, HAVING A MAXIMUM DIMENSION OF NO MORE THAN TEN PERCENT OF THE LEAST DIMENSION OF THE PANEL, AND CONFINED TO THE MIDDLE THREE-FORTHS OF THE PANEL.
 - ◁ BLOCKING AND BRIDGING: 2x18 BRIDGING USED AT PARALLEL BOX SILL AND FLOOR JOIST. BRIDGING @ 32" O.C. IS THE SAME DEPTH AS THE JOIST.
 - ◁ WHERE JOISTS ARE PERPENDICULAR TO BWL'S ABOVE OR BELOW, BLOCKING SHALL BE PROVIDED BETWEEN THE JOISTS AT BWP LOCATIONS TO PERMIT FASTENING OF WALL PLATES WITH 16d NAILS @ 16" O.C.
 - ◁ WHERE JOISTS ARE PARALLEL TO BWL'S ABOVE OR BELOW, A RIM JOIST OR OTHER PARALLEL FRAMING MEMBER SHALL BE PROVIDED AT THE BWP TO PERMIT FASTENING OF WALL PLATES WITH 16d NAILS @ 16" O.C.

WALL BRACING MATERIAL LEGEND

	(CONTINUOUSLY SHEATHED WOOD STRUCTURAL PANEL) 3/8" THICK SHEATHING FOR MAX. 16" o.c. STUD SPACING 1/16" THICK SHEATHING FOR MAX. 24" o.c. STUD SPACING FASTEN WITH 6d COMMON NAIL OR 6d BOX NAIL (2 3/8" LONG x 0.115" DIA.) OR 7/16" or 1/2" CROWN 16 GAGE STAPLES, 1 1/4" LONG MAXIMUM FASTENER SPACING: 6" EDGES, 12" FIELD (NAILS) / 3" EDGES, 6" FIELD (STAPLES)
--	---

TABLE 321.25-H a,b
MINIMUM WIDTHS OF CS-WSP BRACED WALL PANELS

MAXIMUM OPENING HEIGHT ADJACENT TO BRACED WALL PANEL	MINIMUM LENGTH OF FULL-HEIGHT BRACED WALL PANEL (INCHES)			
	8' TALL WALL	9' TALL WALL	10' TALL WALL	12' TALL WALL
5' - 4"	24	27	30	36
6' - 8"	32	30	30	36
7' - 2" (7' Gar. Dr.)	38	35	33	36
8' - 0"	48	41	38	36
8' - 2" (8' Gar. Dr.)	-	43	39	37
9' - 0"	-	54	46	41
10' - 0"	-	-	60	48
12' - 0"	-	-	-	72

a. SHEATHING SHALL EXTEND FROM TOP OF THE TOP PLATE TO THE BOTTOM PLATE AND MAY BE MULTIPLE SHEETS. ALL JOINTS SHALL BE BLOCKED.
b. INTERPOLATION IS PERMITTED

CUSTOM DESIGNED FOR: **HABITAT FOR HUMANITY**

JOB NAME: 1223 SOUTH CHESTNUT

DATE: 1/13/2026

REVISIONS:

DRAWN BY: ALI VAN STRATEN

PLAN #:

(BASED OFF OF

PLAN 18-525-R)

26-005-R

IMPORTANT NOTE:

IT IS AGREED THAT ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING AND CHECKING THESE PLANS FOR ACCURACY, THE GENERAL CONTRACTOR/OWNER MUST REVIEW ALL DIMENSIONS, DETAILS AND NOTES BEFORE BEGINNING ANY CONSTRUCTION AND IS HEREBY HELD RESPONSIBLE FOR ANY DISCOVERED DISCREPANCIES.

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COMPONENTS:
ITV MORaine TERRACE
GREEN BAY, WI 54303
PHONE (920)496-5054
FAX (920)498-1215

MAILING ADDRESS:
P.O. BOX 10001
GREEN BAY, WI 54307-0001





REQUEST FOR CITY ACTION PLAN COMMISSION

Community and Economic
Development Department
100 N. Jefferson Street, Rm 608
Green Bay, WI 54301-5026
(920) 448-3400 - phone
(920) 448-3426 - fax
planning@greenbaywi.gov
www.greenbaywi.gov

Location of Property: 1322 S. Chestnut

Parcel Number(s): 1-898

Petitioner(s): Greater Green Bay Habitat for Humanity Date: 03/26/2026

Email: _____ Phone Number: 9 _____

Address: 1967 Allouez Avenue City: Green Bay State: WI Zip: 54311

Property Owner: Greater Green Bay Habitat for Humanity Phone Number: 9 2

Submit this Request Form and all required attachments to the Community and Economic Development Department, Room 608, City Hall

To: Honorable Mayor and Common Council, c/o City Clerk

I, Matt Sahs, respectfully request that the City of Green Bay take the following action:

- Rezone Property (\$375.00 Review Fee)
- Conditional Use and CUP Amendment, including Single Lot Duplexes (\$375.00 Review Fee)
- Planned Unit Development (PUD)/New (\$600.00 Review Fee)
- Planned Unit Development (PUD)/Amendment (\$250.00 Review Fee)
- Approve Preliminary City/Extraterritorial Subdivision Plat (\$150.00 + \$35.00 per Lot/Outlot Review Fee)
- Approve Preliminary Condominium Plat (\$250.00 + \$35.00 per Lot/Outlot/Lot Equivalent Review Fee)
- Approve Preliminary City/Extraterritorial Certified Survey Map (\$250.00 Review Fee)
- Approve Final City/Extraterritorial Subdivision Plat (\$150.00 Review Fee)
- Approve Final Condominium Plat (\$150.00 Review Fee)
- Grant a City/Extraterritorial Subdivision/CSM Variance (\$200.00 Review Fee)
- Development District Map Amendment (\$200.00 Administration Fee)
- Official Map Amendment (\$200.00 Administration Fee)
- Plat of Right-of-Way (\$200.00 Administration Fee)
- Public Utility Easement Acceptance or Discontinuance (\$200.00 Administration Fee)
- Street Name Change (\$200.00 Administration Fee)
- Declare City Property "City Surplus" (\$200.00 Administration Fee)
- Vacate a Street/Alley/Pedestrian Way (\$300.00 Administration Fee) PLEASE FILL OUT PAGE 2 OF APPLICATION
- Closure of Street/Alley/Pedestrian Way (\$300.00 Administration Fee)
- Comprehensive Plan Amendments (\$375.00 Review Fee)
- Other (\$200.00 Administration Fee): _____

Owner Signature: Date: 3-26-26

Petitioner Signature(s): _____

- Checklist of required attachments:**
- Map
 - Legal Description
 - Applicant Narrative Describing Project
 - All Other Pertinent Information

You must meet with Planning staff prior to submission. View City of Green Bay Actions Guide for Rezone, CUP and PUD guidelines - <https://www.greenbaywi.gov/ActionsGuide>

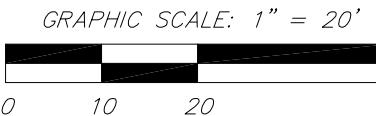
For office use only:
Review Fee: _____ Receipt No.: _____ Zoning Petition No.: _____

SITE PLAN

Lot 5, Block 33 of the recorded C.L.A. Tank's 6th Addition, located in Private Claim 9, West Side of Fox River, City of Green Bay, Brown County, Wisconsin.
~ 1322 S. Chestnut Avenue ~



Bearings are based upon the Wisconsin County Coordinate System, Brown County, the Westerly right of way of S. Chestnut Avenue assumed to be S26°00'43"W.



LEGEND

- ⊙ POINT OF RECORD
- 820 - EXISTING CONTOURS
- ⊖ 820 ⊕ PROPOSED CONTOURS
- EROSION CONTROL
- 2.92% PROPOSED SLOPE ARROWS
- ⊕ 1048.61 EXISTING SPOT ELEVATIONS
- 1048.61 PROPOSED SPOT ELEVATIONS
- PROPOSED BUILDING
- PROPOSED CONCRETE
- TRACKING PAD
- WINDOW WELL

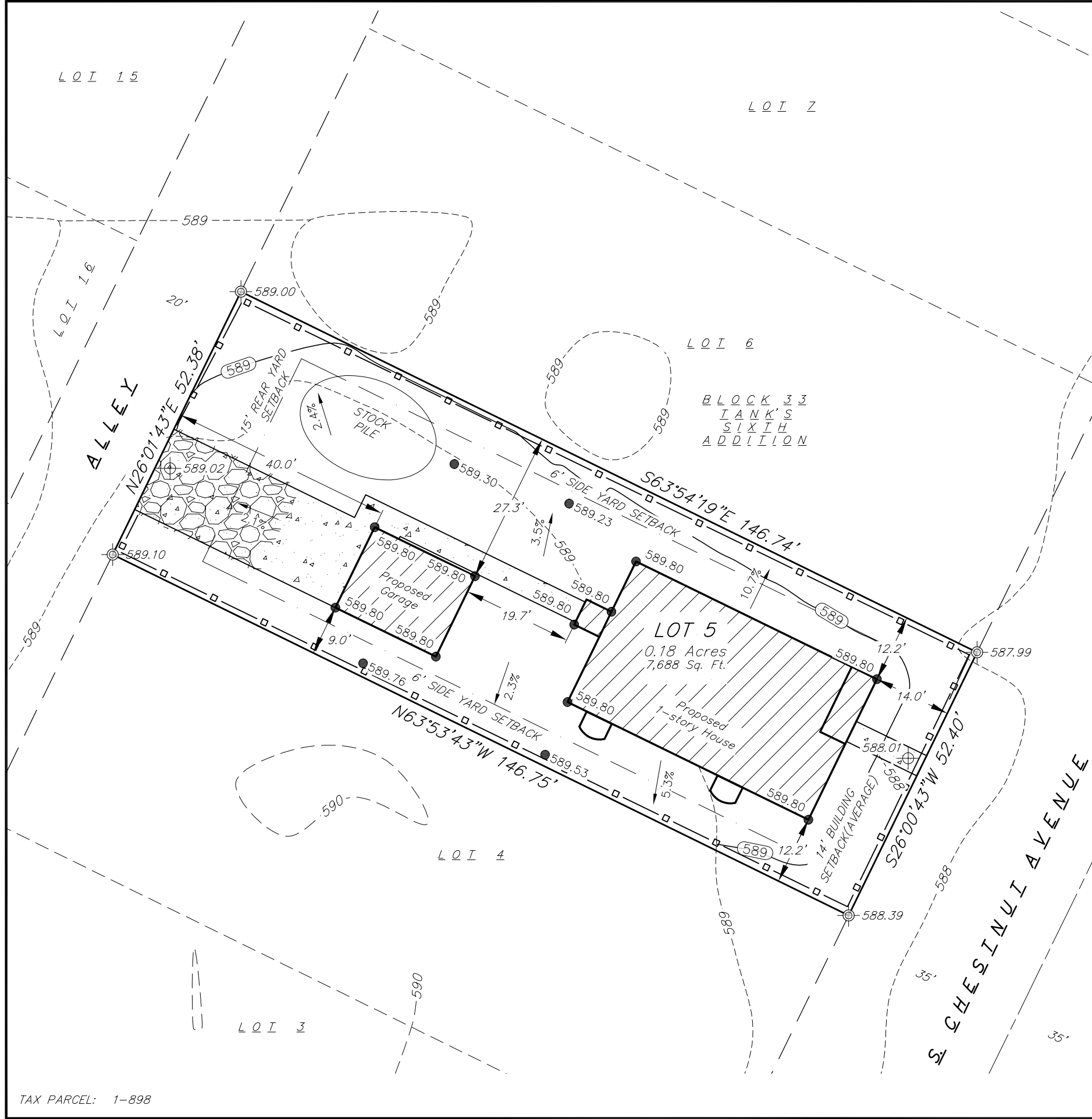
BUILDING ELEVATIONS
TOP OF WALL: 590.3'
FINISHED FLOOR: 591.3'
BASEMENT FLOOR: 582.6'
GARAGE FLOOR: 590.0'

NOTES

- Existing contours are from the 2020 Brown County LiDAR data.
- Elevations are referenced to the NAVD 88 Benchmark Datum. The conversion factor to the City of Green Bay Datum is -483.79'.
- Footprint of proposed house & garage is Foundation Plan from Wisconsin Building Supply Plan No. 17-422-R, revised date 2/27/26.
- Proposed Impervious Surface:
Buildings: 1,689 sq. ft.
Concrete: 876 sq. ft.

EROSION & SEDIMENT CONTROL NOTE

FOLLOW THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS AS FOUND AT:
dnr.wisconsin.gov/topic/Stormwater/standards/const_standards.html
ALSO REFER TO CITY OF GREEN BAY ORDINANCE CHAPTER 16 FOR FURTHER REQUIREMENTS.



SURVEYED BY:
Vierbicher Associates, Inc.
400 Security Blvd, Ste 1
Green Bay, WI 54313
(920) 434-9670

SURVEYED FOR:
Habitat for Humanity
1967 Allouez Ave.
Green Bay, WI 54311
Drawing NO.: X-2484

Job #: 250161
Date: 03/25/2026
Rev:
Drafted By: CMUE
Checked By: BBEI

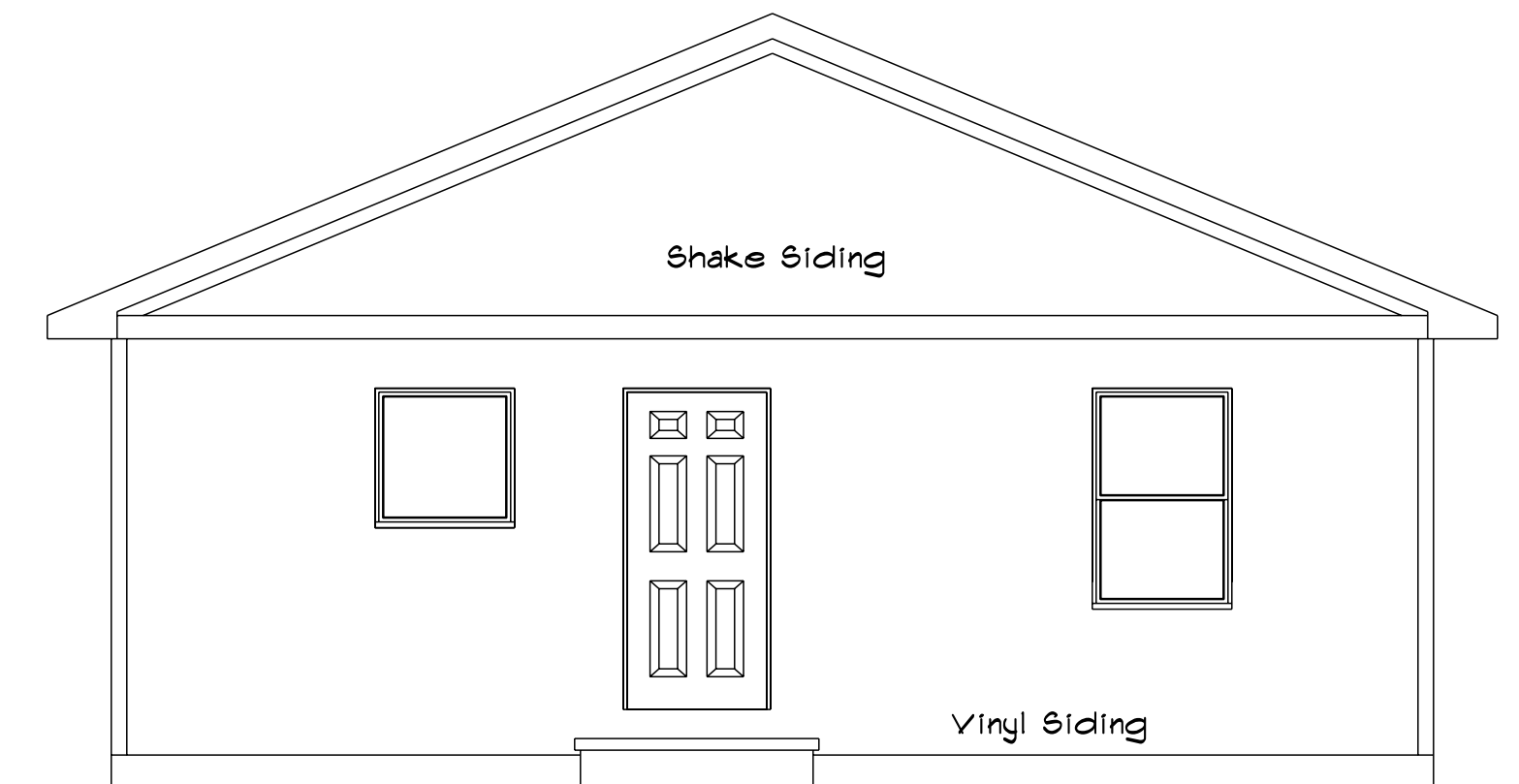


vierbicher
planners | engineers | advisors



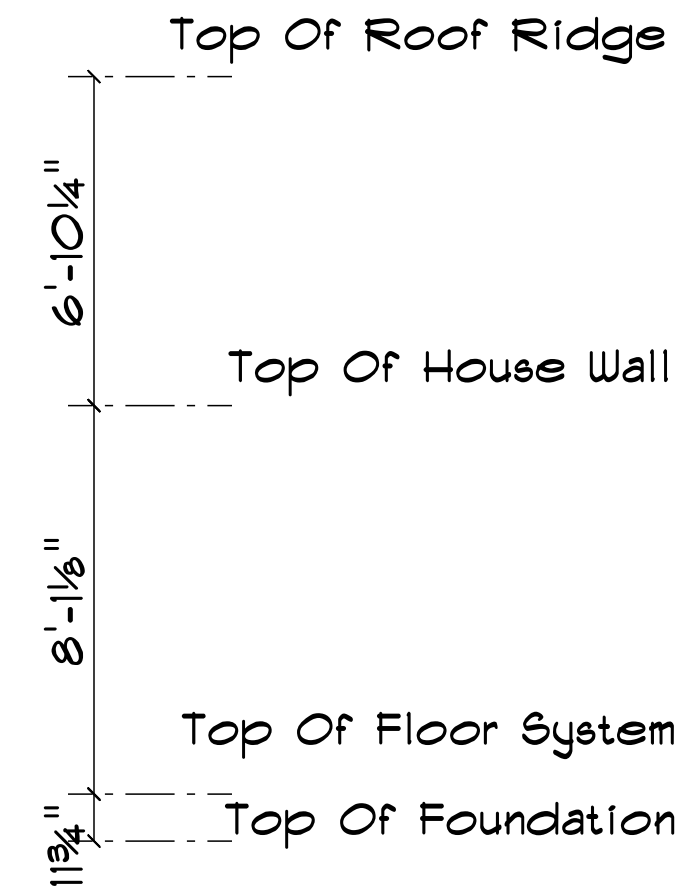
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



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 GREEN BAY, WI 54301

COMPONENTS:
 PHONE (920) 496-5084
 FAX (920) 498-1215
 1145 MORaine TERRACE
 GREEN BAY, WI 54303

CUSTOM DESIGNED FOR: **Greater Green Bay**
Habitat For Humanity

JOB NAME: 1322 South Chestnut

DRAWN BY: Michael Herald

DATE: August 29, 2017

REVISIONS: 2/27/26 AY

SQ. FT.:

SCALE: As Indicated

PLAN NO.:

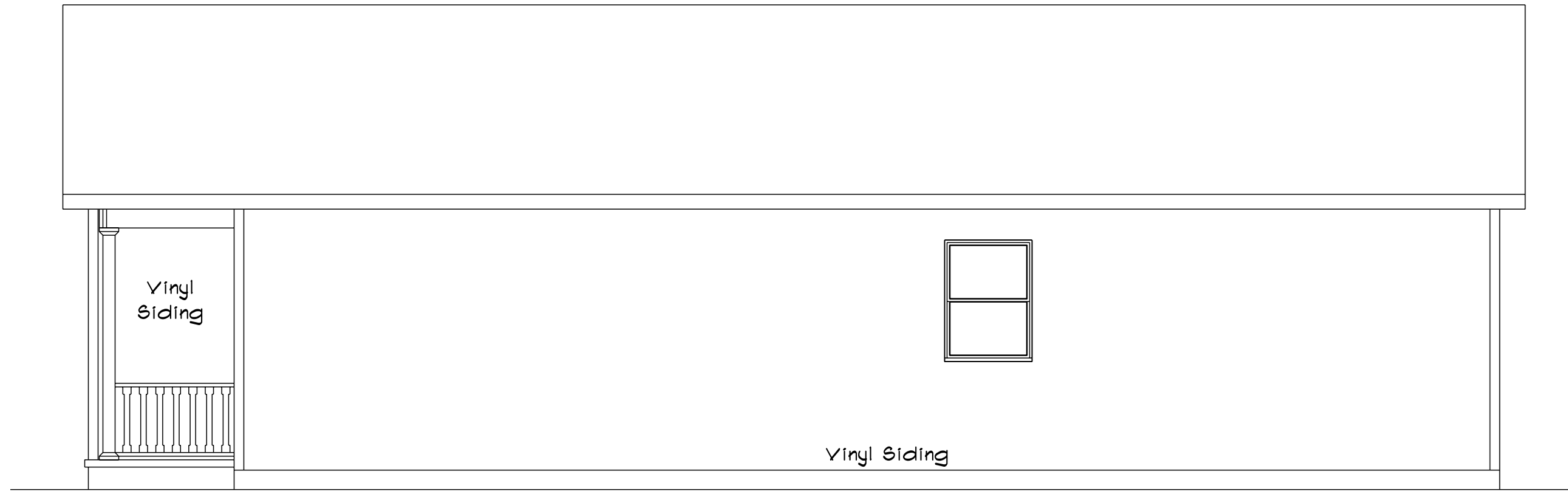
See Plan

As Indicated

17-422-R

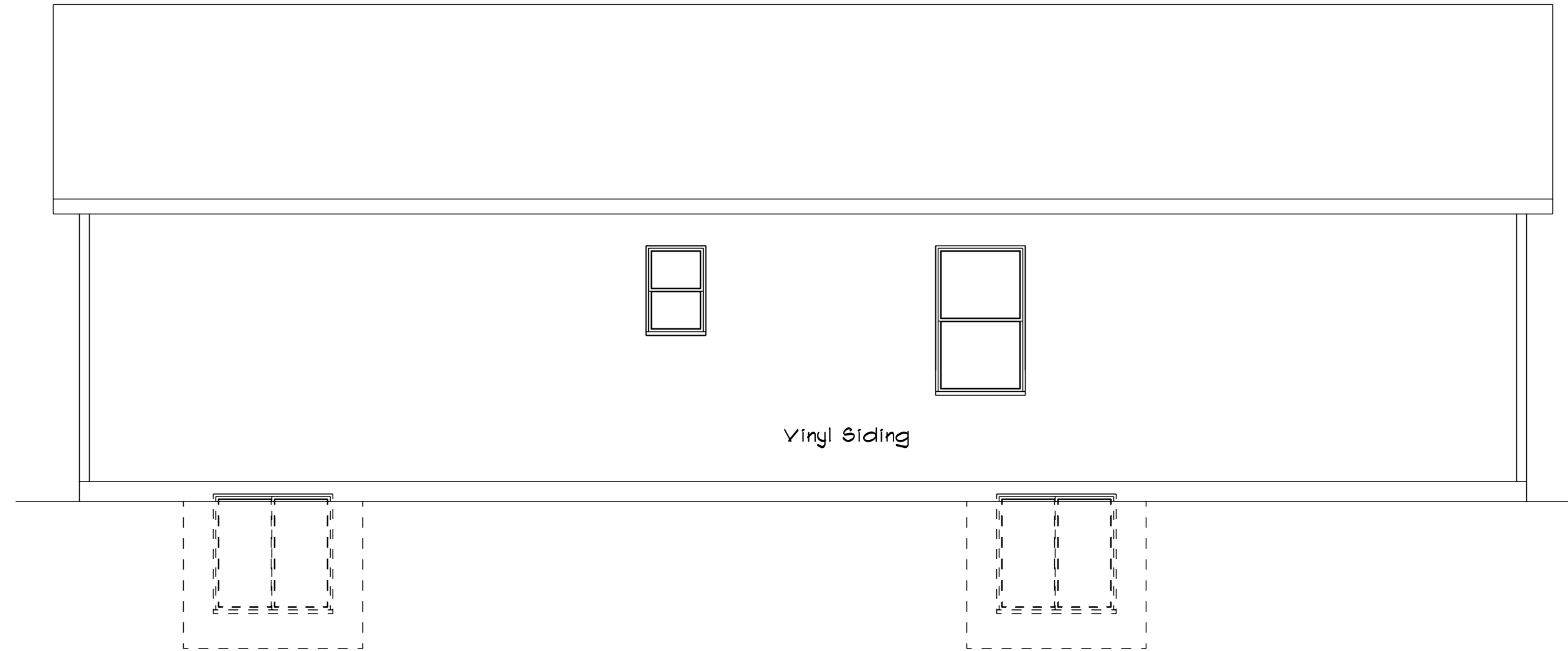
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RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

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CUSTOM DESIGNED FOR: **Greater Green Bay**
Habitat For Humanity

JOB NAME: 1322 South Chestnut

DRAWN BY: Michael Herald SQ. FT.: See Plan

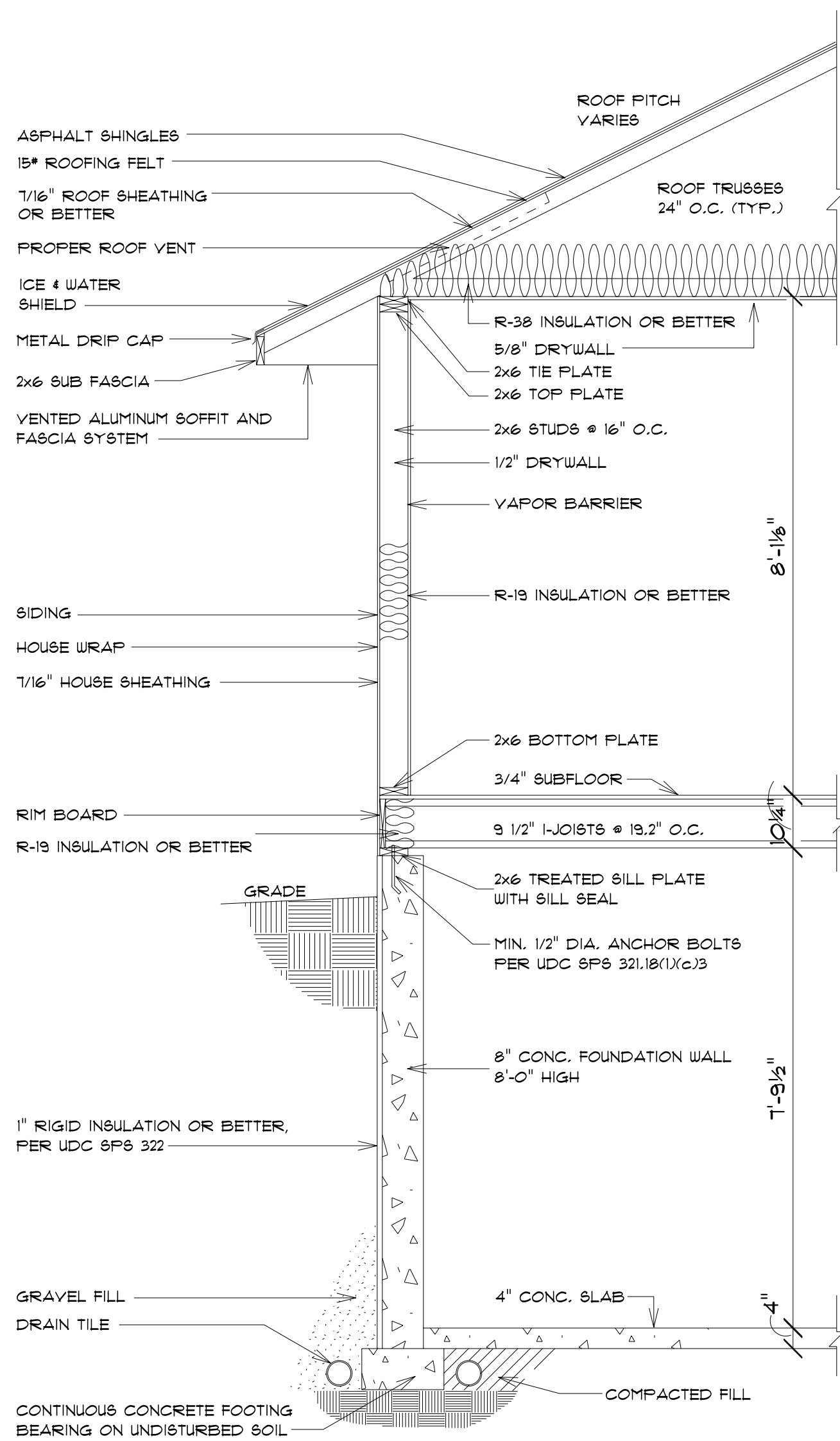
DATE: August 29, 2017 SCALE: As Indicated

REVISIONS: 2/27/26 AV PLAN NO.: 17-422-R

IMPORTANT NOTE:

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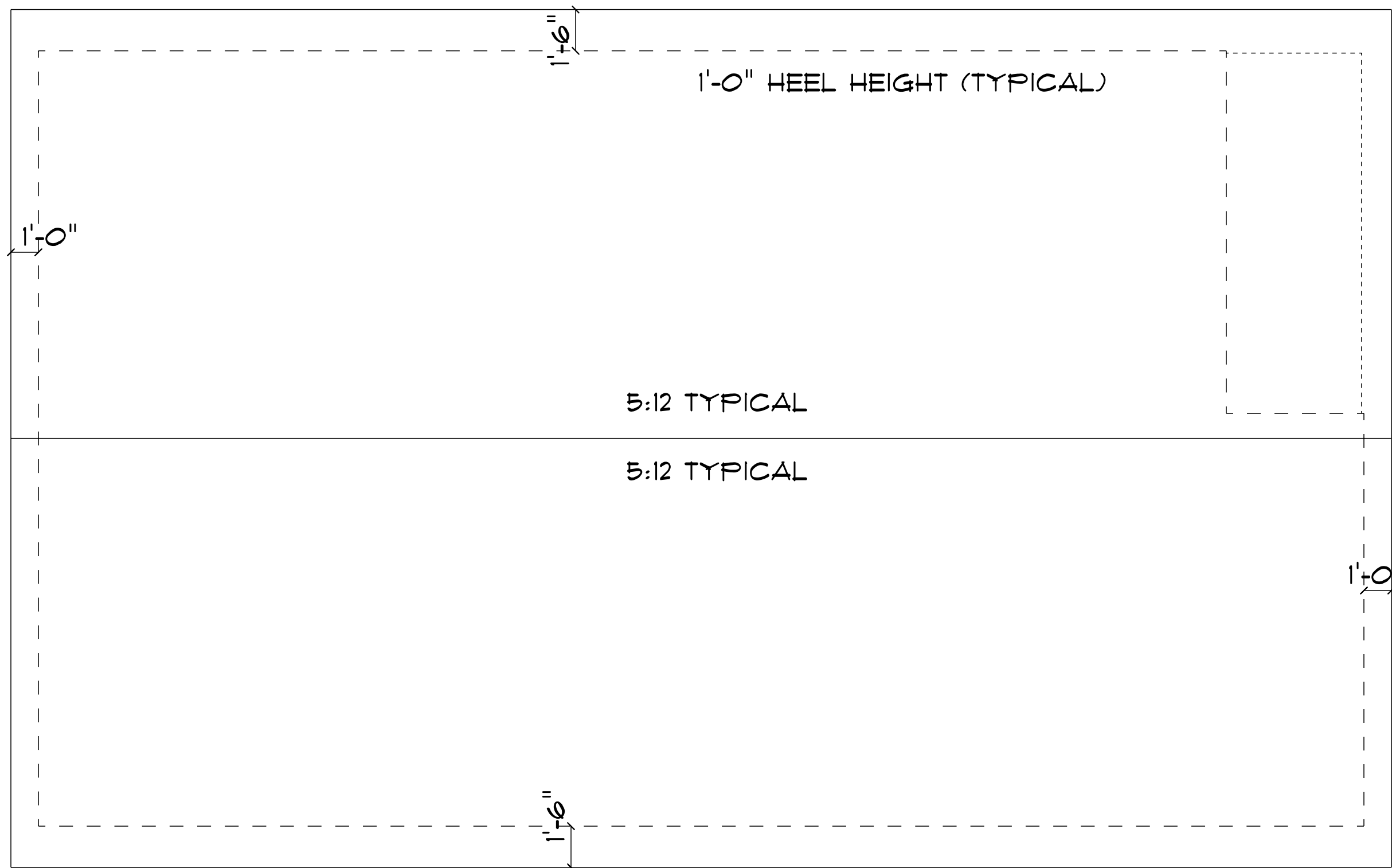
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TYPICAL RANCH SECTION

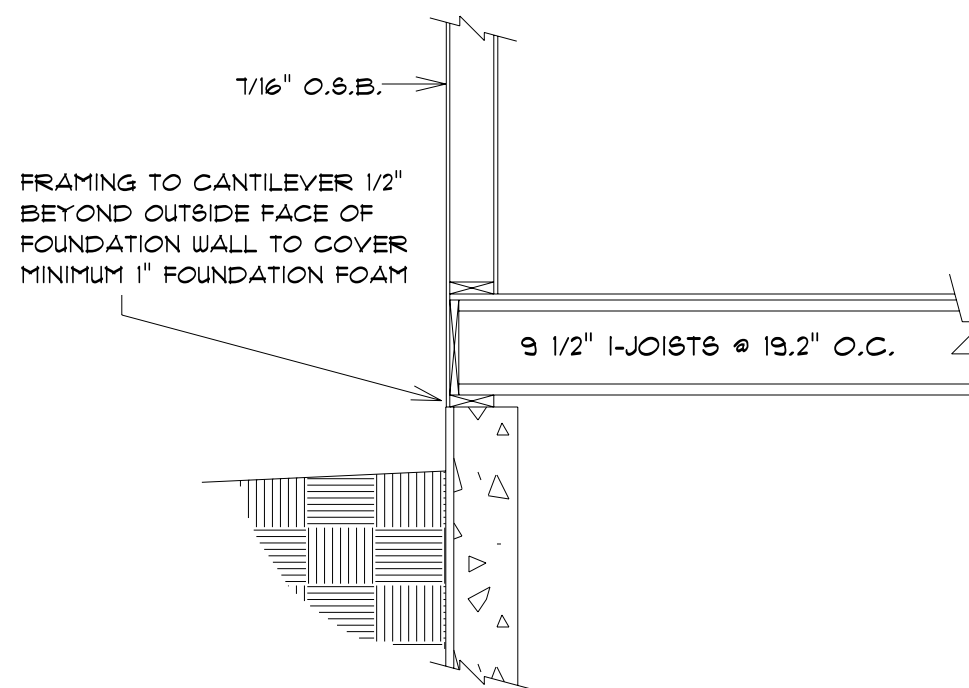
SCALE: 1/2" = 1'-0"

ALL ITEMS TO BE VERIFIED BY CONTRACTOR



ROOF PLAN

SCALE: 1/4" = 1'-0"



BOX SILL DETAIL

SCALE: 1/2" = 1'-0"

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CUSTOM DESIGNED FOR: **Greater Green Bay**
Habitat For Humanity

JOB NAME: 1322 South Chestnut

DRAWN BY: Michael Herald

DATE: August 29, 2017

REVISIONS: 9/12/17

2/27/26 AV

sq. FT.:

See Plan

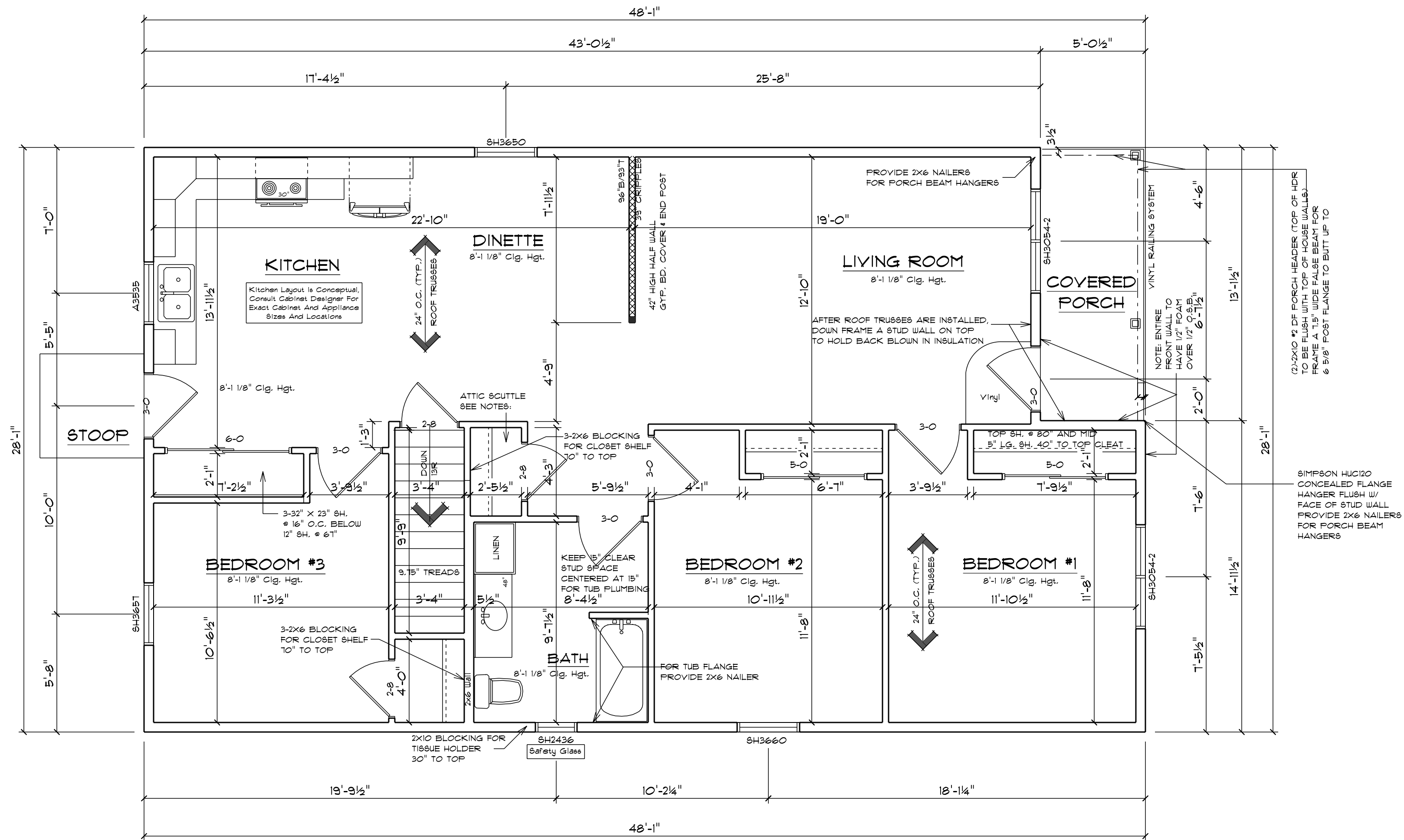
SCALE: As Indicated

PLAN NO.: 17-422-R

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GREEN BAY, WI 54303

Wisconsin
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NOTE:
 EXTERIOR DIMENSIONS ARE SHOWN TO REFLECT HOUSE FRAMING WALLS HELD OUT 1/2" FOR EXTERIOR WALL SHEATHING TO FLUSH OUT WITH 1" FOUNDATION FOAM. IF FOUNDATION FOAM IS TO BE OTHER THAN 1", FRAMING DIMENSIONS ARE TO BE FIELD ADJUSTED AND MAINTAIN ALL CODE COMPLIANCE ACCORDINGLY.

NOTE:
 BUILDER RESPONSIBLE TO TRANSFER POINT LOADS FROM ABOVE THROUGH THE FLOOR SYSTEM, AND OTHER WALLS WITH SOLID BLOCKING DOWN TO FOUNDATION WALLS BELOW

FLOOR PLAN

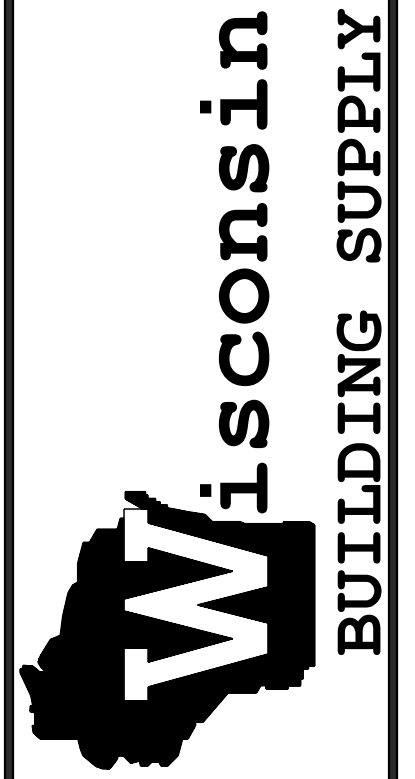
8'-1 1/8" CLG. HGT.
 1285 SQ. FT.
 66 SQ. FT. (COVERED PORCH)

NOTE:
 BUILDER TO CONSULT TRUSS LAYOUT PLANS TO VERIFY EXACT LOCATIONS OF GIRDER TRUSSES, AND ANY ADDITIONAL BEARING REQUIREMENTS OTHER THAN THOSE NOTED ON FLOOR PLANS

- NOTES:**
- FLOOR SYSTEM: 1ST FLR: 9 1/2" I-JOISTS @ 19.2" O.C. LOADING: TOTAL LOAD = 50*
 LL = 40*
 DL = 10*
 (ADDITIONAL 10* DL @ TILE AREAS)
 (ADDITIONAL 25* DL @ GRANITE AREAS)
 FLOOR DEFLECTION: LL = L/480
 DL = L/240
 DURATION OF LOAD: 1.00%
 - ROOF SYSTEM: WOOD TRUSSES @ 24" O.C. LOADING: TOTAL LOAD = 50*
 TCLL = 30*
 TCCL = 10*
 BCCL = 10*
 ROOF DEFLECTION: LL = L/240
 TL = L/180
 DURATION OF LOAD: 1.15%
 - STD. HEADERS: (2) - 2 x 10 #2 DF
 - EXT. WALL STUDS: 1ST FLR: 2x6 x 92-5/8" @ 16" o.c. (8'-1 1/8" HT.)
 - INT. WALL STUDS: 1ST FLR: 2x4 x 92-5/8" @ 16" o.c. (8'-1 1/8" HT.)
 - WINDOW SIZES SHOWN ARE FOR SILVERLINE WINDOWS (SEE SUPPLIER FOR DETAILS)
 - PLAN IS DRAWN ACCORDINGLY FOR 2 3/4" CASING
 - ALL DIMENSIONS SHOWN ARE TO FACE OF STUD.
 - STAIRS: B5MT. TO 1ST FLR: 13 RISERS @ 7 13/16"
 - 2 TREADS @ 9 3/4"
 - PROVIDE ATTIC ACCESS PANEL W/ 2" FOAM ON BACK OF 5/8" GYPSUM BOARD SET ON FOAM WEATHERSTRIP ROUGH OPENING TO BE 16 1/2" x 21". PROVIDE 1/2" OSB INSULATION BAFFLES 16" TO TOP MEASURED FROM BOTTOM OF TRUSSES.
 MIN. CODE CLEAR FINISH OPEN OF ACCESS IS 14"x24"
 - A MINIMUM OF DOUBLE TRIMSTUDS MUST BE USED FOR ALL OPENINGS 6'-0" AND LARGER
 - THE ABOVE CONDITIONS LISTED ARE STANDARD FOR THIS PLAN (EXCEPTIONS ARE NOTED ON THE PLAN)
 - AT BEDROOM 1, 2, BASEMENT BEDROOMS, AND HALL CLOSETS INSTALL MINIMUM OF 3-2X6 BACKING FOR CLOSET POLE BRACKET CENTERED IN CLOSET AT 10" TO TOP
 - FOR STAIR RAILING INSTALL MINIMUM OF 2-2X6 BLOCKING AT TOP AND BOTTOM OF STAIRS AND 3 AT MIDDLE SPACED 3'-3" APART AT 3/4" TO TOP OF BLOCKING FOR A TOTAL OF FIVE BRACKETS

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CUSTOM DESIGNED FOR: **Greater Green Bay Habitat For Humanity**

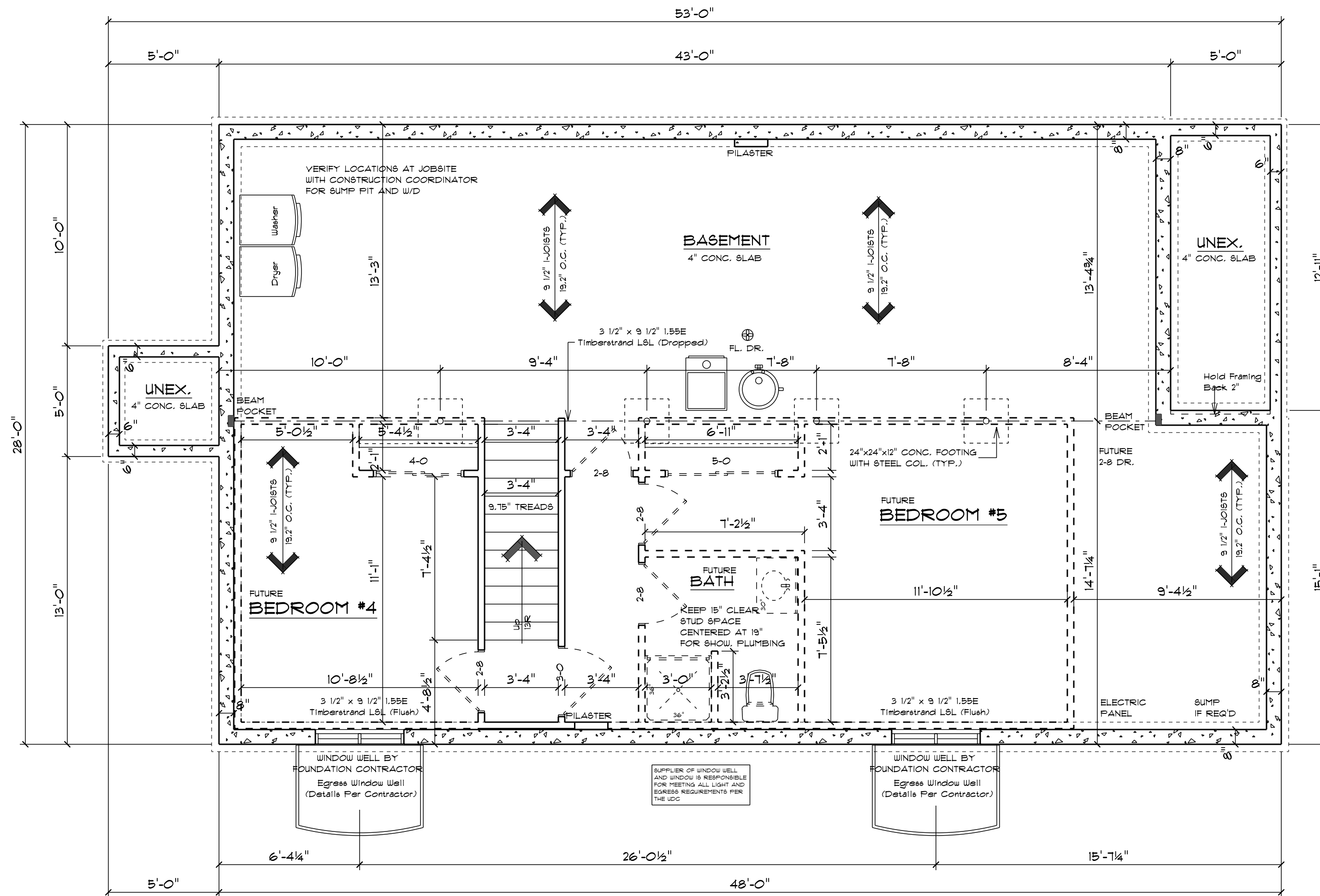
JOB NAME: 1322 South Chestnut

DRAWN BY: Michael Herald	SQ. FT.: 1285 Sq. Ft.
DATE: August 29, 2017	SCALE: 1/4" = 1'-0"
REVISIONS: 9/12/17	2/27/26 AV
9/18/17	PLAN NO.: 17-422-R

IMPORTANT NOTE:

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NOTE:

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NOTE:

BUILDER RESPONSIBLE TO TRANSFER POINT LOADS FROM ABOVE THROUGH THE FLOOR SYSTEM, AND OTHER WALLS WITH SOLID BLOCKING DOWN TO FOUNDATION WALLS BELOW

FOUNDATION PLAN

8'-0" FOUNDATION WALL HGT.
481 SQ. FT. (FUTURE)

NOTES:

- FOUNDATION WALLS:
HOUSE: 8" FOURED CONCRETE WALLS 8'-0" HIGH
GARAGE / PORCH: 6" FOURED CONCRETE WALLS 4'-0" HIGH
- THE FOLLOWING ITEMS ARE TO BE LOCATED IN THE FOUNDATION BY THE CONTRACTOR:
BASEMENT WINDOWS FLOOR DRAINS
ELECTRIC SERVICES WATER HEATER
SUMP PIT & PUMP FURNACE
- BUILDER TO PROVIDE HEADERS AT BASEMENT WINDOWS IF NOT NOTED ON THE FOUNDATION PLAN
- FOURED CONCRETE FOOTINGS TO BEAR ON UNDISTURBED SOIL BELOW THE FROST LINE
- STEEL COLUMNS TO SUPPORT 12,000 LBS. UNLESS OTHERWISE NOTED
- ASSUMED SOIL BEARING CAPACITY IS 3,000 PSF. FOOTING SIZES MUST BE ADJUSTED FOR VARYING SOIL CONDITIONS
- FOUNDATION WALLS ARE ASSUMED TO BE UNREINFORCED 3,000 PSF CONCRETE. WALLS ARE DESIGNED PER UDC TABLE 21.18.4 BASED ON THE HEIGHT OF UNBALANCED FILL. PROPER REINFORCEMENT (DESIGNED BY OTHERS) MAY ALLOW FOR WALLS THAT ARE LESS THICK, BUT ANY DEVIATION FROM THE THICKNESSES SHOWN ON THE PLAN ARE THE RESPONSIBILITY OF THE FOUNDATION AND/OR GENERAL CONTRACTOR
- ALL LUMBER IN PERMANENT CONTACT WITH CONCRETE MUST BE PRESSURE-TREATED LUMBER AS PER UDC 21.10.

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1745 MORaine TERRACE
GREEN BAY, WI 54303

CUSTOM DESIGNED FOR: **Greater Green Bay**
Habitat For Humanity

JOB NAME: 1322 South Chestnut	SQ. FT.: 481 Sq. Ft. (Future)
DRAWN BY: Michael Herald	SCALE: 1/4" = 1'-0"
DATE: August 29, 2017	REVISIONS: 9/12/17 2/27/26 AV
PLAN NO.: 17-422-R	

IMPORTANT NOTE:

- IT IS AGREED THAT ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING AND CHECKING THESE PLANS FOR ACCURACY, THE GENERAL CONTRACTOR/OWNER MUST REVIEW ALL DIMENSIONS, DETAILS AND NOTES BEFORE BEGINNING ANY CONSTRUCTION AND IS HEREBY HELD RESPONSIBLE FOR ANY DISCOVERED DISCREPANCIES.
- IT IS UNDERSTOOD THAT THE WISCONSIN UNIFORM DWELLING CODE AND LAYOUT DRAWINGS FOR FLOOR AND ROOF TRUSSES SHALL TAKE FINAL PRECEDENCE OVER THESE ARCHITECTURAL PLANS.



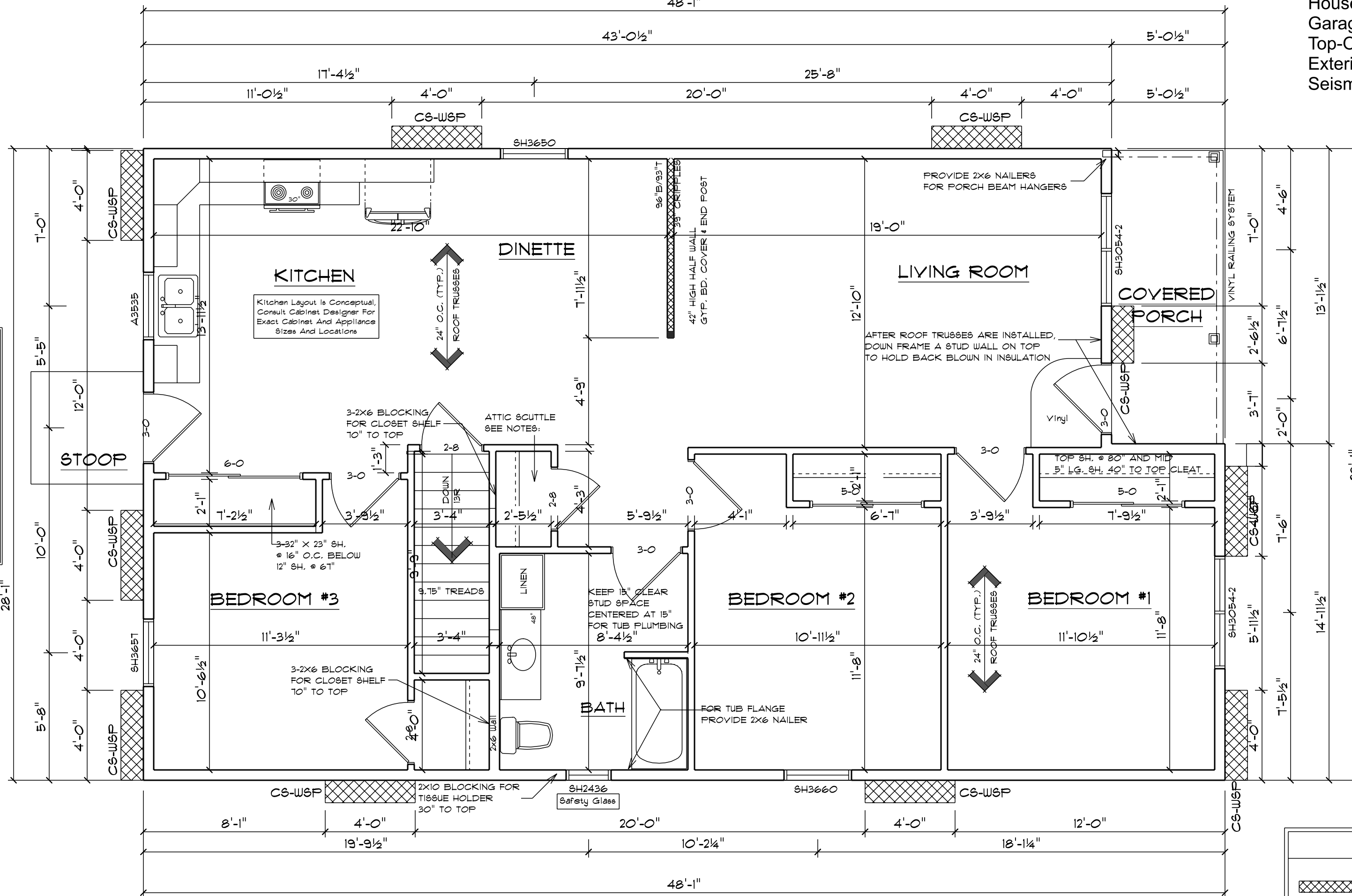
WALL BRACING LAYOUT PLAN

Scale: 1/4" = 1'-0"
 House Wall Ht.: 8'-1 1/8"
 Garage Wall Ht.: N/A
 Top-Of-Wall-To-Ridge Ht.: 6'-10 1/4"
 Exterior Stud Spacing: 16" O.C.
 Seismic Design: B

IMPORTANT NOTE:

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1.5 X 1.3 (CAT C) X 0.95 (WALL HGT) = 9'-3 1/8"
 TOTAL ADJACENT SIDE LENGTH: 48'-1"
 BRACING METHOD: CONTINUOUSLY SHEATHED
 EXPOSURE CATEGORY: C
 TOTAL PANEL LENGTH REQUIRED: 9'-3 1/8"
 TOTAL PANEL LENGTH PROVIDED: 12'-0"



TOTAL ADJACENT SIDE LENGTH: 48'-1"
 BRACING METHOD: CONTINUOUSLY SHEATHED
 EXPOSURE CATEGORY: C
 TOTAL PANEL LENGTH REQUIRED: 9'-3 1/8"
 TOTAL PANEL LENGTH PROVIDED: 10'-6 1/2"
 1.5 X 1.3 (CAT C) X 0.95 (WALL HGT) = 9'-3 1/8"

NOTE:
 THIS FLOOR PLAN TO BE USED FOR WALL BRACING PURPOSES ONLY

TOTAL ADJACENT SIDE LENGTH: 28'-1"
 BRACING METHOD: CONTINUOUSLY SHEATHED
 EXPOSURE CATEGORY: C
 TOTAL PANEL LENGTH REQUIRED: 6'-2 1/8"
 TOTAL PANEL LENGTH PROVIDED: 8'-0"
 5.0 X 1.3 (CAT C) X 0.95 (WALL HGT) = 6'-2 1/8"

WALL BRACING MATERIAL LEGEND

(CONTINUOUSLY SHEATHED WOOD STRUCTURAL PANEL)
 5/8" THICK SHEATHING FOR MAX. 16" o.c. STUD SPACING
 1/16" THICK SHEATHING FOR MAX. 24" o.c. STUD SPACING
 FASTEN WITH 6d COMMON NAIL OR 8d BOX NAIL (2 3/8" LONG x 0.119" DIA.)
 OR 7/16" or 1/2" - CROWN 16 GAGE STAPLES, 1 1/4" LONG
 MAXIMUM FASTENER SPACING:
 6" EDGES, 12" FIELD (NAILS) / 3" EDGES, 6" FIELD (STAPLES)

GENERAL NOTES:

WALL BRACING, SPS 321.25 (8)

- ◁ CIRCUMSCRIBED RECTANGLES
- ◁ EACH FLOOR PLAN LEVEL SHALL BE CIRCUMSCRIBED WITH ONE OR MORE RECTANGLES AROUND THE ENTIRE FLOOR PLAN AT THE FLOOR LEVEL UNDER CONSIDERATION. WHEN MULTIPLE RECTANGLES ARE USED, EACH SIDE SHALL BE BRACED AS THOUGH IT WERE A SEPARATE BUILDING AND THE BRACING AMOUNT ADDED TOGETHER ALONG THE COMMON WALL WHERE ADJACENT RECTANGLES OVERLAP OR ABUT.
- ◁ EACH RECTANGLE SHALL HAVE A MAXIMUM RECTANGLE LENGTH-TO-WIDTH RATIO OF 3:1.
- ◁ BRACED WALL PANEL (BWP) LOCATIONS: WITHIN 12'-6" FROM EACH SIDE AND 21'-0" PANEL EDGE TO PANEL EDGE (SEE FIGURE 321.25-C)
- ◁ ALL EDGES OF PANEL-TYPE BRACING, EXCEPT HORIZONTAL JOINTS IN GB BRACING, SHALL BE ATTACHED TO FRAMING OR BLOCKING.
- ◁ THE INTERIOR SIDE OF ALL EXTERIOR WALLS SHALL BE SHEATHED WITH MINIMUM 1/2" GYPSUM WALLBOARD UNLESS OTHERWISE PERMITTED TO BE EXCLUDED BY THIS SUBSECTION. (THIS REQUIREMENT IS EXCLUDED IN PORTAL FRAME METHOD)
- ◁ BRACING WITH CS-WSP SHALL HAVE SHEATHING INSTALLED ON ALL SHEATHABLE SURFACES ABOVE, BELOW, AND BETWEEN WALL OPENINGS.
- ◁ EACH BRACED WALL PANEL MAY CONTAIN NO MORE THAN ONE HOLE, HAVING A MAXIMUM DIMENSION OF NO MORE THAN TEN PERCENT OF THE LEAST DIMENSION OF THE PANEL, AND CONFINED TO THE MIDDLE THREE-FORTHS OF THE PANEL.
- ◁ BLOCKING AND BRIDGING: 2x18 BRIDGING USED AT PARALLEL BOX SILL AND FLOOR JOIST BRIDGING (@ 32" O.C.) IS THE SAME DEPTH AS THE JOIST.
- ◁ WHERE JOISTS ARE PERPENDICULAR TO BWL'S ABOVE OR BELOW, BLOCKING SHALL BE PROVIDED BETWEEN THE JOISTS AT BWP LOCATIONS TO PERMIT FASTENING OF WALL PLATES WITH 16d NAILS @ 16" O.C.
- ◁ WHERE JOISTS ARE PARALLEL TO BWL'S ABOVE OR BELOW, A RIM JOIST OR OTHER PARALLEL FRAMING MEMBER SHALL BE PROVIDED AT THE BWP TO PERMIT FASTENING OF WALL PLATES WITH 16d NAILS @ 16" O.C.

TABLE 321.25-H a,b
 MINIMUM WIDTHS OF CS-WSP BRACED WALL PANELS

MAXIMUM OPENING HEIGHT ADJACENT TO BRACED WALL PANEL	MINIMUM LENGTH OF FULL-HEIGHT BRACED WALL PANEL (INCHES)			
	8' TALL WALL	9' TALL WALL	10' TALL WALL	12' TALL WALL
5' - 4"	24	27	30	36
6' - 8"	32	30	30	36
7' - 2" (7' Gar. Dr.)	38	35	33	36
8' - 0"	48	41	38	36
8' - 2" (8' Gar. Dr.)	-	43	39	37
9' - 0"	-	54	46	41
10' - 0"	-	-	60	48
12' - 0"	-	-	-	72

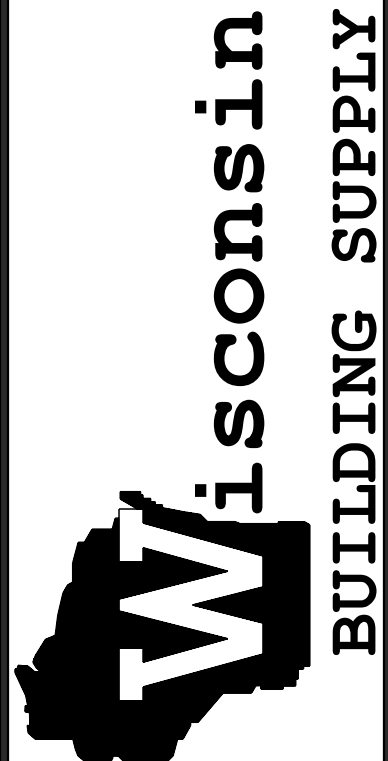
a. SHEATHING SHALL EXTEND FROM TOP OF THE TOP PLATE TO THE BOTTOM PLATE AND MAY BE MULTIPLE SHEETS. ALL JOINTS SHALL BE BLOCKED.
 b. INTERPOLATION IS PERMITTED

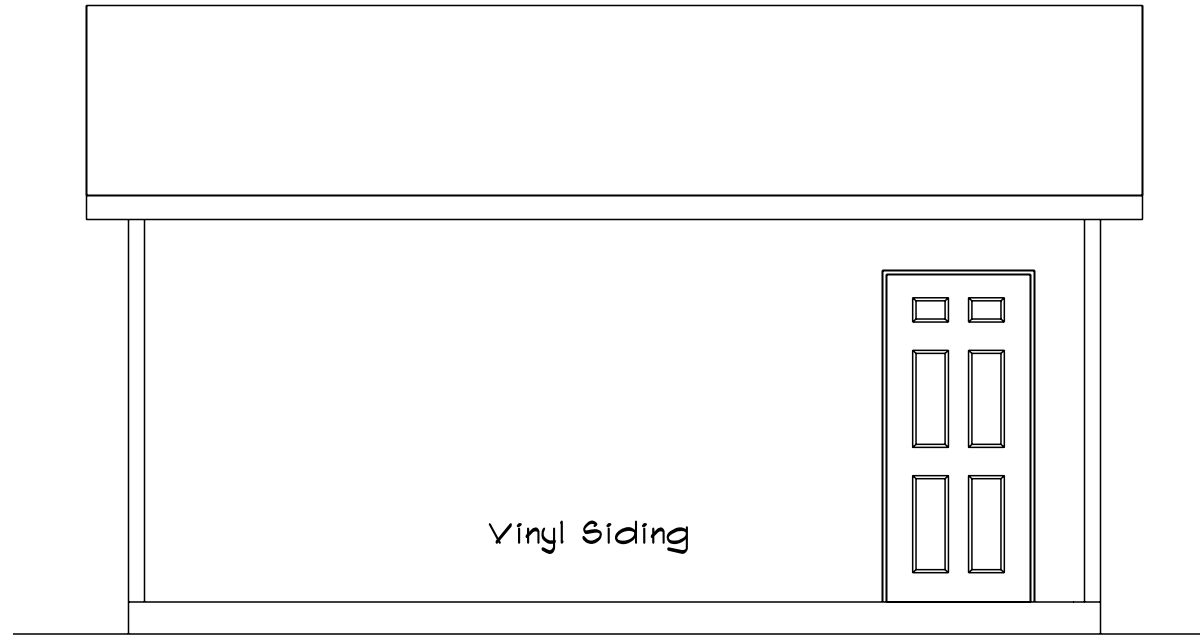
CUSTOM DESIGNED FOR: **Greater Green Bay**
Habitat For Humanity

JOB NAME: 1322 South Chestnut
 DRAWN BY: Michael Herald
 DATE: August 29, 2017
 REVISIONS: 9/12/17
 SQ. FT.: 1285 Sq. Ft.
 SCALE: 1/4" = 1'-0"
 PLAN NO.: 17-422-R

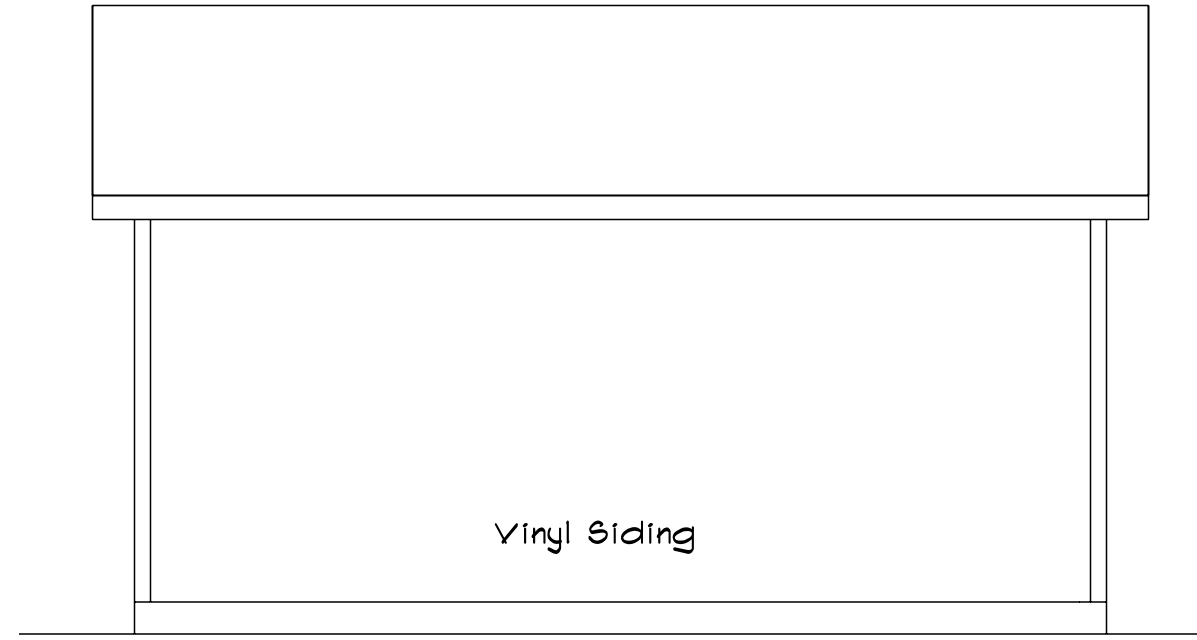
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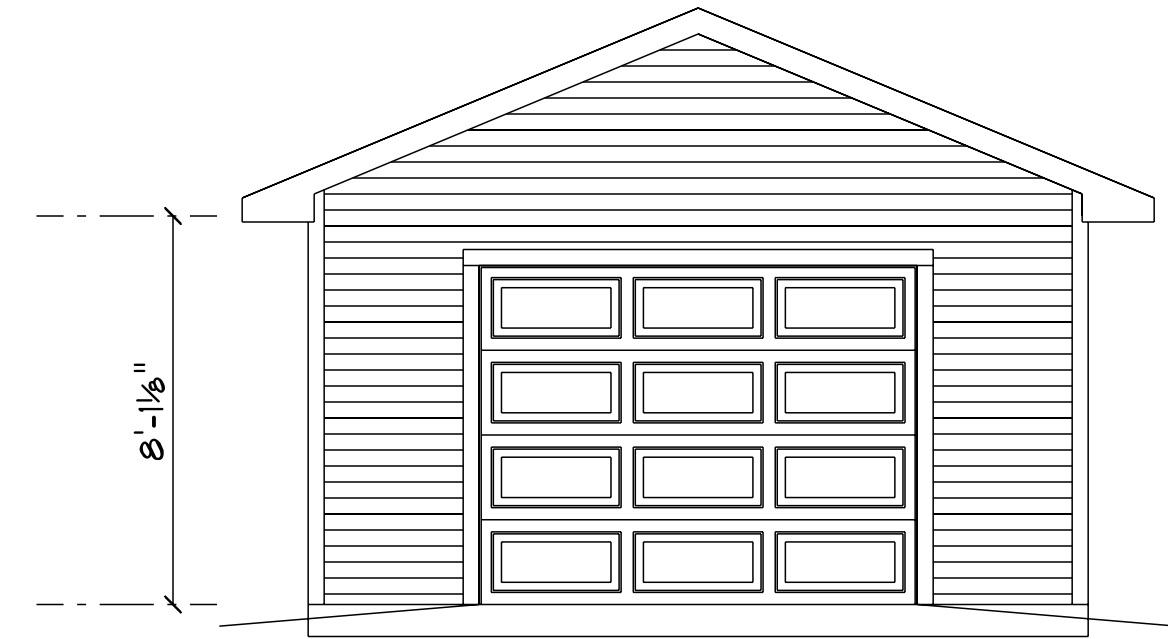




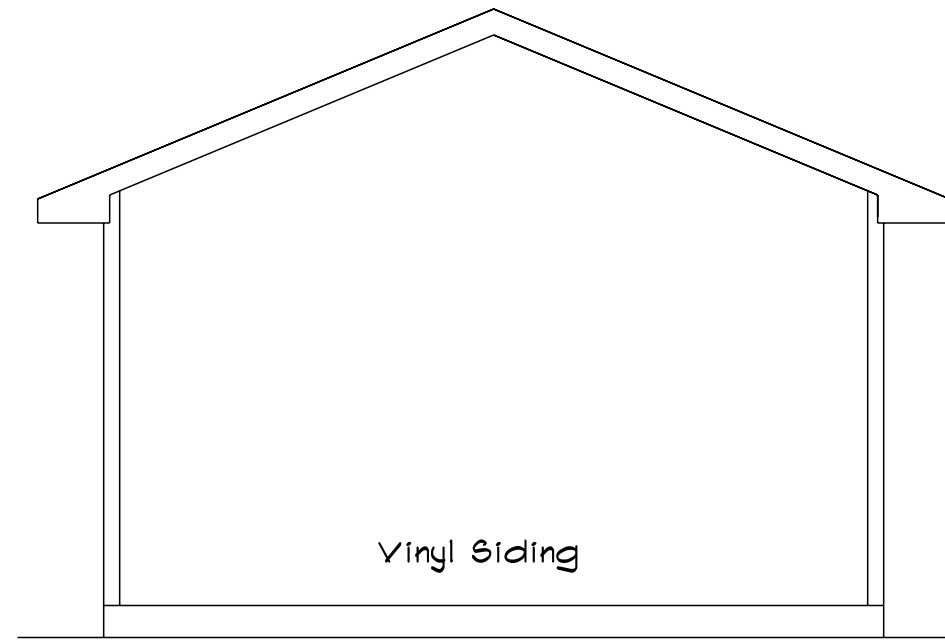
LEFT PLAN
SCALE: 1/4"=1'-0"



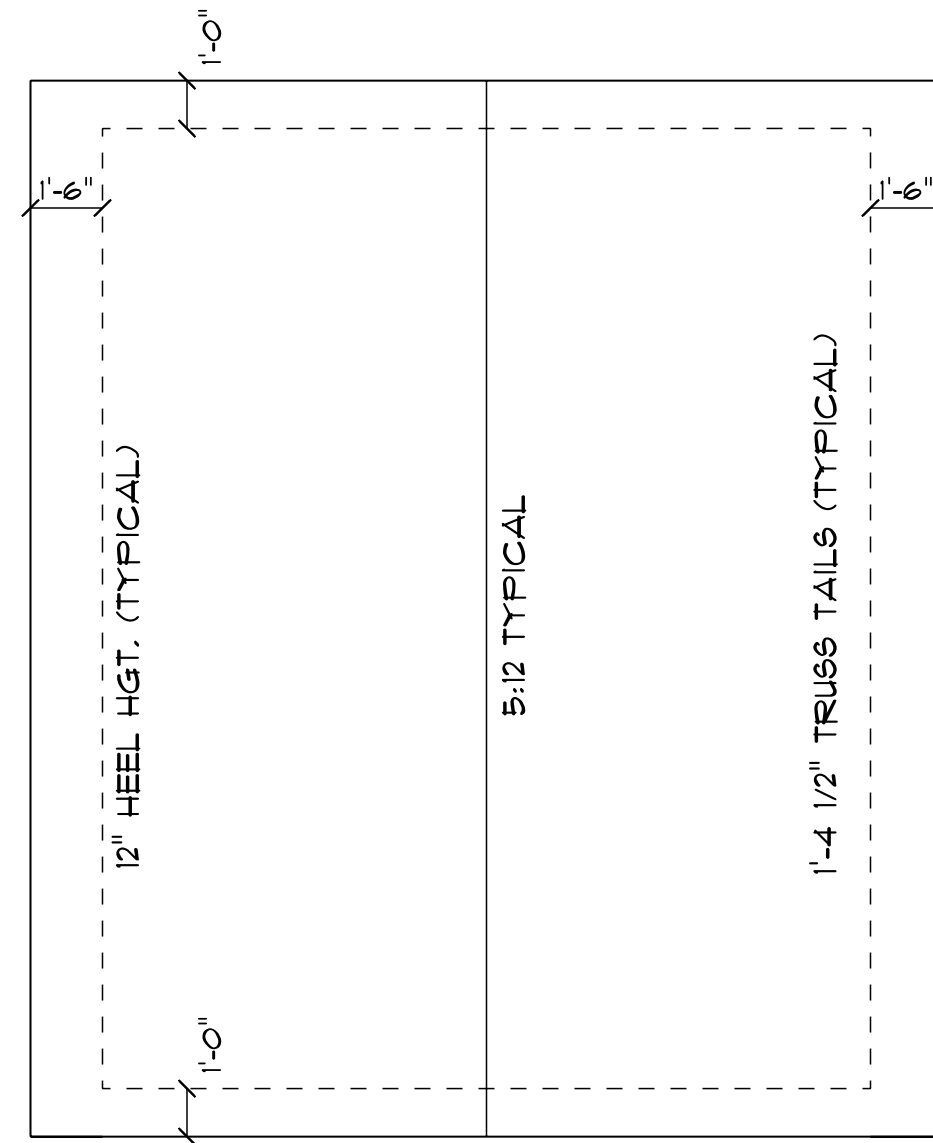
RIGHT PLAN
SCALE: 1/4"=1'-0"



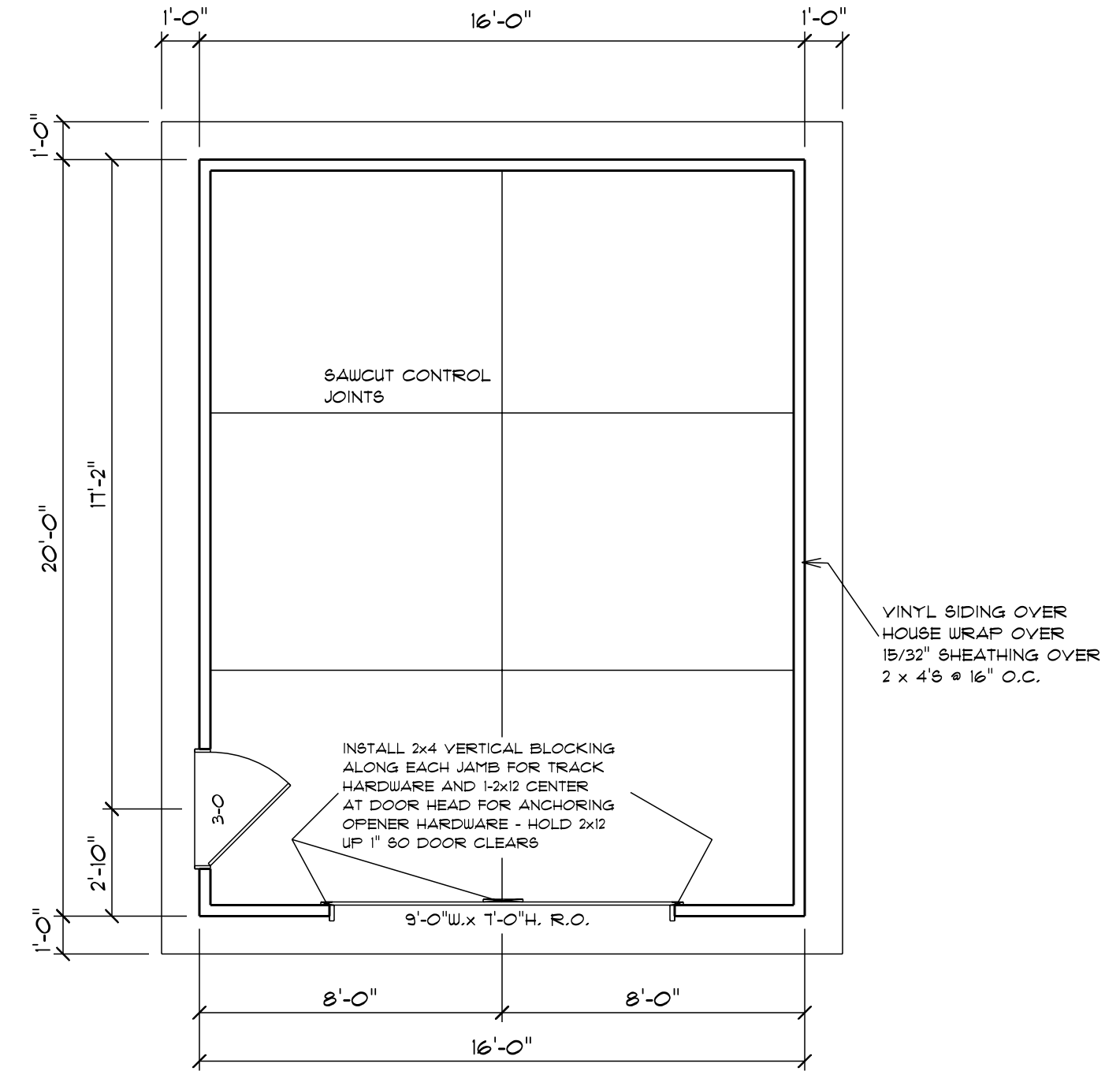
FRONT PLAN
SCALE: 1/4"=1'-0"



REAR PLAN
SCALE: 1/4"=1'-0"



ROOF PLAN
SCALE: 1/4"=1'-0"



FLOOR PLAN
SCALE: 1/4"=1'-0"

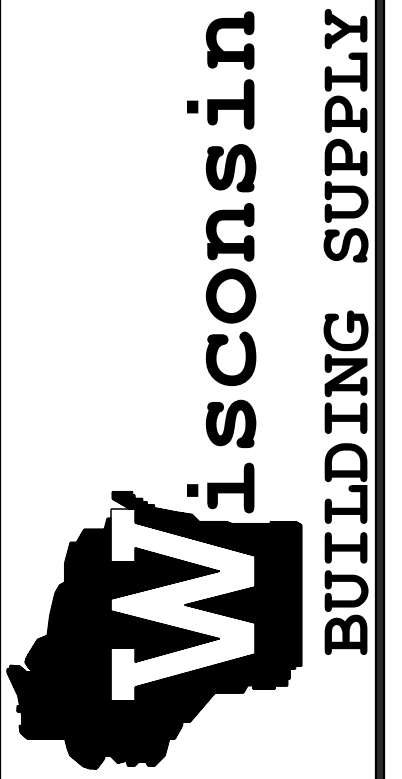
NOTE:
THIS CONSTRUCTION PLAN CURRENTLY DOESN'T NOTATE PROPER WALL BRACING REQUIREMENTS. PLEASE CONTACT LOCAL BUILDING OFFICAL TO VERIFY IF BRACING IS REQUIRED FOR GARAGE PLAN PRIOR TO APPLYING FOR PERMITS TO INITIATE THE START OF THE WALL BRACING PLAN/CALCULATIONS

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CUSTOM DESIGNED FOR:		GREATER GREEN BAY HABITAT FOR HUMANITY	
JOB NAME:	1322 South Chestnut	SQ. FT.:	N/A
DRAWN BY:	Michael Lerald	SCALE:	As Noted
DATE:	October 26, 2011	REVISIONS:	2/27/26 AV
(15-311-R)		PLAN NO.:	17-422-R

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Report to the
Green Bay Plan Commission

MEETING DATE

April 27, 2026

PREPARED BY

AGENDA ITEM # F.1

Director's report.

BACKGROUND

RECOMMENDATION

FISCAL IMPACT

ATTACHMENTS

- I. Development Tracking 20260413

City of Green Bay Development Tracker (Large Scale) - April 2026

	Project Name	Developer	Project Location	Project Description	Status Update	Housing Units		Est. Prop Value
Multi-family								
1	Skyline@425	Living Downtown LLC	425 Pine Street	Market multi-family rental, commercial	Construction underway	Total #	Under 80%	\$9,600,000.00
						66	0	
2	1116 Hobart Drive	Moski Corp	1116 Hobart Drive	Market multifamily	Construction underway	Total #	Under 80%	\$3,000,000.00
						30	0	
3	Merge @ Shipyard	Merge LLC	239 Arndt Street	Market multi-family rental, retail	Amendment 3 denied 3/17	Total #	Under 80%	\$21,000,000.00
						225	0	
4	200 N. Monroe	Three Sixty LLC	200 N. Monroe	Market multi-family rental, commercial	DA consideration in April	Total #	Under 80%	\$18,500,000.00
						164	0	
5	Gorman @ JBS	Gorman & Co.	0 Lime Kiln Rd	Workforce multi-family	Construction underway	Total #	Under 80%	\$11,000,000.00
						95	0	
6	Fire Station Flats	General Capital	420 S. Broadway/419 S. Maple	Multi-family rental, retail, Fire Station/Admin, greenway	Construction planned for Oct. 2026	Total #	Under 80%	\$7,000,000.00
						85	85	
7	New Land 221 Cherry	New Land Enterprises	221 Cherry	Market rate multi-family rental, retail	Construction underway complete summer '26	Total #	Under 80%	\$38,000,000.00
						268	0	
8	222 Cherry St LLC	Peter Nugent	216-222 Cherry St	Market rate apts with retail 1st floor	DA amendment terms under negotiation	Total #	Under 80%	\$10,500,000.00
						71	0	
9	Chicago/Monroe	Nolan Carter	436 S. Monroe	Market rate multi-family rental, commercial	PO approved in November. Expires in May.	Total #	Under 80%	TBD
						25	0	
10	One Astor	Spark Development	100 E. Mason	Market rate multi-family rental	Construction underway	Total #	Under 80%	\$15,500,000.00
						126	0	
						Total #	Under 80%	

11	Tank & Elmore Schools	TBD	814 S Oakland Ave, 615 Ethel Ave	Adaptive reuse to multifamily	RFPs due 5/1/2026	0	0	\$0.00
12	1531 Main Street	GB Real Estate	1531 Main Street	Market rate multi-family rental	PO deadline 7/12/26	Total # 40	Under 80% 0	\$3,000,000.00
Single-family								
13	Southwest Woods	Garritt Bader	Hinkle S. of Mason	Single family housing with new roads	Construction underway	Total # 29	Under 80% 0	\$8,000,000.00
14	The Pines	Broadway Realty	0 Deuchert Street	Single family housing with new roads	Construction planned in 2026	Total # 41	Under 80% 0	\$10,000,000.00
Commercial								
15	S&S Buildings	Investment Creations	227 E Walnut, 101 & 109 N Adams	Mixed use law office, retail, market rate apartment	Construction underway	Total # 1	Under 80% 0	\$1,500,000.00
16	Fire Station One	MOWGS LLC	501 S. Washington	Fire station rehab conversion to commercial uses	DA approved in May. Rehab work underway.	Total # 0	Under 80% 0	\$1,000,000.00
17	C. Reiss Relocation	Port of Green Bay / Brown County	420 S. Broadway/419 S. Maple	Port development / C. Reiss relocation	Port improvements planned to start in 2026	Total # 0	Under 80% 0	TBD
18	Green Bay Public Market	On Broadway, Inc	211 N. Broadway	Public Market	Construction planned 2026-2027	Total # 0	Under 80% 0	\$7,000,000.00
19	United Soccer League Stadium	USL	TBD	Soccer Stadium	Site selection and due diligence underway	Total # 0	Under 80% 0	TBD
Industrial								
20	WE Hoban Co.	Hoban Real Estate	Finger Rd at Northview Rd	Industrial	Construction underway	Total # 0	Under 80% 0	\$10,500,000.00
21	Grandview - Keller 9 Acres	Keller client	Erie Rd south of Mason	Industrial	TIF request under review	Total # 0	Under 80% 0	tbd



COLOR KEY
Multi-family
Single-family
Commercial
Industrial
Park/Public

	Units	Under 80%	Value
TOTALS	1,266	85	\$175,100,000.00